

CEQA ENVIRONMENTAL CHECKLIST FORM

1. **Project Title:** Jackson Oaks Two-Lot Minor Subdivision
(County File #CDMS21-00007)
2. **Lead Agency Name and Address:** Contra Costa County
Department of Conservation and Development
30 Muir Rd.
Martinez, CA 94553
3. **Contact Person and Phone Number:** Syd Sotoodeh, Senior Planner
(925) 655-2877
syd.sotoodeh@dcd.cccounty.us
4. **Project Location:** 98 N. Jackson Way
Alamo, CA 94507
(Assessor's Parcel Number: 192-060-001)
5. **Project Sponsor's Name and Address:** Jon Vizcay
APEX Civil Engineering & Land Surveying, Inc.
817 Arnold Drive, Suite 50
Martinez, CA 94553
6. **General Plan Designation:** Single-Family Residential, Low Density (SL)
7. **Zoning:** Single-Family Residential (R-20)
8. **Description of Project:**

The applicant is requesting approval of a tentative map to subdivide the subject 1.50-acre parcel into two parcels. Upon dedication of approximately 0.09-acres of right of way to the County for the potential, future widening of North Jackson Way, Parcel A would have an approximately 0.46-acre gross lot area and Parcel B would have an approximately 0.95-acre gross lot area. The San Ramon Creek area within the easternmost portion of the subject property (approximately 25 percent of proposed Parcel B) is restricted from development through a recorded grant deed of development rights (4212 OR 96, recorded 1962). The proposed site improvements include an approximately 16-foot paved road within an access easement ranging between 35 feet and 39.6 feet in width for access to Parcel B from North Jackson Way, and one bio-retention area on Parcel B in order to collect storm water discharge from both resultant parcels.

There are no proposed changes to the existing residence or driveway on Parcel A. However, the applicant has requested variances to the requirements of the Single-Family Residential (R-20) zoning district for a 14-foot secondary front setback (where 20 feet is required) and for a 0.7-foot side yard (where 15 feet is required) for the existing single-family residence that will remain on Parcel A. The applicant is also requesting exceptions from the requirements of Title 9 of the County Ordinance Code related to the undergrounding of overhead utility services and to sidewalk and curb improvements along North Jackson Way.

Although not proposed as part of this project, it is anticipated that Parcel B will eventually be developed with a new single-family residence. The tentative map includes a potential location for this proposed improvement indicating that it would be able to meet all required standards of the R-20 zoning district, including setbacks. It is anticipated that the project would entail ± 155 cubic yards (CYS) of net fill (± 320 CYS of cut and ± 475 CYS of fill) for the future private roadway and future residential foundation pad.

The applicant also requests approval of a tree permit for project impacts to fifteen code-protected trees, including work (e.g., construction or grading) within the driplines of five valley oak trees, and the removal of ten trees including one honey locust, four eucalyptus, one black oak, two valley oaks, one Monterey pine, and one overgrown privet. The project impacts are due to the trees being located within the footprint of site improvements, poor health or condition, invasiveness, or history of the species for failure.

9. Surrounding Land Uses and Setting:

The subject property is bounded by North Jackson Way to the west, San Ramon Creek to the east, and single-family residences to the north and south. Interstate 680 (I-680) is located approximately 170 feet east of the project site, adjacent to the San Ramon Creek area. The surrounding area of Alamo is predominantly developed with single-family or multiple-family residences and a town center with commercial/retail business uses (e.g., Alamo Plaza Shopping Center) near the intersection of Danville Boulevard and Stone Valley Road, less than a 1/4-mile from the subject property. The residential area in the vicinity of the subject property is fairly urbanized, however, there is an element of rural character along the small roads and lanes that typically lack sidewalks and curbs.

The subject property is an approximately 1.50-acre, rectangular lot located at 98 North Jackson Way (a public road) and within a Single-Family Residential (R-20) zoning district. A grant deed of development rights recorded on the property over the approximately 10,413 square-foot creek structure setback area excludes the San Ramon Creek area from development. The project site is relatively flat with a gradual downward slope and approximately 5-foot change in elevation from the western property line to the top of the San Ramon Creek bank on the east. The property is developed with one single-family residence with attached garage with a driveway from North Jackson Way, an attached accessory dwelling unit, and a pool. Seventeen mature, code-protected trees (measuring more than 6.5-inches in diameter) on the subject property were inventoried. The remaining trees on the property are immature and less than 6.5-inches in diameter and thus are not protected pursuant to the County's tree protection ordinance (Code Chapter 816-6).

10. Other public agencies whose approval may be required (e.g., permits, financing, approval, or participation agreement). Please be advised that this may not be an exhaustive list and that approval may be required from other public agencies not listed here:

- Contra Costa County Public Works Department
- Contra Costa County Building Inspection Division
- San Ramon Valley Fire Protection District
- Central Contra Costa Sanitary District (Central San)
- East Bay Municipal Utility District (EBMUD)

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, has consultation begun?

A Notice of Opportunity to Request Consultation was sent on June 30, 2022, to Wilton Rancheria, Cultural Preservation Department. A Notice of Opportunity to Request Consultation was also sent on September 21, 2022, to the Confederated Villages of Lisjan Nation.

Pursuant to Section 21080.3.1(d), there is a 30-day time period for the Wilton Rancheria or the Confederated Villages of Lisjan Nation to either request or decline consultation in writing for this project.

As of the writing of this Initial Study, neither Wilton Rancheria nor the Confederated Villages of Lisjan Nation have responded to the Opportunity to Request Consultation. Therefore, consultation with Native American tribes has not occurred in relation to this project. As a courtesy, the County will provide a copy of this environmental document for the Tribes' comments.

Environmental Factors Potentially Affected

The environmental factors checked below would have been potentially affected by this project, but have been mitigated in a manner as to not result in a significant effect on the environment:

- | | | |
|--|---|--|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input checked="" type="checkbox"/> Geology/Soils | <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials |
| <input type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources |
| <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation | <input checked="" type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities/Services Systems | <input type="checkbox"/> Wildfire | <input checked="" type="checkbox"/> Mandatory Findings of Significance |

Environmental Determination

On the basis of this initial evaluation:

- ☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☒ I find that, although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.



Syd Sotoodeh
Senior Planner
Contra Costa County
Department of Conservation & Development

November 15, 2022

Date

ENVIRONMENTAL CHECKLIST

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
1. AESTHETICS – Except as provided in Public Resources Code Section 21099, would the project:				
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic building within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a) **Less Than Significant Impact:** Figure 9-1 of the Open Space Element of the County General Plan identifies major scenic ridges and waterways within the County. According to Figure 9-1, there are no scenic waterways within the vicinity of the project site. The project site is located in a relatively flat, low-lying area of Alamo that comprises part of the San Ramon Valley between Mount Diablo and its foothills to the east and the Las Trampas Ridge and foothills to the west. The two nearest scenic ridgeways to the project site as identified in Figure 9-1 are the Rossmoor ridge located approximately 3/4-mile east, and the lower foothills of the Las Trampas Ridge located approximately 1.5-mile northeast, of the subject property. The project site is located in an established neighborhood with a substantial number of large mature trees which limits views of the nearby ridges. Thus, the project would have a negligible impact on views of or from either nearby ridgeway and would have a less than significant impact on scenic vistas.
- b) **No Impact:** The Transportation and Circulation Element (Figure 5-4) of the County General Plan identifies scenic routes in the County, including both State Scenic Highways and County designated Scenic Routes. According to the map, I-680 is classified as a scenic route in the project vicinity. Although the subject property is developed with a single-family residence, there are no rock outcroppings or historic buildings on the subject property that will be impacted as a result of the minor subdivision or any future development of proposed Parcel B. Generally, a scenic highway corridor includes the land adjacent to the scenic highway and extends to the landscape visible from the scenic highway. Although I-680 is located approximately 170 feet east of the project site, due to multiple existing trees and an existing highway soundwall between the subject property and I-680, neither the existing residence nor the parcel are visible from any portion of the scenic highway. Likewise, no portion of I-680 is visible from the subject property or adjacent

properties. Thus, although a new residence is likely to be constructed on proposed Parcel B if the two-lot minor subdivision is approved, the project would have no impact on scenic resources within a state scenic highway.

- c) **Less Than Significant Impact:** The project site is located within an established neighborhood and urbanized area. The subject property is within a Single-Family Residential (R-20) zoning district. The surrounding area of Alamo is predominantly developed with single-family or multiple-family residences and a town center with commercial/retail business uses (e.g., Alamo Plaza Shopping Center). As proposed, the two-lot minor subdivision would result in two parcels that are consistent with the R-20 zoning district requirements regarding lot area and average width. Pursuant to County Code Section 84-14.1602, the applicant has requested variances to the applicable Single-Family Residential (R-20) zoning district development standards for a substandard side yard and secondary front setback for proposed Parcel A. The subject property is developed with a single-family residence and has an existing 0.7-foot side yard (where 15 feet is required) to the residential structure. If the minor subdivision is approved and an access easement to proposed Parcel B is created, Parcel A would be considered a corner lot with a principal and secondary front setback. Due to County Title 9 requirements for the planned, future width of North Jackson Way, the applicant will be required, as a condition of approval, to dedicate additional frontage to the County which results in a 14-foot secondary setback (where 20 feet is required) for the existing residence. No further development of Parcel A is proposed beyond the construction of a private roadway within a private access easement to proposed Parcel B. Future construction on proposed Parcel B would be subject to the setback requirements and development standards of the R-20 zoning district. Based on the proposed building outline shown on the site plan submitted by the applicant, there would be ample room to construct a single-family residence and accessory buildings on the new lot that would conform to the R-20 development standards. The existing visual character of the project site would change with the additional residential development. However, this type of visual change is consistent with the R-20 zoning district, as a single-family residence is permitted by-right for each new lot. The project site is visible from North Jackson Road as are other properties in the vicinity, although proposed Parcel B is set back approximately 160 feet from the public road. In addition, due to the presence of many mature trees in the vicinity and a highway soundwall, the project site is not visible from the I-680, a public, scenic highway. Therefore, the project would not conflict with applicable zoning and other regulations governing scenic quality, and the subdivision of the subject property resulting in the eventual development of one new residence is considered a less than significant impact on the visual character of the project site and its surroundings.
- d) **Less Than Significant Impact:** The project site is located within an urbanized area. If approved, the project would result in two new lots with an existing single-family residence remaining on Parcel A. At this time, there is no proposal for any development of Parcel B, however, it is reasonable to expect that with approval of the project, development similar to other parcels in the area, including a new single-family residence and accessory buildings, would eventually be constructed on the lot. It can be anticipated that the façade of the future residence would have texture, color, and quality of building materials that are consistent with surrounding residences, and thus is not expected to create substantial glare during the daytime after construction. Development will likely include some level of associated exterior lighting which may introduce a change in ambient nighttime light levels in the vicinity. The extent to which new lighting would spill off the project site and affect adjacent light-sensitive areas would determine whether the

project could adversely affect nighttime views in the area. However, the project site is in an urbanized area surrounded by other residences that also produce ambient light, and the project site is screened by existing trees. Therefore, the project would have a less than significant impact on day or nighttime views in the area due to glare or light.

Sources of Information

Apex Civil Engineering & Land Surveying. Tentative Map and Project Plans. Received on 22 April 2022.

Contra Costa County Code. "Title 8 – Zoning."

https://library.municode.com/ca/contra_costa_county/codes/ordinance_code?nodeId=TIT8ZO.

Contra Costa County General Plan. "Chapter 3: Land Use Element." 2005 – 2020.

<http://www.co.contra-costa.ca.us/DocumentCenter/View/30913/Ch3-Land-Use-Element?bidId=>.

Contra Costa County General Plan. "Chapter 5: Transportation and Circulation Element." 2005-2020.

<http://www.co.contra-costa.ca.us/DocumentCenter/View/30915/Ch5-Transportation-and-Circulation-Element?bidId=>.

Contra Costa County General Plan. "Chapter 9: Open Space Element." 2005-2020.

<http://www.co.contra-costa.ca.us/DocumentCenter/View/30919/Ch9-Open-Space-Element?bidId=>.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
2. AGRICULTURAL AND FOREST RESOURCES – Would the project:				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment, which due to their location or nature, could result in conversion of farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SUMMARY:

- a-e) **No Impact:** The project site is within an area deemed to be “Urban and Built-Up Land” as shown on the California Department of Conservation’s *California Important Farmland Finder* map (2018). No prime, unique, or farmland of statewide importance will be affected due to this project. The site is not under a Williamson Act contract with the County. As proposed, the subdivision of land will not conflict with the existing Single-Family Residential (R-20) zoning designation of the property or involve substantial changes to the existing environment. Additionally, the project site is not considered forest land as defined by California Public Resources Code Section 12220(g) or timberland as defined by California Public Resources Code Section 4526. Therefore, the project will have no impact on prime or unique farmland, agricultural, or forest resources, nor would it result in the conversion of farmland to non-agricultural use.

Sources of Information

Contra Costa County Code. “Title 8 – Zoning.”

https://library.municode.com/ca/contra_costa_county/codes/ordinance_code?nodeId=TIT8ZO.

California Department of Conservation. “California Important Farmland Finder.” 2018.

<https://maps.conservation.ca.gov/DLRP/CIFF/>.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
3. AIR QUALITY – Would the project:				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a) **Less Than Significant Impact:** Contra Costa County is within the San Francisco Bay air basin, which is regulated by the Bay Area Air Quality Management District (BAAQMD) pursuant to the *Spare the Air, Cool the Climate Final 2017 Clean Air Plan*. The purpose of the *Clean Air Plan* is to bring the air basin into compliance with the requirements of Federal and State air quality standards and to protect the climate through the reduction of criteria pollutants and greenhouse gases. BAAQMD has prepared CEQA Guidelines to assist lead agencies in air quality analysis, as well as to promote sustainable development in the region. The potential air quality impacts for this project were evaluated using the BAAQMD 2017 CEQA guidelines screening criteria. Pursuant to these guidelines, if a project does not exceed the screening criteria size it is expected

to result in less than significant impacts to air quality. According to the Operational-Related Criteria Air Pollutant and Precursor Screening Level Sizes (Table 3-1) for single-family residential development, the operational screening size is 56 dwelling units, and the construction-related screening size is 114 dwelling units. The proposed two-lot subdivision could result in the future construction of one new single-family residence on Parcel B and associated development on the project site. This would be well below the BAAQMD operational or construction-related screening criteria for this type of project. Therefore, the subdivision of land and future development potential of the project would not be in conflict with the Clean Air Plan or obstruct its implementation.

- b) **Less Than Significant Impact:** As mentioned above in subsection-a, the proposed two-lot subdivision is not expected to exceed the threshold for criteria pollutant screening size for new single-family residences as determined by the BAAQMD, and thus would not result in significant emissions of criteria air pollutants during the construction period or during project operation. Although the proposed project could contribute incrementally to the level of criteria air pollutants in the atmosphere, the project would have a less than significant impact on the level of any criteria pollutant.
- c) **Less Than Significant Impact with Mitigation Incorporated:** Table 2-1 of the BAAQMD's 2017 CEQA Guidelines identifies the quantifiable air quality thresholds of significance for determining whether operational and construction-related activities would have significant environmental impacts, including those related to substantial pollutant concentrations. As mentioned above in subsection-a, the proposed two-lot subdivision is not expected to exceed the threshold for criteria pollutant screening size for new single-family residential lots or single-family residences as determined by the BAAQMD, and thus would not result in significant emissions of criteria air pollutants during project operation. The project site is located within an established area of Alamo that is generally single-family residential in nature with neighborhood-serving commercial uses southwest of the subject property along Danville Boulevard. Although the project does not include any development on the proposed new lots, it is reasonably expected that, if the subdivision is approved, a single-family residence could be constructed on Parcel B along with associated development of the project site.

Potential Impact:

Although temporary, during grading and construction activities, the project could have an adverse environmental impact on sensitive receptors. Consequently, the applicant is required to implement the following *Basic Construction Mitigation Measures* (BAAQMD) during construction in order to reduce impacts due to construction dust and exhaust to less than significant levels.

AIR-1 The following mitigations shall be included on all construction plans and implemented throughout the construction phase of the project:

1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.

3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 4. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
 8. The property owner or site contractor shall post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- d) **Less Than Significant Impact:** The BAAQMD's 2017 CEQA guidelines indicate that odor impacts can occur from two different situations: 1) siting a new odor source, or 2) siting a new sensitive receptor (e.g., residents). The future development of Parcel B would be within an established urban/residential area, at a location and density that is compatible with its zoning (R-20) and General Plan (SL) land use designation. Operation of the project would not produce any major sources of odor and the subject property is not located in an area with existing uses that typically produce odors (e.g., landfills or treatment plants). If developed with a new single-family residence and associated site improvements, diesel powered vehicles and equipment may be used on the site which may create temporary, localized odors during construction and grading. Although the proposed project could contribute incrementally to temporary odors due to diesel emissions during construction or grading, the project would not adversely affect a substantial number of people and would thus have a less than significant impact due to odor emissions.

Sources of Information

Bay Area Air Quality Management District. "California Environmental Quality Act, Air Quality Guidelines." May 2017. http://www.baaqmd.gov/~media/files/planning-and-research/ceqa/ceqa_guidelines_may2017-pdf.pdf?la=en.

Bay Area Air Quality Management District. "Spare the Air, Cool the Climate Final, 2017 Clean Air Plan." Adopted 19 April 2017. http://www.baaqmd.gov/~media/files/planning-and-research/plans/2017-clean-air-plan/attachment-a_proposed-final-cap-vol-1-pdf.pdf?la=en.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
4. BIOLOGICAL RESOURCES – Would the project:				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of wildlife nursery sites?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SUMMARY:

- a) **Less Than Significant Impact With Mitigation Incorporated:** A Biological Resources Assessment (Assessment) was prepared by AEI Consultants (AEI) on July 27, 2022, for the project site. Preparation of this report included a review of pertinent literature on relevant background information and habitat characteristics of the project area and a reconnaissance-level field survey of the property conducted on July 18, 2022. The Assessment identified the special-status species that are known to occur within the project vicinity and for which suitable habitat may be present. The subject property is developed with one existing single-family residence, a pool, and other structures accessory to a residential use in addition to a driveway from North Jackson Way. The Assessment describes the subject property as relatively flat with elevation ranging from approximately 233 feet to 261 feet above mean sea level, and with existing drainage flowing east off of the parcel into San Ramon Creek. There is no construction proposed with the

project, however, if approved, it is reasonable to anticipate at a future time that the two-lot minor subdivision could result in the removal of trees from the property, grading and construction of a new private road, and construction of a new single-family residence and accessory structures on Parcel B. Approximately 10,413 square feet of the subject property constituting a portion of the San Ramon Creek area (primarily creek bank) is restricted from development through an existing grant deed of development rights to Contra Costa County (4212 OR 96, recorded 1962). Thus, the developable areas of the lot lie west of the San Ramon Creek area and for the purposes of their study, AEI Consultants considered the “project area” to be those locations outside of the boundaries of the restricted development area.

The Assessment indicates that there are three primary plant habitats on the subject property:

- “Ruderal” vegetation communities typically found in disturbed or developed areas (e.g., urbanized with gardens or landscaping);
- Annual grasslands (e.g., non-native annual grasses and herbs), particularly along the San Ramon creek bank; and
- Urban forest or oak woodland characterized by a mature stand of trees in an urban environment (e.g., valley oak, eucalyptus, black walnut, and coast live oak).

The project site is described in the Assessment as containing low or “marginally” appropriate habitat for special-status plant species and none were detected by AEI during their field survey. Therefore, the potential for rare or special-species plants to occur is very low.

