

**ZONING ADMINISTRATOR
RECOMMENDED CONDITIONS OF APPROVAL**

ROBERT MONDAVI WINERY USE PERMIT MINOR MODIFICATION

**Application Number P22-00106-UP
7801 State Highway 29, Napa, California
APN 027-280-067-000 & 027-280-066-000**

This Permit encompasses and shall be limited to the project commonly known as *Robert Mondavi Winery Use Permit Minor Modification* located at 7801 State Highway 29, Napa. Part I encompasses the Project Scope and general conditions pertaining to statutory and local code references, project monitoring and the process for any future changes or activities. Part II encompasses the ongoing conditions relevant to the operation of the project. Part III encompasses the conditions relevant to construction and the prerequisites for a Final Certificate of Occupancy. It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and the general public to ensure compliance is achieved.

Where conditions are not applicable or relevant to this project, they shall be noted as “Reserved” and, therefore, have been removed.

When modifying a legally established entitlement related to this project, these conditions are not intended to be retroactive or to have any effect on existing vested rights except where specifically indicated.

PART I

1.0 PROJECT SCOPE

The permit encompasses and shall be limited to:

- 1.1 Approval to modify the existing 3.0 million-gallon per year Mondavi Winery previously approved under Use Permit #U-68283 and subsequent use permit modifications to allow the following:
 - a. Increase floor area from 192,948 sf to 225,144 (an increase of 32,196 sf – 14.3%), including a new ~1,000 sf visitor center, and a new ~9,300 sf Pavilion;
 - b. Construct a new ~35,000 sf canopy with ~3,305 sf of enclosed areas for administrative uses, such as lockers, restroom, and meeting room (the new enclosed floor area is included in the increased floor area above);
 - c. Demolish the existing 10,907 sf south wing and replace with a

reconfigured an approximately 16,660 sf south wing building (the additional floor area is included in the increased floor area above under bullet a.);

- d. Construct three (3) covered tasting terraces, one of the tasting terraces includes a 543 sf tasting building with a prep kitchen for cleaning of glasses and food pairings;
- e. Decrease parking from 362 to 316, along with the relocation and reconfiguration of the employee and visitor parking area;
- f. Modify the wastewater treatment ponds to accommodate construction of the new Pavilion;
- g. Potential installation of new package treatment system, should the proposed outdoor pavilion impact the existing process wastewater pond treatment capacity;
- h. New low water landscaping and hardscape improvements; including a new pollinator garden to provide plantings which will provide food resources for various pollinator species;
- i. Removal of 5.4 acres of existing vineyards. Southern portion of the existing visitor parking lot will become vineyards (approximately 2.0 acres), resulting in an overall net loss of approximately 3.5 acres of grapevines;
- j. Updates to the two (2) existing commercial kitchens (updates only, no expansion);
- k. Designation of new AB2004, onsite consumption areas; and,
- l. A Lot Line Adjustment to combine APNS -066 and -067

- 1.2 Approval to grant an exception to the Napa County Road and Streets Standards (RSS), as detailed in the request prepared by Summit Engineering, Inc., dated October, 2022 (revised plan set 5.12.2023), to allow reductions from the commercial driveway width standard in localized areas, as specified in the request.

There will be no modification to the existing production capacity, employees, number of visitors, marketing events, or hours of operation.

The winery shall be designed in substantial conformance with the submitted site plan, elevation drawings, and other submittal materials and shall comply with all requirements of the Napa County Code (the County Code). It is the responsibility of the permittee to communicate the requirements of these conditions and mitigations (if any) to all designers, contractors, employees, and guests of the winery to ensure compliance is achieved. Any expansion or change in winery use or alternative locations for fire suppression or other types of water tanks shall be approved in accordance with the County Code and may be subject to the permit modification process.

2.0 STATUTORY AND CODE SECTION REFERENCES

All references to statutes and code sections shall refer to their successor as those sections or statutes may be subsequently amended from time to time.

3.0 MONITORING COSTS

All staff costs associated with monitoring compliance with these conditions, previous permit conditions, and project revisions shall be borne by the permittee and/or property owner. Costs associated with conditions of approval and mitigation measures that require monitoring, including investigation of complaints, other than those costs related to investigation of complaints of non-compliance that are determined to be unfounded, shall be charged to the property owner or permittee. Costs shall be as established by resolution of the Board of Supervisors in accordance with the hourly consulting rate established at the time of the monitoring and shall include maintenance of a \$500 deposit for construction compliance monitoring that shall be retained until issuance of a Final Certificate of Occupancy. Violations of conditions of approval or mitigation measures caused by the permittee's contractors, employees, and/or guests are the responsibility of the permittee.

The Planning Commission may implement an audit program if compliance deficiencies are noted. If evidence of a compliance deficiency is found to exist by the Planning Commission at some time in the future, the Planning Commission may institute the program at the applicant's expense (including requiring a deposit of funds in an amount determined by the Commission) as needed until compliance assurance is achieved. The Planning Commission may also use the data, if so warranted, to commence revocation proceedings in accordance with the County Code.

PART II

4.0 OPERATIONAL CHARACTERISTICS OF THE PROJECT

Permittee shall comply with the following during operation of the winery:

4.1 GENERAL PROVISIONS

Consistent with the County Code, tours and tastings and marketing may occur at a winery only where such activities are accessory and "clearly incidental, related, and subordinate to the primary operation of the winery as a production facility."

Tours and tastings (defined below) may include food and wine pairings, where all such food service is provided without charge except to the extent of cost recovery and is incidental to the tasting of wine. Food service may not involve menu options and meal service such that the winery functions as a café or restaurant.

Retail sales of wine shall be permitted as set forth in the County Code.

4.2 TOURS AND TASTINGS/VISITATION **[RESERVED]**

4.2 MARKETING **[RESERVED]**

4.3 ON-PREMISES CONSUMPTION

In accordance with State law and the PBES Director's July 17, 2008 memo, "Assembly Bill 2004 (Evans) & the Sale of Wine for Consumption On-Premises," on-premises consumption of wine produced on-site and purchased from the winery may occur solely within the tasting room. Any and all visitation associated with on-premises consumption shall be subject to the maximum per person weekday and weekend daily tours and tastings visitation limitation and/or applicable limitations of permittee's marketing plan.

4.5 RESIDENCE OR NON-WINERY STRUCTURES **[RESERVED]**

4.6 GRAPE SOURCE **[RESERVED]**

4.7 COMPLIANCE REVIEW **[RESERVED]**

4.8 RENTAL/LEASING

No winery facilities, or portions thereof, including, without limitation, any kitchens, barrel storage areas, or warehousing space, shall be rented, leased, or used by entities other than persons producing and/or storing wine at the winery, such as alternating proprietors and custom producers, except as may be specifically authorized in this Permit or pursuant to the Temporary Events Ordinance (County Code Chapter 5.36).

4.9 GROUND WATER MANAGEMENT – WELLS

The permittee shall be required (at the permittee's expense) to record well monitoring data (specifically, static water level no less than quarterly, and the volume of water no less than monthly). Such data will be provided to the County, if the PBES Director determines that substantial evidence indicates that water usage at the winery is affecting, or would potentially affect, groundwater supplies or nearby wells. If data indicates the need for additional monitoring, and if the applicant is unable to secure monitoring access to neighboring wells, onsite monitoring wells may need to be established to gauge potential impacts on the groundwater resource utilized for the project. Water usage shall be minimized by use of best available control technology and best water management conservation practices.

In order to support the County's groundwater monitoring program, well monitoring data as discussed above will be provided to the County if the Director determines that such data could be useful in supporting the County's groundwater monitoring program. The project well will be made available for inclusion in the groundwater monitoring network if the Director determines that the well could be useful in supporting the program.

In the event that changed circumstances or significant new information provide substantial evidence¹ that the groundwater system referenced in the Use Permit would significantly affect the groundwater basin, the PBES Director shall be authorized to recommend additional reasonable conditions on the permittee, or revocation of this permit, as necessary to meet the requirements of the County Code and to protect public health, safety, and welfare.

4.10 AMPLIFIED MUSIC

There shall be no amplified sound system or amplified music utilized outside of approved, enclosed, winery structure.

4.11 TRAFFIC

To the maximum extent feasible, scheduling of reoccurring vehicle trips to and from the site for employees and deliveries shall not occur during peak travel times (2:45 p.m. to 3:45 p.m. weekdays and during the hours of 2:00 p.m. to 3:00 p.m. weekends). All road improvements on private property required per Engineering Services shall be maintained in good working condition and in accordance with the Napa County Road and Streets Standards.

4.12 PARKING

The location of visitor parking and truck loading zone areas shall be identified along with proposed circulation and traffic control signage (if any).

Parking shall be limited to approved parking spaces only and shall not occur along access or public roads or in other locations except during harvest activities and approved marketing events. In no case shall parking impede emergency vehicle access or public roads.

^[1] Substantial evidence is defined by case law as evidence that is of ponderable legal significance, reasonable in nature, credible and of solid value. The following constitute substantial evidence: facts, reasonable assumptions predicated on facts; and expert opinions supported by facts. Argument, speculation, unsubstantiated opinion or narrative, or clearly inaccurate or erroneous information do not constitute substantial evidence.

4.13 BUILDING DIVISION – USE OR OCCUPANCY CHANGES

Please contact the Building Division with any questions regarding the following:

In accordance with the California Building Code (CBC), no change shall be made in the use of occupancy of an existing building unless the building is made to comply with the requirements of the current CBC for a new building.

4.14 FIRE DEPARTMENT – TEMPORARY STRUCTURES

Please contact the Fire Department with any questions regarding the following:

The permittee and/or designee shall obtain a tent permit from the Fire Department for any temporary structures utilized for authorized marketing events allowed.

4.15 NAPA COUNTY MOSQUITO ABATEMENT PROGRAM [RESERVED]

4.16 GENERAL PROPERTY MAINTENANCE – LIGHTING, LANDSCAPING, PAINTING, OUTDOOR EQUIPMENT STORAGE, AND TRASH ENCLOSURE AREAS

- a. All lighting shall be permanently maintained in accordance with the lighting and building plans approved by the County. Lighting utilized during harvest activities is exempt from this requirement.
- b. All landscaping and outdoor screening, storage, and utility structures shall be permanently maintained in accordance with the landscaping and building plans approved by the County. No stored items shall exceed the height of the screening. Exterior winery equipment shall be maintained so as to not create a noise disturbance or exceed noise thresholds in the County Code.
- c. The colors used for the roof, exterior walls and built landscaping features of the winery shall be limited to earth tones that will blend the facility into the colors of the surrounding site specific vegetation. The permittee shall obtain the written approval of the Planning Division prior to any change in paint colors that differs from the approved building permit. Highly reflective surfaces are prohibited.
- d. Designated trash enclosure areas shall be made available and properly maintained for intended use.

4.17 NO TEMPORARY SIGNS

Temporary off-site signage, such as “A-Frame” signs, is prohibited.

4.18 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES – OPERATIONAL CONDITIONS

The attached project conditions of approval include all of the following County Divisions, Departments and Agencies’ requirements. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:

- a. Engineering Services operational conditions as stated in their Memorandum dated November 29, 2022.
- b. Road and Street Standards operational conditions as stated in the Memorandum from Engineering Services dated November 29, 2022.
- c. Fire Department operational conditions as stated in their Inter-Office Memo dated May 5, 2022.
- d. Environmental Health operational conditions as stated in their Memorandum dated November 22, 2022
- e. City of Napa Utilities Department as stated in their Memorandum dated April 26, 2023.
- f. Road and Street Standard Exception Request Conditions of Approval as detailed in the Engineering Road and Street Standards Exception Evaluation Memo dated November 29, 2022.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify this permit.

4.19 OPERATIONAL MITIGATION MEASURES

- a. Applicant shall apply for a Lot Line Adjustment (LLA) to combine APNs: 027-280-067 and 027-280-066. Construction of the Mayacamas Pavillion shall not commence until the LLA has been recorded.

4.20 OTHER CONDITIONS APPLICABLE TO THE OPERATIONAL ASPECTS OF THE PROJECT

- a. The permittee shall comply with all previous conditions of approval not modified under this Minor Modification Permit. To the extent there is a conflict between a previous condition of approval and these conditions, the more stringent condition shall control.

4.21 PREVIOUS CONDITIONS [RESERVED]

PART III

5.0 PREREQUISITE FOR ISSUANCE OF PERMITS

5.1 PAYMENT OF FEES

No building, grading or sewage disposal permits shall be issued or other permits authorized until all accrued planning permit processing fees have been paid in full. This includes all fees associated with plan check and building inspections, associated development impact fees established by County Ordinance or Resolution, and the Napa County Affordable Housing Mitigation Fee in accordance with County Code.

6.0 GRADING/DEMOLITION/ENVIRONMENTAL/BUILDING PERMIT/OTHER PERMIT PREREQUISITES

Permittee shall comply with the following with the submittal of a grading, demolition, environmental, building and/or other applicable permit applications.

6.1 COMPLIANCE WITH OTHER DEPARTMENTS AND AGENCIES – PLAN REVIEW, CONSTRUCTION AND PREOCCUPANCY CONDITIONS

The attached project conditions of approval include all of the following County Divisions, Departments and Agencies' requirements. The permittee shall comply with all applicable building codes, zoning standards, and requirements of County Divisions, Departments and Agencies at the time of submittal and may be subject to change. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:

- a. Engineering Services plan review, construction, and preoccupancy conditions as stated in their Memorandum dated November 29, 2022.

