

Appendix PPS

Project Plans



1155 & 1185 TERRA BELLA AVE

MOUNTAIN VIEW, CA

FORMAL PLANNING APPLICATION #3

AUGUST 26, 2021

Planning
Division
City of Mountain View
**Received on
Aug 27, 2021**



PROJECT SUMMARY

The proposed development is a 1.3-acre site in the Terra Bella neighborhood in Mountain View, CA, comprising two parcels, 1185 Terra Bella Ave. (APN:153-16-011) and 1155 Terra Bella Ave. (APN: 153-16-012). The site is located east of N Shoreline Blvd, across the street from the recently approved Shoreline Gateway mixed-use office-residential development. A MVgo bus stop is located on the corner of Shoreline Blvd and Terra Bella. The closest existing residential neighborhood is over 500-ft distance away.

The proposed project will be in full compliance with the City of Mountain View’s current zoning code for the ML and MM zones, including height, FAR, setback and parking requirements.

The existing building on the site has been demolished, and the proposed project is envisioned as a freestanding three-story office building of approximately 20,000 sf size on the Terra Bella frontage, and associated surface parking lot adjacent to the new building. The office entry plaza echoes the plaza across the street, and the entire street frontage is designed to create a very pedestrian-friendly experience.

The building massing steps down from three to two floors towards its western façade, making room for generous roof decks on the third floor for working and socializing. In addition, a series of outdoor spaces on the ground floor create a strong indoor-outdoor relationship for the office building.

Architecturally, a warm clean aesthetic is envisioned, with Corten steel and other rainscreen paneling, combined with a curtain-wall glass stair tower, and artistic metal elements. This warm aesthetic will nicely complement the existing and forthcoming architecture in the neighborhood.

Sustainability: Photovoltaic panels will be located on a portion of the office roof, as well as on the carports in the center of the surface parking lot. Electric Vehicle parking stalls are incorporated into the parking lot. The project aims for equivalent to LEED Gold rating.

PLANNING AND BUILDING CODE DATA				
Address		1155 & 1185 Terra Bella Ave., Mountain View, CA 94043		
APN:		1185 Terra Bella (APN:153-16-011)		
		1155 Terra Bella (APN: 153-16-012)		
Existing Land Use Designations:				
General Plan Designation:		General Industrial		
Zoning Designation:		MM (General Industrial), and ML (Limited Industrial)		
Proposed Land Use Designations:				
General Plan Designation:		General Industrial		
Zoning Designation:		MM (General Industrial), and ML (Limited Industrial)		
Building Code				
2019 California Building Code				
Building Height: ±44'-0" (to top of roof)			Building Stories: 3	
Occupancy Groups			Construction Types	
Office		B	Type V-B	
Assembly (Roof Decks)		A-3		
Lot Area (1155 Terra Bella & 1185 Terra Bella)		1.31 acres	57,024	sf
Office Gross SF			19,958	sf F.A.R. 0.35

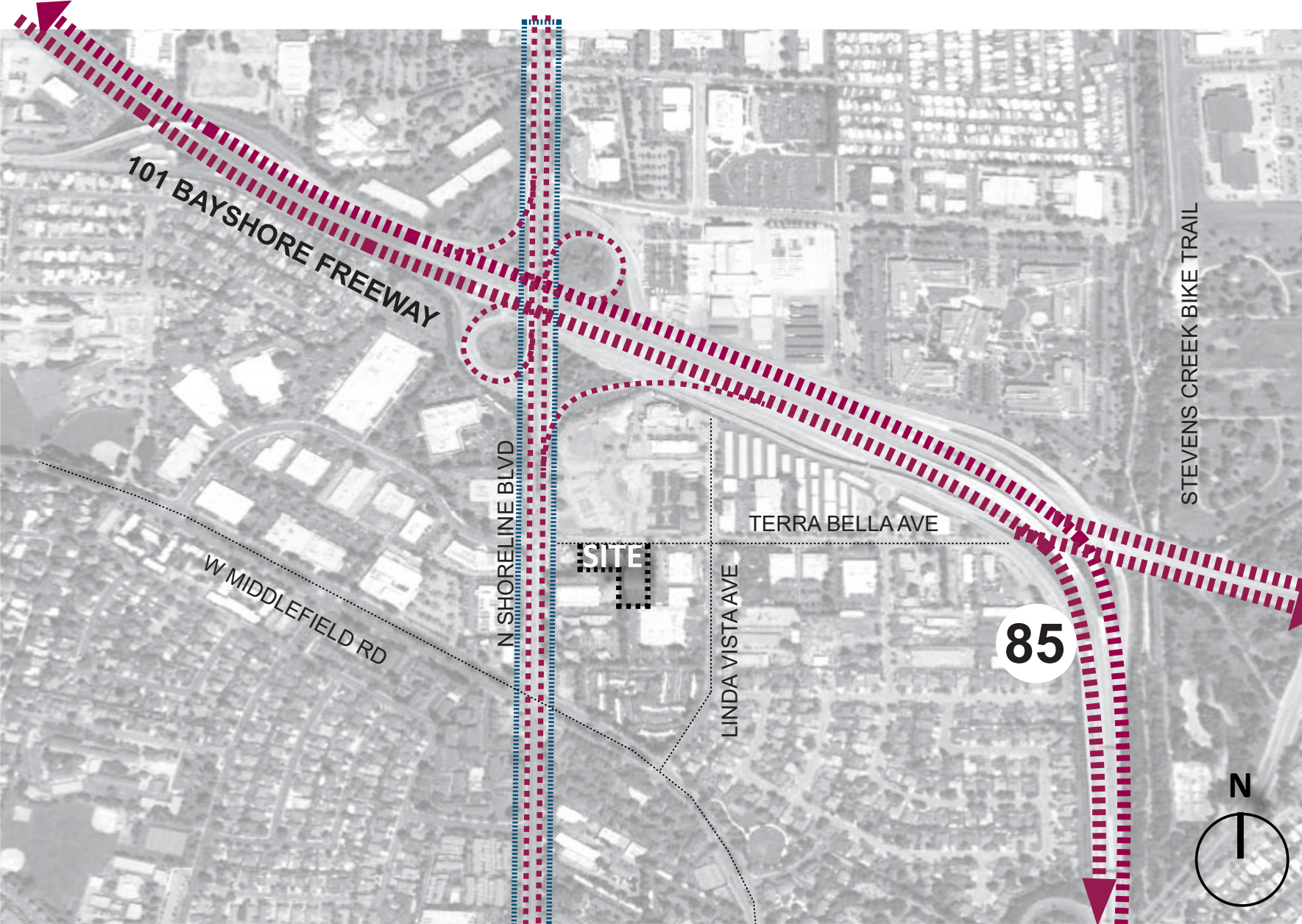
PROJECT TEAM

APPLICANT:	LANDSCAPE ARCHITECT:	STRUCTURAL ENGINEER:
Devcor Partners II, LLC.	The Guzzardo Partnership Inc.	DCI Engineers
171 Main Street, #232	181 Greenwich Street	135 Maine St., Suite 1800
Los Altos, CA. 94022	San Francisco, CA. 94111	San Francisco, CA. 94105
Contact: Sean Corrigan	Contact: Paul Lettieri, Principal	Contact: Jeff D. Brink, Principal
Erik Corrigan	Phone: 415.433.4672	Phone: 415.781.1505
Phone: 650.559.6500		
ARCHITECT / PLANNER:	CIVIL ENGINEER:	MEP ENGINEER:
Studio T-Square, Inc.	Kier and Wright	PAE Consulting Engineers, Inc.
1970 Broadway, Suite 615	3350 Scott Blvd., Building 22	48 Golden Gate Avenue
Oakland, CA. 94612	Santa Clara, CA. 95054	San Francisco, CA 94102
Contact: Chek Tang, Principal	Contact: Nektarios Matheou	Contact: Tim Quiring, Assoc. Principal
Chris Lee, Principal	Phone: 408.727.6665	Phone: 206.486.9593
Phone: 510.451.2850		
		WASTE MANAGEMENT:
		American Trash Management, Inc.
		1900 Powell St., Suite 890
		Emeryville, CA. 94608
		Contact: Steven Seltzer, Vice President
		Phone: 415.292.5402

PROJECT INFO

Total Property: 57,024 SF (1.3 acre)	MM ZONING: (For 1155 Terra Bella Ave.)
ML ZONING: (For 1185 Terra Bella Ave.)	FAR: 0.35
FAR: 0.35	Height: No reduction (50’ in height if located within 200’ of any R District)
Height: 40’ + 1:2 incline plane	Setback:
Setback:	Setback:
Front: 20’ Min., 30’ Average	Front: 25’ Min.
Side: 30’ Aggregate	Side: 0’
Rear: 0’	Rear: 0’
Parking: min 1/300 SF	Parking: 1/300 SF

VICINITY MAP



ZONING COMPLIANCE - SUMMARY

	Current Zoning ML	Proposed Development	In Compliance
Land Use	Commercial	Commercial Office	Yes
FAR	0.35	0.35 FAR on 1.3 ac	Yes
Height	40' + 1:2 Incline Plane	40' + 1:2 Incline Plane	Yes - See Sections
Setbacks			
Front	20' min, 30' avg	20' min, 30' avg	Yes, see A2.5
Side	30' aggregate	30' aggregate	Yes
Rear	0'	10'	Yes
Parking	1 car/300 SF (67 parking stalls)	75 parking stalls	Yes

	Current Zoning MM	Proposed Development	In Compliance
Land Use	Commercial	Office Parking	Yes
FAR	0.35	0	Yes
Height	No Restriction	No Building Proposed	Yes
Setbacks			
Front	25' min	25' min	Yes
Side	0'	30' aggregate	Yes
Rear	0'	10'	Yes
Parking	1 car/300 SF	(see table above)	Yes

	Parking Ratio Req.	Parking Required	Parking Proposed
Vehicular*	1 car/300 SF	67	75
Incl. Accessible			3
incl EV *	15%	12	12
EV regular			10
EV Accessible**			2
Loading Space	1 space / 10,000 - 30,000 SF	1	1
Bike	5%	3.35	5
Long Term	80%	4	4
Short Term	20%	1	1
Clean Air Vehicles***	Between 51-75 stalls - 6 stalls required	6	6

* Regular parking stall and Regular EV stall size: 8.5'x18'
** EV accessible stalls provided in compliance with CBC Chapter 11B-228.3.1 & Table 11B-228.3.2.1
1 EV accessible parking stall, size 9' x 18'
1 EV van accessible parking stall, size 12' x 18',
*** Designated parking for clean air vehicles based on Cal Green Code 5.106.5.2

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Mountain View, California

Devcor Partners II, LLC.