AEI did not observe any special-status animals during the field survey. In addition, the Assessment indicates that the neither the California Natural Diversity Database (CNDDB) nor the U.S. Fish and Wildlife Service (USFWS) database report special-status habitats within the project area. However, the Assessment notes that critical habitat for the Alameda whipsnake is reported by the diversity databases to be located approximately 0.7 miles west of the project site. In addition, special status bird and bat species such as white-tailed kite and pallid bat, were reported by the diversity databases to be in the vicinity of the project area.

Potential Impacts: While it is anticipated that implementation of the proposed project will not directly impact any known special-status plant or animal species populations, the Assessment indicates that there is the potential for migration of special-status animal species into the project site. In addition, the trees bordering the project area could be used for nesting by a variety of bird and bat species. The Assessment also indicates that the project site contains suitable habitat for white-tailed kite, cooper’s hawk, hoary bat, pallid bat, and the Alameda whipsnake, since these species have the potential to occur. Thus, the removal of trees from the subject property and development of the project could have an adverse environmental impact on nesting or foraging birds, bats, or Alameda whipsnakes.

Implementation of the following mitigation measures would bring potential project-related impacts on biological resources to less than significant levels:

BIO-1: If project construction-related activities take place during the nesting season (February through August), preconstruction surveys for nesting passerine birds, raptors (birds of prey), shall be conducted by a qualified biologist **no more than five (5) days prior to the commencement of tree removal, site grading, or construction activities**. The survey area (area of influence) shall include the project site and those adjacent areas

within 500 feet of the project site. If any bird listed under the Migratory Bird Treaty Act is found to be nesting within the project site or within the area of influence, an adequate protective buffer zone shall be established by a qualified biologist to protect the nesting site. This buffer shall be a minimum of 75 feet from the project activities for passerine birds, and a minimum of 200 feet for raptors. The distance shall be determined by a competent biologist based on the site conditions (topography, if the nest is in a line of sight of the construction and the sensitivity of the birds nesting). The nest site(s) shall be monitored by a competent biologist periodically to see if the birds are stressed by the construction activities and if the protective buffer needs to be increased. If an active nest is located in a tree or shrub designated for removal, the removal shall be deferred until the young are no longer dependent on the nest site, as determined by a qualified biologist. Once the young have fledged and are flying well enough to avoid project construction zones (typically by August), the project can proceed without further regard to the nest site(s).

- BIO-2:** A pre-construction survey with special focus on detecting basking herpetofauna at all suitable habitat areas within the project area shall be conducted by a qualified biologist **no more than 14 days prior to the beginning of project-related activities**. If Alameda whipsnakes or other special-status basking herpetofauna are discovered, or if evidence of recent prior occupation is established, a buffer should be established around the nest/habitat site until the nest/habitat site is no longer active. If an active whipsnake nest/habitat needs to be removed as part of the proposed project, the project biologist shall consult the California Department of Fish & Wildlife (CDFW) and the U.S. Fish & Wildlife Service (FWS) to determine appropriate methods for the removal of the roost. As part of CDFW's and/or FWS's approval, a new nest/habitat site may need to be created on the project site as mitigation.
- BIO-3:** To avoid potential impacts to special status bats, **no more than 14 days prior to the commencement of tree removal, site grading, or construction activities, whichever occurs first**, a visual and acoustic preconstruction survey for roosting bats shall be conducted by a qualified, agency-approved bat biologist within and immediately adjacent to the construction footprint. A minimum of one day and one evening shall be included in the visual preconstruction survey. The biologist shall contact CDFW if any occupied day roosts or maternity colonies/nurseries are identified within or immediately adjacent to the construction footprint, as appropriate. The biologist shall submit a memorandum, on a weekly basis or at other appropriate intervals, to CDFW to document compliance with this measure.
- b) **Less Than Significant Impact With Mitigation Incorporated:** Although the project does not include any development on the proposed new lots, it is reasonably expected that, if the subdivision is approved, a single-family residence could be constructed on Parcel B along with associated development of the project site. A portion of the San Ramon Creek runs along the eastern boundary of the subject property which, according to the biological Assessment, is inventoried by the USFWS National Wetland Inventory as a riverine water resource and thus can be considered as riparian habitat. The portion of the property that comprises the approximately 10,413 square-foot creek and creek structure setback area constitutes approximately 25 percent of proposed Parcel B. Pursuant to a drainage easement granted to Contra Costa County and recorded as a grant deed of development rights on the property (4212 OR 96, recorded 1962), development

is restricted to the area of the lot that lies outside and west of the San Ramon Creek area. Thus, according to the Assessment, the project area does not contain any riparian habitat as it is outside of the San Ramon Creek area. For compliance with Provision C.3 of the California Regional Water Quality Control Board's Municipal Regional Permit requirements pertaining to storm water discharges, the project design includes a bio-retention basin at the low, northeast corner of Parcel B that borders the restricted development area. Stormwater runoff occurring on the subject property currently drains into the San Ramon Creek and the proposed drainage maintains the existing natural drainage pattern. Stormwater runoff resulting from the project would be collected and conveyed to the bio-retention basin for filtering through an active layer of soil before any overflow "sheet" drains into the creek area. According to the preliminary Stormwater Control Plan (SWCP) for the project, the creek channel is engineered with rip-rap side slopes over which the stormwater released from the bio-retention basin would flow and be dissipated. By complying with the C.3 requirements, a completed and County-approved SWCP ensures that the project will regulate storm water runoff in a manner that reduces impacts on riparian habitats to a less than significant level. Furthermore, implementation of mitigation measures **BIO-1** through **BIO-3** would reduce potential project-related impacts on special-status species within the riparian area to less than significant levels.

- c) **Less Than Significant Impact:** The U.S. Army Corp of Engineers (Corps) and the U.S. Environmental Protection Agency (EPA) are two of the primary Federal agencies which enforce the Clean Water Act and administer the associated permitting program. As such, these agencies define wetland as areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Potential direct impacts to water resources could occur during construction by modification or destruction of stream banks or riparian vegetation or the filling of wetlands or channels. As discussed above in subsection-b, a portion of San Ramon Creek flows through the easternmost area of the property, however, this area is restricted from development by a grant deed of development rights recorded in 1962. As such, AEI's assessment indicates there are no water resources or wetlands within the project area west of the boundary of the restricted development area. In addition, by complying with California Regional Water Quality Control Board's C.3 requirements for storm water discharges, a completed and County-approved SWCP ensures that the project will regulate surface runoff in a manner that prevents erosion, siltation, modification, or destruction of the San Ramon Creek banks.

The Assessment indicates that potential indirect impacts to water resources could occur during construction by increased erosion and sedimentation in receiving water bodies due to soil disturbance. During the temporary construction period of the proposed project, surface water quality has the potential to be degraded due to storm water transport of sediment from disturbed soils or by accidental release of hazardous materials or petroleum products from sources such as heavy equipment servicing or refueling. However, according to AEI, the landowner and its designated general contractor must enroll under the State Water Quality Control Board's Construction General Permit prior to the initiation of construction. In conjunction with enrollment under this Permit, a Storm Water Pollution Prevention Plan (SWPPP), Erosion Control Plan, and a Hazardous Materials Management/Spill Response Plan must be created and implemented during construction to avoid or minimize the potential for erosion, sedimentation, or accidental release

of hazardous materials. Implementation of these measures mandated by law would reduce potential construction-related impacts to water quality to a less than significant level.

Therefore, there is a less than significant likelihood for direct impacts to the San Ramon Creek area and the proposed project would not have a substantial adverse effect on a state or federally protected wetland.

- d) **Less Than Significant Impact With Mitigation Incorporated:** According to the Assessment by AEI, the project site subject property is not within a natural or manmade wildlife corridor. Existing fences on the subject property may act as a local barrier to wildlife movement. However, the fenced areas are surrounded by open space, allowing wildlife to move around in proximity to these fenced areas. The nearby San Ramon Creek may function as a wildlife corridor, but as discussed in the above subsections-a through c, project implementation will not affect this stream corridor. Thus, development of the project has a less than significant potential to impact wildlife corridors or to interfere substantially with the movement of native resident or migratory fish or wildlife species. Furthermore, implementation of mitigation measures **BIO-1** through **BIO-3** would further reduce potential project-related impacts on wildlife movement to less than significant levels.
- e) **Less Than Significant Impact:** The Contra Costa County Tree Protection and Preservation Ordinance (Tree Ordinance) provides for the protection of certain trees by regulating tree removal while allowing for reasonable development of private property and tree maintenance. On any property proposed for subdivision and development approval, the Tree Ordinance requires tree alteration or removal to be considered as part of the project application. The subject property contains a number of mature trees, including valley or black oaks, eucalyptus, honey locust, Monterey pine, and overgrown privets, which are considered protected trees under the Tree Ordinance due to their location on a further subdividable lot and their size. The Project proposes to remove a portion of these code-protected trees, or to work within the driplines of (alteration) code-protected trees, to install a new private access road and to potentially construct a new residence on Parcel B. In addition, the consulting arborist has recommended the removal of several code-protected trees that are outside the footprint of development but are either dead or hazardous. Thus, due to the anticipated construction activities as part of the proposed project or the poor health and structure of trees on the subject property, a tree permit for the removal of fifteen (15) code-protected trees and for the alteration of five (5) code-protected trees due to potential drip line encroachment is requested with this proposed minor subdivision. As such, approval of the proposed project would include a tree permit with conditions of approval for the restitution of any tree approved for removal, protection of remaining trees where work may occur within the drip lines of the trees, and all of the tree protection measures from the project's arborist report. Additional trees that are less than 6.5-inches in diameter may also be removed for construction or maintenance of the property, however, these immature trees are not protected pursuant to the Tree Ordinance. As a result of CDD staff applying the Tree Protection and Preservation Ordinance to the proposed project, there would be no conflict with the Tree Ordinance.
- f) **No Impact:** The East Contra Costa County Habitat Conservation Plan/Natural Community Conservation Plan (ECCC HCP/NCCP) was adopted by the County in October of 2006. The purpose of this plan is to provide a framework to protect natural resources while streamlining the environmental permitting process for impacts to covered special status species within the rapidly expanding region of Eastern Contra Costa. The subject property is located outside of the

HCP/NCCP urban development area and thus HCP ordinance no. 2007-53 does not apply to the project. Therefore, the project would not conflict with any conservation plan.

Sources of Information

AEI Consultants. “Biological Resource Assessment Report, 98 North Jackson Way.” Prepared for Nawlist. 27 July 2022.

Alexander Llamas, Consulting Arborist. “Arborist Report for 98 N Jackson Way, Alamo, CA.” Revised. Received on 20 January 2022.

APEX Civil Engineering & Land Surveying, Inc. “Preliminary Stormwater Control Plan for Jackson Oaks (MS21-0007).” Prepared for Nawaid Hamid. 22 April 2022.

APEX Civil Engineering & Land Surveying. Tentative Map and Project Plans. Received on 22 April 2022.

Contra Costa County Code. “Title 8 – Zoning.”
https://library.municode.com/ca/contra_costa_county/codes/ordinance_code?nodeId=TIT8ZO.

Superior Court of the State of California, in/for the County of Contra Costa, People of State of California acting by and through the Department of Public Works v. Olaf K. Nieman, et. al. “Final Order of Condemnation, Parcels 3-1st (drainage easement) and 3-2nd (temporary highway easement).” Recorded 1962 at the request of plaintiff as 4212 Official Record 96.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
5. CULTURAL RESOURCES – Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource pursuant to §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a) **No Impact:** The California Public Resources code defines a historical resource as a resource that has been listed or is eligible for listing on the California Historical Register of Historical Resources, a resource included in a local register of historical resources, or a resource identified as significant in a historical survey meeting the requirements of the Public Resources Code. The available records indicate that the existing residence was built in 1946. Based on comments received from the California Historical Resources Information System (CHRIS) for this project, the Office of Historic Preservation has determined that any building or structures 45 years or older may be of historical value. However, neither the subject property nor any of the existing structures located on the parcel are listed in the California Register of Historic Resources or the Contra Costa County Historic Resources Inventory or are associated with historically or culturally significant

events. In addition, the existing residence and the structures accessory to its use are proposed to remain and will be undisturbed by this project. Thus, the subdivision of the subject property and potential development of Parcel B would not cause a significant adverse change in the significance of a historical resource pursuant to Section 15064.5 of the CEQA Guidelines.

- b) **Less Than Significant With Mitigation Incorporated:** According to the letter from staff of the CHRIS (June 30, 2021), there is no record of any previous cultural resource studies for the proposed project area. Thus, CHRIS indicates that the project area has the possibility of containing unrecorded archaeological sites. As shown on Figure 9-2 (Archeological Sensitivity Map) of the Contra Costa County General Plan, the project site and its surroundings are largely urbanized areas that are excluded from archaeological sensitivity surveys, but there may also be significant archaeological resources within these areas.

Potential Impacts: Upon approval of the project, the future development of the site could include ground disturbance which has the potential for uncovering previously unknown cultural resources.

The following mitigation measures will ensure that in the event cultural resources are discovered, the proper actions are taken to reduce the adverse environmental impacts to cultural resources to a less than significant level:

CUL-1: If deposits of prehistoric or historical archaeological materials are encountered during ground disturbance activities, all work within 50 feet of the discovery shall be redirected. A qualified archaeologist certified by the Society for California Archaeology (SCA) and/or the Society of Professional Archaeology (SOPA), and the Native American Tribe that has requested consultation and/or demonstrated interest in the project shall be contacted to evaluate the significance of the finds and suggest appropriate mitigation(s) if deemed necessary.

CUL-2: If the deposits are not eligible, avoidance is not necessary. If the deposits are eligible, they will need to be avoided by impacts or such impacts must be mitigated. Upon completion of the archaeological assessment, a report should be prepared documenting the methods, results, and recommendations. The report should be submitted to the Northwest Information Center and appropriate Contra Costa County agencies.

Prehistoric materials can include flake-stone tools (e.g., projectile points, knives, choppers) or obsidian, chert, or quartzite tool-making debris; culturally darkened soil (i.e., midden soil often containing heat-affected rock, ash and charcoal, shellfish remains, and cultural materials); and stone milling equipment (e.g., mortars, pestles, handstones). Historical materials can include wood, stone, concrete, or adobe footings, walls and other structural remains; debris-filled wells or privies; and deposits of wood, glass ceramics, and other refuse.

- c) **Less Than Significant With Mitigation Incorporated:** The project record does not have any prior cultural resource studies conducted at the subject property which indicate that human remains exist at the subject property.

Potential Impact: There is a possibility that human remains could be present, and that accidental discovery could occur.

Implementation of the following mitigation measure would reduce the potential to disturb any human remains, including those outside of formal cemeteries, to a less than significant level:

CUL-3: Should human remains be uncovered during grading, trenching, or other on-site excavation(s), earthwork within 30 yards of these materials shall be stopped until the County coroner has had an opportunity to evaluate the significance of the human remains and determine the proper treatment and disposition of the remains. Pursuant to California Health and Safety Code Section 7050.5, if the coroner determines the remains may be those of a Native American, the coroner is responsible for contacting the Native American Heritage Commission (NAHC) by telephone within 24 hours. Pursuant to California Public Resources Code Section 5097.98, the NAHC will then determine a Most Likely Descendant (MLD) tribe and contact them. The MLD tribe has 48 hours from the time they are given access to the site to make recommendations to the land owner for treatment and disposition of the ancestor's remains. The land owner shall follow the requirements of Public Resources Code Section 5097.98 for the remains.

Sources of Information

California Historical Resources Information System (CHRIS). "CDMS21-00007 / APN 192-060-001 at 98 N Jackson Way Alamo, CA." Agency Comment Response Letter. 30 June 2021.

Contra Costa County General Plan. "Chapter 9: Open Space Element." 2005-2020.
<http://www.co.contra-costa.ca.us/DocumentCenter/View/30919/Ch9-Open-Space-Element?bidId=>.

Contra Costa County. "Historic Resources Inventory." Revised 2019. Accessed in 2022.
<https://www.contracosta.ca.gov/DocumentCenter/View/1116/Historic-Resources-Inventory-HRI?bidId=>.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
6. ENERGY – Would the project:				
a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SUMMARY:

a-b) **No Impact:** The proposed two-lot minor subdivision does not include any development or construction and as such does not propose to consume any energy resources that would potentially be inefficient or unnecessary. However, if approved, it is reasonable to anticipate the project may result in the future construction of one new single-family residence on Parcel B. In December 2015, a Climate Action Plan (CAP) was adopted by the Contra Costa County Board of Supervisors in order to identify and achieve a reduction in greenhouse gas (GHG) emissions by the year 2020

as mandated by the State under AB32. The design and operation strategies set forth in the CAP for reducing GHG emissions include measures such as installing energy efficient appliances that would also reduce the project's consumption of energy resources during operation. Any future development of the project site will require compliance with all California Code Title 24 (CalGreen) building energy efficiency standards for single-family residences that are in effect at the time that building permit applications are submitted, including any standards regarding the provision of solar energy. During construction, the project may require temporary electrical power. The General Contractor would be required to apply for a temporary power permit from the County and to comply with all applicable building standards for a temporary power connection. Therefore, there will be no impact on electrical energy resources or state or local plans for renewable energy or energy efficiency due to the two-lot minor subdivision or the construction or operation of a new single-family residence.

Sources of Information

California Building Code, 2019.

Contra Costa County. "Climate Action Plan." Adopted by the Contra Costa County Board of Supervisors on 15 December 2015. <http://www.co.contra-costa.ca.us/DocumentCenter/View/39791/Contra-Costa-County-Climate-Action-Plan?bidId=>.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
7. GEOLOGY AND SOILS – Would the project:				
a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a) i) **Less Than Significant Impact:** According to the California Geological Survey (CGS), the subject property is not mapped within the Alquist-Priolo Earthquake Fault Zone (EFZ). A geological peer review of the project site was performed by the County Peer Review Geologist in June of 2021. According to the Peer Review Geologist, the nearest mapped Alquist-Priolo EFZ of the Concord and Calaveras faults are located approximately 4 miles to the northeast and south of the site, respectively. The Peer Review Geologist indicates that there is evidence that the northern portion of the Calaveras fault coincides with the foothills of the Las Trampas Ridge, approximately 2,000 feet southwest of the project site. However, they further indicate that there has been no proven evidence that this portion of the Calaveras fault has experienced surface fault rupture since the Holocene time (i.e., during the last $\pm 11,000$ years) and as such has not been identified as an EFZ. Therefore, the probability of the project site experiencing surface rupture can be considered very low and there is a less than significant impact on or due to the project with respect to the rupture of a known earthquake fault.

ii, iii) **Less Than Significant With Mitigation Incorporated:** As stated above, the project site is not within an Alquist-Priolo EFZ and the risk of fault rupture at the site is remote. However, according to the U.S. Geological Survey, there is a 72 percent chance of at least one magnitude 6.7 or greater earthquake striking the San Francisco Bay region between 2014 and 2044. The County General Plan Safety Element classifies the project site as having *Moderate Damage Susceptibility* due to ground shaking (Figure 10-4). In addition, the Safety Element classifies the project site as within a *Generally Moderate to Low* liquefaction potential. Thus, there are potentially substantial adverse effects due to secondary seismic hazards including ground shaking or ground failure. The project does not include any development of the two proposed parcels; however, it is anticipated that, if approved, the private road which will serve as access to new Parcel B, a new single-family residence and accessory structure, and a bio-retention drainage basin on that new parcel would eventually be constructed. If constructed, the project may be subjected to earthquakes that will cause strong ground shaking and potentially liquefaction. The California Building Code (CBC) requires the use of seismic parameters in the design of all structures requiring building permits. These parameters are based on soil profile types and proximity of faults deemed capable of generating strong/violent earthquake shaking. The County Peer Review Geologist points out that compliance with building codes does not guarantee that significant structural damage would not occur during a maximum magnitude earthquake. Nevertheless, building codes are intended to keep earthquake risks to an acceptable minimum, and compliance

with the provisions of the CBC along with a conservative design and quality construction are the best means of controlling the life loss and damage potential of earthquakes.