- b. Road and Street Standards plan review, construction, and preoccupancy conditions as stated in the Memorandum from Engineering Services dated November 29, 2022.
- c. Fire Department plan review, construction, and preoccupancy conditions as stated in their Inter-Office Memo dated May 5, 2022.
- d. Environmental Health plan review, construction, and preoccupancy as stated in their Memorandum dated November 22, 2022.
- e. City of Napa Utilities Department as stated in their Memorandum dated April 26, 2023.

The determination as to whether or not the permittee has substantially complied with the requirements of other County Divisions, Departments and Agencies shall be determined by those County Divisions, Departments or Agencies. The inability to substantially comply with the requirements of other County Divisions, Departments and Agencies may result in the need to modify the permit.

6.2 BUILDING DIVISION – GENERAL CONDITIONS

- a. A building permit shall be obtained for all construction occurring on the site not otherwise exempt by the California Building Code (CBC) or any State or local amendment adopted thereto.
- b. If there are any existing structures and/or buildings on the property that will need to be removed to accommodate construction activities, a separate demolition permit shall be required from the Building Division prior to removal. The permittee shall provide a “J” number from the Bay Area Air Quality Management District (BAAQMD) at the time the permittee applies for a demolition permit if applicable.
- b. All areas of newly designed and newly constructed buildings, facilities and on-site improvements must comply with the CBC accessibility requirements, as well as, American with Disability Act requirements when applicable. When alterations or additions are made to existing buildings or facilities, an accessible path of travel to the specific area of alteration or addition shall be provided as required per the CBC.

6.3 LIGHTING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed lighting plan showing the location and specifications for all lighting fixtures to be installed on the property shall

be submitted for Planning Division review and approval. All lighting shall comply with the CBC.

- b. All exterior lighting, including landscape lighting, shall be shielded and directed downward, shall be located as low to the ground as possible, shall be the minimum necessary for security, safety, or operations; on timers; and shall incorporate the use of motion detection sensors to the greatest extent practical. All lighting shall be shielded or placed such that it does not shine directly on adjacent properties or impact vehicles on adjacent streets. No flood-lighting or sodium lighting of the building is permitted, including architectural highlighting and spotting. Low-level lighting shall be utilized in parking areas as opposed to elevated high-intensity light standards. Lighting utilized during harvest activities is exempt from this requirement.

6.4 LANDSCAPING – PLAN SUBMITTAL

- a. Two (2) copies of a detailed final landscaping and irrigation plan, including parking details, shall be submitted with the building permit application package for the Planning Division's review and approval prior to the issuance of any building permit associated with this Use Permit. The plan shall be prepared pursuant to the County's Water Efficient Landscape Ordinance (Chapter 18.118 of the County Code) requirements in effect at the time of building permit application submittal, as applicable, and shall indicate the names and locations of all plant materials to be used along with their method of maintenance.
- b. Plant materials shall be purchased locally when practical, and to the greatest extent possible, the plant materials shall be the same native plants found in Napa County. The Agricultural Commissioner's office shall be notified of all impending deliveries of live plants with points of origin outside of Napa County.
- c. No trees greater than 6" diameter at breast height shall be removed, except for those identified on the submitted site plan. Any Oak trees removed as a result of the project shall be replaced at a 2:1 ratio and shown on the landscaping plans for the Planning Division's review and approval. Trees to be retained shall be protected during construction by fencing securely installed at the outer most dripline of the tree or trees. Such fencing shall be maintained throughout the duration of the work undertaken in connection with the winery development/construction. In no case shall construction material, debris or vehicles be stored in the fenced tree protection area.

- d. Evergreen screening shall be installed between the industrial portions of the operation (e.g. tanks, crushing area, parking area, etc.) and any off-site residence from which these areas can be viewed.

6.5 COLORS

The colors used for the roof, exterior walls and built landscaping features of the winery shall be limited to earth tones that will blend the facility into the colors of the surrounding site specific vegetation. The permittee shall obtain the written approval of the Planning Division in conjunction with building permit review and/or prior to painting the building. Highly reflective surfaces are prohibited.

6.6 OUTDOOR STORAGE/SCREENING/UTILITIES

- a. Details of outdoor storage areas and structures shall be included on the building and landscape plans. All outdoor storage of winery equipment shall be screened from the view of residences of adjacent properties by a visual barrier consisting of fencing or dense landscaping. No stored item shall exceed the height of the screening. Water and fuel tanks, and similar structures, shall be screened to the extent practical so as to not be visible from public roads and adjacent parcels.
- b. New utility lines required for this project that are visible from any designated scenic transportation route (see Community Character Element of the General Plan and the County Code) shall be placed underground or in an equivalent manner be made virtually invisible from the subject roadway.
- c. Exterior winery equipment shall be located, enclosed or muffled so as not to exceed noise thresholds in the County Code.

6.7 TRASH ENCLOSURES **[RESERVED]**

6.8 ADDRESSING **[RESERVED]**

6.9 HISTORIC RESOURCES **[RESERVED]**

6.10 DEMOLITION ACTIVITIES **[RESERVED]**

6.11 VIEWSHED – EXECUTION OF USE RESTRICTION **[RESERVED]**

6.12 PERMIT PREREQUISITE MITIGATION MEASURES **[RESERVED]**

6.13 PARCEL CHANGE REQUIREMENTS

- a. Applicant shall apply for a Lot Line Adjustment (LLA) to combine APNs: 027-280-067 and 027-280-066. Construction of the Mayacamas Pavillion shall not commence until the LLA has been recorded.

6.14 FINAL MAPS **[RESERVED]**

6.15 OTHER CONDITIONS APPLICABLE TO THE PROJECT PERMITTING PROCESS **[RESERVED]**

7.0 PROJECT CONSTRUCTION

Permittee shall comply with the following during project construction:

7.1 SITE IMPROVEMENTS

Please contact Engineering Services with any questions regarding the following:

a. GRADING AND SPOILS

All grading and spoils generated by construction of the project facilities shall be managed per Engineering Services direction. Alternative locations for spoils are permitted, subject to review and approval by the PBES Director, when such alternative locations do not change the overall concept, and do not conflict with any environmental mitigation measures or conditions of approval.

b. DUST CONTROL

Water and/or dust palliatives shall be applied in sufficient quantities during grading and other ground disturbing activities on-site to minimize the amount of dust produced. Outdoor construction activities shall not occur when average wind speeds exceed 20 mph.

c. AIR QUALITY

During all construction activities the permittee shall comply with the most current version of BAAQMD Basic Construction Best Management Practices including but not limited to the following, as applicable:

1. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. The BAAQMD's phone number shall also be visible.

2. Water all exposed surfaces (e.g., parking areas, staging areas, soil piles, grading areas, and unpaved access roads) two times per day.
3. Cover all haul trucks transporting soil, sand, or other loose material off-site.
4. Remove all visible mud or dirt traced onto adjacent public roads by using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
5. All vehicle speeds on unpaved roads shall be limited to 15 mph.
6. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
7. Idling times shall be minimized either by shutting off equipment when not in use or reducing the maximum idling time to five (5) minutes (as required by State Regulations). Clear signage shall be provided for construction workers at all access points.
8. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. Any portable engines greater than 50 horsepower or associated equipment operated within the BAAQMD's jurisdiction shall have either a California Air Resources Board (ARB) registration Portable Equipment Registration Program (PERP) or a BAAQMD permit. For general information regarding the certified visible emissions evaluator or the registration program, visit the ARB FAQ http://www.arb.ca.gov/portable/perp/perpfact_04-16-15.pdf or the PERP website <http://www.arb.ca.gov/portable/portable.htm>.

d. STORM WATER CONTROL

The permittee shall comply with all construction and post-construction storm water pollution prevention protocols as required by the County Engineering Services Division, and the California Regional Water Quality Control Board.

7.2 ARCHEOLOGICAL FINDING

In the event that archeological artifacts or human remains are discovered during construction, work shall cease in a 50-foot radius surrounding the area of discovery. The permittee shall contact the PBES Department for further guidance, which will likely include the requirement for the permittee to hire a qualified professional to analyze the artifacts encountered and to determine if additional measures are required.

If human remains are encountered during project development, all work in the vicinity must be halted, and the Napa County Coroner informed, so that the Coroner can determine if an investigation of the cause of death is required, and if the remains are of Native American origin. If the remains are of Native American origin, the permittee shall comply with the requirements of Public Resources Code Section 5097.98.

7.3 CONSTRUCTION NOISE

Construction noise shall be minimized to the greatest extent practical and feasible under State and local safety laws, consistent with construction noise levels permitted by the General Plan Community Character Element and the County Noise Ordinance. Construction equipment muffling and hours of operation shall be in compliance with the County Code. Equipment shall be shut down when not in use. Construction equipment shall normally be staged, loaded, and unloaded on the project site, if at all practicable. If project terrain or access road conditions require construction equipment to be staged, loaded, or unloaded off the project site (such as on a neighboring road or at the base of a hill), such activities shall only occur daily between the hours of 8 am to 5 pm.

7.4 CONSTRUCTION MITIGATION MEASURES [RESERVED]

7.5 OTHER CONSTRUCTION CONDITIONS APPLICABLE TO THE PROJECT PROPOSAL [RESERVED]

8.0 TEMPORARY CERTIFICATE OF OCCUPANCY - PREREQUISITES

A Temporary Certificate of Occupancy (TCO) may be granted pursuant to the County Code to allow the commencement of production activities prior to completion of all project improvements. Permittee shall comply with the following before a TCO is granted:

8.1 TEMPORARY OCCUPANCY

All life and safety conditions shall be addressed prior to issuance of a TCO by the County Building Official. TCOs shall not be used for the occupancy of hospitality buildings and shall not exceed the maximum time allowed by the County Code which is 180 days. Departments and/or agencies with jurisdiction over the project

are authorized as part of the TCO process to require a security deposit or other financial instrument to guarantee completion of unfinished improvements.

9.0 FINAL CERTIFICATE OF OCCUPANCY – PREREQUISITES

Permittee shall comply with the following before a Final Certificate of Occupancy is granted by the County Building Official, which upon granting, authorizes all use permit activities to commence.

9.1 FINAL OCCUPANCY

All project improvements, including compliance with applicable codes, conditions, and requirements of all Departments and Agencies with jurisdiction over the project, shall be completed.

9.2 SIGNS

Detailed plans, including elevations, materials, color, and lighting for any winery identification or directional signs shall be submitted to the Department for administrative review and approval prior to installation. Administrative review and approval is not required if signage to be installed is consistent with signage plans submitted, reviewed and approved as part of this permit approval. All signs shall meet the design standards as set forth in the County Code. At least one legible sign shall be placed at the property entrance with the words “Tours and Tasting by Prior Appointment Only” to inform the public of same. Any off-site signs allowed shall be in conformance with the County Code.

9.3 GATES/ENTRY STRUCTURES

Any gate installed at the winery entrance shall be reviewed by the PBES Department and the Fire Department to assure that the design allows large vehicles, such as motorhomes, to turn around if the gate is closed without backing into the public roadway, and that fire suppression access is available at all times. If the gate is part of an entry structure an additional permit shall be required pursuant to the County Code and in accordance with the Napa County Roads and Street Standards. A separate entry structure permit is not required if the entry structure is consistent with entry structure plans submitted, reviewed, and approved as part of this permit approval.

9.4 LANDSCAPING

Landscaping shall be installed in accordance with the approved landscaping plan

9.5 ROAD OR TRAFFIC IMPROVEMENT REQUIREMENTS [RESERVED]

9.6 DEMOLITION ACTIVITIES [RESERVED]

9.7 GRADING SPOILS

All spoils shall be removed in accordance with the approved grading permit and/or building permit

9.8 MITIGATION MEASURES APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY **[RESERVED]**

9.9 OTHER CONDITIONS APPLICABLE PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY

The permittee shall comply with all applicable building codes, zoning standards, and requirements of County Divisions, Departments and Agencies at the time of submittal and may be subject to change. Without limiting the force of those other requirements which may be applicable, the following are incorporated by reference as enumerated herein:

- a. Any applicable Engineering Services final occupancy or post-occupancy conditions as stated in their Memorandum dated November 29, 2022.
- b. Any applicable Road and Street Standards final occupancy or post-occupancy conditions as stated in the Memorandum from Engineering Services dated November 29, 2022.
- c. Any applicable Fire Department plan review final occupancy or post-occupancy conditions as stated in their Inter-Office Memo dated May 5, 2022.
- d. Any applicable Environmental Health final occupancy or post-occupancy conditions as stated in their Memorandum dated November 22, 2022.
- e. Any applicable City of Napa Utilities Department final occupancy or post-occupancy conditions as stated in their Memorandum dated April 26, 2023.