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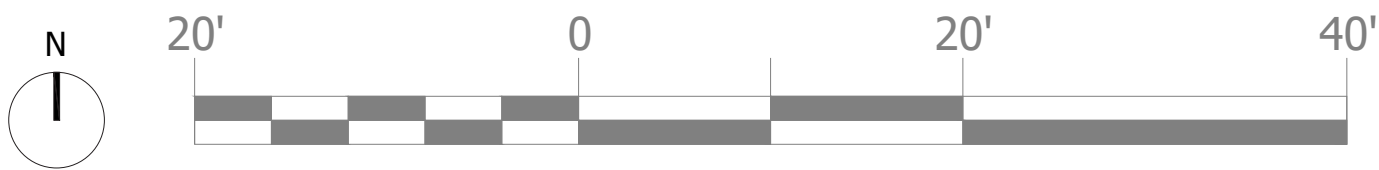
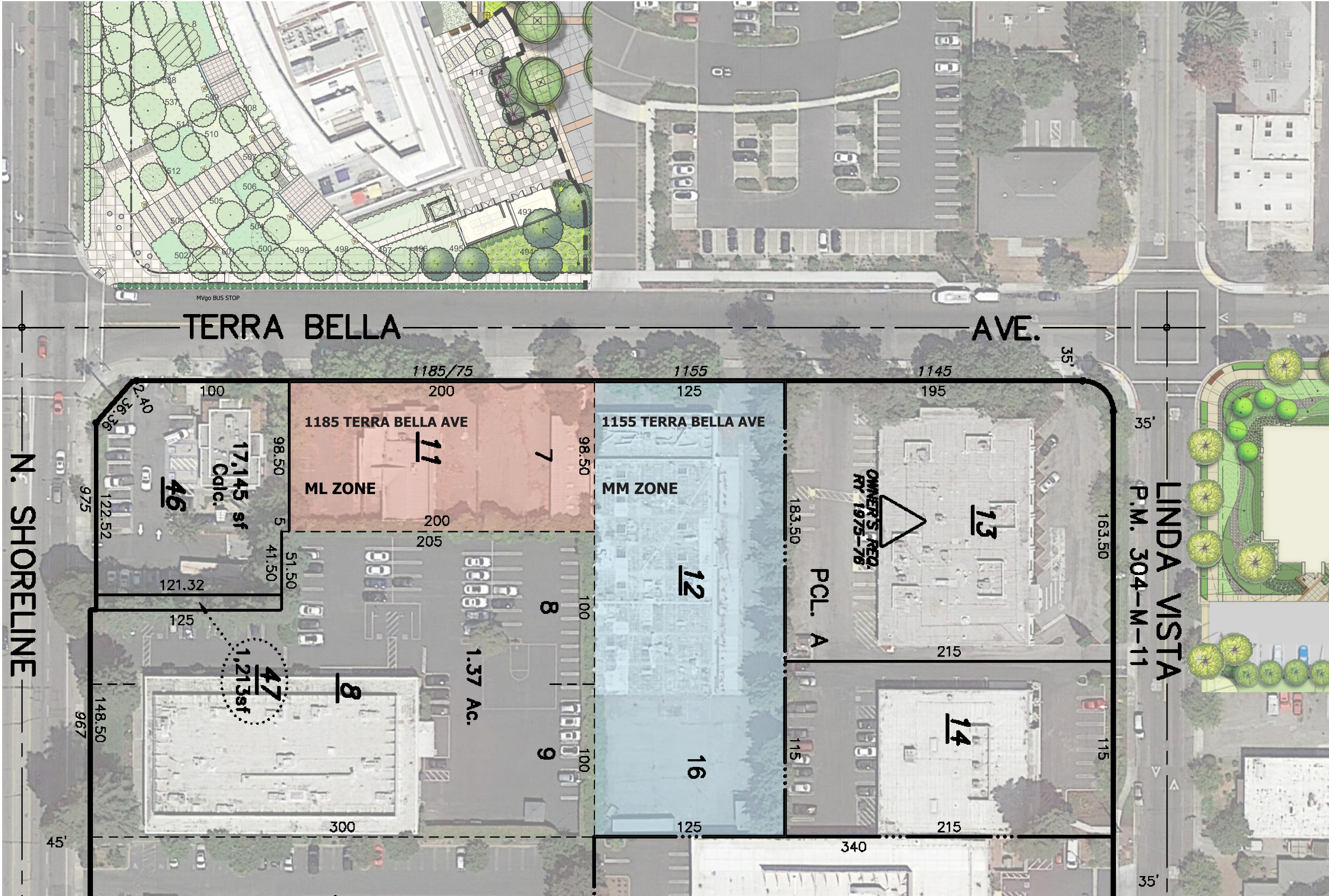
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PROJECT INFORMATION

Job No. 20006
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Sheet Title:
CONTEXT SITE PLAN

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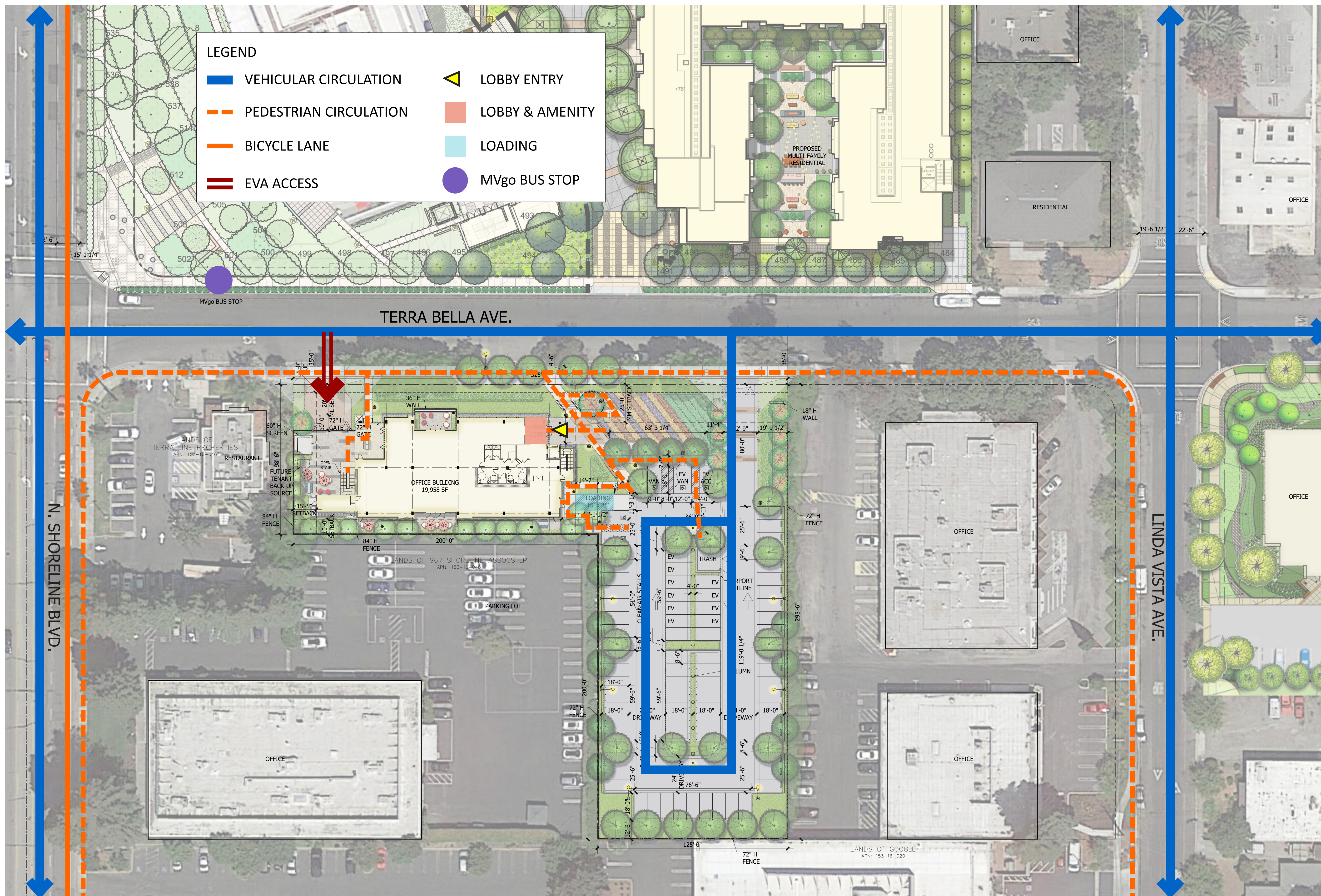
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SITE CIRCULATION DIAGRAM

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SCALE: 1" = 30' - 0"



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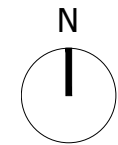