According to the CGS, the subject property does not lie within a liquefaction zone. Therefore, the proposed project is not subject to the provisions of the Seismic Hazard Mapping Act. The Safety Element of the County General Plan classifies the project site as *Generally Moderate to Low* liquefaction potential (Figure 10-5), however, the Peer Review Geologist indicates that the project site may be underlain by relatively clay free sands and silts that, if saturated, may present a liquefaction potential.

Potential Impacts: Although the subject property is not located within a designated EFZ, there is a potential for direct or indirect risks of loss, injury or death involving secondary seismic hazards such as ground shaking, ground failure, and liquefaction. In addition, although the Peer Review Geologist indicates that firm, dry alluvial deposits may perform satisfactorily under earthquake shaking, due to the adjacent San Ramon Creek, there is a potential for perched water near the surface of the project site which may present a liquefaction potential. Provided the structures and improvements are designed in accordance with the most recent CBC and upon implementation of the mitigation measures below, adverse effects due to strong seismic ground shaking would be reduced to a less than significant level.

Accordingly, staff recommends that the following mitigation measures be incorporated at the project design level to reduce the potential hazards resulting from ground shaking, ground failure, and liquefaction to a less than significant level:

GEO-1: At least 45 days prior to filing of the Final Map, the project proponent shall submit a geotechnical report for review by the Community Development Division (CDD) and the County Peer Review Geologist which includes a subsurface investigation, laboratory testing of samples, engineering analysis of the data gathered, and the consultant's evaluation of potential geologic/seismic hazards, including liquefaction and the possibility of soil expansion and corrosivity. The analysis shall include at least one boring depth of 40 feet (or to bedrock, whichever is less) on Parcel B. Borehole logs shall provide the details of the observed features and conditions and shall not be diagrammatic or generalized. The report shall include preliminary recommendations for site grading, drainage, and foundation design, and mitigation measures for all significant impacts that are confirmed to be present on the site.

iv) **No Impact:** The subject property is located in an area of the County that is relatively flat with very little topographical rise. The project is not located within a landslide hazard zone as designated by the California Geological Survey, nor were any landslides identified near or at the project site by the County Peer Review Geologist. In addition, the Peer Review Geologist indicates that information from USGS mapping suggests there is a low potential for the risk of landslide or slope failure in the vicinity of the project. Therefore, there is no impact on or due to the project with respect to the presence of landslides.

- b) **Less Than Significant Impact:** Any areas that are disturbed during construction of the project would be covered by the proposed improvements or landscaping. Since all areas of the property that will be disturbed will be covered by new structures, pervious and impervious surfaces, or landscaping, the potential for soil erosion or loss of topsoil is less than significant. Additionally, a routine provision for grading permits in Contra Costa County is a requirement for submittal of

an erosion control plan. This plan is subject to technical review by inspectors of the County Grading Section. Normally there are refinements to erosion control plans as the winter rainy season approaches. Additional details are included in the refined erosion control plan, including such items as provisions for (a) storage of extra erosion control materials on site and (b) monitoring of the performance of disturbed areas on the site during/immediately following significant rainstorms. If erosion control facilities are damaged or failing to perform as intended, the erosion control measures being implemented on the site are refined to correct the deficiency. Implementation of an erosion control plan during grading and/or construction activities would further ensure that the project results in less than significant impacts on erosion or the loss of topsoil.

- c) **Less Than Significant Impact with Mitigation Incorporated:** As discussed above in subsection-a, the subject property is not located within a landslide hazard zone as designated by the CGS. Nor were any landslides identified near or at the project site by the County Peer Review Geologist. The USGS defines lateral spread as “landslides that commonly form on gentle slopes and that have rapid fluid-like flow movement, like water.” Although the project site is relatively flat, the easternmost portion of the property slopes down towards the San Ramon Creek with an approximately 12-foot drop and a greater than 26% slope percentage. Aside from an existing fence separating the project site from the creek area, the primary structure proposed near this area of the property is a bio-retention basin which generally maintains existing drainage from the property. Thus, the County Peer Review Geologist indicates that information from USGS mapping suggests there is a low potential for the risk of slope failure in the vicinity of or as a result of the project, and the risk of landslides or lateral spreading failure is low. As discussed in subsection-a above, although the subject property does not lie within a liquefaction hazard zone, the County General Plan Safety Element classifies it as having a *Generally Moderate to Low* risk of liquefaction. The proposed two-lot minor subdivision does not include any development on the proposed new lot, however, it is reasonably expected that, if approved, a new single-family residence could be constructed on Parcel B.

Potential Impacts: If developed with a new single-family residence, there is a potential for project impacts due to liquefaction. Accordingly, staff recommends that mitigation measures be incorporated. Implementation of mitigation measure **GEO-1** in subsection-a above would ensure that any potential impacts resulting from liquefaction are reduced to less than significant levels.

- d) **Less Than Significant Impact with Mitigation Incorporated:** According to the County Peer Review Geologist, the U.S. Geological Survey indicates a low shrink-swell potential and low corrosion potential. However, in the Peer Review Geologist’s experience, the soils in the vicinity of the project site have generally been found to be moderately expansive and moderately corrosive. When expansive materials are subjected to increases in moisture content, they swell if unconfined. If concrete slabs or shallow foundations confine the expansive materials, they can exert significant pressures when subjected to moisture increases. These pressures can cause slabs and shallow foundations to heave and crack. When the expansive materials dry, they shrink, causing slabs and shallow foundations to settle. Thus, expansive clays, which are common in the San Francisco Bay Area, have the potential to cause extensive damage to structures, particularly when combined with the Bay Area’s significant seasonal moisture changes due to its pronounced wet and dry seasons.

Potential Impacts: There is a potential for project impacts due to the presence of expansive soils if Parcel B is developed with a new single-family residence. Accordingly, staff recommends that mitigation measures be incorporated. Implementation of mitigation measure **GEO-1** in subsection-a above would ensure that any potential impacts resulting from due to expansive soils are reduced to less than significant levels.

- e) **No Impact:** The subject property is within an area served by the Central Contra Costa Sanitary District. Thus, a septic system will not be necessary or installed as a result of this project.
- f) **Less Than Significant Impact:** The subject property as a whole is relatively flat, with a slope that increases down towards San Ramon Creek. The property is developed with one single-family residence and its accessory structures. According to the Tentative Map, the project proposes minimal grading for the future development of the access driveway and a foundation for a future residence on Parcel B. The County Peer Review Geologist has not identified any unique geologic features which would be directly or indirectly destroyed by the project. The project site is located within an established neighborhood and urbanized area and consists of soils and other geologic features which are typical in the surrounding Alamo area. Thus, there is a less than significant potential for the project to disturb previously unknown unique paleontological resources.

Sources of Information

Apex Civil Engineering & Land Surveying. Tentative Map and Project Plans. Received on 22 April 2022.

California Building Code, 2019.

California Geological Survey. "Earthquake Zones of Required Investigation – California Geological Survey." Map. Accessed 2022. <https://maps.conservation.ca.gov/cgs/EQZApp/app/>

Contra Costa County General Plan. "Chapter 10: Safety Element." 2005-2020. <https://www.contracosta.ca.gov/DocumentCenter/View/30920/Ch10-Safety-Element?bidId=>.

Darwin Meyers Associates. "Geologic Peer Review / 30-Day Comments (CDMS21-00007)." 30 July 2021.

US Geological Survey (USGS). "UCERF3: A New Earthquake Forecast for California's Complex Fault System." March 2015. <https://pubs.usgs.gov/fs/2015/3009/pdf/fs2015-3009.pdf>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
8. GREENHOUSE GAS EMISSIONS – Would the project:				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a) **Less Than Significant Impact:** As discussed in the Air Quality section of this study, the Bay Area Air Quality Management District (BAAQMD) adopted the *Bay Area 2017 Clean Air Plan* that, in addition to various criteria air pollutants, addresses greenhouse gas (GHG) emissions at a regional scale. Although the project plans submitted for the proposed two-lot minor subdivision do not propose development of the lots, the subdivision of land could result in the future construction of a new single-family residence on Parcel B as well as associated accessory structures. The construction and future operation of a new single-family residence is likely to generate GHG emissions. However, based on the screening criteria provided in the 2017 BAAQMD CEQA Guidelines, the amount of GHG generated would not result in a significantly adverse environmental impact. The screening criteria are not thresholds of significance but were developed to provide a conservative indication of whether or not a proposed project could result in potentially significant air quality impacts. According to these guidelines, a project that does not exceed the Operational GHG Screening Size is not expected to result in significant environmental impacts relating to the generation of GHG. For single-family residential development, the operational screening size is 56 dwelling units, and the construction-related screening size is 114 dwelling units (Table 3-1 of the BAAQMD CEQA Guidelines). One new dwelling unit on Parcel B in addition to the existing residence on Parcel A is well below the operational and construction-related screening size for single-family residences. Thus, this project is expected to have a less than significant impact, either directly or indirectly, on the environment with respect to greenhouse gas emissions.
- b) **Less Than Significant Impact:** As discussed above in subsection-a and in accordance with the Contra Costa County Climate Action Plan, which was discussed in the Air Quality section of this study, any impacts of the proposed project would result in negligible increases to the amount of greenhouse gas emissions in the County. The 2017 Thresholds of Significance set forth in the BAAQMD CEQA Guidelines include an analysis and screening criteria for determining if a project would contribute to a significant impact to the environment due to the projected greenhouse gas (GHG) emissions. As is done with the regulated air pollutants, if the proposed project would generate GHG emissions above the identified threshold, then the project would be seen as having the potential for a significant impact. As indicated in the Air Quality CEQA Thresholds of Significance (Table 2-1) of the BAAQMD CEQA Guidelines, a project with total Operational-Related GHG emissions from other than stationary sources¹ that are at a minimum 1,100 metric tons (MT) of CO_{2e} per year level or otherwise are not in compliance with a qualified GHG Reduction Strategy would have a significant impact on the environment. While development of Parcel B of the two-lot subdivision is not proposed at this time, it is reasonable to anticipate that the project could result in the construction of a new single-family residence sometime in the future. However, any emissions generated as a result of the operational activities of one new single-family residence in addition to the existing residence on Parcel A will be far less than the 1,100 MT carbon dioxide threshold and will not result in significant levels of GHG that will conflict with any applicable plan, policy, or regulation pertaining to the reduction of GHG. There may be some increase in greenhouse gases as a result of the project, but they would be considered less than significant due to the temporary nature of the construction phase of the project. Additionally, any cumulative impacts of the proposed project to the amount of greenhouse

¹ Stationary sources include, e.g., emergency generators (diesel or natural gas); stationary-source projects are those land uses that would accommodate processes and equipment that emit GHG emissions and would require an Air District permit to operate.

gas emissions in the County would be negligible and well below the operational and construction-related screening size identified by the BAAQMD for single-family residences. Therefore, the proposed minor subdivision would not substantially conflict with plans, policies, or regulations adopted for the purpose of reducing the emission of greenhouse gases.

Sources of Information

Bay Area Air Quality Management District. "California Environmental Quality Act, Air Quality Guidelines." May 2017. http://www.baaqmd.gov/~media/files/planning-and-research/ceqa/ceqa_guidelines_may2017-pdf.pdf?la=en.

Bay Area Air Quality Management District. "Spare the Air, Cool the Climate Final, 2017 Clean Air Plan." Adopted 19 April 2017. http://www.baaqmd.gov/~media/files/planning-and-research/plans/2017-clean-air-plan/attachment-a_-proposed-final-cap-vol-1-pdf.pdf?la=en.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
9. HAZARDS AND HAZARDOUS MATERIALS – Would the project:				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a-b) **Less Than Significant Impact:** The proposed project is a two-lot minor subdivision of a 1.50-acre parcel of land and does not include any development. After approval of the proposed two-lot minor subdivision application, a single-family residence and accessory structures could be built on Parcel B. There would be associated use of fuels and lubricants, paints, and other construction materials during the construction period. The use and handling of hazardous materials during construction would occur in accordance with applicable federal, state, and local laws, including California Occupational Health and Safety Administration (Cal/OSHA) requirements. Through compliance with existing regulations, the project would have a less than significant impact from construction.

Project operation would involve the routine transport, use, and disposal of hazardous materials in very small quantities as they relate to household use. Contra Costa County regulates household hazard disposal, and the home's occupants would be responsible for proper handling and disposal of household materials. Because any hazardous materials used for household operations would be in small quantities, long-term impacts associated with handling, storing, and dispensing of hazardous materials from project operation would be considered less than significant.

Therefore, the potential for impacts associated with handling, storing, and dispensing of hazardous materials, or through reasonably foreseeable upset and accident conditions involving the likely release of hazardous materials into the environment from project construction or operation would be less than significant.

- c) **Less Than Significant Impact:** The Dorris-Eaton School, located approximately 0.22-miles east of the project site on the opposite side of I-680 (an 8-lane freeway) is the nearest school to the subject property. As discussed above in subsection-a-b, there is no anticipated use, storage, dispensing, or transport of significant quantities of hazardous materials for either the construction or operation of the project which is residential in nature. In addition, due to the presence of a major highway between the project site and the school, impacts on the school due to any hazardous emissions or the handling of hazardous or acutely hazardous materials, substances, or waste at the project site during project operation or construction within one-quarter mile of the school would be less than significant.
- d) **No Impact:** Pursuant to the Hazardous Waste and Substances Site List (Cortese List) maintained by the California Department of Toxic Substances Control (DTSC), the subject property is not identified as a hazardous materials site.
- e) **No Impact:** The project is not located within the vicinity of any public airport or public use airport and will not conflict with an airport land use plan. The nearest airport facility to the project site is the Buchanan Airport approximately 8.75 miles north of the project site. Thus, the proposed project would not present any safety hazard to airports or excessive noise for people residing or working in the project area.
- f) **Less Than Significant Impact:** The subject property fronts North Jackson Way and is located approximately 900 feet east of Danville Boulevard, 0.25-mile north of Stone Valley Road, and 525 feet west of the I-680 freeway. Danville Boulevard and Stone Valley Road in this area are identified as arterial routes in the Transportation and Circulation Element of the General Plan (Figure 5-2) and would be used in the event of an emergency requiring evacuation of the local neighborhood. The proposed two-lot minor subdivision would not interfere with the existing infrastructure of North Jackson Way or of the nearby arterials or freeway. In addition, any

potential future development of Parcel B as a single-family residence (the residence on Parcel A would remain) would not be significant enough to require a transportation analysis for the purpose of emergency response and evacuation plans. The proposed roadway to Parcel B has been reviewed by County Public Works and there is no indication that it will impact the minimum sight distances for vehicles entering and exiting the site. The proposed project will not affect any existing communication/utility structures such as power poles or telecommunications towers, which may be necessary for an existing emergency response or evacuation plan. Accordingly, the project would have a less than significant impact on emergency response and emergency evacuation plans.

- g) **Less Than Significant Impact:** The subject property as well as the surrounding area is characterized as an “Urban Unzoned” within the California Department of Forestry and Fire Protection’s draft Local Responsibility Area (LRA) and would therefore not be considered to have a high hazard risk due to wildfires. The nearest areas that are classified as having a high fire hazard severity on the draft LRA map are located approximately 1/4-mile south and west of the subject property. The project site is in the San Ramon Valley Fire Protection District service area. Projects with the potential for development are generally referred to the Fire District for review and comment to ensure that the proposal does not conflict with applicable fire codes. There was no indication from the Fire District review of the project that the proposed two-lot minor subdivision poses a significant fire risk or fire access risk. The project does not include any development; however, any future proposed development will be required to comply with the requirements of the San Ramon Valley Fire Protection District and with current building codes, including those requiring the installation of automatic fire sprinklers in new single-family residences. Therefore, there is a less than significant impact or less than significant direct or indirect risk of exposing people to loss, injury, or death involving wildland fire.

Sources of Information

- California Building Standards Commission. “2019 California Fire Code, California Code of Regulations, Title 24, Part 9.” Accessed in 2022. <https://codes.iccsafe.org/content/CAFC2019>.
- California Department of Toxic Substances Control. “Hazardous Waste and Substances Site List (Cortese).” Accessed in 2022. <https://dtsc.ca.gov/dtscs-cortese-list/>
- California State Geoportal. “California Fire Hazard Severity Zone Viewer.” Accessed in 2022. <https://gis.data.ca.gov/datasets/789d5286736248f69c4515c04f58f414>.
- Contra Costa County General Plan. “Chapter 5: “Transportation and Circulation Element.” 2005-2020. <http://www.co.contra-costa.ca.us/DocumentCenter/View/30915/Ch5-Transportation-and-Circulation-Element?bidId=>
- Contra Costa County Public Works Department. “Minor Subdivision MS21-0007 Staff Report & Recommended Conditions of Approval.” 5 May 2022.
- San Ramon Valley Fire Protection District. “Planning Application Review at 98 N Jackson Way.” Agency Comment Response Letters. 09 June 2021 and amended 05 October 2021.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
10. HYDROLOGY AND WATER QUALITY – Would the project:				
a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a, e) **Less Than Significant Impact:** A Stormwater Control Plan (SWCP) is required for applications to subdivide land where the resulting project may result in a total amount of impervious surface area exceeding 10,000 square feet. If at least 10,000 square feet of impervious area is identified for development, a SWCP shall be prepared and submitted for the review and approval of the Public Works Department, in compliance with the Stormwater Management and Discharge Control Ordinance (§1014), and the County's Municipal Separate Storm Sewer System (MS4) National Pollutant Discharge Elimination System (NPDES) Permit. The Preliminary SWCP submitted by the application for review by the County's Public Works Department indicates that an estimated 11,661 square feet of new impervious surfaces would result if the proposed two-lot minor subdivision is approved, and a new residence is constructed on Parcel B (the existing residence and 8,778 square feet of existing impervious surfaces would remain as-is). According to the submitted Preliminary SWCP, drainage from the site will be collected in a bio-retention

area (BR-1 on the Tentative Map) at the low, northeast corner of Parcel B which then drains to San Ramon Creek. The proposed drainage will maintain the existing natural drainage pattern. The creek channel is engineered and has rip-rap side slopes through which the dissipated and spread-out overland release from the bio-retention basin would flow. No development is proposed with the project as submitted, although some grading is to be included for the proposed private road and development sites identified on the tentative map. If approved, the project is likely to result in the eventual construction of a new single-family residence and accessory structures on Parcel B. Based on comments received from staff of the County Public Works Department (May 20, 2022), the Preliminary SWCP has been accepted as preliminarily complete and a Final SWCP is not required for this project until an application for a building permit is submitted. Thus, the proposed project is anticipated to be in compliance with applicable water quality standards and/or discharge standards and will not significantly degrade water quality. Furthermore, there is no evidence in the record that the project would conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan.

- b) **Less Than Significant Impact:** The project does not include any construction, however, if the minor two-lot minor subdivision is approved, single-family residential development is expected in the future on Parcel B. The subject property currently receives water service from the East Bay Municipal Utility District (EBMUD). Since any future water service will be provided by EBMUD, no groundwater wells will be required. The project would therefore have no effect on groundwater supplies. The Preliminary Grading, Drainage, & Utility Plan prepared by APEX Civil Engineering & Land Surveying dated April 22, 2022, shows that one bio-retention basin is feasible for the new lots, which would facilitate groundwater recharge. The catch basin's design will be reviewed prior to permission of construction to ensure compliancy with the County's adopted C.3 requirements. Thus, the project will have a less than significant impact on groundwater supplies.
- c) **Less Than Significant Impact (i-iv):** Division 914 of the County Ordinance Code requires that all storm water entering and/or originating on this property to be collected and conveyed, without diversion and within an adequate storm drainage system, to an adequate natural watercourse having a definable bed and banks or to an existing adequate public storm drainage system which conveys the storm water to an adequate natural watercourse. As discussed above in subsection-a, the proposed drainage for the project will be collected in a bio-retention area from which overflow then drains to San Ramon Creek, maintaining the existing natural drainage pattern for the subject property. A Final SWCP is not required for this project until an application for building permits is submitted per the January 2021 memo from the Department of Public Works. Thus, in complying with California Regional Water Quality Board C.3 requirements for storm water design elements, a completed and County-approved SWCP ensures that the project will regulate surface runoff in a manner that prevents erosion, siltation and on- or off-site flooding.