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Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

David Morrison
Director

MEMORANDUM

To: Dana Morrison, Planner III	From: Maureen Bown, <i>MB</i> Environmental Health Specialist
Date: November 22, 2022	Re: Robert Mondavi 7801 State Highway 29, Napa CA APN: 027-280-067-000 P22-00106- Minor Modification

This Division has reviewed an application for winery renovations as described and depicted in application materials. This Division has no objection to approval of the application with the following conditions of approval:

Prior to issuance of building permits:

1. The applicant shall maintain regular monitoring of the wastewater treatment system as required by this Division which includes submitting quarterly monitoring reports. An annual operating permit is required for the wastewater system.
2. An annual alternative sewage treatment system monitoring permit must be obtained for the alternative sewage treatment system / Pressure Distribution sewage disposal system. The septic system monitoring, must be fully complied with.
3. Complete plans and specifications for the food preparation, service area(s), storage area(s) and the employee restrooms must be submitted for review and approval by this Division prior to issuance of any building permits for said areas. A modification to the annual food permit may be required.
4. Plans for the proposed changes to the existing process wastewater ponds, as described in the revised Wastewater Feasibility Study dated September 27, 2022, shall be designed by a licensed Civil Engineer, and be accompanied by complete design criteria based upon local conditions with plan check fees for review and approval. No building clearance for any structure that generates process wastewater, to be disposed of by this system, will be approved until such plans are approved by this Division. If the capacity of process wastewater pond is insufficient, additional storage will be required.

5. Permits to alter or construct the process wastewater treatment system must be secured from this Division prior to approval of a building clearance (or issuance of a building permit) for any structure that generates wastewater to be disposed of by these systems.
6. All proposed changes must comply with the General Winery Order and Napa County. General Waste Discharge Requirements for Winery Process Water were adopted by the State Water Quality Control Board in January 2021.
7. The applicant shall enroll for coverage under the General Waste Discharge Requirements for Process Water by submitting the Notice of Intent, Technical Report and Application to the San Francisco Regional Water Quality Control Board or Napa County.
8. Pollinator Garden: The use of the process waste dispersal field shall be restricted to activities which will not contribute to compaction of the soil with consequent reduction in soil aeration.

During construction and/prior to granting final occupancy:

9. During the construction, demolition, or renovation period of the project the applicant must use the franchised garbage hauler for the service area in which they are located for all wastes generated during project development, unless applicant transports their own waste. If the applicant transports their own waste, they must use the appropriate landfill or solid waste transfer station for the service area in which the project is located.
10. The use of the wastewater absorption field/drain field area shall be restricted to activities which will not contribute to compaction of the soil with consequent reduction in soil aeration. Activities which must be avoided in the area of system include equipment storage, parking, etc.

Upon final occupancy and thereafter:

11. Within 30 (thirty) days of initiation of the use or change of tenants, an updated Hazardous Materials Business shall be submitted to <http://cers.calepa.ca.gov/> and approved by this Division.
12. All solid waste shall be stored and disposed of in a manner to prevent nuisances or health threats from insects, vectors, and odors.
13. Adequate area must be provided for collection of recyclables. The applicant must work with the franchised garbage hauler for the service area in which they are located, in order to determine the area and the access needed for the collection site. The garbage and recycling enclosure must meet the enclosure requirements provided during use permit process and be included on the building permit submittal. The designated area shall remain available and be properly maintained for its intended use.



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Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

Brian Bordona
Interim Director

MEMORANDUM

To:	Dana Morrison, Planning Division	From:	Daniel Hornett, Engineering Division
Date:	November 29, 2022	Re:	Robert Mondavi Winery Minor Mod Evaluation of Napa County Road and Street Standards Exception Request 7801 State Highway 29, Napa, CA 94558 P22-00106 APN: 027-280-067-000

Road Modification Request

The Engineering Division received a request (the request) by Summit Engineering, Inc., dated October 14, 2022 for an exception to the commercial road design criteria as outlined in the latest edition of the Napa County Road and Street Standards (RSS), Revised January 1, 2021 {Resolution 2020-133} as part of an application for a Minor Modification to the use permit for a redesign of the winery site. Access to the subject property is off of California State Highway 29. The applicant is seeking an exception to the horizontal clear width along an access road to the Mayacamas tasting pavilion (Pavilion). All other portions of the proposed roadway will be improved to minimum design standards for commercial access, per the 2021 RSS. The nature and constraints for the road exception are as follows:

EXCEPTION #1 ROADWAY WIDTH EXCEPTION:

The RSS requires that commercial driveways shall be constructed to provide 22 feet of travel way and unobstructed vertical clearance of 13 feet, 6 inches along its entire length. The travel way shall consist of two 10-foot wide all-weather surfaced travel lanes with 1 foot of drivable shoulder on each side. This project proposes an access road to the Mayacamas pavilion which shall be 14' wide for approximately 2000' with three turnouts spaced between 484' to 575' apart. The access road is constrained by existing established vineyards. The applicant is proposing to install signage which restricts public access to the access road, so the access road to the Pavillion shall only be used by shuttles, employees, and emergency vehicles to ensure the proposed design will minimize the potential for emergency response delay.

Engineering Division Evaluation and Recommendation:

Engineering Division staff has reviewed the Request noted above with the Fire Marshal's office, and has made the following determination:

- The exception request has provided the necessary documentation as required by RSS Section 3. The request is in connection with an application for a use permit minor modification, and has received the appropriate environmental review from the Planning Division, therefore the approving body shall be the Zoning Administrator.
- The project site is located entirely within the Local Responsibility Area (LRA) according to the Cal Fire Fire Hazard Severity Zones Map. The property is also not designated as being in a Very High Fire Hazard Severity Zone (VHFHSZ).
- In accordance with Section 5 and Section 3 of the RSS, the Request has demonstrated that the project as proposed will provide measures which provide safe access for emergency apparatus, safe civilian evacuation, and the avoidance of delays in emergency response based on the demands of the property.

The determinations stated above are based on existing site conditions and previous approvals. The Engineering Division supports the approval of the exception request as proposed with the following conditions that are in addition to any and all conditions previously placed on the project as part of the discretionary application. All roadway improvements shall be completed prior to execution of any new entitlement or final on all new development proposed:

1. The roadway shall be constructed and maintained to the approved condition prior to issuance of permanent or temporary certificate of occupancy for the new winery facilities and throughout the life of the use approved by this action (winery Use Permit minor modification).
2. Applicant shall improve the existing roadway consistent with the approved plans titled Improvement Plans for Robert Mondavi Winery dated October 13, 2022.
3. Any/all future road design changes proposed by the property owner or changes in use of this roadway beyond the existing use shown on the above noted request shall require re-evaluation of the roadway to comply with the requirements of adopted codes, standards and regulations and may require additional conditions.

EXHIBIT A

ROBERT MONDAVI WINERY
ROAD EXCEPTION REQUEST AND EXHIBIT

October 14, 2022

David Morrison
Napa County PBES
1195 Third Street
Napa, CA 94559

RE: Robert Mondavi Winery – Road Exception Request
 Project Number 2021201

Dear Mr. Morrison:

Constellation Brands intends to renovate the Robert Mondavi Winery facility, which consists of production and hospitality improvements. The Pavilion, located on the western portion of the property, is one of the proposed improvements and is intended to provide a unique tasting experience.

The Pavilion is proposed to be located within the footprint of the existing process wastewater ponds, which are currently accessed by a combination of an asphalt and vineyard gravel road ranging in width of approximately 14 ft to 20 ft. The existing asphalt access road currently meets Napa County Road and Street Standards (NCRSS) up to the west parking lot.

Due to existing vineyard site constraints, the portion of the access road from the west parking area to the turn to access the Pavilion is proposed to remain as 14 ft wide and a total of three turnouts are proposed spaced apart between 484 ft to 575 ft, per sheet UP1. The property line is approximately in the center of the existing vineyard road. To provide the 14 ft access road and required turnouts, either the existing access road will be shifted so that the required access is provided entirely on the subject property, or an easement will be provided at the time of building permit application for the Pavilion. A Napa County fire truck turnaround is proposed at the Pavilion and a hydrant and sprinkler system will be designed to protect the Pavilion against fire. See enclosed sheets UP1 and UP3.6.

On September 22, 2022, Summit Engineering met with the Napa County Fire and Engineering Divisions to review the proposed access to the Pavilion and County staff requested that an exception request to the NCRSS be submitted for reduced road width for a commercial driveway (section 13 in the NCRSS) along the 2,000 ft length of road between the two vineyard blocks. The property falls within the Local Responsibility Area (LRA) and the NRCSS indicates that exceptions may be granted by the County if the design “provides safe access for emergency apparatus, safe civilian evacuation, and the avoidance of delays in emergency response based on the demands of the property as determined by the County Engineer and Fire Marshall”.

During the site meeting, it was discussed that the addition of turnouts and fire protection infrastructure to protect the Pavilion would provide safe fire access and safe civilian evacuation. Since the access road

to the Pavilion will not be used for public traffic but only shuttles, employees, and emergency vehicles will utilize this road, the proposed design will minimize the potential for emergency response delay.

Please review and contact us if you have any questions or require additional information.

Sincerely,

Tania Schram, P.E.
Associate

cc: Jason Downs, Napa County Fire Department
Daniel Hornett, Napa County Engineering Division

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ABBREVIATIONS:

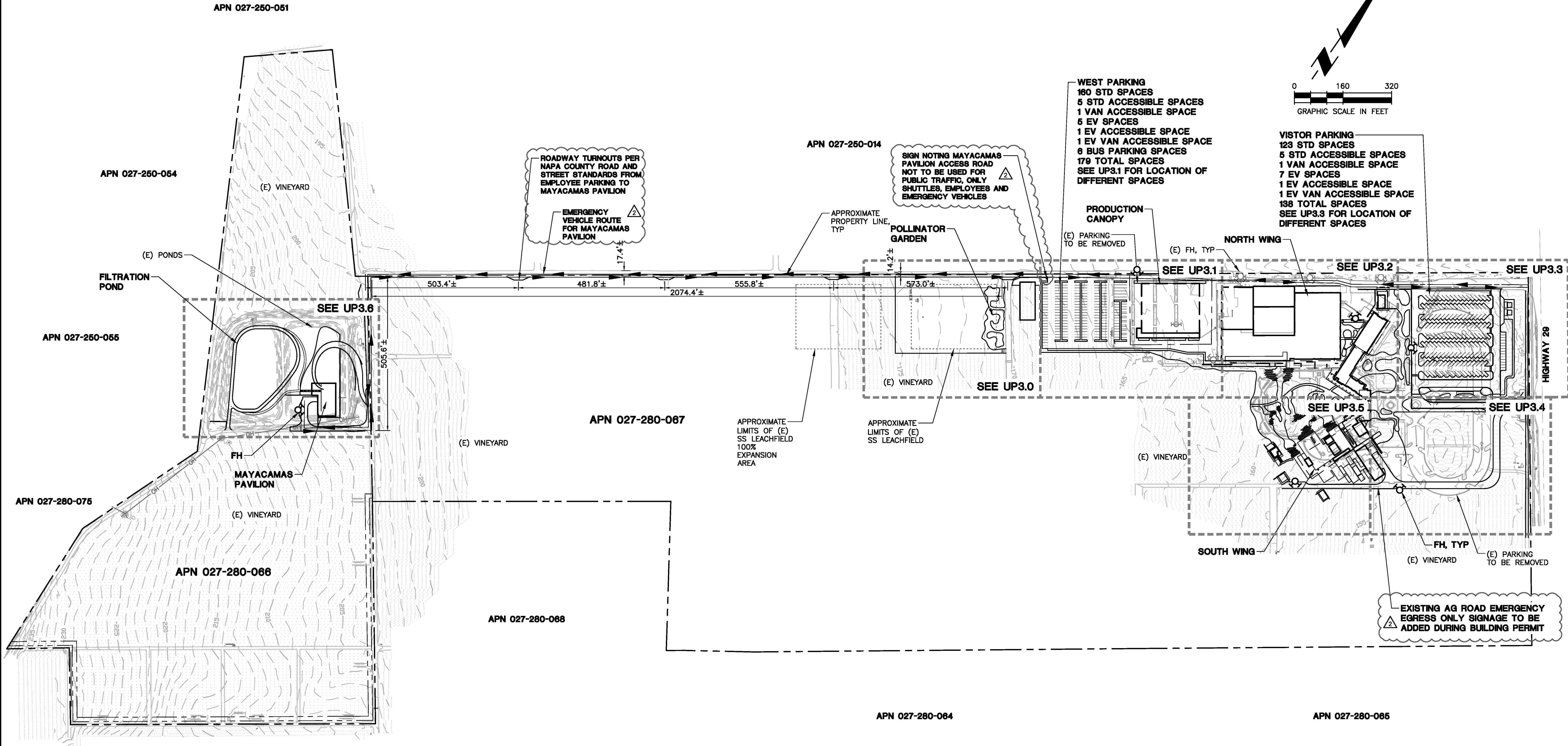
AC	ASPHALT CONCRETE	FH	FIRE HYDRANT
AD	AREA DRAIN	GB	GRADE BREAK
APN	ASSESSOR'S PARCEL NUMBER	LIDF	LOW IMPACT DEVELOPMENT FACILITY
BASMAA	BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION	LL	LOWER LEVEL
BFE	BASE FLOOD ELEVATION	PD	PLANTER DRAIN
BLDG	BLDG	PIP	PROTECT IN PLACE
CL	CENTERLINE	PIV	POST INDICATOR VALVE
CONC	CONCRETE	PW	PROCESS WASTE
DI	DRAIN INLET	SB	SETBACK
DS	DOWNSPOUT	SD	STORM DRAIN
DG	DECOMPOSED GRANITE	SS	SANITARY SEWAGE
(E)	EXISTING	STD	STANDARD
EV	ELECTRIC VEHICLE	TD	TRENCH DRAIN
FDC	FIRE DEPARTMENT CONNECTION	TI	TRAFFIC INDEX
FF	FINISH FLOOR	TYP	TYPICAL
		UL	UPPER LEVEL