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AERIAL PERSPECTIVE

Job No. 20006
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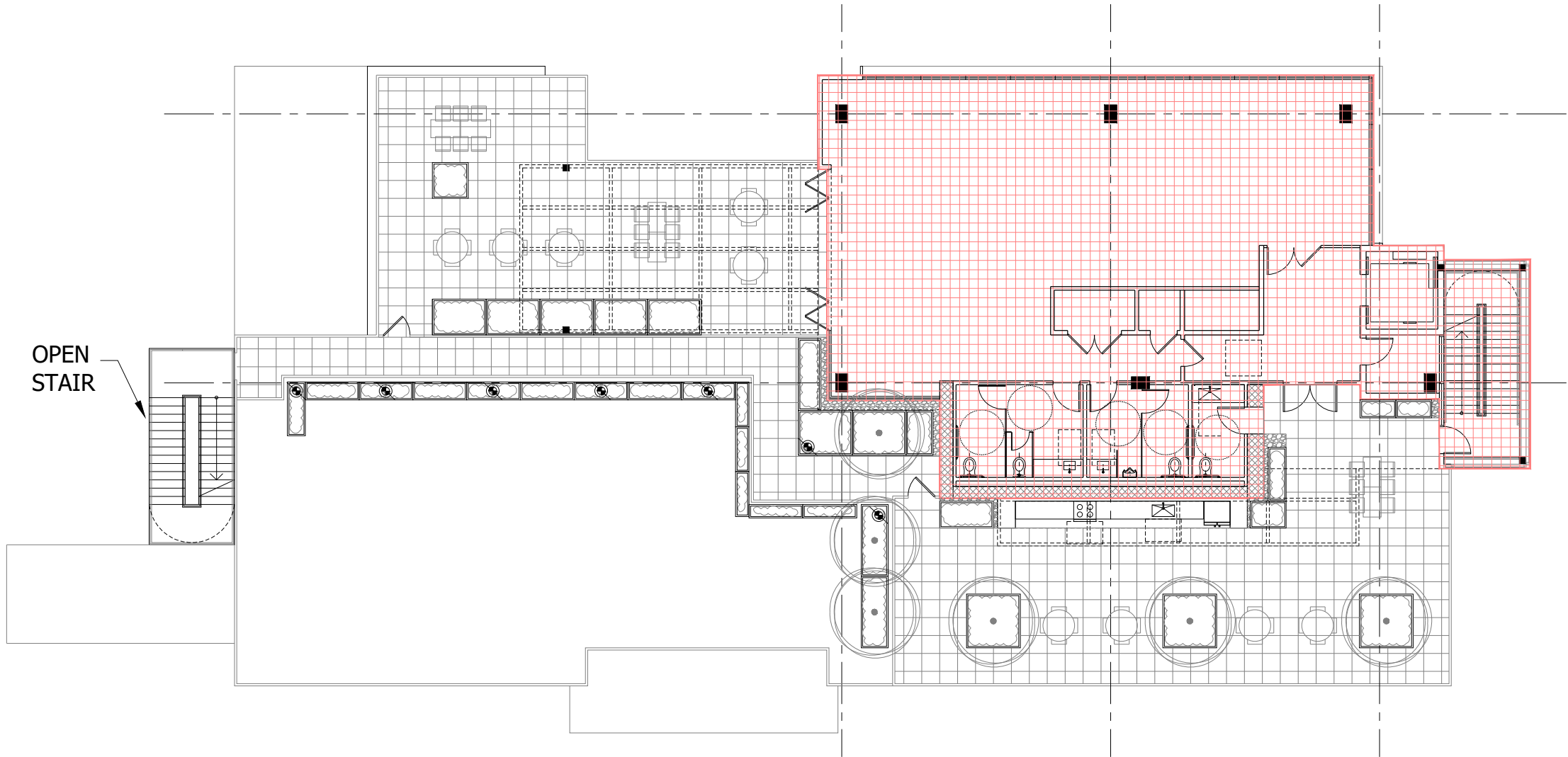
A1.1



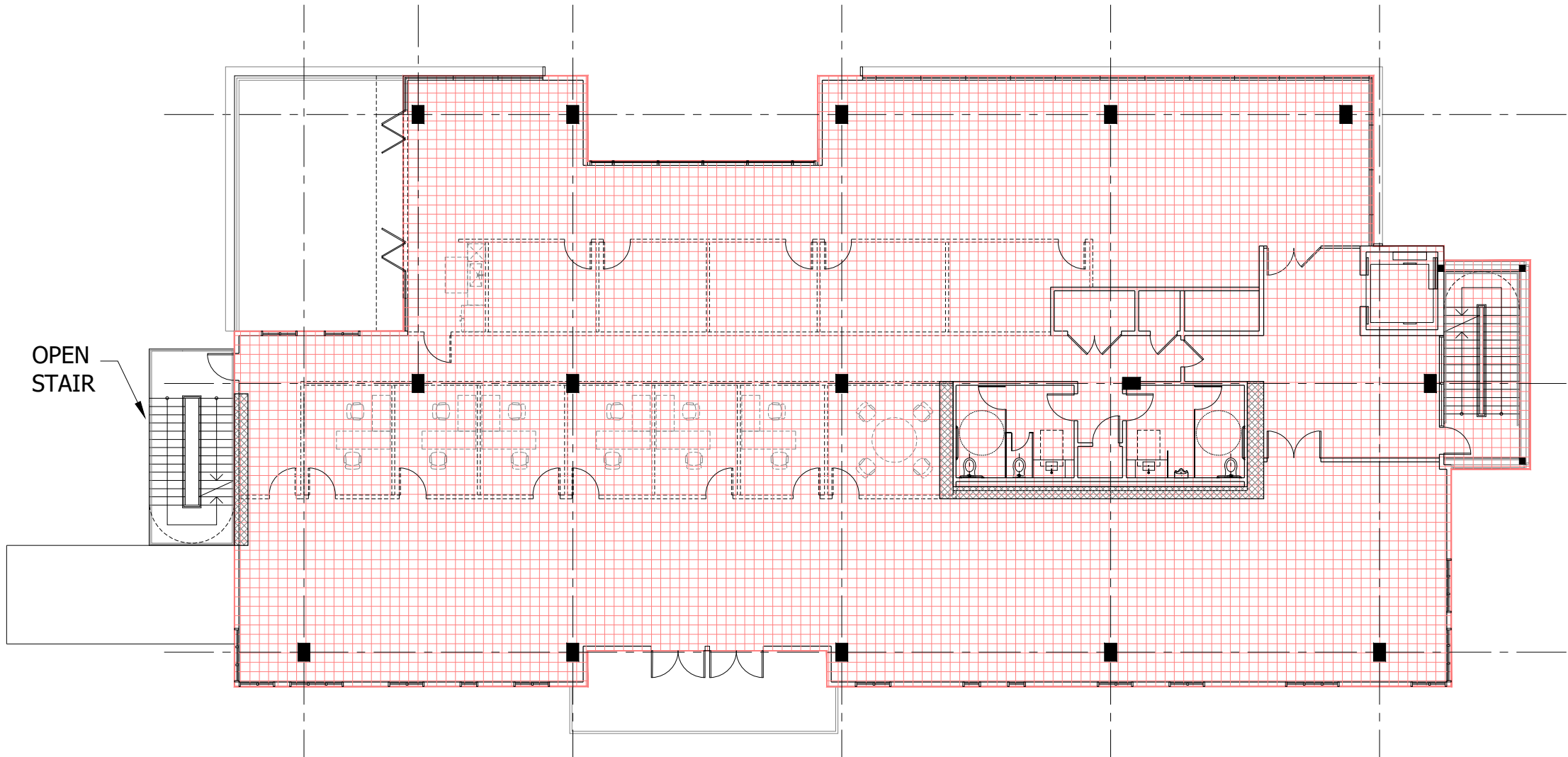
LEGEND	
	GROSS SF

TERRA BELLA OFFICE BUILDING AREA CALCULATIONS	
FLOOR LEVELS	GROSS SF *
LEVEL 1	8,586 SF
LEVEL 2	8,407 SF
LEVEL 3	2,965 SF
TOTAL	19,958 SF
FAR	19,958 SF / 57,024 SF = 0.34987 FAR
ALLOWABLE FAR	57,024 SF x 0.35 = 19,958 SF

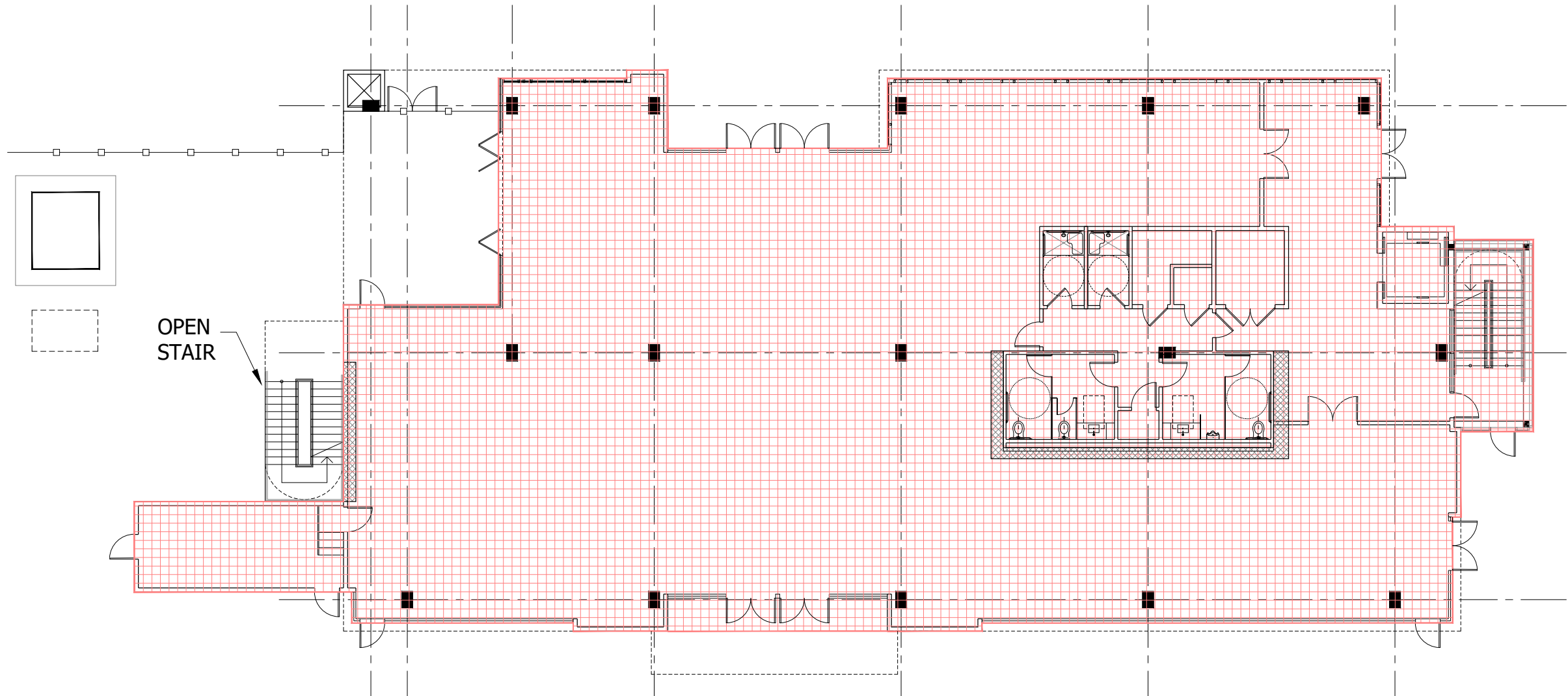
* NOTE: AREA MEASURED TO THE EXTERIOR FACE OF BUILDING WALLS, INCLUDING DECKS THAT ARE NOT OPEN TO THE SKY. EXCLUDES PORTIONS OF DECKS WHICH PROJECT BEYOND THE FACE OF THE BUILDING AND EXTERIOR STAIRWAYS. NO DEDUCTIONS FOR SHAFTS OR ENCLOSED STAIRWAYS ARE INCLUDED.