Based on the Federal Emergency Management Agency (FEMA) National Flood Hazard map, the eastern portion of the subject property comprising the San Ramon Creek area is located within a Special Flood Hazard Zone (Flood Zone AE). Special Flood Hazard Zones are defined by FEMA as areas that have a 1% annual chance of flooding. The project does not include any construction, however, upon approval of the minor subdivision and as shown on the tentative map, future single-family residential development would be located in the western area of the resultant Parcel B which is located in Flood Zone X. In addition, pursuant to an existing grant deed of development rights for a drainage easement on the property (4212 OR 96, recorded 1962), the area of the subject property identified as being with Flood Zone AE is restricted from development. Considering that

the project avoids and is further restricted from building areas of the subject property within Flood Zone AE, it is anticipated that the project will not significantly impede or redirect flood flows in the area.

Therefore, the potential for the proposed project significantly altering drainage patterns or exceeding the capacity of existing or planned stormwater drainage systems in a manner that would result in substantial erosion, polluted runoff, or flooding is less than significant.

- d) **Less Than Significant Impact:** Seiche, tsunami, and mudflow events are generally associated with large bodies or large flows of water. The Alamo area is not included in any tsunami inundation area identified by the California Geological Survey (CGS) hazard maps. According to the Safety Element of the County General Plan, the project site is not located in a hazard zone for mudflows. A seiche is a standing water wave in a standing body of water such as a large lake or reservoir that is caused by an earthquake, a major landslide, or strong winds causing front and back oscillations of the water, similar to a storm surge. The nearest reservoir is the Upper San Leandro Reservoir located approximately 6 miles southwest of the subject property. Thus, the project is unlikely to be affected by any potential seiche. The project would be required to construct C.3-compliant stormwater control facilities, as a condition of approval. The stormwater facilities would be installed concurrently with or prior to residential construction. The bio-retention basin would filter stormwater and reduce the level of pollutants in the runoff and the potential for redirection of flood flows. Although the easternmost portion of the subject property is located in a flood zone, the project site is not located within a flood hazard area due to restrictions on development within the San Ramon Creek area. As such, there would be a less than significant risk of pollutants being released from the site due to inundation through flooding, tsunamis, mudflows, or seiche, therefore, there would be a less than significant impact in this analysis category.

Sources of Information

APEX Civil Engineering & Land Surveying, Inc. "Preliminary Stormwater Control Plan for Jackson Oaks (MS21-0007)." 4 April 2022.

APEX Civil Engineering & Land Surveying, Inc. "Tentative Map." Received on 4 April 2022.

California Department of Conservation. "Contra Costa County Tsunami Inundation Maps." Accessed in 2022. <https://www.conservation.ca.gov/cgs/Pages/Tsunami/Maps/ContraCosta.aspx>

Contra Costa County Public Works Department. "Minor Subdivision MS21-0007 Staff Report & Recommended Conditions of Approval." 5 May 2022.

FEMA. "FEMA Flood Map Service Center, National Flood Hazard Map." Accessed in 2022. <https://msc.fema.gov/portal/search>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
11. LAND USE AND PLANNING – Would the project:				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Cause a significant environmental impact due to conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a) **No Impact:** The subject property is developed with one single-family residence and structures that are accessory to its use. The project site is approximately 1.5 acres in area and is not large enough to constitute an independent, established “community” within its boundaries. The subject property is surrounded by single-family residences to the north, west, and south, and the I-680 freeway to the east. The project does not include any development; however, no aspect of the project would change the existing residential land uses on the lot or any of the surrounding lots. Furthermore, the proposed project does not consist of a new roadway or other improvements that would impede or disrupt the manner in which people enter and exit the Alamo area. Thus, the proposed project would not physically divide an established community.
- b) **Less Than Significant Impact:** The proposed two-lot minor subdivision of an approximately 1.50-acre parcel of land is subject to the land use plans and policies below:

Land Use Element:

The subject property is located in a Single-Family Residential, Low Density (SL) General Plan land use designation. Generally speaking, the purpose of the SL designation is to allow for the development of detached single-family residences and accessory buildings and structures on lots as large as 43,560 square feet in area, while also allowing for secondary uses that are considered to be compatible with low density homes (e.g., accessory dwelling units or ADUs, churches, home occupations, small residential and child care facilities). The SL land use designation allows for a density of up to 2.9 units per net acre. As proposed, the two-lot subdivision would result in approximately 1.9 units per net acre. Thus, the proposed subdivision of land will not alter or conflict with the density by allowing the potential for more residential units than what is allowed for the project site.

Policies for the Alamo-Diablo-Blackhawk Area:

General Plan Policies 3-115 to 3-125 are specific to the guidance of uses and development for the Alamo-Diablo-Blackhawk areas of the County. Policies 3-115, 3-116, 3-119, and 3-124 are applicable to residential development within the Alamo area and the project as discussed below:

- The intent of policies 3-115, 3-116, and 3-119 is to promote the individuality and unique character of each community based on existing community images, and to promote the character of the area as one of predominantly single-family residences. In particular, the goal of policy 3-119 is to maintain the viability and desirability of single-family residential uses on Jackson Way, South Jackson Way, and Linden Court, all of which are in the immediate vicinity of the project, by disallowing land use changes or project

characteristics that would diminish these residential areas. After approval of the proposed two-lot minor subdivision application, one existing single-family residence would remain on Parcel A and a single-family residence could be built on Parcel B. Thus, the project would have no impact on the character of the community and established single-family residential neighborhood in which the project is located.

- The intent of policy 3-124 is to require developments to be reviewed to ensure the continued rural character of the area. The project has been reviewed to determine its compatibility with the predominantly single-family residential neighborhood that surrounds it. The surrounding area is fairly urbanized, however, there is an element of rural character along the small roads and lanes that typically lack sidewalks and curbs. Thus, the applicant has requested an exception to the sidewalk and curb improvements specified in County Code Chapters 98-6 and 96-12. Staff of the Public Works Department indicated that they are not averse to granting the exception since curb and sidewalk improvements are not typical within this area of Alamo and the exception will maintain the “natural” character of the neighborhood.

Conservation Element: The Conservation Element of the General Plan lists three overall conservation goals (8A-8C):

- Conservation Goal 8A: To preserve and protect the ecological resources of the County.
- Conservation Goal 8B: To conserve the natural resources of the County through control of the direction, extent, and timing of urban growth.
- Conservation Goal 8C: To achieve a balance of uses of the County’s natural and developed resources to meet the social and economic needs of the County’s residents.

The subject property is not located within an area of known ecological sensitivity and the entire project site has been previously disturbed, primarily through maintenance of the parcel that is developed with one single-family residence and accessory structures. The project does not affect any known gas or mineral resources and, through the implementation of mitigation measures throughout this Initial Study, would not significantly affect air quality, biological, geological, or cultural resources in Contra Costa County. In addition, the San Ramon Creek area within the easternmost portion of proposed Parcel B is protected from development through an existing grant deed of development rights (4212 OR 96, recorded 1962).

Zoning

The two-lot minor subdivision project is consistent with the criteria for lot size and permitted land uses with the Single-Family Residential (R-20) zoning district. Any potential future development would be subject to the provisions of the R-20 zoning district and would not impact any zoning regulations with the purpose of avoiding an environmental effect.

The two-lot minor subdivision does not involve an amendment to the General Plan land use designation, or a rezoning and the resultant parcels would remain residential in nature and use. Therefore, as indicated above, the proposed two-lot minor subdivision and future development of a new single-family residence and accessory structures on Parcel B would have a less than significant potential for conflict with any applicable land use policy with the purpose of avoiding or mitigating an environmental effect.

Sources of Information

Apex Civil Engineering & Land Surveying. Tentative Map and Project Plans. Received on 22 April 2022.

Contra Costa County General Plan. "Chapter 3: Land Use Element." 2005 – 2020.
<http://www.co.contra-costa.ca.us/DocumentCenter/View/30913/Ch3-Land-Use-Element?bidId=>.

Contra Costa County General Plan. "Chapter 8: Conservation Element." 2005-2020.
<http://www.co.contra-costa.ca.us/DocumentCenter/View/30918/Ch8-Conservation-Element?bidId=>.

Contra Costa County Code. "Title 8 – Zoning."
https://library.municode.com/ca/contra_costa_county/codes/ordinance_code?nodeId=TIT8ZO.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
12. MINERAL RESOURCES – Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SUMMARY:

a-b) **No Impact:** According to Figure 8-4 (Mineral Resource Areas) of the Contra Costa County General Plan, the subject property is not located within an area identified as a significant mineral resource area and there is no other information in the project record that indicates the presence of mineral resources. Thus, there is no indication that the known mineral resources would be affected by the proposal or that the project would result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state, or of a locally-important mineral resource recovery site.

Sources of Information

Contra Costa County General Plan. "Chapter 8: Conservation Element." 2005-2020.
<http://www.co.contra-costa.ca.us/DocumentCenter/View/30918/Ch8-Conservation-Element?bidId=>.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
13. NOISE – Would the project result in:				

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SUMMARY:

- a) **Less Than Significant Impact with Mitigations Incorporated:** The proposed two-lot minor subdivision of land does not include any development and thus no additional noise beyond existing levels is expected at the project site. However, potential future development of the private roadway and Parcel B is expected to include the introduction of work vehicles and power equipment for the duration of construction activities as well as earthmoving equipment for the proposed grading. Potential construction-related activities are not expected to generate excessive groundborne vibrations or groundborne noise levels that would impact the project site or the surrounding area. Groundborne vibration is most commonly associated with railroads, freeways, bus lines, heavy construction and grading activities, large truck traffic, and airports. Groundborne noise is produced when ground vibrations cause resonances in the floors and walls of buildings, which then radiate a rumbling noise directly into the rooms. The project proposes no such uses. In addition, staff will recommend conditions of approval limiting the hours and days of construction and to require the General Contractor to observe best construction practices to reduce temporary noise impacts due to construction activities on the surrounding area. Therefore, the proposed subdivision and future development of one new single-family residence would have a less than significant impact due to temporary increases in ambient noise levels or groundborne vibration/noise in the vicinity.

Figure 11-6 (Land Use Compatibility for Community Noise Environments) of the Noise Element of the County General Plan specifies noise exposure levels of 60 dB day-night sound level (DNL) or less as normally acceptable, and noise levels between 60 dB and 70 dB DNL as conditionally acceptable in residential areas. The types and levels of noise generated from the residential uses associated with the existing residence on proposed Parcel A and future residence on proposed Parcel B would be similar to noise levels from the existing single-family residential developments in the area. According to Table 11-2 (Future Noise Levels Along Freeways and Major Arterials) of the Noise Element, noise along I-680 in the vicinity of the project site is projected to be 82 dB at a distance of 100 feet from the freeway. In addition, Table 11-2 indicates that the nearest contour

where average noise levels are less than 60 dB DNL is approximately 3,200 feet from the western or eastern boundaries of the freeway corridor. County General Plan Policies 11-2 and 11-4 set the standards for acceptable exterior and interior noise levels in residential areas and developments and require an acoustical analysis if projects are potentially exposed to a DNL of 60 dB or greater.

Potential Impacts: As shown on Figure 11-5 O of the Noise Element, the subject property is within an area of the County that is subject to average noise levels above what would be considered normally acceptable for the operation of residential units. In addition, the subject property is located adjacent to the I-680 freeway. An existing sound wall constructed adjacent to and along the nearest portions of I-680 to the project site is the type of noise barrier that is commonly used to reduce freeway transportation noise levels and would provide some reduction in noise levels at the subject property. Nevertheless, if Parcel B is developed with a new single-family residence and associated site improvements, there are potentially adverse impacts on future residents due to excessive interior and/or exterior noise.

Thus, the following mitigation measure shall be incorporated as part of the project to reduce the potential impact from I-680 traffic noise to a less than significant level:

NOI-1: Prior to CDD stamp-approval of plans for issuance of a residential building permit, the applicant shall submit a noise assessment prepared by a qualified acoustician for review and approval of the CDD as evidence that the residential design meets the acceptable interior and exterior noise level standards as established in the Noise and Land Use Compatibility Guidelines contained in the Noise Element of the County General Plan, and, if warranted, includes recommendations for special design and/or construction materials.

- b) **Less Than Significant Impact:** The proposed two-lot minor subdivision of land does not include any development; however, it is reasonable to expect the potential future development of the private roadway and Parcel B to include the introduction of work vehicles and power equipment for the duration of construction activities as well as earthmoving equipment for the proposed grading. Potential construction-related activities are not expected to generate excessive groundborne vibrations or groundborne noise levels that would impact the project site or the surrounding area. Groundborne vibration is most commonly associated with railroads, freeways, bus lines, heavy construction and grading activities, large truck traffic, and airports. Groundborne noise is produced when ground vibrations cause resonances in the floors and walls of buildings, which then radiate a rumbling noise directly into the rooms. The project proposes no such uses. In addition, staff will recommend conditions of approval limiting the hours and days of construction and to require the General Contractor to observe best construction practices to reduce temporary noise impacts due to construction activities on the surrounding area. Therefore, the proposed subdivision and future development of one new single-family residence would have a less than significant impact due to temporary increases in groundborne vibration/noise in the vicinity.
- c) **No Impact:** The project is not located within the vicinity of any public airport or public use airport and will not conflict with an airport land use plan. The nearest airport facility to the project site is the Buchanan Airport approximately 8.75 miles north of the project site. Thus, the proposed project would not expose people residing or working in the project area to excessive noise levels from either Byron Airport or a private airstrip and there is no impact.

Sources of Information

Apex Civil Engineering & Land Surveying. Tentative Map and Project Plans. Received on 22 April 2022.

Contra Costa County General Plan. "Chapter 11: Noise Element." 2005-2020. <http://www.co.contra-costa.ca.us/DocumentCenter/View/30921/Ch11-Noise-Element?bidId=>.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
14. POPULATION AND HOUSING – Would the project:				
a) Induce substantial unplanned population growth in an area, either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SUMMARY:

- a) **No Impact:** The proposed two-lot minor subdivision, if approved, would potentially increase the housing stock in Contra Costa County by one dwelling unit if developed, a change that would not result in substantial population growth. If approved, the project would further limit the potential of a substantial increase in population in the area by limiting the ability of the parcel to be subdivided further. The most recent demographic data for population and housing compiled by the US Census Bureau for the Alamo area is based on the 2020 American Community Survey (2020 ACS). Available data indicates a population of approximately 15,134 people in the Alamo area, and an average estimate of 3.12 people per household. Thus, the expected population increase upon construction of one additional residence would be approximately 3 people which would increase the population in the Alamo area by less than 0.02 percent.

The project would utilize North Jackson Way, an existing, 20-foot-wide public road within a 40-foot right of way. In comments received in May of 2022, Staff of the Public Works Department indicated a potential, planned future 32-foot-wide public road within a 50-foot right of way. While the project is not required to widen the existing roadway, the Public Works Department recommends that the applicant be required, as a condition of approval of the two-lot subdivision, to dedicate the necessary right of way for the planned future width along the frontage of North Jackson Way.

The applicant has requested an exception to the sidewalk and curb improvements specified in County Code Chapters 98-6 and 96-12. Staff of the Public Works Department indicated that they are not averse to granting the exception as curb and sidewalk improvements are not typical within this area of Alamo and it will maintain the "natural" character of the neighborhood as supported by the Alamo Improvement Association.

Therefore, the project would have no potential to induce substantial population growth in the County, either directly or indirectly.

- b) **No Impact:** The project site for the proposed two-lot minor subdivision is zoned for single-family residential uses and developed with one existing single-family residence that will remain. There is no need to alter, remove, or otherwise disturb any of the nearby single-family residences to establish the subdivision or develop Parcel B in the future. Therefore, the proposed minor subdivision of land would not displace any person or existing housing, nor necessitate the construction of replacement housing elsewhere.

Sources of Information

Contra Costa County Public Works Department. "Minor Subdivision MS21-0007 Staff Report & Conditions of Approval." 20 May 2022.

United States Census Bureau. "Alamo CDP, Place in California, Profile." Accessed in 2022.

https://data.census.gov/cedsci/profile/Alamo_CDP,_California?g=1600000US0600618

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
15. PUBLIC SERVICES – Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
a) Fire Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Police Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a) **No Impact:** The proposed project for a two-lot minor subdivision has been reviewed by the San Ramon Valley Fire Protection District. In correspondence dated October 5, 2021, staff of the Fire District indicated that they have no issues with the proposed amendments including a reduction in the number of resulting lots from three to two lots and the associated changes to the private access road for Parcel B. There was no indication that the Fire District would not approve the proposed private road or that new fire protection facilities would be needed as a result of this project. The proposed project for a two-lot minor subdivision does not propose any new construction at this time, however it is anticipated that a new single-family residence could be developed on the proposed Parcel B at some time in the future. Thus, future development would be required to comply with all applicable fire code requirements. The nearest fire station is San Ramon Valley Fire Station 32, located on Stone Valley Road and Miranda Avenue approximately 1-1/4-miles east of the project site which is consistent with County General Plan Growth Management policies for fire protection that require a fire station within 1-1/2 mile of developments in urban or suburban areas. The anticipated response time from Station 32 to the

project site would be approximately four minutes which is adequate in urban or suburban areas. Therefore, the project would have no impact on the provision of fire protection services.

- b) **No Impact:** Police protection and patrol services in the Alamo area and the project vicinity are provided by the Contra Costa County Sheriff's office. The Public Facilities/Services Element of the County General Plan requires 155 square feet of station area per 1,000 population in unincorporated Contra Costa County. The proposed two-lot minor subdivision does not include any development; however, it is anticipated that proposed Parcel B will be developed with a single-family residence in the future (the existing residence on Parcel A to remain). As discussed in the Population and Housing section of this study, the addition of one single-family residence would minimally increase the population and would not impact the County's ability to maintain the General Plan standard of having 155 square feet of station area and support facilities for every 1,000 members of the population. Thus, the proposed project will not result in the need for new or expanded police protection facilities or services in the County or the Alamo area.
- c) **Less Than Significant Impact:** The project site is located within the jurisdiction of the San Ramon Unified School District. To address student growth in school districts as a result of residential developments in the County, a fee as determined by the school district is levied on all new dwellings. The proposed two-lot minor subdivision does not include any development; however, it is anticipated that proposed Parcel B will be developed with a single-family residence in the future (the existing residence on Parcel A to remain). The applicant would be required to pay the school impact fees for the new residential dwelling unit prior to issuance of a building permit. Payment of the development fees pursuant to State regulations for school services would reduce impacts to neighborhood schools to less than significant levels.
- d) **Less Than Significant Impact:** The policy for Parks and Recreation in the Growth Management element of the County General Plan indicates that a standard of 3 acres of neighborhood parks per 1,000 persons should be maintained within the County. The proposed two-lot minor subdivision does not include any development; however, it is anticipated that proposed Parcel B will be developed with a single-family residence at some point in the future (the existing residence on Parcel A to remain). The new residents of the future dwelling unit would be expected to increase the use of parks in the surrounding area; however, one additional residence would result in a less than significant impact on the park facilities. Additionally, the applicant for the future residence would be required to pay the County mandated park impact fee collected to fund the acquisition and development of parks in Contra Costa County to serve unincorporated County residents.
- e) **Less Than Significant Impact:** The proposed two-lot minor subdivision would not significantly affect existing public facilities as it is not expected to substantially induce population growth in the area. Accordingly, the impact of the use of the public libraries or public health facilities by new residents of a future single-family residence on Parcel B is less than significant.