NOTES:

1. STORMWATER RUNOFF FROM THE WASTEWATER SYSTEM ENCLOSURE ROOF SHALL BE DIRECTED TO THE VINEYARDS. VINEYARD SHALL PROVIDE INFILTRATION AND TREATMENT.
2. THE EXISTING DRIVEWAY AND PARKING MEET THE 2021 NAPA COUNTY ROAD AND STREET STANDARDS FOR SLOPE SURFACING, WIDTH AND RADII.
3. EXCESS SOILS WILL BE OFF-HAULED TO AN APPROVED SITE.
4. FIRE HYDRANTS SHALL BE LOCATED THROUGHOUT THE SITE IN A LOCATION ACCESSIBLE BY A FIRE TRUCK AND CONFORMING TO NAPA COUNTY CODE.
5. PERVIOUS DRIVEWAY AND PARKING AREA SHALL MEET CRITERIA FOR PERVIOUS PAVEMENT PER BASMAA POST-CONSTRUCTION MANUAL SECTION 4-6.
6. PROPOSED SELF-RETAINING AREAS SHALL MEET CRITERIA PER BASMAA POST-CONSTRUCTION MANUAL.
7. ACCESS DRIVE STRUCTURAL PAVEMENT SECTION SHALL BE BASED ON A MINIMUM TI OF 6.0 & APPROPRIATE "R" VALUE. PROPOSED PAVEMENT SECTIONS PROVIDED BY THE GEOTECHNICAL ENGINEER SHALL MEET OR EXCEED NAPA COUTNY ROAD AND STREET STANDARDS.
8. DRIVEWAYS SHALL BE DESIGNED TO HAVE A VERTICAL CLEARANCE OF 13.5' MIN

PARKING TABLE	
NUMBER	TYPE
283	STANDARD SPACE
-	COMPACT SPACE
10	STANDARD ACCESSIBLE SPACE
2	VAN ACCESSIBLE SPACE
12	EV SPACE
2	EV ACCESSIBLE SPACE
2	EV VAN ACCESSIBLE SPACE
6	BUS PARKING SPACES
317	TOTAL SPACES

OWNER:
CONSTELLATION BRANDS
U.S. OPERATIONS, INC
DBA: ROBERT MONDAVI WINERY
7801 ST. HELENA HIGHWAY
OAKVILLE, CA 94562
APPLICANT:
SUMMIT ENGINEERING, INC
463 AVIATION BLVD STE 200
SANTA ROSA, CA 95403



ROBERT MONDAVI WINERY
7801 ST. HELENA HIGHWAY
OAKVILLE, CA 94562
APN 027-280-066 & 067

ROBERT MONDAVI USE PERMIT
OVERALL SITE PLAN

2022-03-21	PERMIT SUBMITTAL
2022-07-19	PERMIT RESUBMITTAL
2022-09-27	PERMIT RESUBMITTAL

DATE: 2022-10-13
JOB NO: 2021201
SCALE: AS SHOWN
DRAWN: BG
CHECKED: DR
SHEET

UP1
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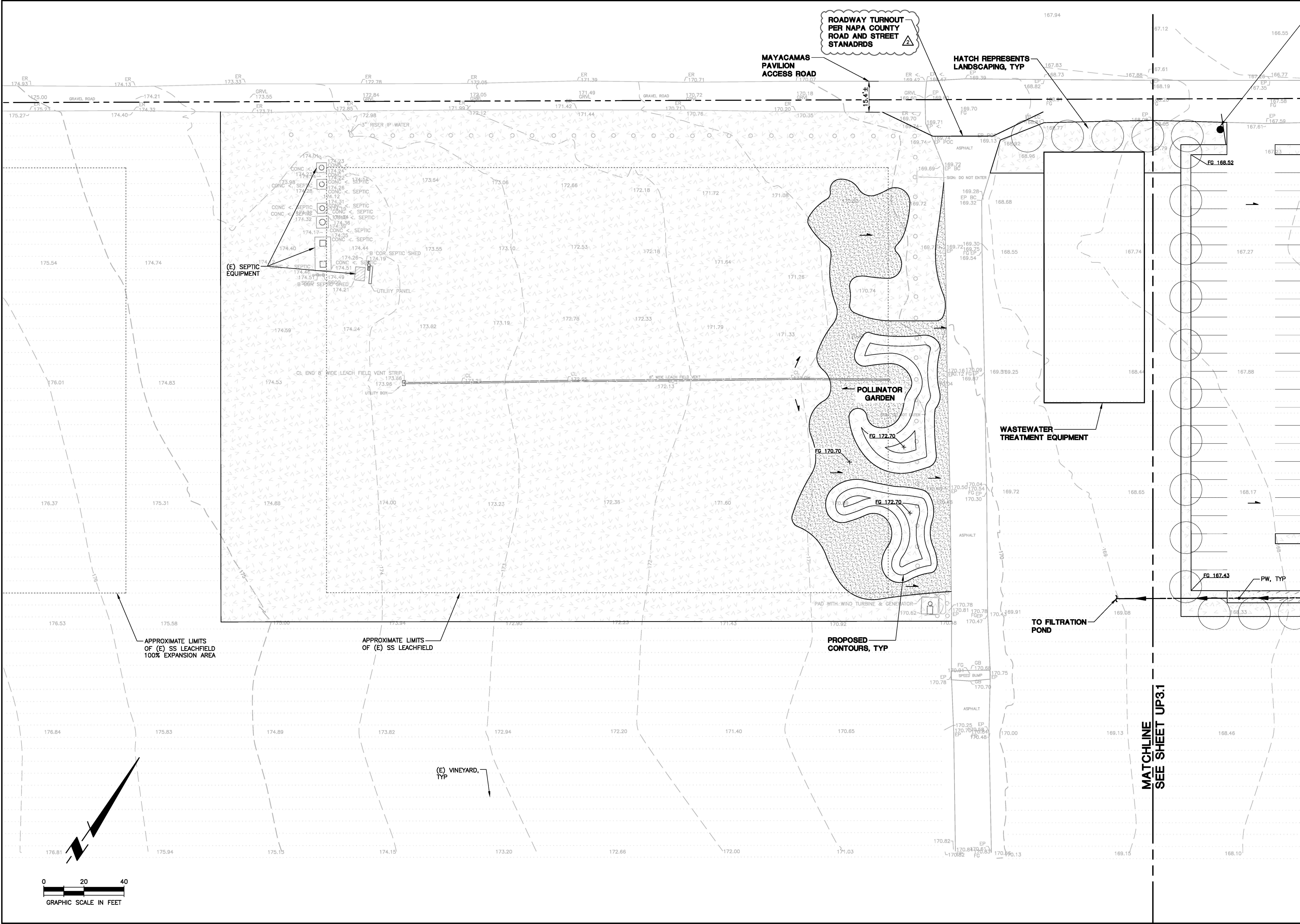
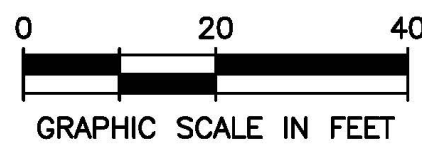
This detailed site plan illustrates the layout of a winery facility. The plan includes several key areas and features:

- Buildings and Structures:**
 - Production Area:** The central core of the facility, including a **Production Canopy** and an **Enclosed Production Area**.
 - North Wing:** Located to the north of the main production area.
 - Warehouse:** Situated east of the production area.
 - Barrel Storage:** Located south of the production area.
 - Winery Retail:** A small structure adjacent to the barrel storage.
 - Tasting Room:** Located south of the barrel storage.
 - Tasting:** An outdoor area adjacent to the tasting room.
 - South Wing:** Located to the south of the tasting room.
- Parking and Access:**
 - West Parking:** Located to the west of the production area.
 - Visitor Parking:** A large parking area to the east of the warehouse.
 - Emergency Vehicle Route:** A designated path for emergency vehicles, shown as a dashed line.
 - Fire Access, 1-Way Loop:** A looped access road for fire trucks.
 - Guest Reception:** A designated area for guest reception.
- Setbacks and Regulations:**
 - 505' Setback from Highway 29:** A large setback area to the south of the facility.
 - Existing Ag Road Emergency Egress Only Signage:** A note indicating that signage should be added during the building permit process.
 - Fire Truck Turnaround:** A designated area for fire trucks to turn around, located near the west parking.
 - Fire Truck Staging Area:** A designated area for fire trucks to stage, located near the fire truck turnaround.
- Other Features:**
 - Approximate Property Line, TYP:** A dashed line indicating the property boundary.
 - Approximate 100' Well Setback:** A circular area indicating a setback for a well.
 - Approximate 100' Well:** A circular area indicating the location of a well.
 - Approximate 100' Well Setback:** A circular area indicating a setback for a well.

The plan also includes a north arrow, a graphic scale in feet (0, 50, 100), and various dimensions for buildings and setbacks.



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OAKVILLE, CA 94502
APN 027-280-066 & 067

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	2022-03-21 PERMIT SUBMITTAL
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	2022-09-27 PERMIT RESUBMITTAL

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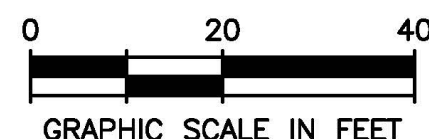
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3 OF 13