THIRD FLOOR LEVEL
SCALE: 1" = 15' - 0" 3



SECOND FLOOR LEVEL
SCALE: 1" = 15' - 0" 2



FIRST FLOOR LEVEL
SCALE: 1" = 15' - 0" 1



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F.A.R. CALCULATIONS

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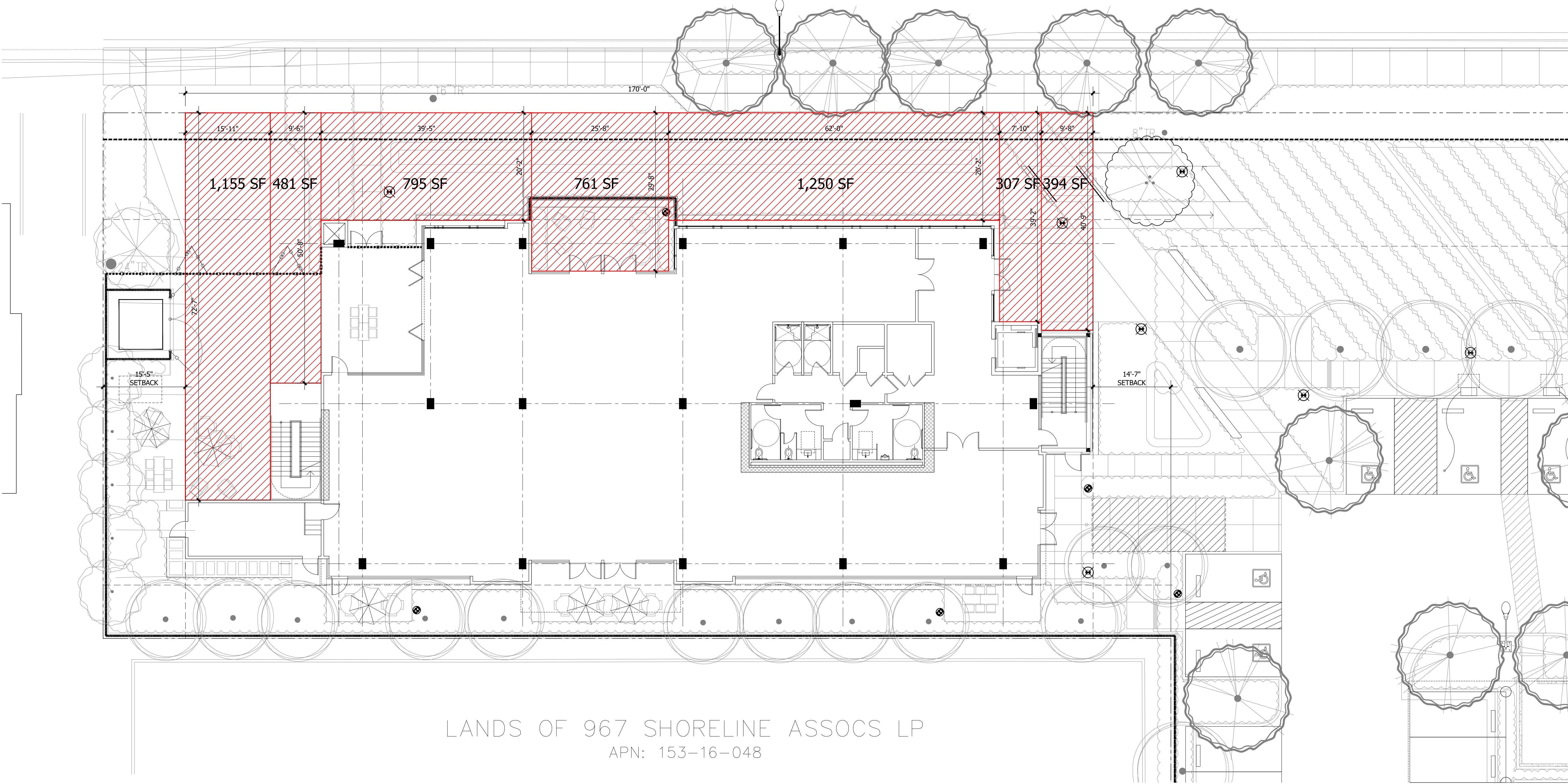
A2.3

5,143 SF / 170' = 30.3'

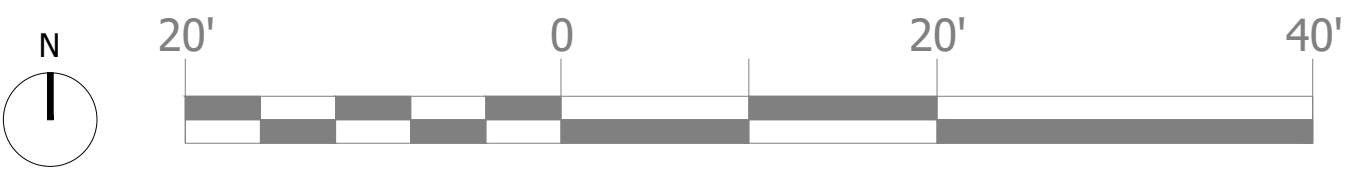
BUILDING FRONTAGE: 170'-0"
TOTAL FRONTAGE AREA: 5,143 SF

15'-11" x 72'-7" = 1,155 SF
9'-6" x 50'-8" = 481 SF
39'-5" x 20'-2" = 795 SF
25'-8" x 29'-8" = 761 SF
62'-0" x 20'-2" = 1,250 SF
7'-10" x 39'-2" = 307 SF
9'-8" x 40'-9" = 394 SF
TOTAL = 5,143 SF

TERRA BELLA AVE.



LANDS OF 967 SHORELINE ASSOCS LP
APN: 153-16-048



GROUND FLOOR LEVEL
SCALE: 1" = 10' - 0"



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Sheet Title:
SETBACK
CALCULATION

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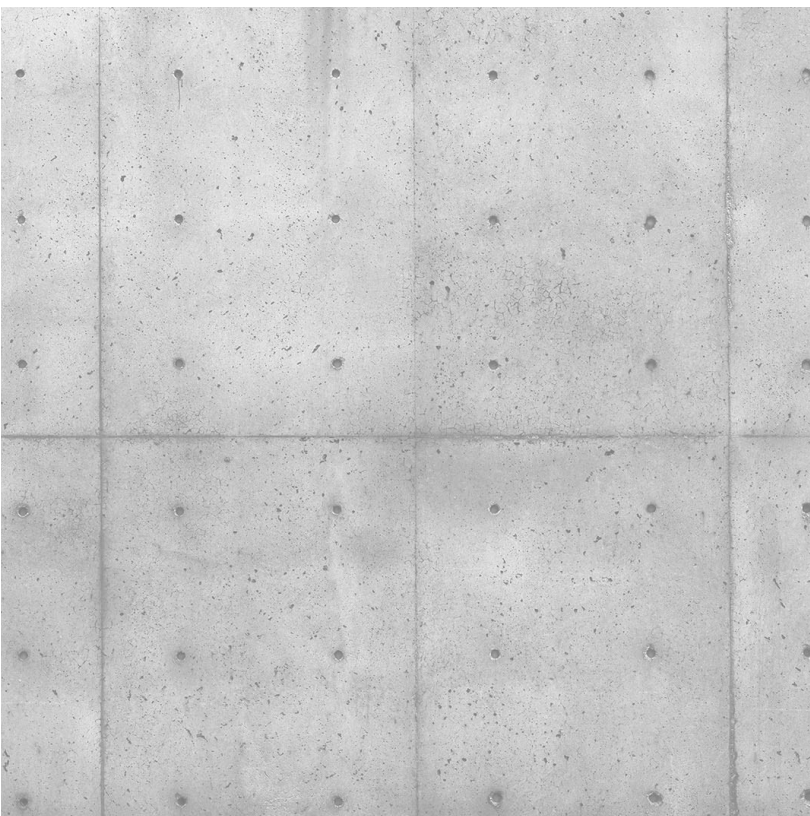
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A2.5