Sources of Information

Apex Civil Engineering & Land Surveying. "Tentative Map/Project Plans, 'Jackson Oaks'." Received on 22 April 2022.

Contra Costa County General Plan. "Chapter 4: Growth Management Element." 2005-2020.
<https://www.contracosta.ca.gov/DocumentCenter/View/30914/Ch4-Growth-Management-Element?bidId=>.

Contra Costa County General Plan. “Chapter 7: Public Facilities/Services Element.” 2005-2020.
https://www.contracosta.ca.gov/DocumentCenter/View/30917/Ch7-Public-Facilities_Services-Element?bidId=.

Contra Costa County. “Title 9, Division 920 – Park Dedication.” Accessed in 2021.
https://library.municode.com/ca/contra_costa_county/codes/ordinance_code?nodeId=TIT9SUDIV920PADE

San Ramon Valley Fire Protection District. “Planning Application Review at 98 N Jackson Way.”
 Agency Comment Response Letter. 09 June 2021.

San Ramon Valley Fire Protection District. “Planning Application Review at 98 N Jackson Way.”
 Amended Agency Comment Response Letter. 05 October 2021.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
16. RECREATION				
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SUMMARY:

- a) **Less Than Significant Impact:** Given the small scale of the project, potentially resulting in one new single-family dwelling, the project would not increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. In addition, the applicant for the future residence would be required to pay the County mandated park impact fee collected to fund the acquisition and development of parks and recreational facilities in Contra Costa County. Therefore, less than significant impacts are expected in this regard.
- b) **No Impact:** The project does not propose the construction of new recreational facilities or the expansion of existing facilities. Therefore, the project will have no impacts.

Sources of Information

Apex Civil Engineering & Land Surveying. “Tentative Map/Project Plans, ‘Jackson Oaks’.” Received on 22 April 2022.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
17. TRANSPORTATION – Would the project:				
a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict or be inconsistent with CEQA Guidelines Section 15064.3(b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SUMMARY:

- a) **Less Than Significant Impact:** The subject property fronts on North Jackson Way, a two-lane public roadway. Access to proposed Parcel B would be from North Jackson Way through an approximately 16-foot paved road within an access easement ranging between 35 feet and 39.6 feet in width. No changes are proposed for the existing driveway from North Jackson Way to the existing single-family residence on Parcel A. The applicant has requested an exception to Chapter 96-8 and 96-12 of the County Ordinance that would require frontage improvements (e.g., sidewalks and curbs) along North Jackson Way or the proposed private roadway. Staff of the Public Works Department indicated that they are not averse to granting the exception as sidewalks and curbs are not characteristic of the area. Regional access to the project site would be via Stone Valley Road or Danville Boulevard, which are classified as arterial routes (Figure 5-2 of the Transportation and Circulation Element of the General Plan), and I-680 which is part of the Interstate freeway system. No extension of the existing thoroughfare infrastructure is proposed now or would be required in the future due to development of the new parcels. Policy 4-c of the Growth Management Element of the General Plan requires a traffic impact analysis for any project that is estimated to generate 100 or more AM or PM peak-hour trips based upon the trip generation rates as presented by the Institute of Traffic Engineers (ITE). According to ITE trip generation rates (ITE code 210) for detached single-family residential development, the project would result in approximately 1.73 peak trips per day per home (0.74 daily AM trips and 0.99 daily PM trips) if a residence were to be constructed on Parcel B. Therefore, a project-specific traffic impact analysis is not required. Therefore, the project would not conflict with a program, plan, ordinance, or policy addressing the circulation system and would have a less than significant impact on the circulation system in the project vicinity.
- b) **Less Than Significant Impact:** CEQA provides guidelines for analyzing transportation impacts relating to vehicle miles travelled (VMT) resulting from the project. The Governor's Office of Planning and Research has provided the following guidance on evaluating such impacts for small projects: "Absent substantial evidence indicating that a project would generate a potentially significant level of VMT, or inconsistency with a Sustainable Communities Strategy (SCS) or general plan, projects that generate or attract fewer than 110 trips per day generally may be

assumed to cause a less than significant transportation impact.” According to ITE trip generation rates for detached single-family residential development, the project would result in approximately 9.44 total trips per day per home if a residence were to be constructed on Parcel B in addition to the existing residence on Parcel A. Since there is no reasonable expectation that a project of this scale could exceed 110 daily trips, the project is assumed to have a less than significant impact on traffic. Therefore, the project does not conflict with CEQA guidelines section 15064.3(b).

- c) **Less Than Significant Impact:** The subject property fronts on North Jackson Way, an existing a two-lane public roadway with an existing pavement width of 20 feet within a 40-foot right of way. As shown on Figure 5-2 (Roadway Network Plan) of the General Plan Transportation and Circulation Element, North Jackson way is not considered to be an existing or proposed arterial, expressway, or freeway, but connects to Danville Boulevard, an existing arterial west of the project site. No substantial changes to the existing transportation system are proposed with this application. Vehicles would access the project site on Parcel B from a new private roadway and would continue to access the existing residence on Parcel A via an existing driveway. As required by the Department of Public Works, the applicant would submit an encroachment permit prior to construction of the proposed private roadway. Therefore, the project will have less than significant impact on the North Jackson Way right-of-way and is not expected to substantially increase hazards due to geometric design features or incompatible uses.
- d) **No Impact:** The project was referred to the San Ramon Valley Fire Protection District for agency comments. As part of their response dated October 5, 2021, to the revised tentative map for a two-lot minor subdivision, the Fire District did not identify any concerns with the adequacy of existing or proposed emergency vehicle access. All construction plans for future development will be subject to the applicable Fire Code that is in effect at the time when the application for a building permit is submitted. Therefore, the routine review of construction plans will ensure that the proposed project has no potential for adversely impacting existing emergency access to the subject property or other properties within the County.

Sources of Information

Contra Costa County Conservation and Development Department and Public Works Department.

“Transportation Analysis Guidelines.” 23 June 2020, amended 10 May 2021.

<https://www.contracosta.ca.gov/DocumentCenter/View/70739/FINAL-CCC-Transportation-Analysis-Guidelines-v3-5-10-21?bidId=>

Contra Costa County General Plan. “Chapter 5: Transportation and Circulation Element.” 2005-2020.

<http://www.co.contra-costa.ca.us/DocumentCenter/View/30915/Ch5-Transportation-and-Circulation-Element?bidId=>.

Contra Costa County Public Works Department. “Minor Subdivision MS21-0007 Staff Report & Conditions of Approval.” 20 May 2022.

San Ramon Valley Fire Protection District. “Planning Application Review at 98 N Jackson Way.” Agency Comment Response Letters. 09 June 2021 and amended 05 October 2021.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
18. TRIBAL CULTURAL RESOURCES – <i>Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:</i>				
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a-b) **Less Than Significant Impact With Mitigation Incorporated:** As discussed in Section 5 (Cultural Resources), neither the subject property nor the existing single-family residence and structures are listed on Contra Costa County’s Historic Resources Inventory, California’s Register of Historical Resources, or the National Register of Historic places. Based on comments received from the California Historical Resources Information System (CHRIS) for this project, the Office of Historic Preservation has determined that any building or structures 45 years or older may be of historical value. The available records indicate that the existing residence was built in 1946. However, the existing residence and the structures accessory to its use are proposed to remain and will be undisturbed by this project. The proposed project was evaluated by the CHRIS, who indicated that, based on their evaluation of the environmental setting and features associated with known sites, there is a possibility for unrecorded archeological site(s) in or near the proposed project site and it was recommended that the lead agency contact the local Native American tribe(s) regarding traditional, cultural, and religious values. A Notice of Opportunity to Request Consultation for the 2-lot minor subdivision was sent to the Wilton Rancheria on June 30, 2022, and to the Confederated Villages of Lisjan Nation on September 21, 2022. No requests for consultation or responses regarding tribal cultural resources have been received from California Native American tribes at the time of completion of this study. Additionally, there is no evidence in the record at the time of completion of this study that indicates the presence of human remains at the project site. Regardless, there is a possibility of cultural resources or human remains to be found within the vicinity of the project. Thus, upon implementing mitigation measures **CUL-1** through **CUL-3**, impacts to tribal cultural resources will be less than significant.

Sources of Information

California Historical Resources Information System (CHRIS). “CDMS21-00007 / APN 192-060-001 at 98 N Jackson Way Alamo, CA.” Agency Comment Response Letter. 30 June 2021.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
19. UTILITIES AND SERVICE SYSTEMS – Would the project:				
a) Require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage, electric power, natural gas, or telecommunication facilities, the construction or relocation of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a-c) **Less Than Significant Impact:** There is currently water, wastewater treatment, storm water drainage, electric power, and other commonly utilized residential utilities available to the subject property as there is an existing residence on the lot and it is located within an established residential neighborhood.

Water services are available to the area through the East Bay Municipal Utility District (EBMUD) which serves the existing single-family residence to remain on the subject property. The proposed two-lot minor subdivision of land does not require any additional water supplies as no construction is proposed, however, if the subdivision is approved, a new single-family residence expected to be constructed on Parcel B. The project was forwarded to EBMUD for their comments; however, none have been received to date and there is no indication that water services could not be extended to a future new residence on Parcel B nor that one additional residence for the area is expected to have insufficient water supply during normal, dry, or multiple dry years.

The area is served by the Central Contra Costa Sanitary District. The sanitary district provided a letter dated June 8, 2021, stating the project is not expected to produce an unmanageable added capacity demand on the wastewater system, nor interfere with existing, public facilities. If and when future development is to occur on proposed Parcel B, the project will be reviewed by the

sanitary district and will be approved prior to issuance of a building permit from the County Building Inspection Division.

As discussed in the Hydrology and Water Quality section above, the applicant has submitted a preliminary Stormwater Control Plan (SWCP), dated April 22, 2022, which has been reviewed by the County Public Works Department, Engineering Division, and accepted as preliminarily complete. According to the submitted preliminary SWCP, the project design includes a bio-retention area on Parcel B. Stormwater runoff would be collected and conveyed to this area for filtering through an active layer of soil. The proposed two-lot minor subdivision does not include any development; however, it is anticipated that proposed Parcel B will be developed with a single-family residence (the existing residence on Parcel A to remain). Thus, per the April 2022 memo from the Department of Public Works, a final SWCP is not required for this project until an application for building permits is submitted.

The project is within the service territory of PG&E for electric and natural gas service. On January 18, 2022, the County Board of Supervisors adopted an All-Electric Ordinance (Ordinance 2022-02) requiring that all building permits issued on or after June 1, 2022, for new construction of residential buildings be all-electric. Thus, it is anticipated that a new residence on Parcel B will connect only to existing electric connections. The existing residence on Parcel A is to remain and there is no indication that the construction of new or expanded electric or natural gas services is required for the ongoing operation of the project. Temporary power for construction activities would also be provided by PG&E. The applicant will be required to apply for temporary power and follow the permitting process for connecting to the electrical grid.

Telecommunications services, including telephone, cellular, internet, and cable television are available within the project site's vicinity. The project site would connect to existing services provided by several different providers, and there is no indication that one new single-family residence would result in the need for expanded services such as new or larger wireless facilities.

By following the processes required to connect to existing water, sanitary sewer, storm water drainage, electric power, or telecommunications facilities, the impacts of the project concerning these utilities and services would be less than significant.

- d-e) **Less Than Significant Impact:** There is no proposed development included with the proposed minor subdivision, however, if approved, a new private driveway for resultant Parcel B and one single-family residence could be developed that would generate construction solid waste and post-construction residential solid waste. Construction on the project site would be subject to the CalGreen Construction and Demolition Debris Recovery Program administered by the Department of Conservation and Development at the time of application for a building permit. The Debris Recovery Program requires that at least 65% of construction job site debris (by weight) for all new residential buildings requiring permits that would otherwise be sent to landfills be recycled, reused, or otherwise diverted to appropriate recycling facilities. Thus, although future construction would incrementally add to the construction waste, the impact of the project-related increase would be considered to be less than significant.

With regard to residential solid waste, the project would generate the type of solid waste similar to that of other households in the vicinity. Household waste is ultimately destined for the Keller Canyon Landfill, which has enough approximate capacity to continue accepting waste for the next 50 years. Waste from one potential future single-family residence on Parcel B would

incrementally increase waste headed to the landfill. However, the potential for the proposed project to exceed the capacity of the currently utilized landfill is minimal. Therefore, the impact of the project-related waste would be considered less than significant. Furthermore, the owner, construction contractor, and future residents would be subject to applicable federal, state, and local laws related to solid waste. Therefore, the potential for conflict with Federal, State, and local management and reduction statutes and regulations related to solid waste is less than significant.

Sources of Information

Apex Civil Engineering & Land Surveying. "Tentative Map/Project Plans, 'Jackson Oaks'." Received on 22 April 2022.

Central Contra Costa Sanitary District. "CDMS21-00007." Email received on 8 June 2021.

Contra Costa County. "CalGreen / Construction & Demolition (C&D) Debris Recovery Program." Accessed in 2022. <https://www.contracosta.ca.gov/4746/CalGreen-Construction-Demolition-Debris->

Contra Costa County Environmental Health Division. "CDMS21-00007 – Minor Subdivision to allow 3-lot subdivision." Letter. Received on 28 June 2021.

Contra Costa County Environmental Health Division. "CDMS21-00007 (2-lot subdivision)." Agency Comment Request. Received on 9 September 2021.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
20. WILDFIRE – <i>If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:</i>				
a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby, expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

a-d) **Less Than Significant Impact:** Areas within a very high hazard severity zone as designated by the California Department of Forestry and Fire Protection (Cal Fire) are significantly more likely to experience impacts due to wildfire. These areas are found in both State and Local Responsibility Areas. As such, the subject property as well as the surrounding area is characterized as “Urban Unzoned” on the Cal Fire’s map for Local Responsibility Areas (LRA) and therefore would not be considered to have a high hazard risk due to wildfires. The nearest areas classified as having a very high fire hazard severity on the adopted State Responsibility Area (SRA) map are located approximately 0.9 mile southwest and 1.0 mile east of the subject property. The project site is in the San Ramon Valley Fire Protection District service area. Projects with the potential for development are generally referred to the Fire District for review and comment to ensure that the proposal does not conflict with applicable fire codes. There was no indication from the Fire District review of the project that the proposed minor subdivision poses a significant fire risk or fire access risk. The project does not include any development; however, any future proposed development will be required to comply with the requirements of the San Ramon Valley Fire Protection District and with current building codes, including those requiring the installation of automatic fire sprinklers in new single-family residences. Therefore, the project would not substantially impair emergency response or evacuation plans or project occupants due to wildfire. Likewise, the project would have a less than significant impact in regard to exacerbated wildfire risks or exposing occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire. Additionally, the subject property and surrounding area are relatively flat topographically, however, the nearest areas classified as having a high or very high fire hazard severity are located on nearby ridges. Thus, there will a less than significant impact to project occupants or other people due to downstream flooding, or landslides due to post-fire downslope instability, runoff, or drainage changes.

Sources of Information

California State Office of the State Fire Marshal. “Fire Hazard Severity Zones Maps.” Accessed in 2022. <https://osfm.fire.ca.gov/divisions/community-wildfire-preparedness-and-mitigation/wildland-hazards-building-codes/fire-hazard-severity-zones-maps/>.

ForestWatchGIS (Web Mapping Application). “Is Your Home In a Fire Hazard Severity Zone?” Created 15 February 2019, Updated 13 September 2020
<https://www.arcgis.com/apps/Style/index.html?appid=5e96315793d445419b6c96f89ce5d153>

San Ramon Valley Fire Protection District. “Planning Application Review at 98 N Jackson Way.” Agency Comment Response Letter. 09 June 2021.

San Ramon Valley Fire Protection District. “Planning Application Review at 98 N Jackson Way.” Amended Agency Comment Response Letter. 05 October 2021.

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
21. MANDATORY FINDINGS OF SIGNIFICANCE				

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

SUMMARY:

- a) **Less Than Significant With Mitigation Incorporated:** As discussed in individual sections of this Initial Study, the project to create two parcels from the site may impact the quality of the environment with respect to Air Quality, Biological Resources, Cultural/Tribal Cultural Resources, and Geology/Soils. However, the project to subdivide the developed, 1.5-acre parcel with the potential of a future residence on Parcel B would not substantially degrade the quality of the natural environment because the potentially significant impacts as identified throughout this study can be mitigated to less than significant levels. Where mitigation measures are enforced as proposed in this Initial Study, the measures will be conditions of approval of the proposed project and the applicant will be responsible for implementation of the measures. Therefore, the potential for substantial impacts to biological, historical, cultural, or other resources as a result of the proposed project is reduced to a less than significant level.
- b) **Less Than Significant Impacts:** The project site is located within an established neighborhood and urbanized area that has been designated primarily for single-family residential uses. If approved, the two-lot minor subdivision may result in the development of a new single-family residence on Parcel B while the existing residence would remain on Parcel “A.” Thus, the number of housing units in the Alamo area would increase by one unit with the proposed project, which, based on data from the U.S. Census Bureau, would be approximately 0.02 percent of the estimated 5,594 housing units in Alamo as of the year 2020. The project is consistent with its Single-Family Residential (R-20) zoning district, and single-family residential, low-density (SL) general plan land use designation. The project would also be considered consistent with the existing

surrounding single-family residential development. The project site is one of the few in the immediate vicinity of Alamo that is further subdividable. The County is not currently processing any discretionary applications for residential or non-residential development for properties that are contiguous to the project site. In addition, there are no other applications for the subdivision of parcels currently being processed within the vicinity of the subject property. With the implementation of the mitigations described in the sections above, the proposed project would not result in cumulatively considerable impacts on the environment.

- c) **Less Than Significant With Mitigation Incorporated:** This Initial Study has disclosed potential impacts on human beings that would be less than significant upon the implementation of mitigation measures. All identified mitigation measures will be included as conditions of approval for the proposed project, and the applicant will be responsible for implementation of the measures. As a result, there would not be any environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly.

REFERENCES

In the process of preparing the Initial Study Checklist and conduction of the evaluation, the above cited references were consulted. Reference materials are available for review by contacting the project planner, Syd Sotoodeh, Contra Costa County Department of Conservation and Development, by email at syd.sotoodeh@dcd.cccounty.us or by phone at (925) 655-2877.