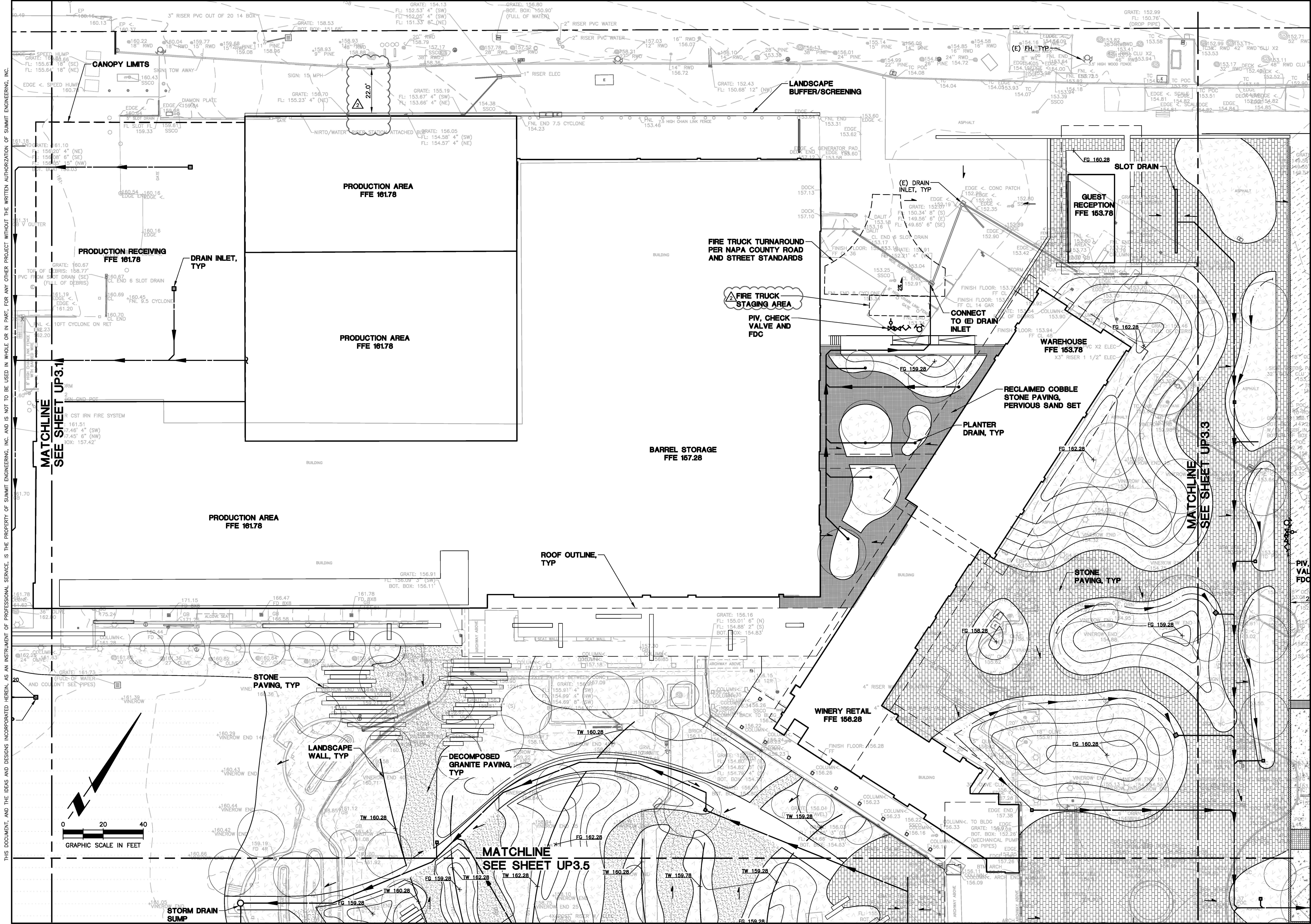
PRELIMINARY GRADING & DRAINAGE PLAN

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MATCHLINE
SEE SHEET UP3.1

MATCHLINE
SEE SHEET UP3.3

MATCHLINE
SEE SHEET UP3.5

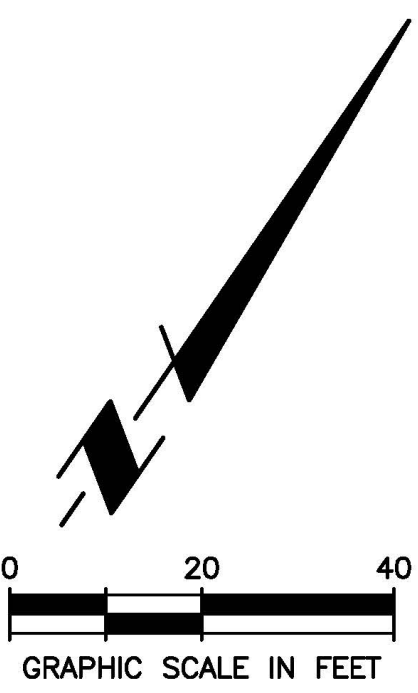
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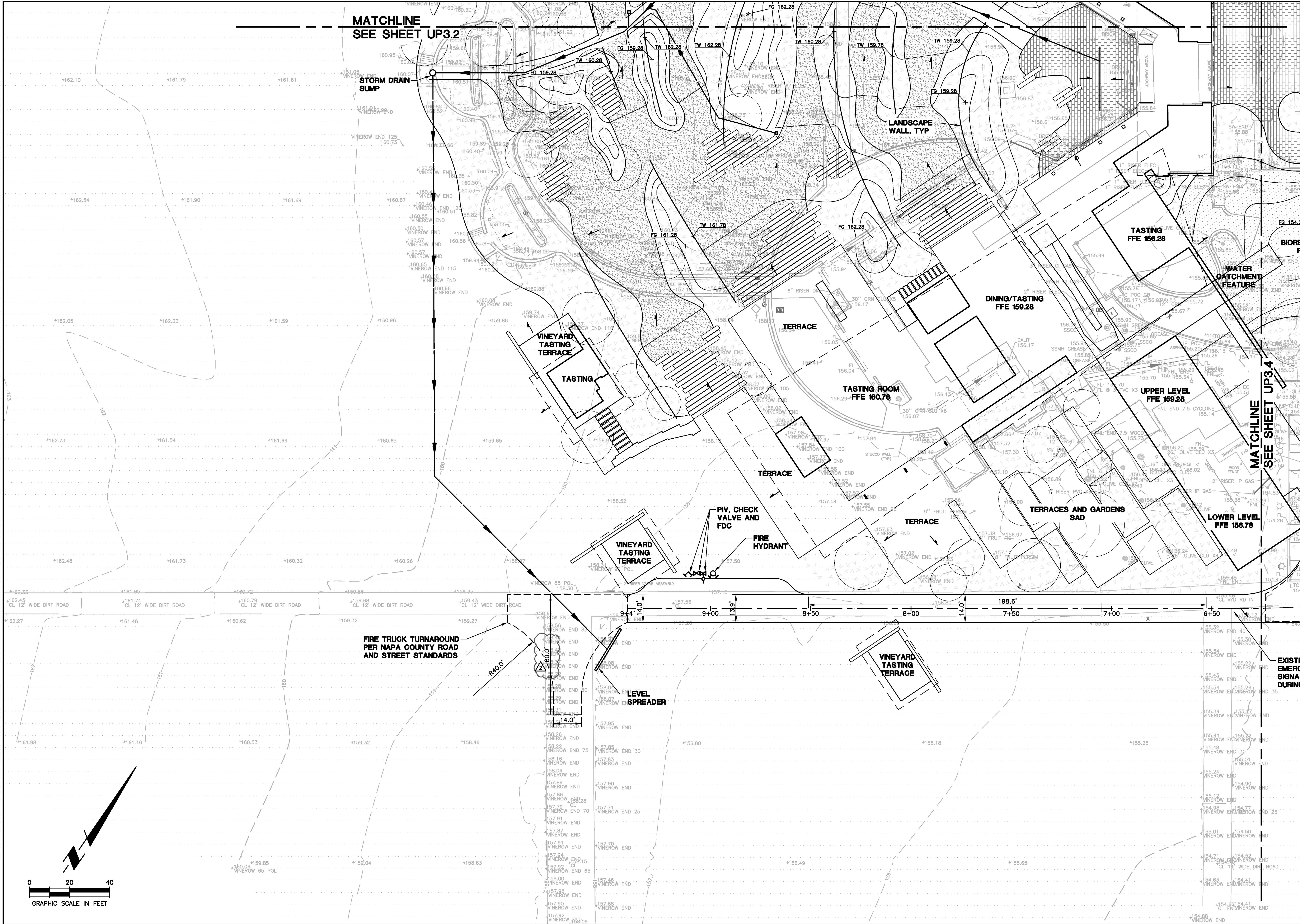
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PRELIMINARY GRADING & DRAINAGE PLAN

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2	2022-09-27 PERMIT RESUBMITTAL

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7 OF 1




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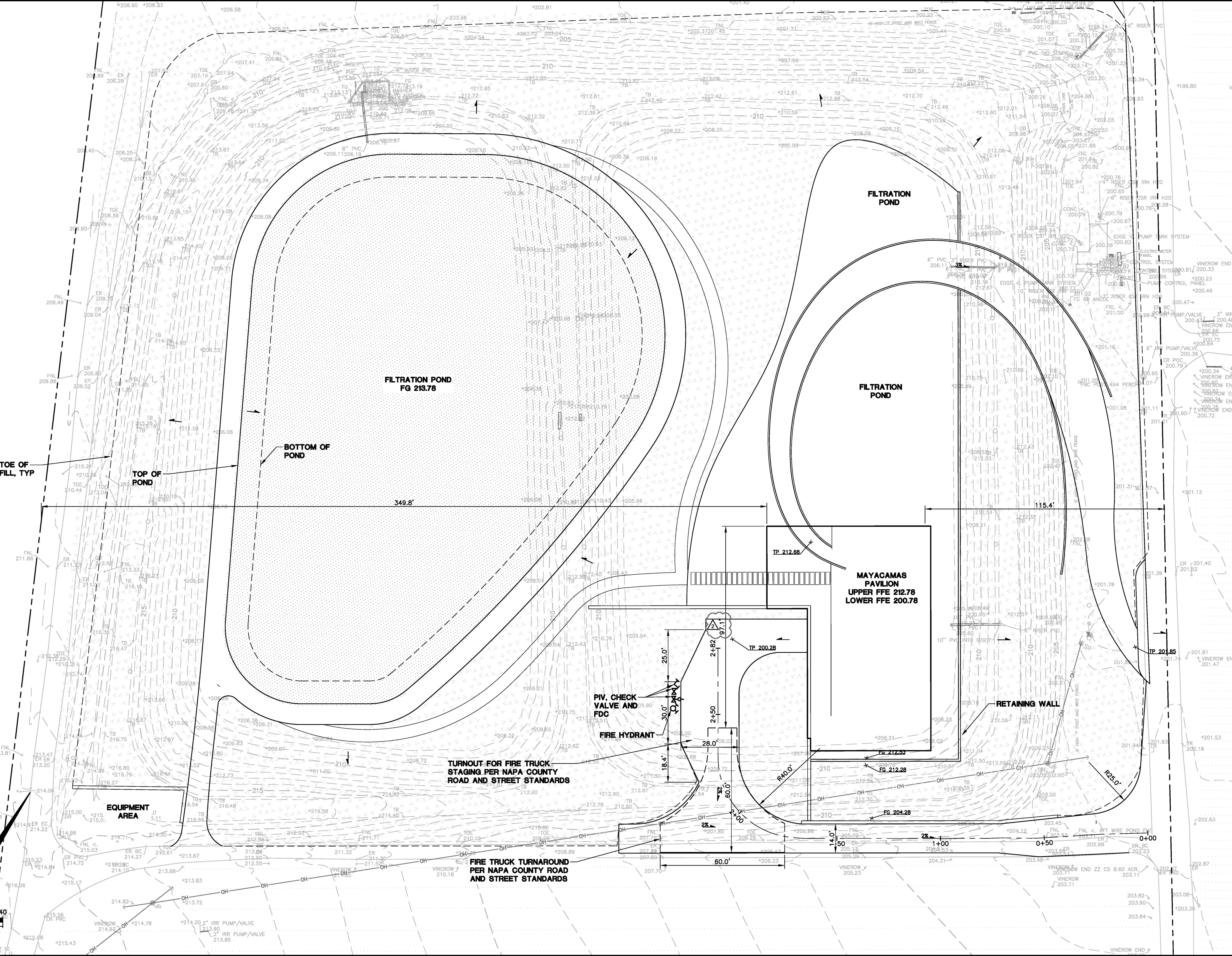
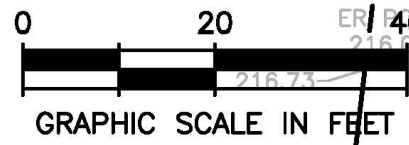
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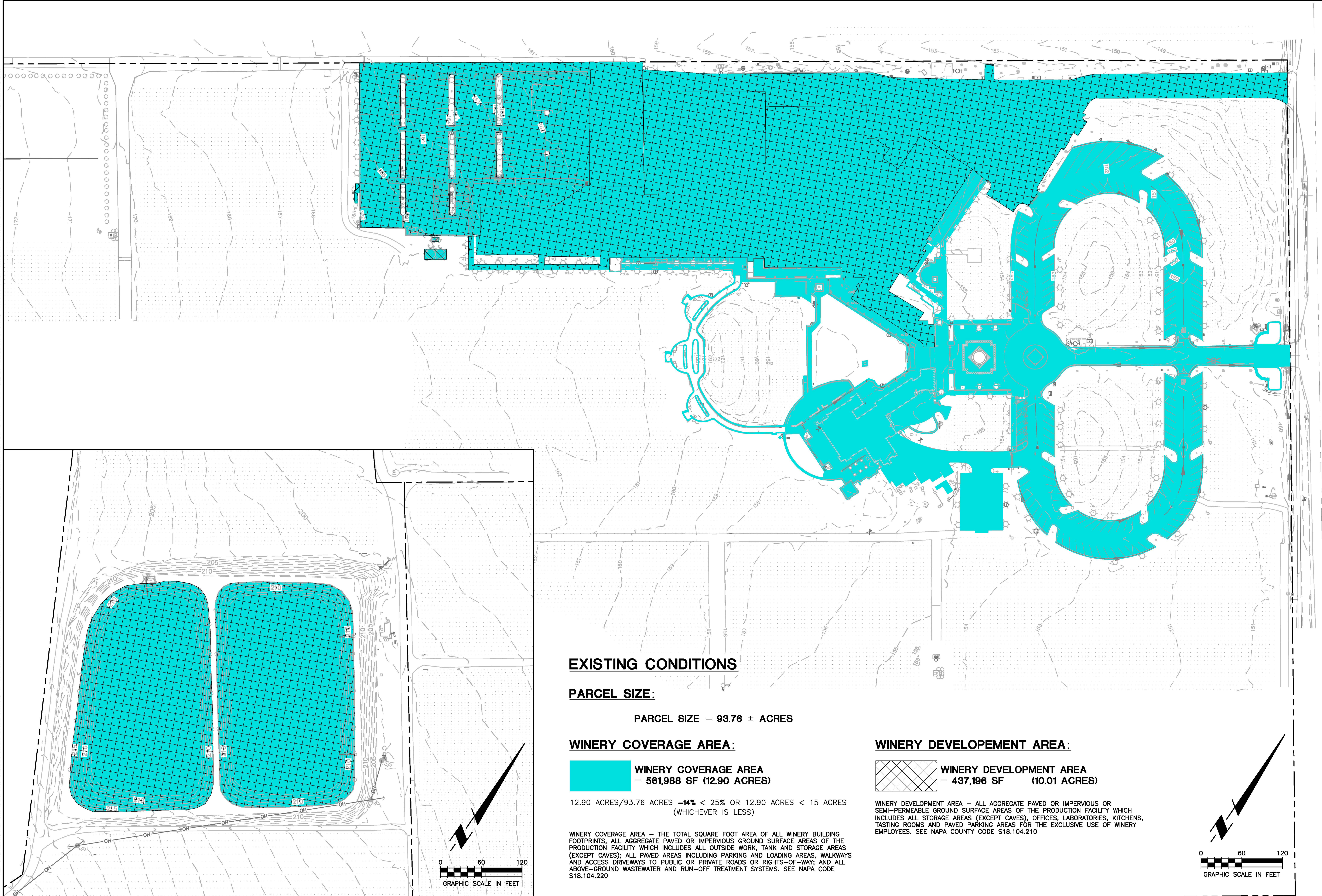
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POND SITE PLAN
SCALE: 1"=60'

1

WINERY SITE PLAN
SCALE: 1"=60'

2

EXISTING CONDITIONS

PARCEL SIZE:

PARCEL SIZE = 93.76 ± ACRES

WINERY COVERAGE AREA:

WINERY COVERAGE AREA
= 561,988 SF (12.90 ACRES)

12.90 ACRES/93.76 ACRES = 14% < 25% OR 12.90 ACRES < 15 ACRES
(WHICHEVER IS LESS)

WINERY COVERAGE AREA - THE TOTAL SQUARE FOOT AREA OF ALL WINERY BUILDING FOOTPRINTS, ALL AGGREGATE PAVED OR IMPERVIOUS GROUND SURFACE AREAS OF THE PRODUCTION FACILITY WHICH INCLUDES ALL OUTSIDE WORK, TANK AND STORAGE AREAS (EXCEPT CAVES); ALL PAVED AREAS INCLUDING PARKING AND LOADING AREAS, WALKWAYS AND ACCESS DRIVEWAYS TO PUBLIC OR PRIVATE ROADS OR RIGHTS-OF-WAY; AND ALL ABOVE-GROUND WASTEWATER AND RUN-OFF TREATMENT SYSTEMS. SEE NAPA CODE S18.104.220