COLORS AND MATERIAL



A1-1 COMPOSITE PANEL
TRESPA METEON
NA11 FRENCH LIMESTONE
MATT-ROCK FINISH



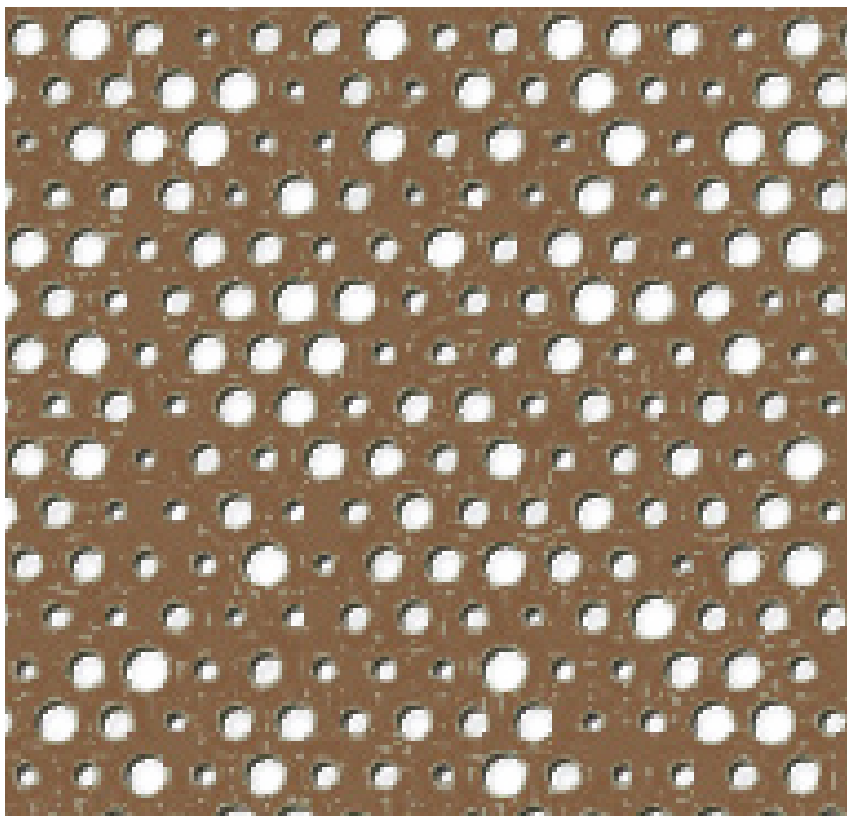
A1-2 PRECAST CONCRETE
WAINSCOT BASE



A2-1 ALUMINUM FRAME
DARK GREY

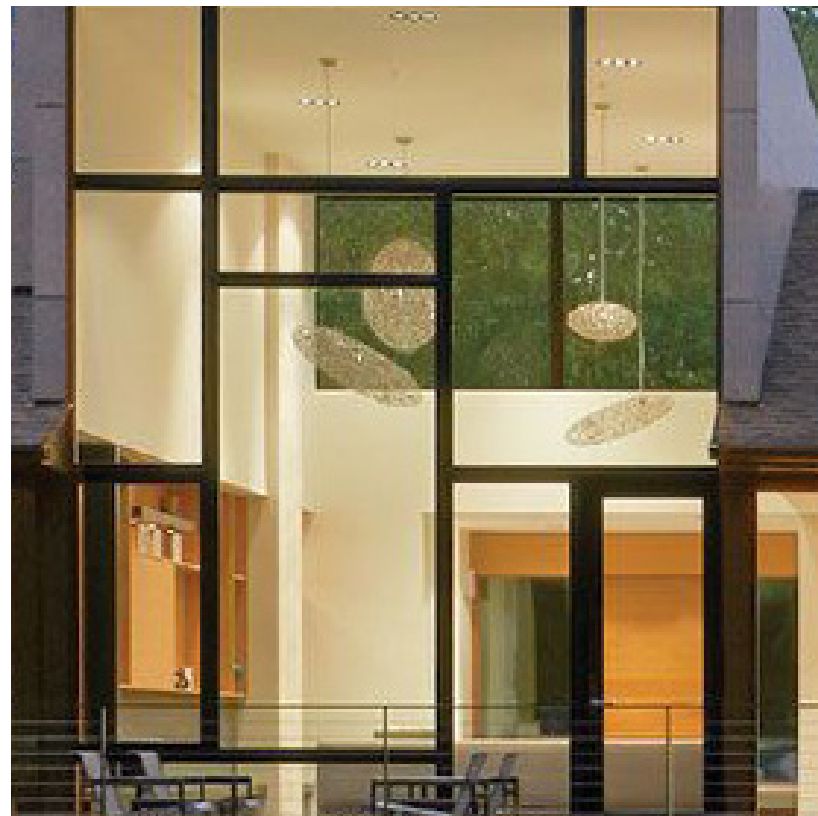


A2-2 CORTEN STEEL PANELS
ENFOLD FACADE



A2-3 PERFORATED
CORTEN PANELS
ENFOLD FACADE
PATTERN B47

WINDOWS AND STOREFRONT



B1-1 STOREFRONT WINDOW/DOOR
WALTERS & WOLF OR SIMILAR
ALUMINUM



B1-2 BUTT JOINT GLASS
SYSTEM
WALTERS & WOLF
OR SIMILAR



B1-3 ALUMINUM WINDOW
W/ ALUMINUM TRIM
SURROUND
WALTERS & WOLF OR SIMILAR



B1-4 FOLDING GLASS WALLS
SOLAR INNOVATIONS
OR SIMILAR



C1-2 SOLAR CARPORTS

STAIR, RAILING, TRELLIS



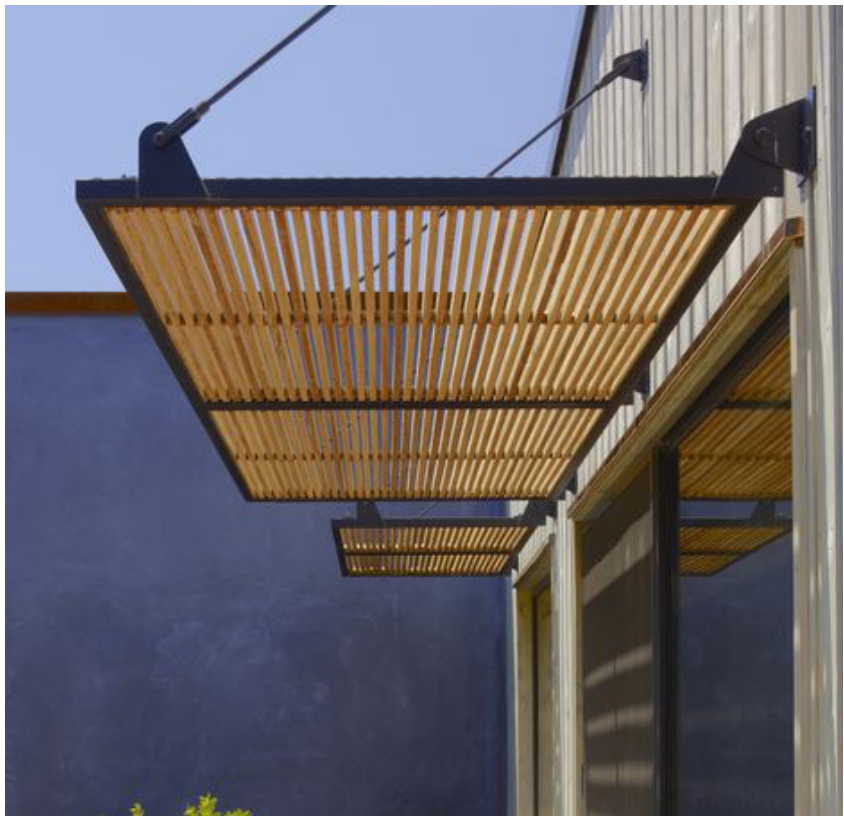
B1-5 INTERIOR METAL STAIR
WOOD FINISH TREADS / GLASS RAIL



B1-6 GLASS RAILING
WITH FRITTED GLASS



VIRACON - THREAT FACTOR 24
1/8" dots (screen 5006)
40% Coverage



C1-1 SUN SHADE
METAL / WOOD-COLOR TRELLIS

NOTE: MATERIAL SELECTION MAY USE EQUAL QUALITY ALTERNATIVES PENDING
ON AVAILABILITY AT THE TIME OF CONSTRUCTION



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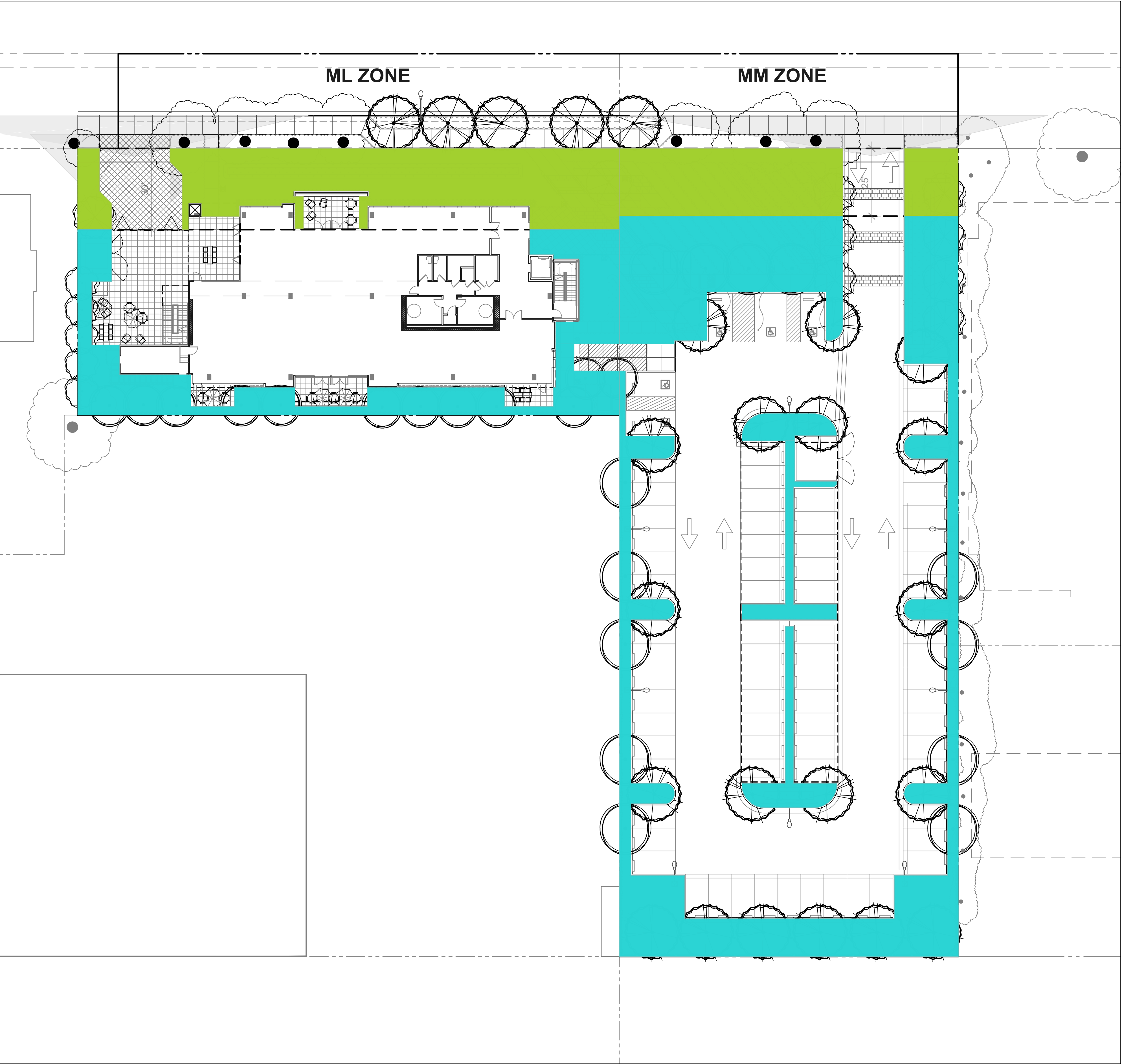


Sheet Title:
COLORS AND
MATERIALS













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Date: 08/26/2021
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LAND USE CALCULATIONS

ML ZONE		
	Area Within Setback:	6000 sf
	Proposed Landscape Within Setback:	4025 sf
	% Landscape (66.7% min.)	67%
	Whole Site Area:	19,700 sf
	Proposed Landscape Area:	7,443 sf
	% Landscape (15% min.)	38%
MM ZONE		
	Area Within Setback:	3125 sf
	Proposed Landscape Within Setback:	2558 sf
	% Landscape (50% min.)	82%
	Whole Site Area:	37,312.5 sf
	Proposed Landscape Area:	12,506 sf
	% Landscape (10% min.)	33%