ATTACHMENTS

- 1) Vicinity Map/Aerial View
- 2) Project Plans
- 3) Mitigation Monitoring and Reporting Program

VICINITY MAP/AERIAL VIEW



Legend

- Building Outlines
- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- Water Bodies
- County Boundary
- Bay Area Counties
- Assessor Parcels

Aerials 2019

- Red: Band_1
- Green: Band_2
- Blue: Band_3

World Imagery

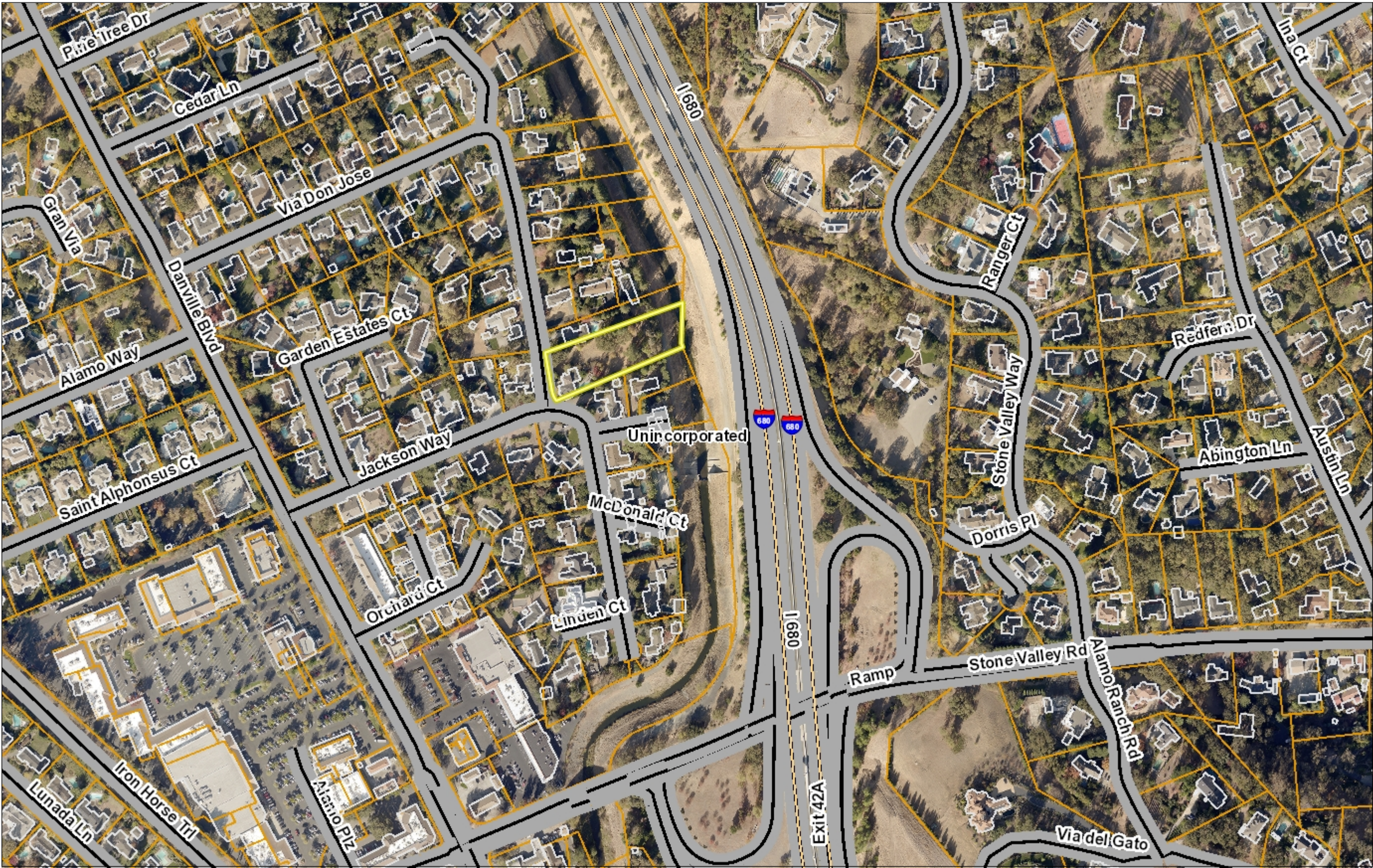
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

1:4,514



Notes

Contra Costa County -DOIT GIS



0.1 0 0.07 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

PROJECT PLANS

"JACKSON OAKS" - TENTATIVE MAP - 04-22-2022

1. ONLY TREES 6.5" OR LARGER ARE INCLUDED IN ARBORIST REPORT AND ARE NUMBERED ON THIS PLAN.
2. THE CONSTRUCTION SUPERINTENDENT SHALL MEET WITH THE PROJECT ARBORIST BEFORE BEGINNING WORK TO DISCUSS WORK PROCEDURES AND TREE PROTECTION.
3. TREE PROTECTION FENCING SHALL BE INSTALLED BEFORE ISSUANCE OF THE SITE DEVELOPMENT PERMIT. FENCING SHALL BE LOCATED OUTSIDE THE LIMITS OF DEMOLITION, GRADING AND PROPOSED WORK. FINAL LOCATION WILL BE SET ON-SITE PRIOR TO CONSTRUCTION, AS ACCEPTABLE TO THE PROJECT ARBORIST FOR BOTH ROOT PROTECTION AND THE GENERAL CONTRACTOR FOR ACCESS. PLACEMENT WILL BE ADJUSTED ACCORDING TO ACCESS REQUIREMENTS AT THE TIME OF DEMOLITION AND CONSTRUCTION AFTER CONVERSATION WITH THE CONTRACTOR. AT NO TIME SHALL THE FENCING BE MOVED OR ALTERED WITHOUT THE PRIOR APPROVAL OF THE PROJECT ARBORIST.
4. FENCE TREES TO ENCLOSE THE TREE PROTECTION ZONE, FENCE SHALL BE A MINIMUM 6' CHAINLINK FENCE SECURELY FASTENED TO STEEL POSTS FIRMLY DRIVEN INTO THE GROUND WITH SPACING NOT TO EXCEED 8'. ATTACH PLASTICIZED SIGNS ON EVERY SECTION OF FENCING READING: "THIS FENCE TO BE MOVED ONLY WITH PERMISSION OF THE PROJECT ARBORIST". FENCES ARE TO REMAIN UNTIL ALL GRADING AND CONSTRUCTION IS COMPLETED, AS POSSIBLE.
5. NO GRADING, CONSTRUCTION, DEMOLITION OR OTHER WORK SHALL OCCUR WITHIN THE TREE PROTECTION ZONE WITHOUT BEING MONITORED BY THE PROJECT ARBORIST.
6. ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE PROJECT ARBORIST.
7. IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE PROJECT ARBORIST SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
8. NO EXCESS SOIL, CHEMICALS, DEBRIS, EQUIPMENT OR OTHER MATERIALS SHALL BE DUMPED OR STORED WITHIN THE TREE PROTECTION ZONE.
9. ANY ADDITIONAL TREE PRUNING NEEDED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CERTIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
10. AS TREES WITHDRAW WATER FROM THE SOIL, EXPANSIVE SOILS MAY SHRINK WITHIN THE ROOT AREA. THEREFORE, FOUNDATIONS, FOOTINGS AND PAVEMENTS ON EXPANSIVE SOILS NEAR TREES SHOULD BE DESIGNED TO WITHSTAND DIFFERENTIAL PLACEMENT.
11. EXCAVATION WITHIN THE DRIPLINE OF ANY TREE TO BE PRESERVED SHALL BE DONE USING HAND TOOLS.
12. SUPPLEMENTAL IRRIGATION SHALL BE APPLIED AS DETERMINED BY THE PROJECT ARBORIST.

EX. ASPHALT DRIVEWAY TO SERVE AS CONSTRUCTION ENTRANCE

FIBER ROLL WATTLES

TREE PROTECTIVE FENCING

TREE TO BE REMOVED

TREE NUMBER

DRIPLINE(S)

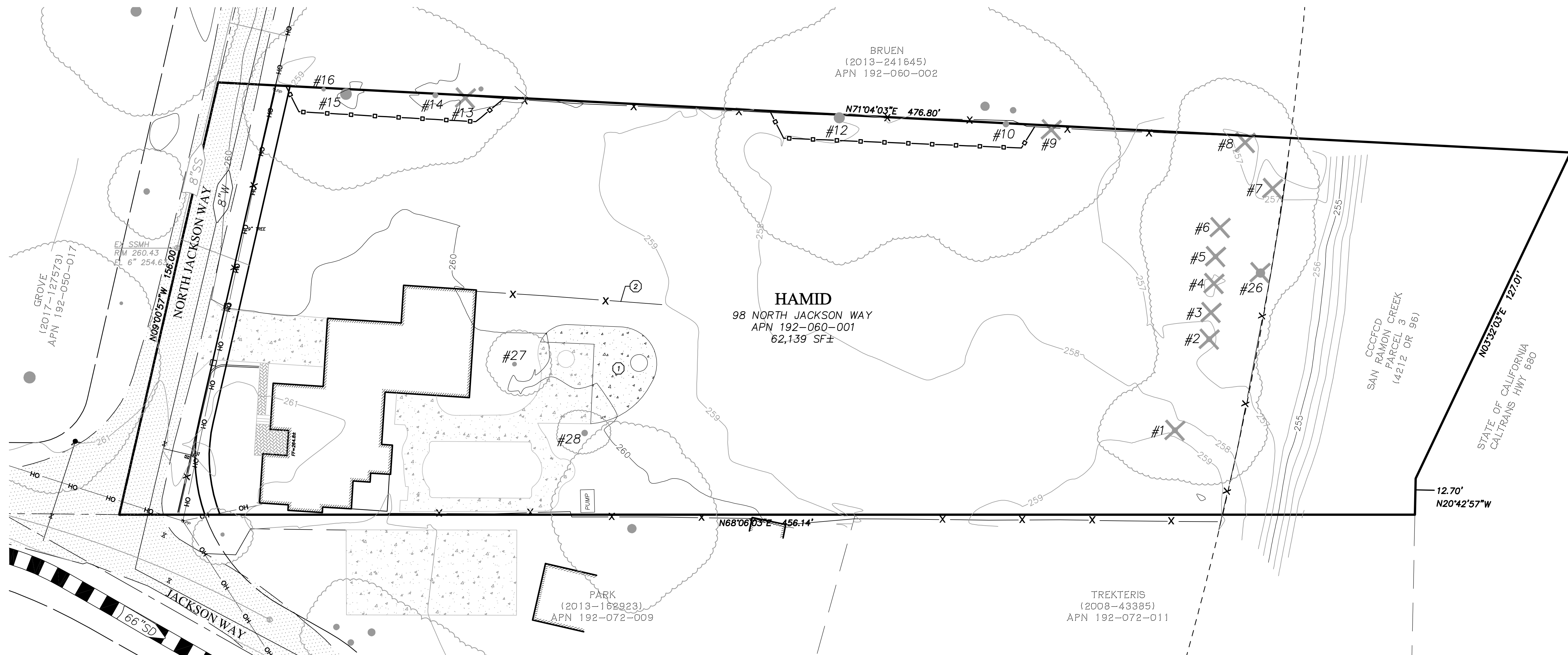
EX. TREE TO REMAIN

TREE PROTECTIVE FENCING (6' CHAINLINK FENCE)



- ① EXISTING CONCRETE TO BE REMOVED
② EXISTING FENCE TO BE REMOVED, AS NEEDED

1. A DEMOLITION PERMIT IS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION. COPIES OF THE PERMITS ARE REQUIRED TO BE ON SITE AT ALL TIMES.
2. NOISE--PRODUCING CONSTRUCTION ACTIVITY (INCLUDING PLAYING OF RADIO OR MUSIC) AND GRADING OPERATION SHALL BE LIMITED TO WEEKDAYS (MONDAY THROUGH FRIDAY) EXCEPT CITY HOLIDAYS AND FROM THE HOURS OF 7:00AM TO 5:00PM, SATURDAY AND SUNDAY; NONE, AND SHALL BE PROHIBITED ON STATE AND FEDERAL HOLIDAYS. ALL EQUIPMENT SHALL BE ADEQUATELY MUFFLED AND MAINTAINED. NO CHANGES SHALL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE COUNTY. ALL REQUESTS FOR CHANGES MUST BE MADE A MINIMUM OF 72 HOURS PRIOR TO THE REQUEST FOR CHANGE.
3. THE CONSTRUCTION CONTRACTOR AGREES, THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND DEFEND, INDEMNIFY AND HOLD THE DESIGN PROFESSIONAL AND CITY HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
4. THE CONTRACTOR SHALL PROVIDE EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE, AND FIRE DEPARTMENTS AT THE JOB SITE.
5. THE CONTRACTOR SHALL CONTROL DUST BY WATERING EXPOSED SURFACES AS NEEDED. INCREASED WATERING SHALL BE REQUIRED WHEN WIND SPEEDS EXCEED 10 MPH.
6. THE PROJECT APPLICANT SHALL SWEEP STREETS DAILY, OR AS NECESSARY, WITH WATER SWEEPERS IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION DRIVES TO PREVENT THE TRACKING OF SOIL, DUST, MUD, OR CONSTRUCTION DEBRIS ON PUBLIC STREETS.
8. MUD TRACKED ONTO STREETS OR ADJACENT PROPERTIES SHALL BE REMOVED IMMEDIATELY. STREET SHALL BE SWEEPED WITH A POWER SWEEPER (NOT PRESSURE WASHED) AS DIRECTED BY THE COUNTY.
9. ALL WATER, SEWER, ELECTRIC, GAS, CABLE & PHONE SERVICES/LATERALS SHALL BE REMOVED BACK TO THE APPROPRIATE UTILITY MAIN.
10. SHOULD THERE BE ANY WATER WELLS ON THIS PROPERTY, THE CONTRACTOR SHALL OBTAIN A WELL PERMIT FROM THE COUNTY DEPARTMENT OF HEALTH SERVICES, ENVIRONMENTAL HEALTH DIVISION, PRIOR TO ANY GRADING IN THE IMMEDIATE VICINITY OF A WELL AND PRIOR TO REMOVAL OF A WELL.
11. SHOULD THERE BE A SEPTIC SYSTEM ON THIS PROPERTY, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE COUNTY DEPARTMENT OF HEALTH SERVICES, ENVIRONMENTAL HEALTH DIVISION FOR REMOVAL, PRIOR TO ANY GRADING IN THE IMMEDIATE VICINITY OF A SEPTIC TANK OR LEACH FIELD AND PRIOR TO REMOVAL OF A SEPTIC SYSTEM.



REVISIONS	NO.	BY	DATE	DESIGN: JV
				DRAWN: STAFF
				CHECKED: JV
				PROJECT #: 21019



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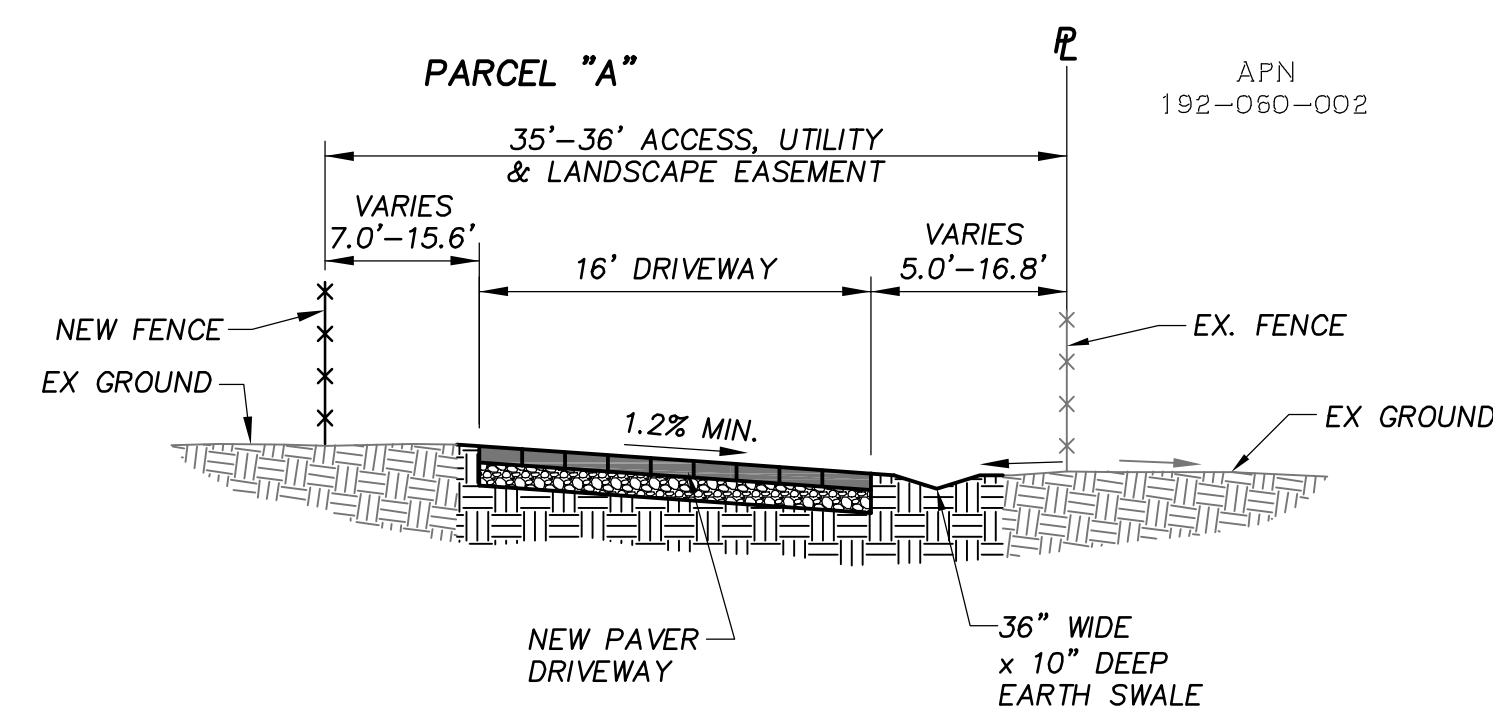
TENTATIVE MAP
TOPOGRAPHIC SURVEY & DEMOLITION PLAN

JACKSON OAKS MS 21-0007

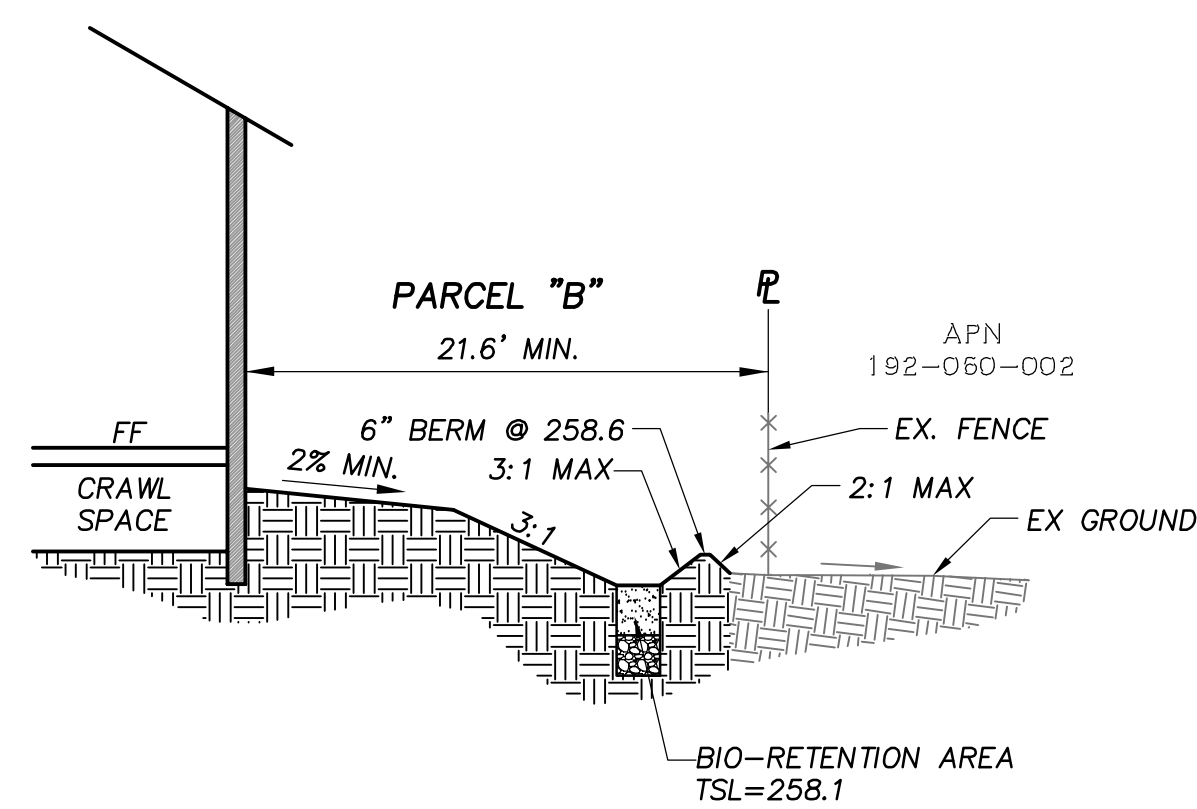
ALAMO, CA	SHEET 2 OF 5
	DATE 04-22-2022

SECTIONS & DETAILS "JACKSON OAKS"