WINERY DEVELOPEMENT AREA:

WINERY DEVELOPEMENT AREA
= 437,196 SF (10.01 ACRES)

WINERY DEVELOPEMENT AREA - ALL AGGREGATE PAVED OR IMPERVIOUS OR SEMI-PERMEABLE GROUND SURFACE AREAS OF THE PRODUCTION FACILITY WHICH INCLUDES ALL STORAGE AREAS (EXCEPT CAVES), OFFICES, LABORATORIES, KITCHENS, TASTING ROOMS AND PAVED PARKING AREAS FOR THE EXCLUSIVE USE OF WINERY EMPLOYEES. SEE NAPA COUNTY CODE S18.104.210

ROBERT MONDAVI USE PERMIT

WINERY COVERAGE AND DEVELOPMENT
AREAS - EXISTING CONDITIONS

2022-03-21
PERMIT SUBMITTAL
2022-07-19
PERMIT RESUBMITTAL
2022-09-27
PERMIT RESUBMITTAL

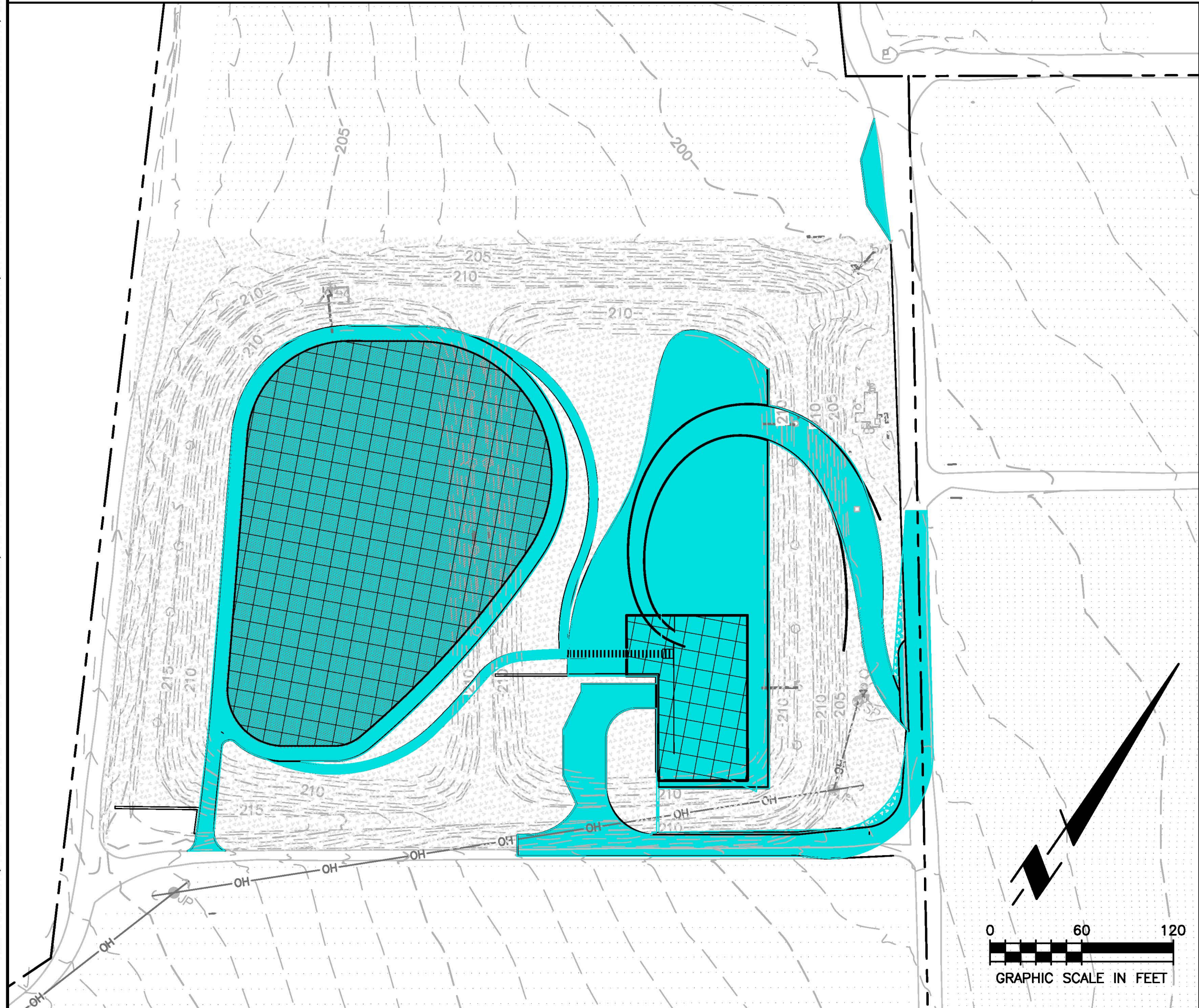
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10 OF 13

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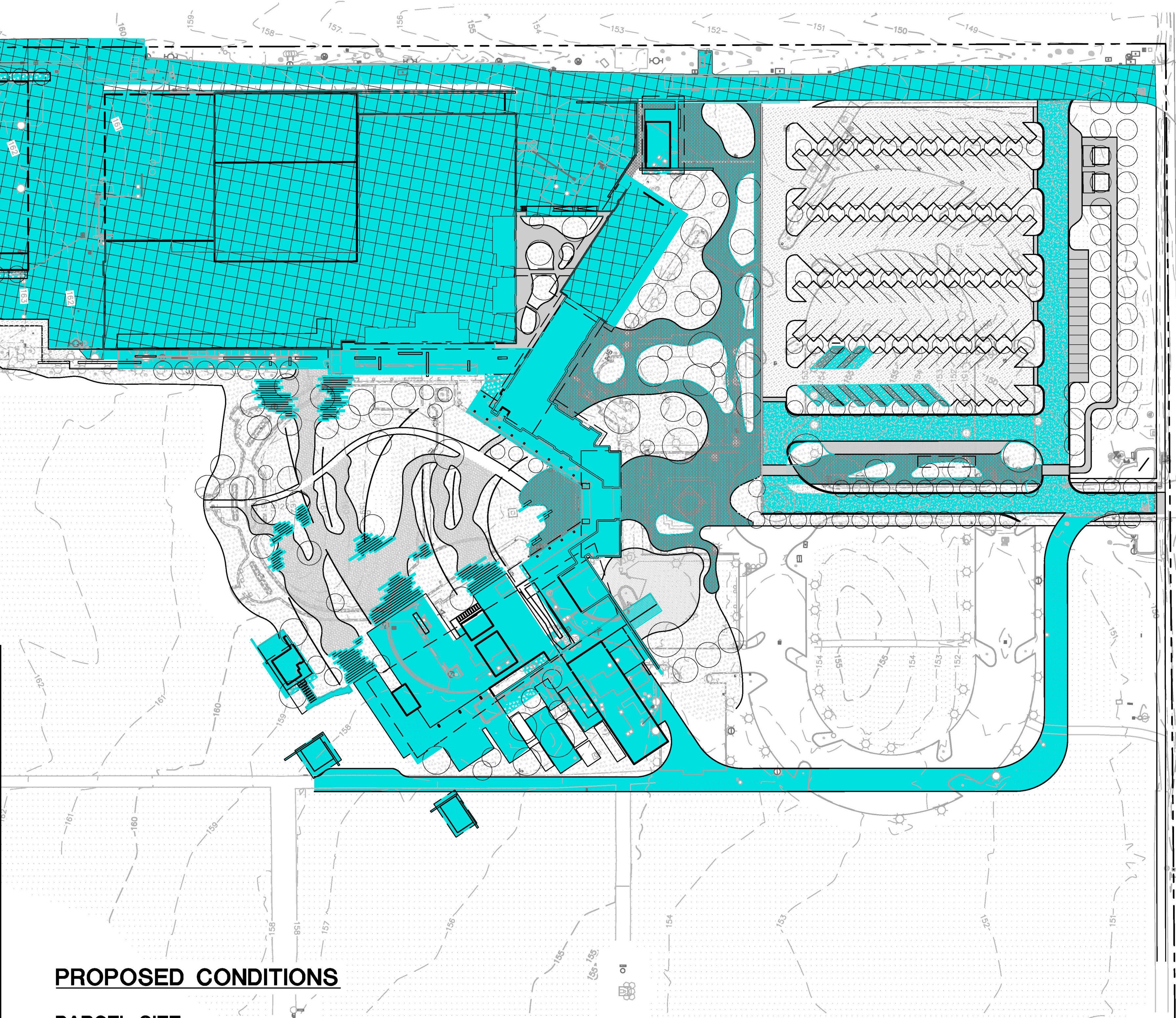
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POND SITE PLAN
SCALE: 1"=60'

1



PROPOSED CONDITIONS

PARCEL SIZE:

PARCEL SIZE = 93.76 ± ACRES

WINERY COVERAGE AREA:

WINERY COVERAGE AREA
= 576,318 SF (13.23 ACRES)

13.23 ACRES/93.76 ACRES = **15% < 25% OR 13.23 ACRES < 15 ACRES**
(WHICHEVER IS LESS)

WINERY COVERAGE AREA – THE TOTAL SQUARE FOOT AREA OF ALL WINERY BUILDING FOOTPRINTS, ALL AGGREGATE PAVED OR IMPERVIOUS GROUND SURFACE AREAS OF THE PRODUCTION FACILITY WHICH INCLUDES ALL OUTSIDE WORK, TANK AND STORAGE AREAS (EXCEPT CAVES); ALL PAVED AREAS INCLUDING PARKING AND LOADING AREAS, WALKWAYS AND ACCESS DRIVEWAYS TO PUBLIC OR PRIVATE ROADS OR RIGHTS-OF-WAY; AND ALL ABOVE-GROUND WASTEWATER AND RUN-OFF TREATMENT SYSTEMS. SEE NAPA CODE S18.104.220

WINERY DEVELOPEMENT AREA:

WINERY DEVELOPEMENT AREA
= 390,546 SF (8.97 ACRES)

WINERY DEVELOPEMENT AREA – ALL AGGREGATE PAVED OR IMPERVIOUS OR SEMI-PERMEABLE GROUND SURFACE AREAS OF THE PRODUCTION FACILITY WHICH INCLUDES ALL STORAGE AREAS (EXCEPT CAVES), OFFICES, LABORATORIES, KITCHENS, TASTING ROOMS AND PAVED PARKING AREAS FOR THE EXCLUSIVE USE OF WINERY EMPLOYEES. SEE NAPA COUNTY CODE S18.104.210

WINERY SITE PLAN
SCALE: 1"=60'

2

ROBERT MONDAVI USE PERMIT

WINERY COVERAGE AND DEVELOPMENT
AREAS - PROPOSED CONDITIONS

2022-03-21	PERMIT SUBMITTAL
2022-07-19	PERMIT RESUBMITTAL
2022-09-27	PERMIT RESUBMITTAL

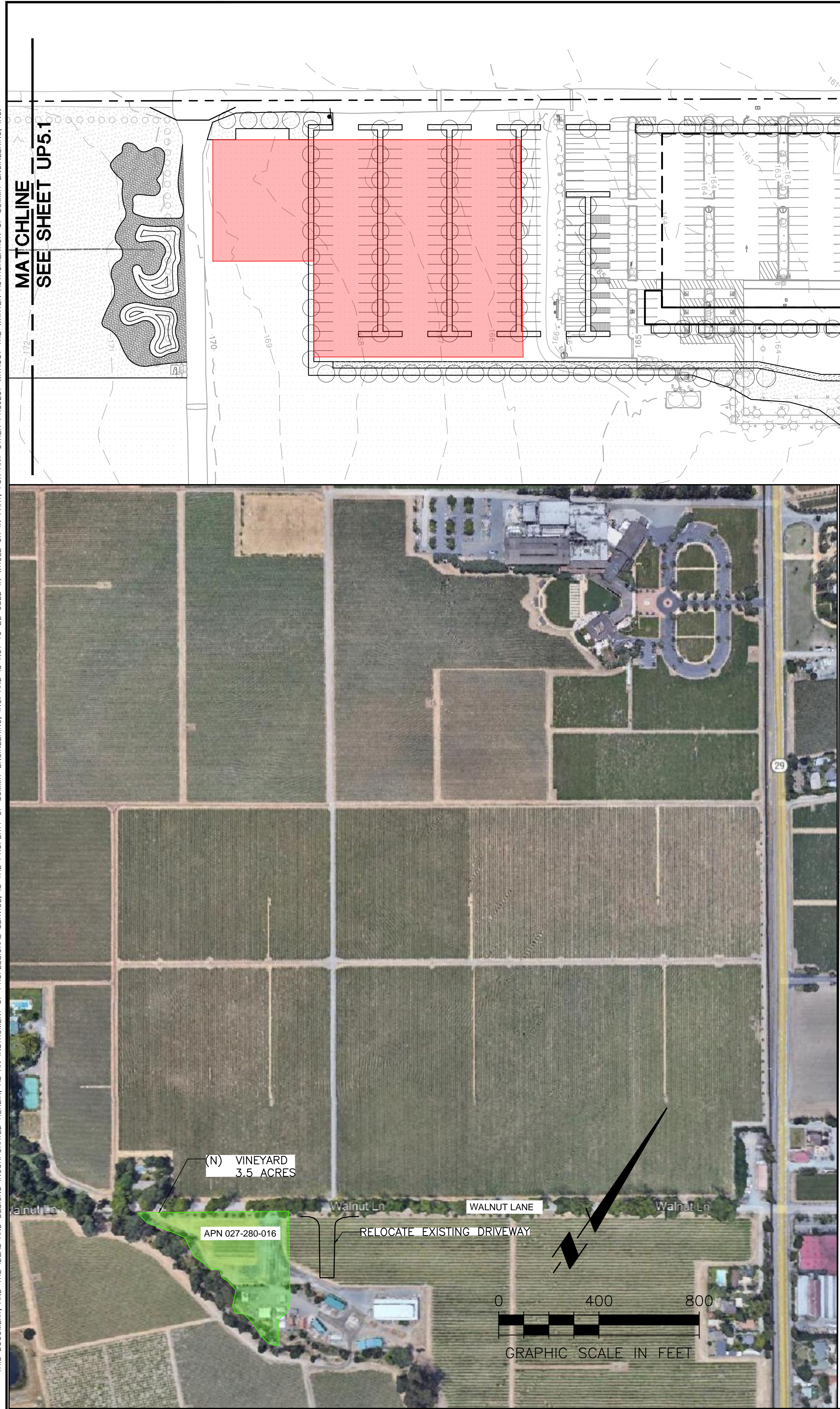
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11 OF 13