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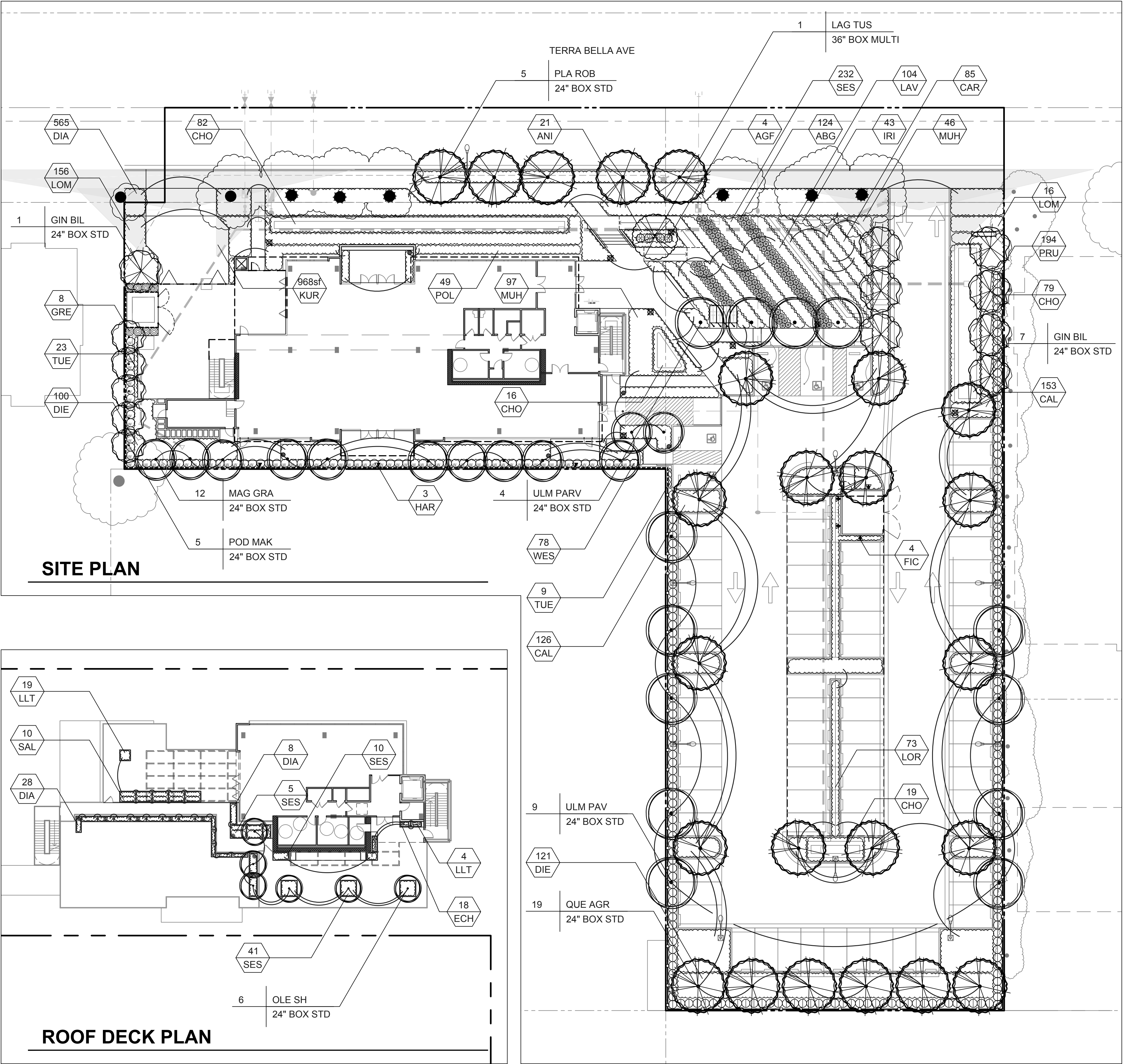
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08/26/2021
PLANNING SUBMITTAL

Sheet Title:
LAND USE
CALCULATIONS

Job No. 20036
Date: 08/26/2021
Scale: 1" = 20'-0"
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L3.01



PRELIMINARY PLANT LIST

TREES						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	APPRX QTY	COMMENTS	WATER USE
GIN BIL	Per Plan	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	8		M
LAG TUS	Per Plan	Lagerstroemia 'Tuscarora'	Crape Myrtle	1	Multi-trunk	L
MAG GRA	Per Plan	Magnolia g. 'Samuel Somers'	Samuel Somers Southern Magnolia	12		M
OLE SH	Per Plan	Olea e. 'Swan Hill'	Fruitless Olive	6	Contained in Pot	VL
POD MAK	Per Plan	Podocarpus macrophyllus 'Maki'	Yew Pine	5	Std, Low Branching	M
PLA ROB	Per Plan	Platanus racemosa 'Roberts'	Roberts Plane Tree	5	Native	VL
QUE AGR	Per Plan	Quercus agrifolia	Coast Live Oak	19	Native	VL
ULM PAR	Per Plan	Ulmus ch. 'Parvifolia'	Chinese Elm	13		M
Total Proposed Trees				69		
SHRUBS / VINES						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	APPRX QTY	COMMENTS
AGF	15 gal	Agave attenuata 'Blue Flame'	Blue Flame Foxtail Agave	Per Plan	4	
ABG	5 gal	Agave attenuata 'Blue Glow'	Blue Glow Agave	24" o.c.	124	
CAL	5 gal	Callistemon viminalis 'Little John'	Dwarf Callistemon	36" o.c.	279	
FIC	5 gal	Ficus pumila	Creeping Fig	Per Plan	4	Vine
GRE	15 gal	Grevillea 'Red Hooks'	Red Hooks Grevillea	Per Plan	8	
HAR	5 gal	Hardenbergia v. 'Happy Wanderer'	Purple Lilac Vine	Per Plan	3	Vine
LOR	5 gal	Loropetalum ch. 'Daruma'	Dwarf Purple Fringe Flower	36" o.c.	73	
POL	5 gal	Polystichum munitum	Western Sword Fern	36" o.c.	49	Native
PRU	5 gal	Prunus caroliniana 'Bright N Tight'	Carolina Cherry Laurel	36" o.c.	194	
WES	5 gal	Westringia fruticosa 'Morning Light'	Coast Rosemary	36" o.c.	78	
GRASSES / PERENNIALS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	APPRX QTY	COMMENTS
ANI	5 gal	Anigozanthos 'Harmony'	Yellow Kangaroo Paw	24" o.c.	21	
CAR	1 gal	Carex tumulicola	Berkeley Sedge	24" o.c.	85	C3*, Native
CHO	5 gal	Chondropetalum tectorum	Cape Rush	36" o.c.	196	C3*
DIA	5 gal	Dianella c. 'Cassa Blue'	Blue Flax Lily	24" o.c.	601	
DIE	5 gal	Dietes bicolor	Fortnight Lily	36" o.c.	221	
IRI	5 gal	Iris douglasiana	Pacific Coast Iris	30" o.c.	43	C3*, Native
LAV	5 gal	Lavandula angustifolia	English Lavender	30" o.c.	104	
LLT	1 gal	Lomandra longifolia 'Lime Tuff'	Lime Tuff Mat Rush	18" o.c.	23	
LOM	5 gal	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	30" o.c.	172	
MUH	5 gal	Muhlenbergia rigens	Deer Grass	36" o.c.	143	C3*, Native
SAL	5 gal	Salvia greggii 'Navajo Purple'	Purple Sage	24" o.c.	10	
SES	1 gal	Sesleria autumnalis	Autumn Moor Grass	18" o.c.	288	
GROUNDCOVERS						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	APPRX QTY	COMMENTS
ECH	1 gal	Echeveria 'Afterglow'	Afterglow Hens n Chicks	12" o.c.	18	
KUR	Sod	Phyla nodiflora	Kurapia **	Sod	-	Infill at EVA pavers
TEU	1 gal	Teucrium chamaedrys	Teucrium	18" o.c.	32	

- Notes:
- C3* Denotes plants suitable for stormwater treatment planting, per the Appendix D of the SCVURPPP C.3 Stormwater Handbook. S.C.D.
 - Water Use based on WUCOLS IV.
 - Kurapia ** - Available through Delta Bluegrass Co, 800.637.8873



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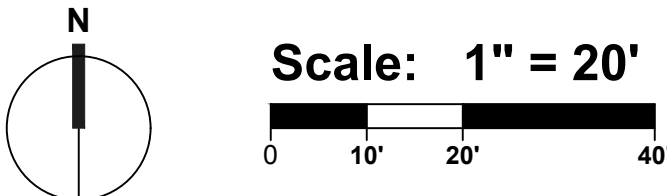
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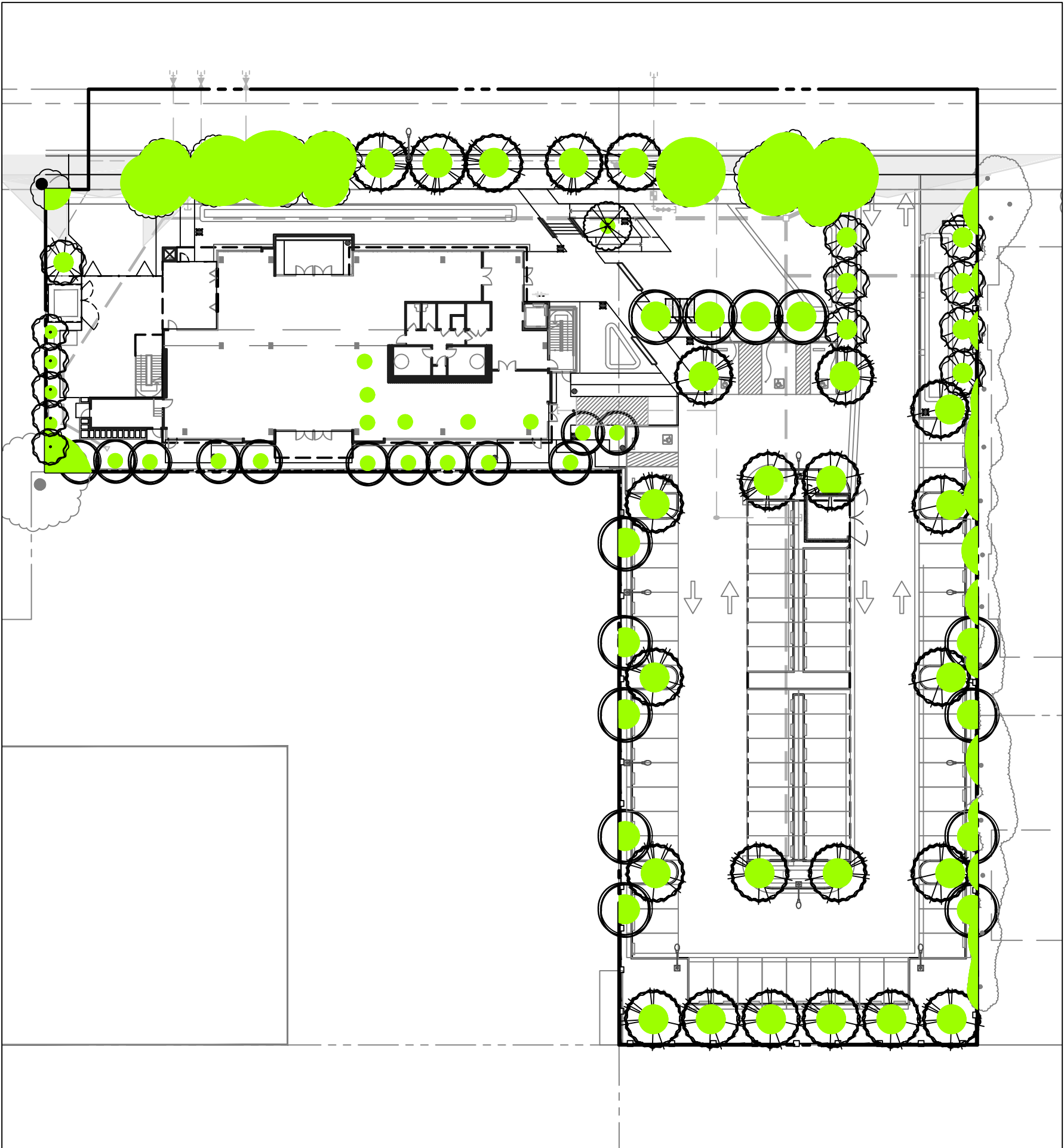
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Drawn By: EE