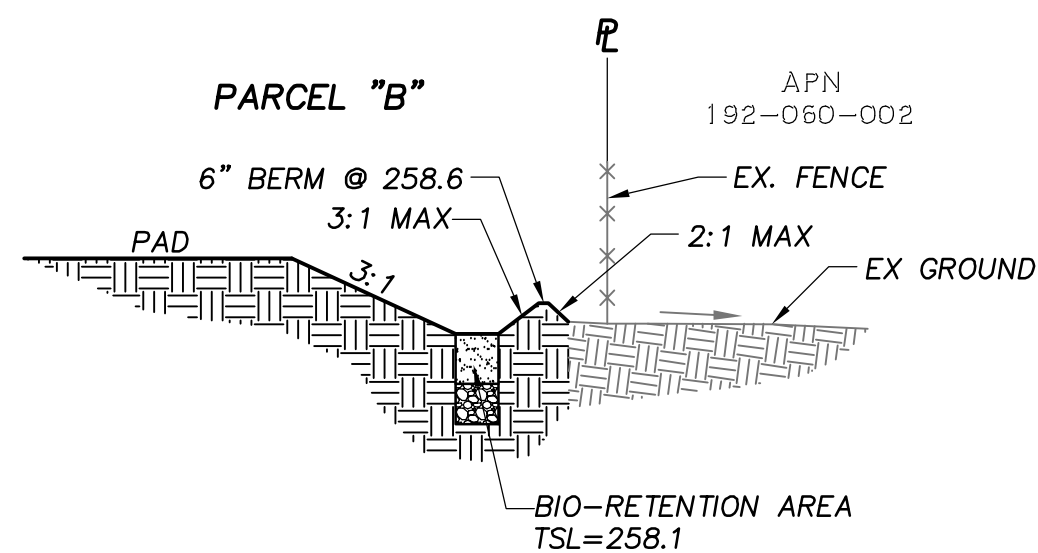
MS 21-0007
TOWN OF ALAMO
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA



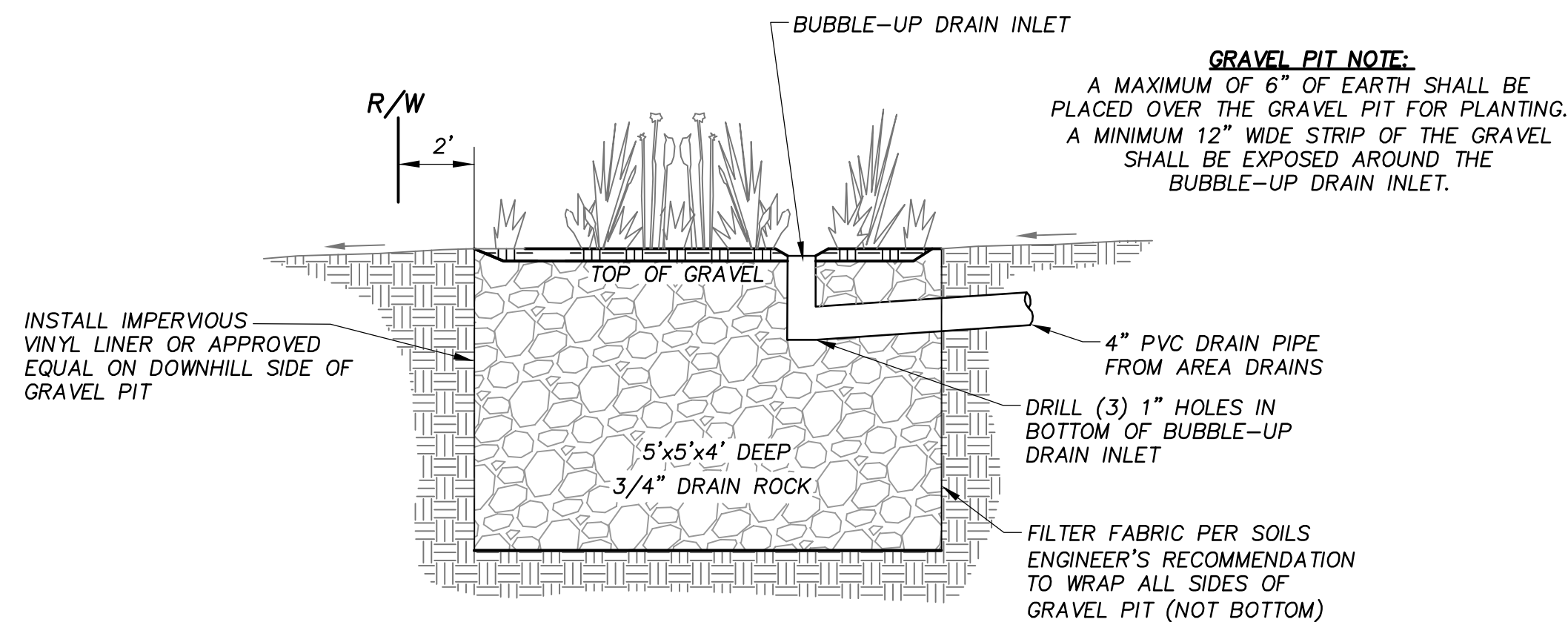
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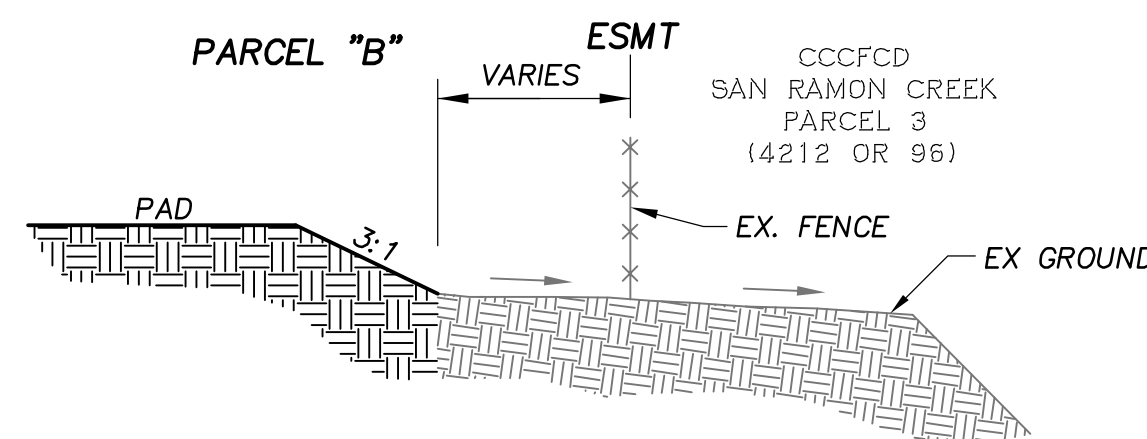
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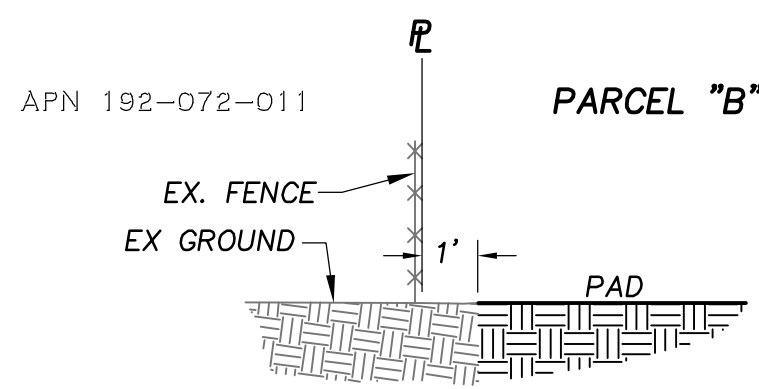
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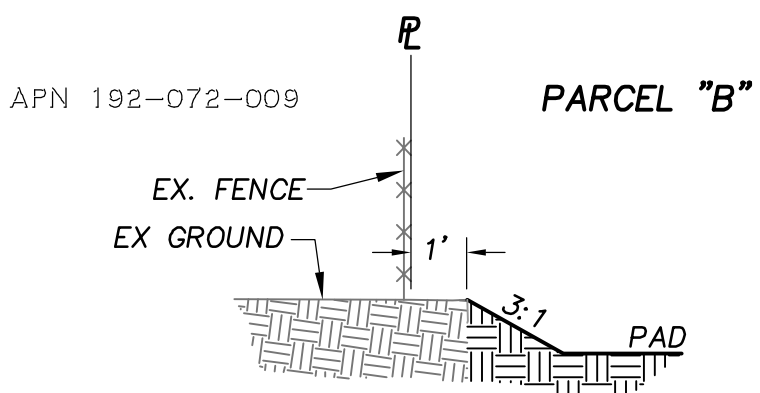
GRAVEL PIT
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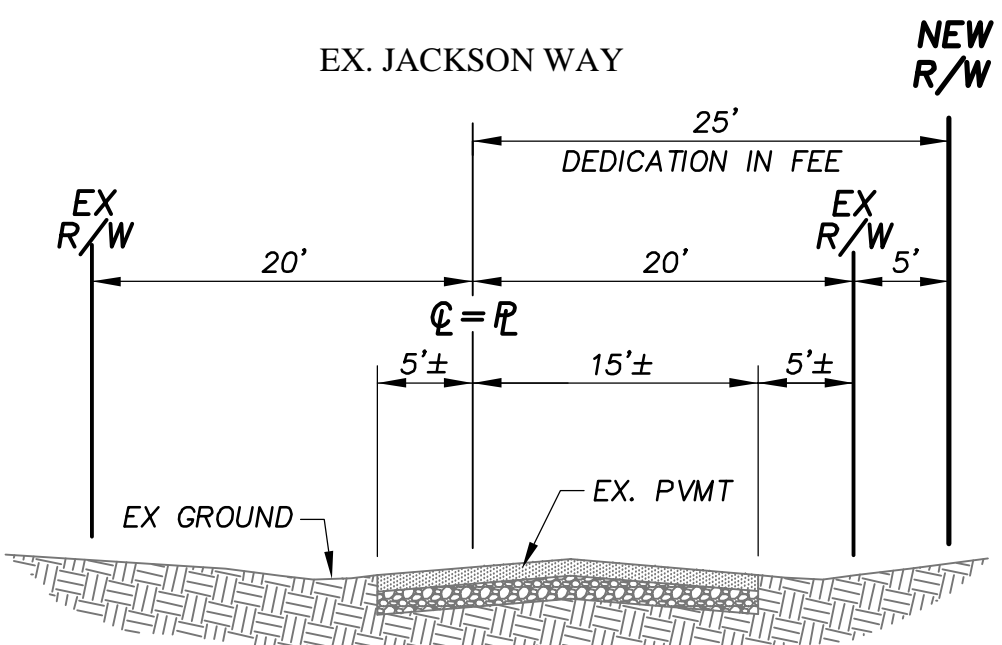
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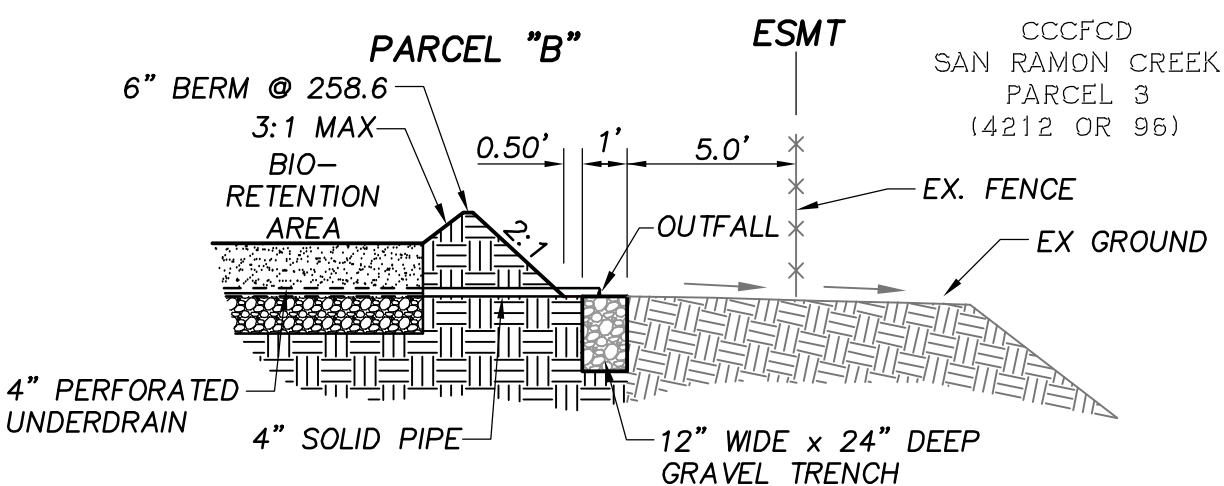
SECTION E-E
NOT TO SCALE



SECTION F-F
NOT TO SCALE



SECTION G-G
NOT TO SCALE



SECTION H-H
NOT TO SCALE

REVISIONS	NO.	BY	DATE

DESIGN: JV
DRAWN: STAFF
CHECKED: JV
PROJECT #: 21019



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JACKSON OAKS
TENTATIVE MAP
SECTIONS & DETAILS
MS 21-0007
ALAMO, CA

SHEET 3 OF 5
DATE 04-22-2022

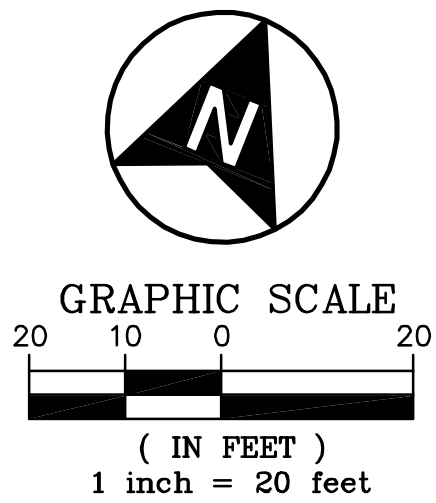


NOTE:
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.

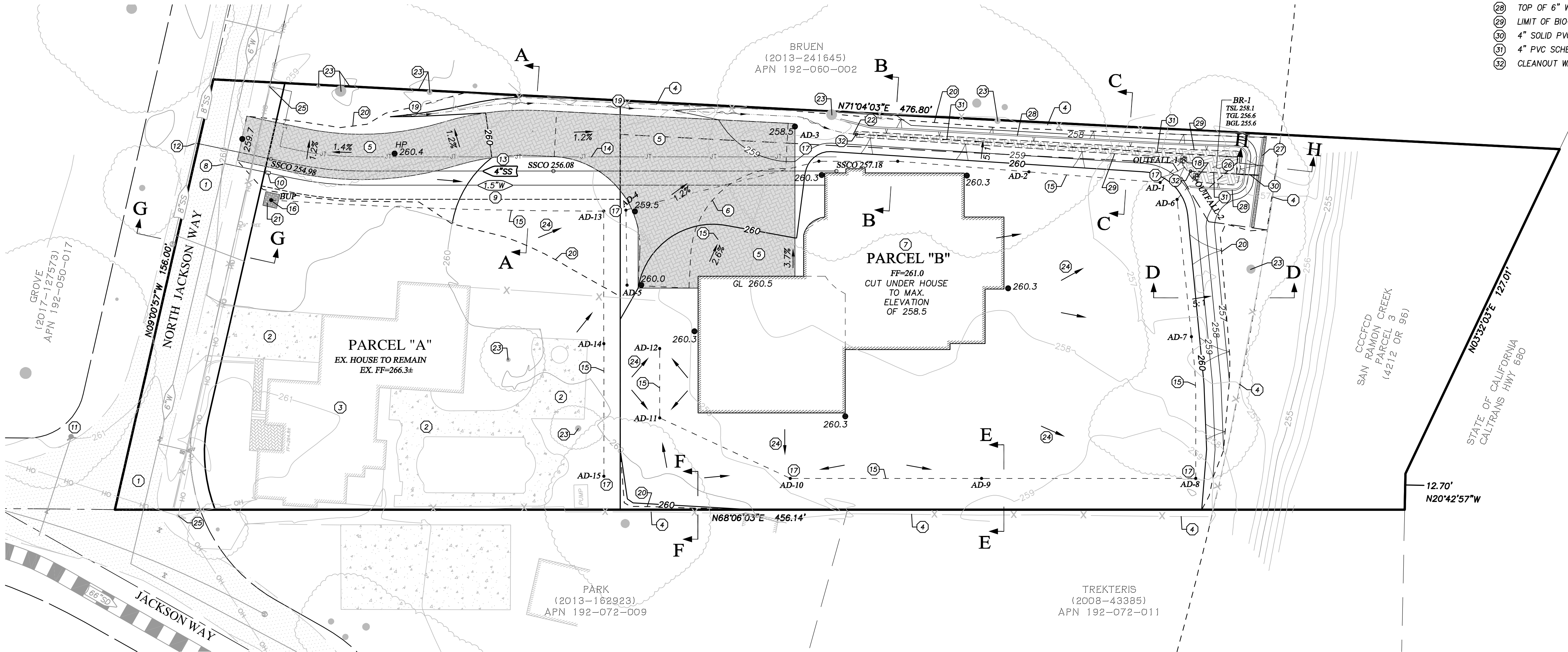
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN "JACKSON OAKS"

MS 21-0007
TOWN OF ALAMO
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

SECTIONS NOTE:
REFER TO SHEET 3
FOR ALL SECTIONS
AND DETAILS



- KEY LEGEND**
- ① EXISTING PAVEMENT TO REMAIN
 - ② EXISTING CONCRETE TO REMAIN
 - ③ EXISTING HOUSE TO REMAIN
 - ④ EXISTING FENCE TO REMAIN
 - ⑤ PAVER DRIVEWAY
 - ⑥ FIRE DISTRICT TURN-AROUND DELINEATION
 - ⑦ NEW HOUSE
 - ⑧ CONNECT NEW SERVICE LATERAL TO EXISTING 6" WATER MAIN
 - ⑨ 1.5" WATER SERVICE PER EBMUD STANDARDS
 - ⑩ WATER METER PER EBMUD
 - ⑪ EX. FIRE HYDRANT
 - ⑫ CONNECT NEW SERVICE LATERAL TO EX. 8" SS PER CCCSD STANDARDS
 - ⑬ 4" SANITARY SEWER LATERAL PER CCCSD STANDARDS
 - ⑭ JOINT TRENCH SERVICE (TYP)
 - ⑮ 4" OR 6" PVC SDR-35 DRAIN PIPE (OR EQUAL) @ 0.3% MIN. (TYP)
 - ⑯ 4" BUBBLE-UP DRAIN (NDS OR EQUAL)
 - ⑰ 4" AREA DRAIN (NDS OR EQUAL)
 - ⑱ DRAIN LINE TO DISCHARGE TO BIO-RETENTION AREA
 - ⑲ 36" WIDE x 10" DEEP EARTH SWALE (TYP)
 - ⑳ DAYLIGHT LINE (TYP)
 - ㉑ 5' x 5' x 3' DEEP GRAVEL PIT. SEE DETAIL ON SHEET 3
 - ㉒ DAYLIGHT EARTH SWALE TO BIO-RETENTION AREA
 - ㉓ EXISTING TREE TO REMAIN (TYP)
 - ㉔ DIRECTION OF DRAINAGE FLOW (TYP)
 - ㉕ EXISTING POWER POLE TO REMAIN
 - ㉖ BIO-RETENTION AREA
 - ㉗ 12" WIDE x 24" DEEP x 33' LONG GRAVEL TRENCH (DRAINAGE DISSIPATER)
 - ㉘ TOP OF 6" WIDE BERM AT ELEVATION=258.60
 - ㉙ LIMIT OF BIO-RETENTION AREA (TYP)
 - ㉚ 4" SOLID PVC UNDERDRAIN PIPE TO OUTFALL INTO GRAVEL TRENCH
 - ㉛ 4" PVC SCHEDULE 40 PERFORATED UNDERDRAIN PIPE (TYP) - 4"FL=256.52
 - ㉜ CLEANOUT WITH CAP AT ELEVATION=258.60 (TYP) AND 4"FL=256.52