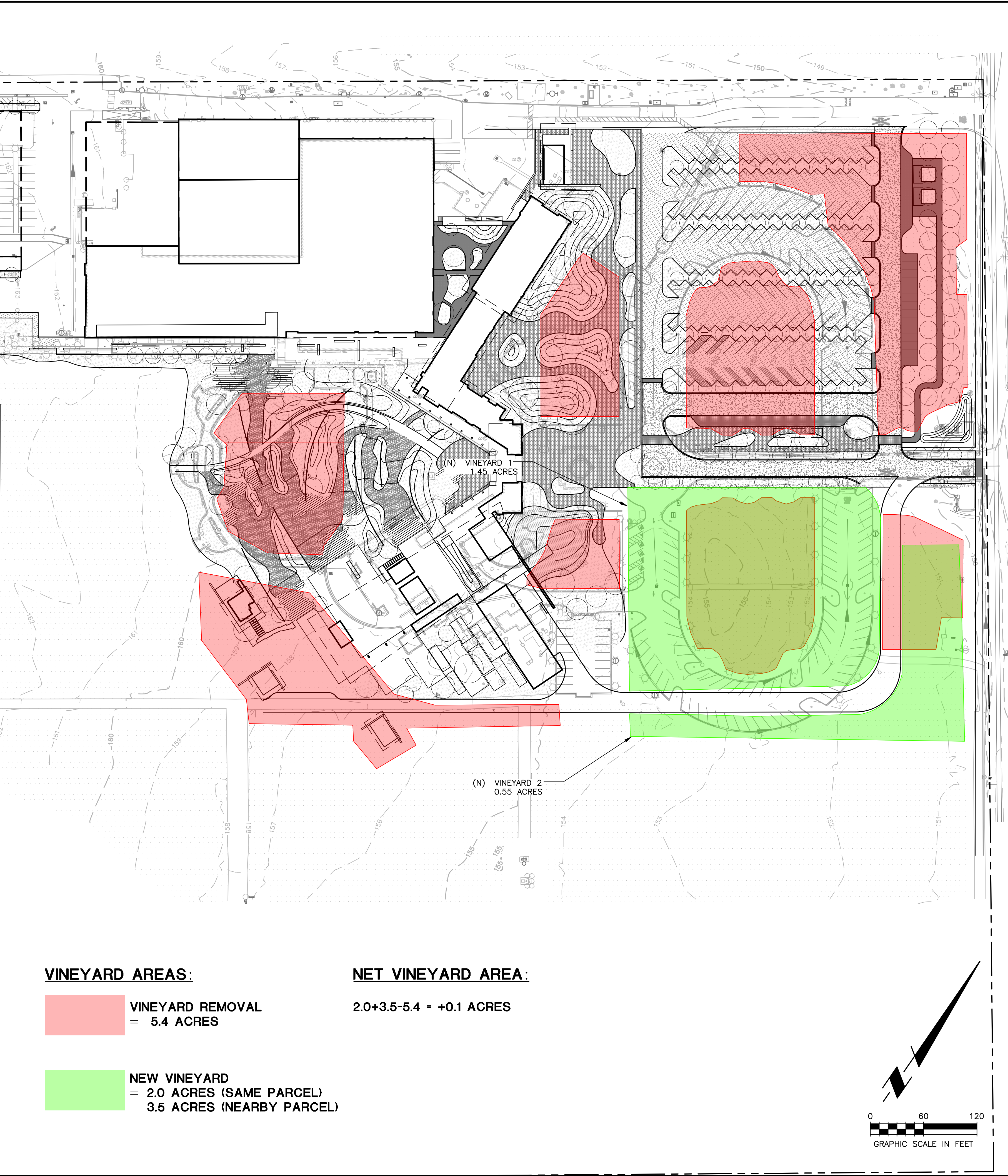
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NEARBY PARCEL SITE PLAN
SCALE: 1"=256'
1




VINEYARD AREAS:

VINEYARD REMOVAL
= 5.4 ACRES

NEW VINEYARD
= 2.0 ACRES (SAME PARCEL)
3.5 ACRES (NEARBY PARCEL)

NET VINEYARD AREA:
 $2.0+3.5-5.4 = +0.1 \text{ ACRES}$

WINERY SITE PLAN
SCALE: 1"=60'
2

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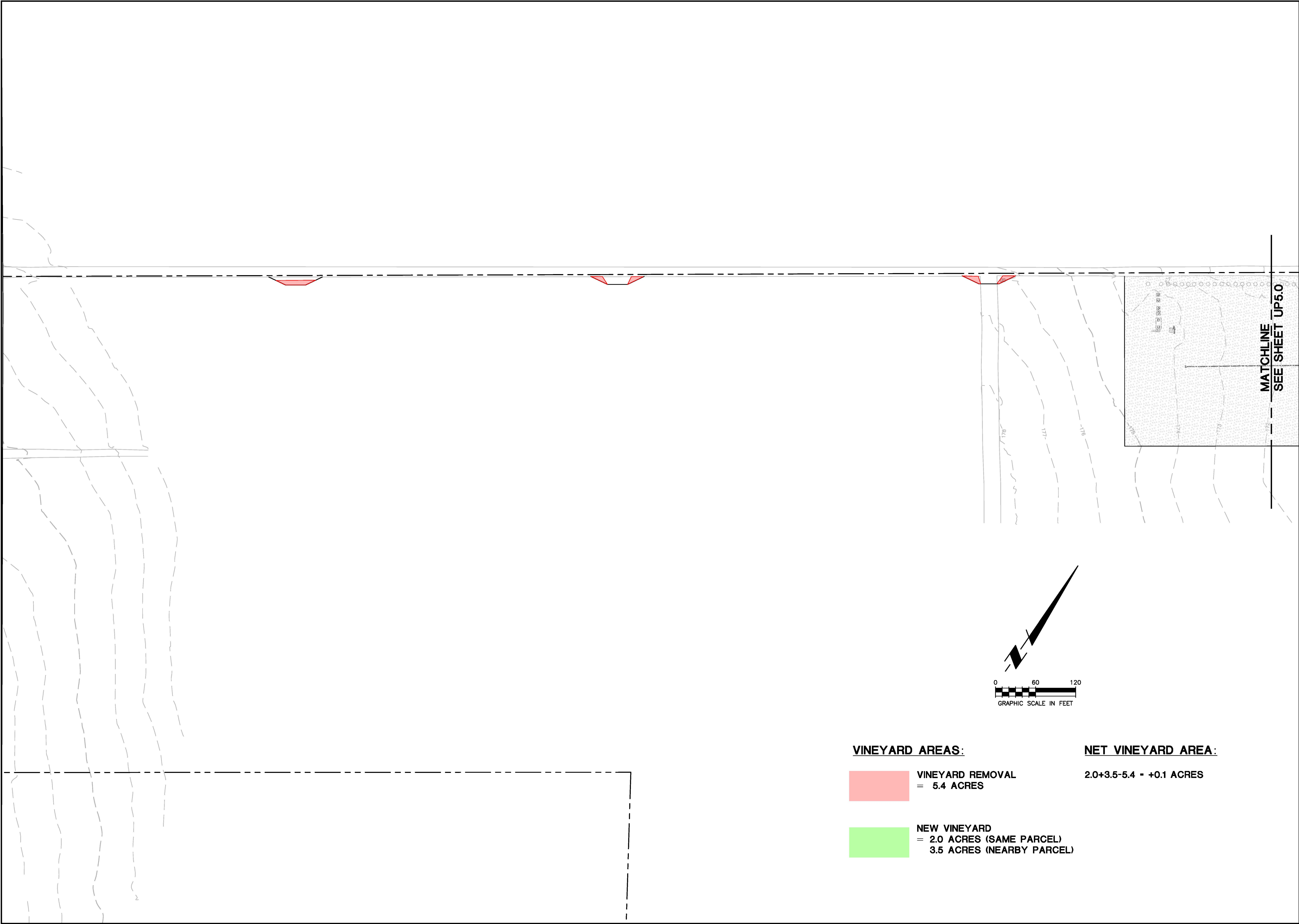
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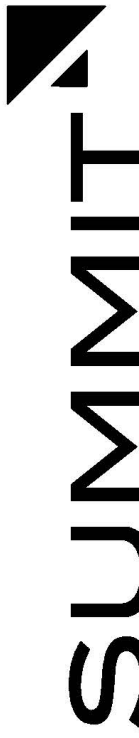
ROBERT MONDAVI USE PERMIT
VINEYARD AREAS

2022-03-21 PERMIT SUBMITTAL
2022-07-19 PERMIT RESUBMITTAL
2022-09-27 PERMIT RESUBMITTAL

DATE: 2022-10-06
JOB NO: 2021201
SCALE: AS SHOWN
DRAWN: BG
CHECKED: DR
SHEET **UP5.0**
12 OF 14

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Engineering, Inc
463 Aviation Blvd., Suite 200 • Santa Rosa, CA 95403
707-527-0775 • www.summit-sr.com

ROBERT MONDAVI WINERY
7801 ST. HELENA HIGHWAY
OAKVILLE, CA 94562
APN 027-280-066

ROBERT MONDAVI USE PERMIT

VINEYARD AREAS

	2022-03-21 PERMIT SUBMITTAL
⚠	2022-07-19 PERMIT RESUBMITTAL
⚠	2022-09-27 PERMIT RESUBMITTAL

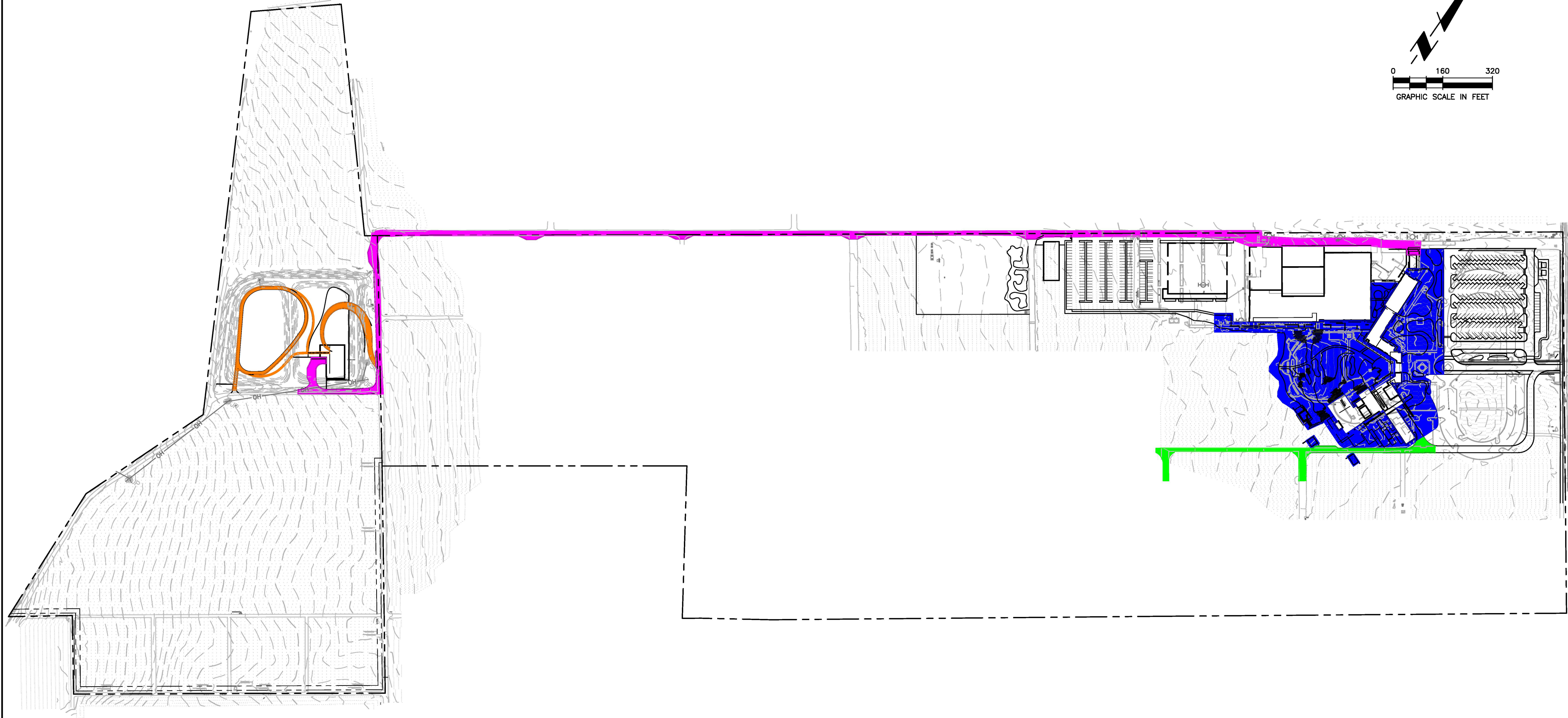
DATE: 2022-10-06
JOB NO: 2021201
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13 OF 14