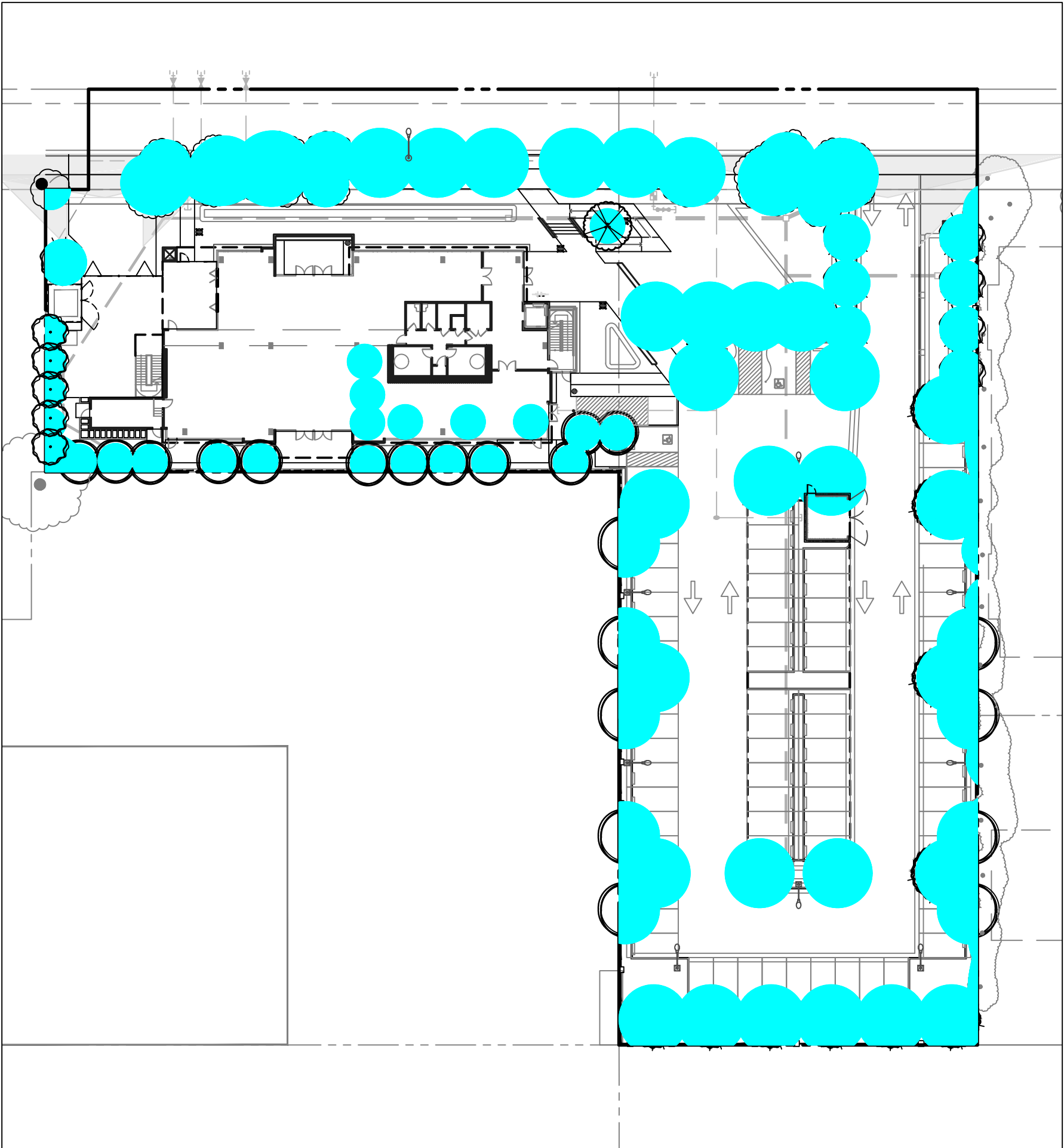
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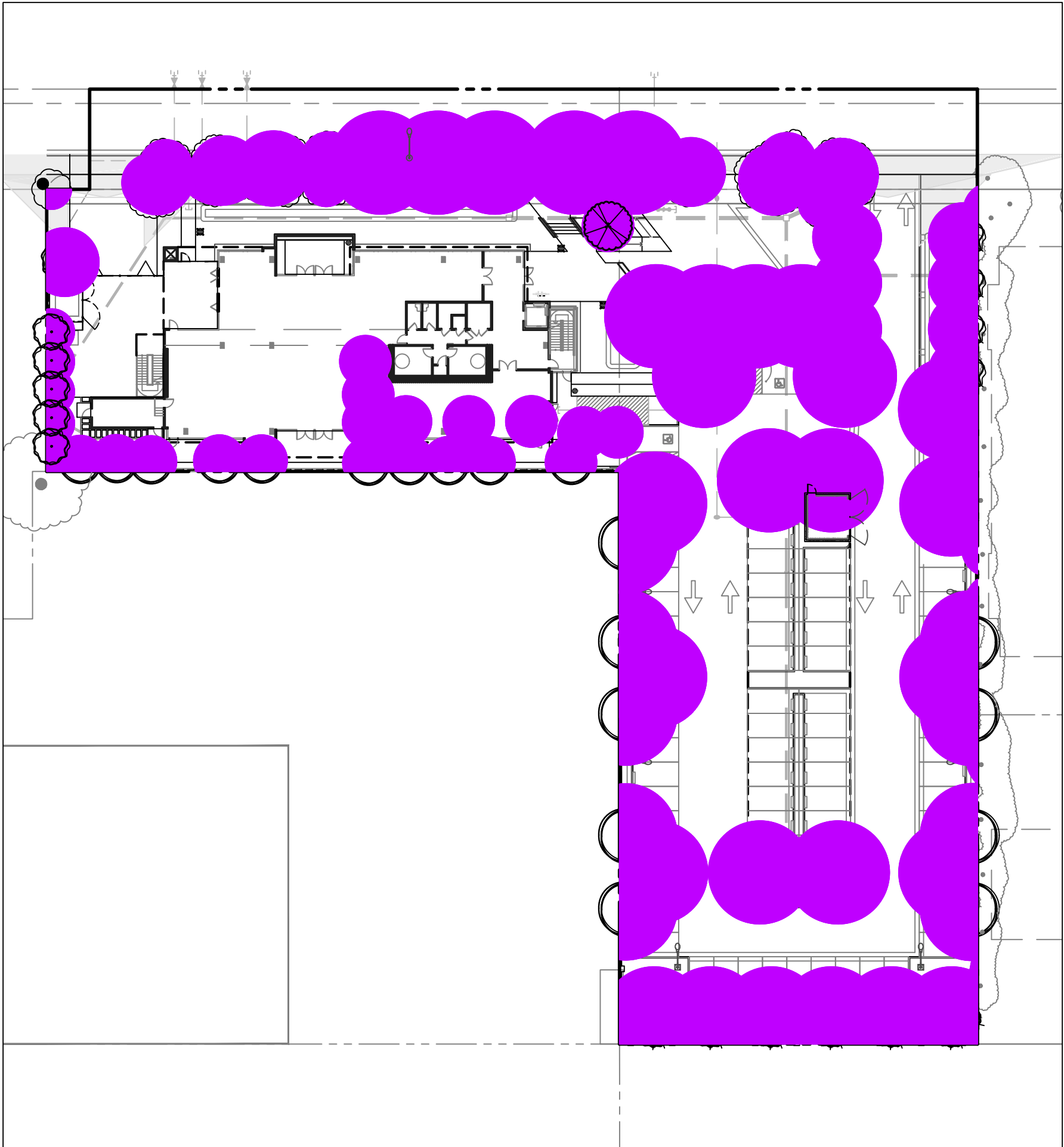