SD SUMMARY

STRUCTURE #	GRATE/RIM ELEVATION	FLOW LINE ELEVATION
OUTFALL-1	N/A	6" FL 258.10 IN
AD-1	G 259.9	6" FL 258.14 THRU
AD-2	G 259.9	6" FL 258.28 THRU
AD-3	G 259.9	4" FL 258.37 THRU
AD-4	G 259.2	4" FL 258.59 THRU
AD-5	G 259.7	4" FL 258.67 OUT
OUTFALL-2	N/A	6" FL 258.10 IN
AD-6	G 259.9	6" FL 258.13 THRU
AD-7	G 259.9	6" FL 258.28 THRU
AD-8	G 259.9	6" FL 258.44 THRU
AD-9	G 260.0	6" FL 258.67 THRU
AD-10	G 260.0	6" FL 258.90 THRU
AD-11	G 260.0	6" FL 259.06 THRU
AD-12	G 260.0	6" FL 259.14 OUT
BUP	G 259.0	4" FL 257.08 THRU
AD-13	G 259.2	4" FL 257.29 THRU
AD-14	G 259.7	4" FL 257.45 THRU
AD-15	G 260.2	4" FL 257.53 OUT

REVISIONS	NO.	BY	DATE	DESIGN: JV
				DRAWN: STAFF
				CHECKED: JV
				PROJECT #: 21019



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TENTATIVE MAP
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN
JACKSON OAKS
MS 21-0007
ALAMO, CA

SHEET 4 OF 5
DATE 04-22-2022

PRELIMINARY C.3 STORM WATER
CONTROL PLAN
"JACKSON OAKS"

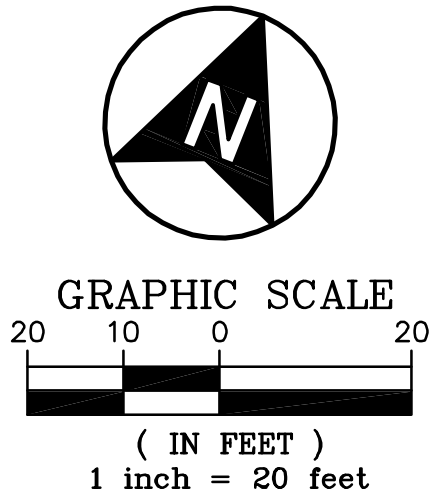
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COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

ABBREVIATIONS

- C - CONCRETE
- L - LANDSCAPE AREA
- OL - OFFSITE LANDSCAPE AREA
- OP - OFFSITE ASPHALT/PAVEMENT
- P - ASPHALT/PAVEMENT
- PL - FLOW-THROUGH PLANTER
- R - ROOFTOP
- SR - SELF-RETAINING LANDSCAPE AREA
- ST - SELF-TREATING LANDSCAPE AREA
- UT - UNTREATED AREA

AREA BREAKDOWN

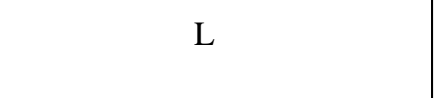
PERVIOUS	
LANDSCAPING:	44,396 SF
BIO-RETENTION AREA:	522 SF
TOTAL AREA:	44,918 SF
IMPERVIOUS	
CONCRETE/ASPHALT:	11,170 SF
ROOFS:	9,269 SF
TOTAL AREA:	20,439 SF
TOTAL AREA:	65,357 SF



C.3 STORM WATER CONTROL LEGEND

DRAINAGE MANAGEMENT AREAS (DMA):

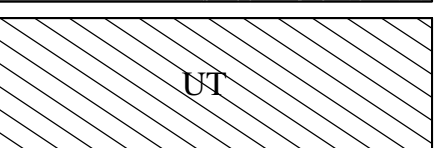
LANDSCAPE AREA



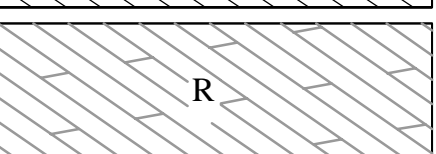
NEW IMPERVIOUS AREA
(PAVEMENT/CONCRETE)



UNTREATED AREA
(CANNOT BE TREATED)



NEW IMPERVIOUS AREA
(ROOFTOP)



BIO-RETENTION AREA

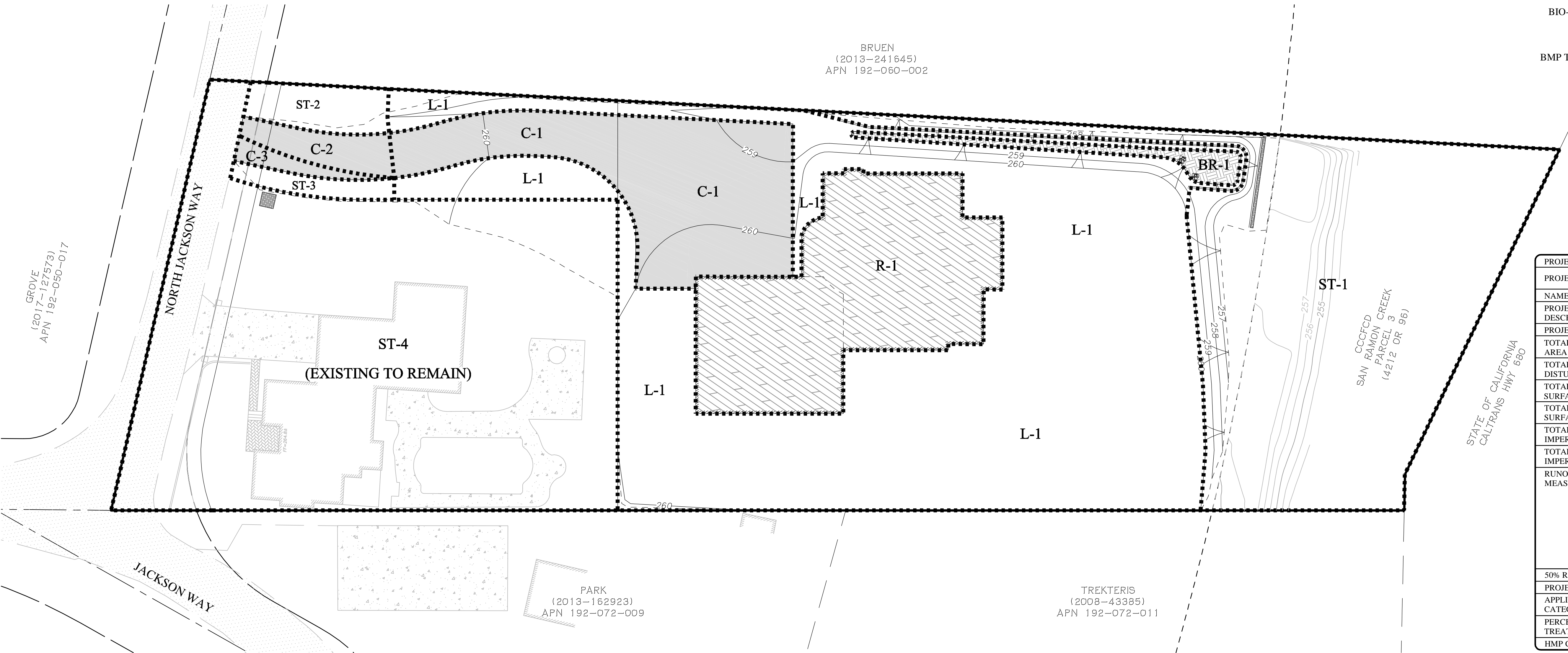


BMP TRIBUTARY BOUNDARY:



C.3 COMPLIANCE

REFER TO STORM WATER CONTROL PLAN
REPORT FOR ADDITIONAL INFORMATION



PROJECT DATA FORM

PROJECT NAME/NUMBER	"JACKSON OAKS"
PROJECT LOCATION	98 N JACKSON WAY, ALAMO, CA
NAME OF DEVELOPER	NAWAID HAMID
PROJECT TYPE AND DESCRIPTION	2 PARCELS (SINGLE FAMILY RESIDENTIAL)
PROJECT WATERSHED	SAN RAMON CREEK WATERSHED
TOTAL PROJECT SITE AREA (ACRES)	1.50 ACRES (65,357 SF)
TOTAL AREA OF LAND DISTURBED (ACRES)	0.91 ACRES (39,568 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	11,661 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	0 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	8,778 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	20,439 SF
RUNOFF REDUCTION MEASURES SELECTED	<input checked="" type="checkbox"/> 1. DISPERSE RUNOFF TO VEGETATED AREA <input type="checkbox"/> 2. PERVIOUS PAVEMENT (PAVERS) <input type="checkbox"/> 3. CISTERNS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTION FACILITY OR FLOW-THROUGH PLANTER
50% RULE	N/A
PROJECT DENSITY	1.3 UNITS/AC
APPLICABLE SPECIAL PROJECT CATEGORIES	N/A
PERCENT LID AND NON LID TREATMENT	100% LID
HMP COMPLIANCE	N/A

REVISIONS	NO.	BY	DATE	DESIGN: JV
				DRAWN: STAFF
				CHECKED: JV
				PROJECT #: 21019



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TENTATIVE MAP
PRELIMINARY C.3 STORM WATER CONTROL PLAN
JACKSON OAKS
MS 21-0007
ALAMO, CA

SHEET 5 OF 5
DATE 04-22-2022

MITIGATION MONITORING AND REPORTING PROGRAM (MMRP)

Mitigation Monitoring and Reporting Program
County File #CDMS21-00007
Jackson Oaks Two-Lot Minor Subdivision

98 N. Jackson Way

Alamo, CA 94507

November 15, 2022

SECTION 3: AIR QUALITY

Potentially Significant Impacts: *Although the project does not propose any development at this time, during grading and construction activities, the project could have an adverse, albeit temporary, environmental impact on sensitive receptors.*

Mitigation Measures(s):

AIR-1 The following mitigations shall be included on all construction plans and implemented throughout the construction phase of the project:

1. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
2. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
3. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
4. All vehicle speeds on unpaved roads shall be limited to 15 mph.
5. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
6. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
7. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
8. The property owner or site contractor shall post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Implementing Action:

COA

Abbreviations:

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Timing of Verification:	Prior to CDD approval of construction documents; during grading/construction activities
Party Responsible for Verification:	Project proponent, CDD staff, and Building Inspection Division (BID) staff
Compliance Verification:	Review of construction drawings; inspections

SECTION 4: BIOLOGICAL RESOURCES

Potentially Significant Impacts: *It is anticipated that implementation of the proposed project will not directly impact any known special-status plant or animal species populations, however, there is the potential for migration of special-status animal species into the project site. In addition, the trees bordering the project area could be used by a variety of bird and bat species for nesting. In addition, the project site contains suitable habitat for white-tailed kite, cooper's hawk, hoary bat, pallid bat, and the Alameda whipsnake, and thus, these species have the potential to occur. Thus, the removal of trees from the subject property and development of the project could have an adverse environmental impact on nesting or foraging birds, bats, or Alameda whipsnakes.*

Mitigation Measure(s):

BIO-1: If project construction-related activities take place during the nesting season (February through August), preconstruction surveys for nesting passerine birds, raptors (birds of prey), shall be conducted by a qualified biologist **no more than five (5) days prior to the commencement of tree removal, site grading, or construction activities.** The survey area (area of influence) shall include the project site and those adjacent areas within 500 feet of the project site. If any bird listed under the Migratory Bird Treaty Act is found to be nesting within the project site or within the area of influence, an adequate protective buffer zone shall be established by a qualified biologist to protect the nesting site. This buffer shall be a minimum of 75 feet from the project activities for passerine birds, and a minimum of 200 feet for raptors. The distance shall be determined by a competent biologist based on the site conditions (topography, if the nest is in a line of sight of the construction and the sensitivity of the birds nesting). The nest site(s) shall be monitored by a competent biologist periodically to see if the birds are stressed by the construction activities and if the protective buffer needs to be increased. If an active nest is located in a tree or shrub designated for removal, the removal shall be deferred until the young are no longer dependent on the nest site, as determined by a qualified biologist. Once the young have fledged and are flying well enough to avoid project construction zones (typically by August), the project can proceed without further regard to the nest site(s).

BIO-2: A pre-construction survey with special focus on detecting basking herpetofauna at all suitable habitat areas within the project area shall be conducted by a qualified biologist **no more than 14 days prior to the beginning of project-related**

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activities. If Alameda whipsnakes or other special-status basking herpetofauna are discovered, or if evidence of recent prior occupation is established, a buffer should be established around the nest/habitat site until the nest/habitat site is no longer active. If an active whipsnake nest/habitat needs to be removed as part of the proposed project, the project biologist shall consult the California Department of Fish & Wildlife (CDFW) and the U.S. Fish & Wildlife Service (FWS) to determine appropriate methods for the removal of the roost. As part of CDFW's and/or FWS's approval, a new nest/habitat site may need to be created on the project site as mitigation.

BIO-3: To avoid potential impacts to special status bats, **no more than 14 days prior to the commencement of tree removal, site grading, or construction activities, whichever occurs first**, a visual and acoustic preconstruction survey for roosting bats shall be conducted by a qualified, agency-approved bat biologist within and immediately adjacent to the construction footprint. A minimum of one day and one evening shall be included in the visual preconstruction survey. The biologist shall contact CDFW if any occupied day roosts or maternity colonies/nurseries are identified within or immediately adjacent to the construction footprint, as appropriate. The biologist shall submit a memorandum, on a weekly basis or at other appropriate intervals, to CDFW to document compliance with this measure.

Implementing Action:	COA
Timing of Verification:	Prior to CDD approval of construction documents, earthmoving, construction activities, or tree removal, whichever occurs first;
Party Responsible for Verification:	Project proponent, CDD staff, Consulting Biologist
Compliance Verification:	Review of Biologist's surveys (if necessary); copies of other agency permit(s) (if any); or other verification provided to CDD staff

SECTION 5 & SECTION 18: CULTURAL AND TRIBAL CULTURAL RESOURCES

Potentially Significant Impacts: *Construction activities requiring excavation or earth movement could uncover previously unrecorded significant cultural resources and/or human remains.*

Mitigation Measure(s):

CUL-1: If deposits of prehistoric or historical archaeological materials are encountered during ground disturbance activities, all work within 50 feet of the discovery shall be redirected. A qualified archaeologist certified by the Society for California Archaeology (SCA) and/or the Society of Professional Archaeology (SOPA), and the Native American Tribe that has requested consultation and/or demonstrated

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interest in the project shall be contacted to evaluate the significance of the finds and suggest appropriate mitigation(s) if deemed necessary.

CUL-2: If the deposits are not eligible, avoidance is not necessary. If the deposits are eligible, they will need to be avoided by impacts or such impacts must be mitigated. Upon completion of the archaeological assessment, a report should be prepared documenting the methods, results, and recommendations. The report should be submitted to the Northwest Information Center and appropriate Contra Costa County agencies.

Prehistoric materials can include flake-stone tools (e.g., projectile points, knives, choppers) or obsidian, chert, or quartzite tool-making debris; culturally darkened soil (i.e., midden soil often containing heat-affected rock, ash and charcoal, shellfish remains, and cultural materials); and stone milling equipment (e.g., mortars, pestles, handstones). Historical materials can include wood, stone, concrete, or adobe footings, walls and other structural remains; debris-filled wells or privies; and deposits of wood, glass ceramics, and other refuse.

CUL-3: Should human remains be uncovered during grading, trenching, or other on-site excavation(s), earthwork within 30 yards of these materials shall be stopped until the County coroner has had an opportunity to evaluate the significance of the human remains and determine the proper treatment and disposition of the remains. Pursuant to California Health and Safety Code Section 7050.5, if the coroner determines the remains may be those of a Native American, the coroner is responsible for contacting the Native American Heritage Commission (NAHC) by telephone within 24 hours. Pursuant to California Public Resources Code Section 5097.98, the NAHC will then determine a Most Likely Descendant (MLD) tribe and contact them. The MLD tribe has 48 hours from the time they are given access to the site to make recommendations to the land owner for treatment and disposition of the ancestor's remains. The land owner shall follow the requirements of Public Resources Code Section 5097.98 for the remains.

Implementing Action:	COA
Timing of Verification:	Upon discovery of archaeological materials or human remains
Party Responsible for Verification:	Project proponent, CDD staff, consulting Archaeologist
Compliance Verification:	Review of archaeologist's report or other verification provided to CDD staff

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SECTION 7: GEOLOGY AND SOILS

Potentially Significant Impacts: *Although the subject property is not located within a designated earthquake fault zone, there is a potential for direct or indirect risks of loss, injury or death involving secondary seismic hazards such as ground shaking, ground failure, and liquefaction. In addition, although firm, dry alluvial deposits may perform satisfactorily under earthquake shaking, due to the adjacent San Ramon Creek, there is a potential for perched water near the surface of the project site which may present a liquefaction potential.*

Mitigation Measure(s):

GEO-1: At least 45 days prior to filing of the Final Map, the project proponent shall submit a geotechnical report for review by the Community Development Division (CDD) and the County Peer Review Geologist which includes a subsurface investigation, laboratory testing of samples, engineering analysis of the data gathered, and the consultant's evaluation of potential geologic/seismic hazards, including liquefaction and the possibility of soil expansion and corrosivity. The analysis shall include at least one boring depth of 40 feet (or to bedrock, whichever is less) on Parcel B. Borehole logs shall provide the details of the observed features and conditions and shall not be diagrammatic or generalized. The report shall include preliminary recommendations for site grading, drainage, and foundation design, and mitigation measures for all significant impacts that are confirmed to be present on the site.

Implementing Action:	COA
Timing of Verification:	Prior to filing the final map
Party Responsible for Verification:	Project proponent, CDD staff, Consulting Geotechnical Engineer, County Geologist
Compliance Verification:	Review of Geotechnical Engineer's report; review of construction drawings; or other verification provided to CDD staff

SECTION 13: NOISE

Potentially Significant Impacts: *As shown on Figure 11-5 O of the Noise Element, the subject property is within an area of the County that is subject to average noise levels above what would be considered normally acceptable for the operation of residential units. In addition, the subject property is located adjacent to the I-680 freeway. Although an existing sound wall constructed adjacent to and along the nearest portions of I-680 to the project site is the type of noise barrier that is commonly used to reduce freeway transportation noise levels and would provide some reduction in noise levels at the subject property, if Parcel B is developed with a new single-family*

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residence and associated site improvements, there are potentially adverse impacts on future residents due to excessive interior and/or exterior noise.

Mitigation Measure(s):

NOI-1: Prior to CDD stamp-approval of plans for issuance of a residential building permit, the applicant shall submit a noise assessment prepared by a qualified acoustician for review and approval of the CDD as evidence that the residential design meets the acceptable interior and exterior noise level standards as established in the Noise and Land Use Compatibility Guidelines contained in the Noise Element of the County General Plan, and, if warranted, includes recommendations for special design and/or construction materials.

Implementing Action:	COA
Timing of Verification:	Prior to CDD approval of construction documents
Party Responsible for Verification:	Project proponent, CDD staff
Compliance Verification:	Review of acoustician's report; review of construction drawings; or other verification provided to CDD staff

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