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LEGEND


- MIXED USES (OUTDOOR CONSUMPTION/PICNIC AREA, AND CURATED STAFF-LED HOSPITALITY EXPERIENCES INCLUDING TOURS, TASTING, EVENTS, AND SPECIALTY ACTIVITIES). ADA AND EMERGENCY ACCESS INCORPORATED INTO DESIGN.**
- OCCASIONAL USE FOR CURATED STAFF-LED HOSPITALITY EXPERIENCES INCLUDING TOURS, TASTING, EVENTS, AND SPECIALTY ACTIVITIES PROVIDING VINE-TO-GLASS EDUCATION AND GUEST IMMERSION IN ONSITE AGRICULTURE, VITICULTURE, WINEMAKING, WINES, AND WINERY HERITAGE. ACCESS PROVIDED TO GUESTS VIA ADA-COMPLIANT MODES OF TRANSPORTATION; EMERGENCY ACCESS INCORPORATED INTO DESIGN.**
- USED FOR TRAFFIC CIRCULATION (GUESTS SHUTTLED BETWEEN LOCATIONS ONSITE MAY HAVE WINE). GUESTS ARE SHUTTLED IN ADA-COMPLIANT MODES OF TRANSPORTATION. EMERGENCY ACCESS INCORPORATED INTO DESIGN.**
- MIXED USES (OUTDOOR CONSUMPTION/PICNIC AREA, AND CURATED STAFF-LED HOSPITALITY EXPERIENCES INCLUDING TOURS, TASTING, EVENTS, AND SPECIALTY ACTIVITIES). ACCESSIBILITY INCORPORATED INTO DESIGN.**

**SUMMIT**
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707-527-0775 • www.summit-sr.com

ROBERT MONDAVI WINERY
7801 ST. HELENA HIGHWAY
OAKVILLE, CA 94562
APN 027-280-066 & 067

ROBERT MONDAVI USE PERMIT

OUTDOOR TASTING AREAS

	2022-03-21 PERMIT SUBMITTAL
	2022-07-19 PERMIT RESUBMITTAL
	2022-09-27 PERMIT RESUBMITTAL

DATE: 2022-10-13
JOB NO: 2021201
SCALE: AS SHOWN
DRAWN: BG
CHECKED: DR

SHEET
 **UP6**
14 OF 14



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Planning, Building & Environmental Services

1195 Third Street, Suite 210
Napa, CA 94559
www.countyofnapa.org

Brian Bordona
Interim Director

MEMORANDUM

To: Dana Morrison, Planning	From: Daniel Hornett, Engineering
Date: November 29, 2022	Re: P22-00106 Robert Mondavi Winery Minor Mod APN: 027-280-067-000

The Engineering Division has reviewed the use permit modification application P22-00106 for the Winery located on assessor's parcel number 027-280-067. Based upon the information provided in the application, Engineering finds the application **complete** and recommends the following conditions of approval

RECOMMENDED APPROVAL CONDITIONS:

OPERATIONAL CHARACTERISTICS

1. The facility is designated as a discharger that discharges stormwater associated with industrial activity to waters of the United States. Therefore, the facility shall maintain or apply for coverage under the State Water Resources Control Board's Industrial General Permit (IGP), including meeting all applicable provision and protocols of the IGP. If the facility fails to meet the discharge prohibitions of the IGP, Napa County may require the facility to make the necessary improvements to eliminate all exposures to stormwater of the pollutant(s) for which the water body is impaired.

PREREQUISITES FOR ISSUANCE OF PERMITS

2. Access to the proposed Pavilion shall be designed and constructed in substantial conformance with the road exception request (Request) prepared by Summit Engineering, Inc., dated October 14, 2021. Any roadway, access driveway, and/or parking areas, proposed new or reconstructed that were not evaluated in the Request shall meet the requirements as outlined in the latest edition of the Napa County Road & Street Standards for Commercial development at the time of use permit approval. The property owner shall obtain a grading permit for all proposed roadway improvements.
3. All on site civil improvements including but not limited to the excavation, fill, general grading, drainage, curb, gutter, surface drainage, storm drainage, parking, and drive isles, shall be constructed according to plans prepared by a registered civil engineer, which will be reviewed and approved by the Engineering Division of the Napa County Planning, Building, and

Environmental Services Department (PBES) **prior to the commencement** of any on site land preparation or construction. Plans shall be wet signed and submitted with the building and/or grading permit documents at the time of permit application. A plan check fee will apply.

4. Grading and drainage improvements shall be constructed according to the current Napa County Road and Street Standards, Chapter 16.28 of the Napa County Code, and Appendix J of the California Building Code.
5. **Prior to issuance of a building permit** the owner shall submit the necessary documents for Erosion Control as determined by the area of disturbance of the proposed development in accordance with the Napa Countywide Stormwater Pollution Prevention program Erosion and Sediment Control Plan Guidance for Applicant and Review Staff dated December 2014.
6. **Prior to issuance of a building permit** the owner shall prepare a Regulated Project Stormwater Control Plan (SCP) in accordance with the latest edition of the BASMAA Post-Construction Manual for review and approval by the Engineering Division in PBES.

PREREQUISITES DURING PROJECT CONSTRUCTION

7. Required on-site pre-construction meeting with the Napa County PBES Engineering Division **prior to start of construction.**

PREREQUISITES FOR TEMPORARY CERTIFICATE OF OCCUPANCY

8. All roadway improvements shall be completed **prior to execution** of any new entitlements approved under this Use Permit Modification. **** If no temporary occupancy is requested, then this becomes a requirement prior to final occupancy.**

PREREQUISITES FOR FINAL CERTIFICATION OF OCCUPANCY

9. Site shall be completely stabilized to the satisfaction of the County Engineer prior to Final Occupancy.

Any changes in use may necessitate additional conditions for approval.

If you have any questions regarding the above items, please contact Daniel Hornett from Napa County Planning, Building, and Environmental Services Department, Engineering Division, at (707)299-1358 or by email at Daniel.Hornett@countyofnapa.org



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Napa County Fire Department
Fire Marshal's Office
Hall of Justice, 2nd Floor
1125 3rd Street
Napa, CA 94559

Office: (707) 299-1464

Fire Marshal's Office

MEMORANDUM

TO: Planning	DATE: 5/6/2022
FROM: Jason Downs, Deputy Fire Marshal	
SUBJECT: P21-00106 Robert Mondavi	027-280-067-000

The Napa County Fire Marshal's Office has reviewed the submittal package for the above proposed project. The Fire Marshal approves the project as submitted with the following conditions of approval:

1. All construction and use of the facility shall comply with all applicable standards, regulations, codes and ordinances at time of Building Permit issuance.
2. Beneficial occupancy will not be granted until all fire department fire and life safety items have been installed, tested and finalized.
3. Where conditions listed in 2019 California Fire Code Section 105.7 are proposed, separate permits will be required prior to Building Permit issuance for: **Automatic fire extinguishing systems, Fire alarm and detection systems and related equipment, Fire pumps and related equipment, and gates and barricades across fire apparatus access roads.**
4. All buildings, facilities, and developments shall be accessible to fire department apparatus by way of approved access roadways and/or driveways. The fire access road shall comply with the requirements of the Napa County Road & Street Standards
5. Access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. Provide an engineered analysis of the proposed roadway noting its ability to support apparatus weighing 75,000 lbs.
6. Provide fire department access roads to within 150 feet of any exterior portion of the buildings as measured by an approved route around the exterior of the building or facility.
7. Roadways shall be a minimum of 20 feet in width with a 2 foot shoulder and 15 foot vertical clearance.



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Fire Marshal's Office

MEMORANDUM

8. Turnouts shall be a minimum of 12 feet in width, 30 foot in length and 25 foot taper on each end.
9. Turnarounds are required on driveways and dead end roadways.
10. Gates for driveways and/or roadways shall comply with the California Fire Code, section 503.5 and the Napa County Road & Street Standards and CA Fire Safe Regulations for projects within SRA.
11. Commercial - Water storage (for buildings not served by a public water system) and fire flow calculations shall be provided by a Certified State Licensed Civil Engineer, C-16 licensed contractor, or registered engineer indicating compliance with California Fire Code Appendix B and the Napa County Municipal Code.
12. Commercial - Approved steamer hydrants shall be installed within 250 feet of any exterior portion of the building as measured along vehicular access roads. Private fire service mains shall be installed, tested and maintained per NFPA 24.
13. Commercial - Fire Department Connections (FDC) for automatic sprinkler systems shall be located fully visible and recognizable from the street or fire apparatus access roads. FDC shall be located within 50 feet of an approved fire hydrant.
14. Commercial - The minimum main size of all fire hydrants shall be 6 inches in diameter. Piping shall be installed with C-900 class 200 piping or ductile iron or equivalent per NFPA 24 for the installation of Underground Fire Protection Mains
15. An automatic fire sprinkler system shall be installed in accordance with provisions set forth in the California Fire Code as amended by the County of Napa and the applicable National Fire Protection Association Standard. Automatic fire sprinkler systems shall be designed by a fire protection engineer or C-16 licensed contractor.
16. All buildings shall comply with California Fire Code, Chapter 10 Means of Egress requirements. Including but not limited to; exit signs, exit doors, exit hardware and exit illumination.
17. Provide 100 feet of defensible space around all structures.



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Fire Marshal's Office

MEMORANDUM

Please note that the comments noted above are based on a Fire Marshal review only. There may be additional comments or information requested from other County Departments or Divisions reviewing this application submittal package. Napa County Fire Marshal's Office Development Guidelines can be found @ www.countyofnapa.org/firemarshal. Should you have any questions of me, contact me at (707)299-1466 or email at adam.mone@countyofnapa.org



Utilities Department

April 26, 2023

Constellation Brands Inc, Robert Mondavi Winery
7801 St Helena Hwy
Oakville CA 94562

Subject: Confirmation of Domestic and Fire Water Service
7801 St Helena Highway APN# 027-280-067, ("Property")

To Whom It May Concern:

In response to your request dated Wednesday, April 19, 2023, this letter confirms that potable City of Napa water ("City Water") is available at Property, subject to:

- 1) Satisfaction of the Conditions of Approval set forth in the MEMO dated April 26, 2023 (Attachment A.), to the satisfaction of the Utilities Director; and
- 2) Ongoing compliance with all applicable requirements of the City's Water Service as set forth in Napa Municipal Code ("NMC") Title 13, particularly including limitations imposed on water use for water conservation (NMC Chapter 13.09), water shortage (NMC Chapter 13.10), and fire services (NMC Section 13.04.340).

The existing water services available at the Property include a 4-inch domestic water service and two 8-inch fire water services (the 4-inch domestic water and 8-inch fire water services as noted in Application for Certificate of Availability of City of Napa Water Service WSA No. 403 dated July 7, 1966 (Attachment B)). The water supplied by the City of Napa is potable and meets all State Health Department regulations.

If you have any questions or require additional information, please contact me at (707) 257-9496.

Sincerely,

Dana Stockon
Engineering Assistant
City of Napa



MEMO

TO: Constellation Brands Inc, Robert Mondavi Winery
7801 St Helena Hwy
Oakville CA 94562

FROM: Shannon Lemmon

CC: Joy Eldredge, Dana Stockon

DATE: 4/26/2023

SUBJECT: 7801 St Helena Highway APN# 027-280-067, ("Property") -
Water Division Conditions of Approval for Use Permit P22-00106

The following Conditions of Approval are applicable to the above referenced Napa County Use Permit #P22-00106.

City of Napa - Utilities Department - Water Division

Prior to Napa County Building Permit Final, the Applicant shall:

1. Submit a utility plan for review and approval by the City of Napa Utilities Department identifying the following information:
 - a) Size of existing water service(s) to Property;
 - b) Installation of a meter on each of the existing fire water services per City Std. W-4C (City Standards dated 09/2021)
 - c) Relocation of any affected water facilities and/or appurtenances;
 - d) Meters shall be installed per City Standards within a water utility easement or public utility easement;
 - e) Construction of improvements (permanent structures, other utilities etc.) shall meet the minimum required clearances from all public water infrastructure per City Std W-18, W-22A and W-22B;
2. Submit a record drawing outlining as-built conditions of the completed water system improvements in both electronic and print copy formats;