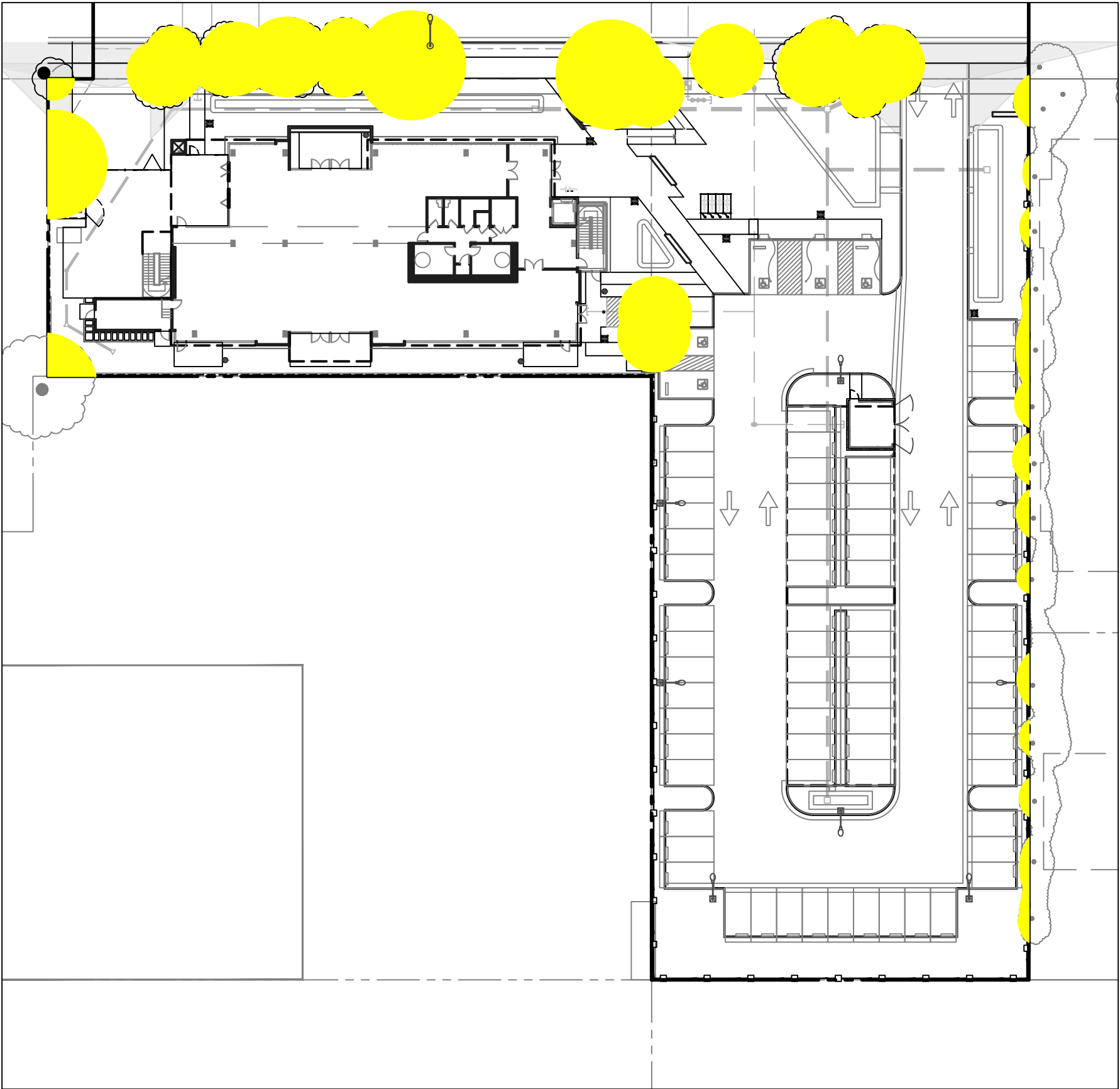
PROJECTED CANOPY COVERAGE: AT PLANTING



PROJECTED CANOPY COVERAGE: AFTER 5 YEARS



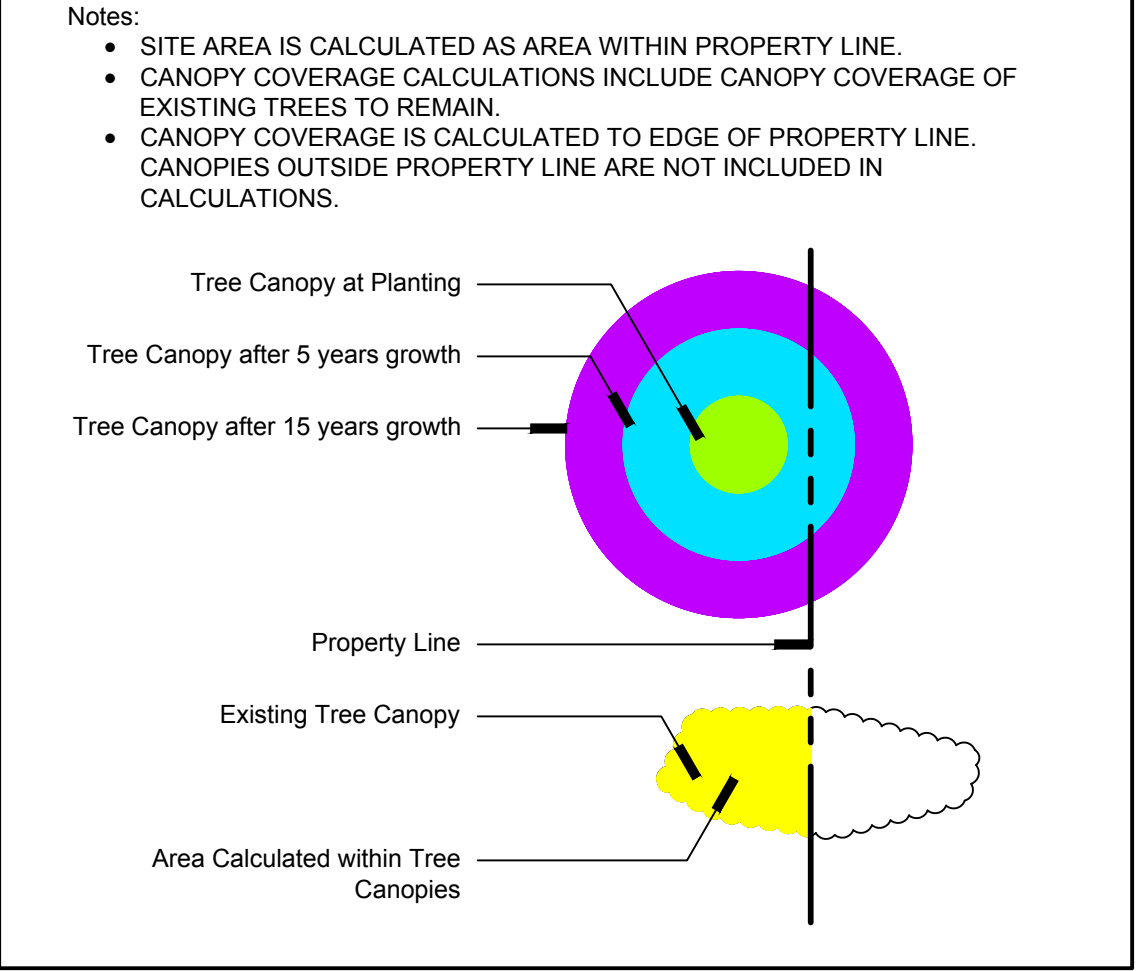
PROJECTED CANOPY COVERAGE: AFTER 15 YEARS
(MATURITY)



EXISTING CANOPY COVERAGE

TREE CANOPY COVERAGE
CALCULATIONS

Total Lot Area: 67,875 sf *	AREA	% SITE
EXISTING CANOPY COVERAGE	7,481 sf	11%
CANOPY AT PLANTING	7,567 sf	11%
CANOPY AT 5 YEARS	20,684 sf	30%
CANOPY AT 15 YEARS	32,129 sf	47%



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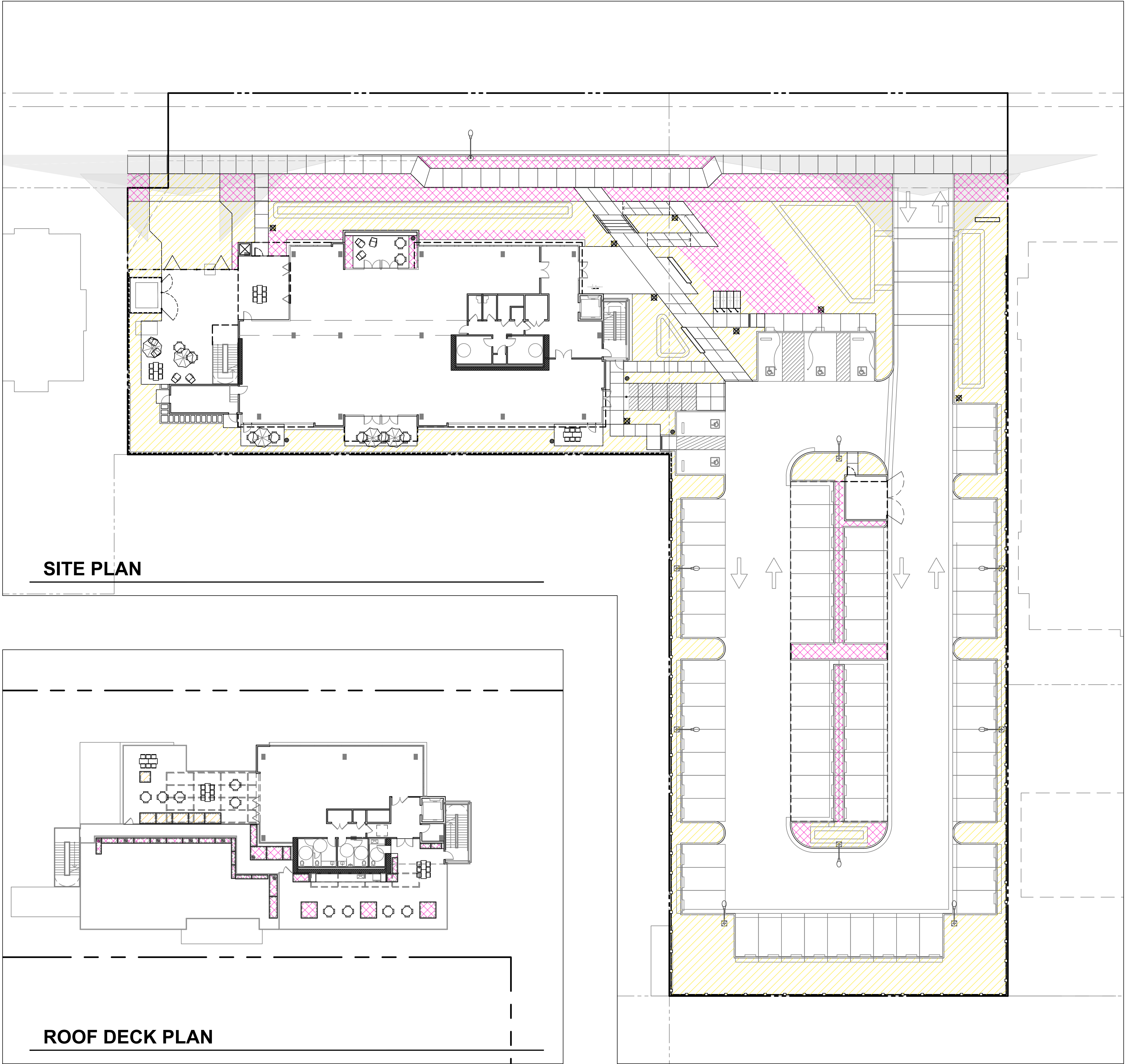
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TREE CANOPY
PLAN

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SITE PLAN

ROOF DECK PLAN



WATER USE LEGEND

	WUCOLS Low: 13,534 SF
	WUCOLS Moderate: 5,348 SF
	WUCOLS High: N/A
	Water Features: N/A
	Special Landscape Area: N/A
* Based upon total landscape area of 18,882 SF	

NOTE:
Site plan meets Water Conservation in Landscape Regulations Option 2. Refer to WELO Calculations, this sheet.

IRRIGATION PERFORMANCE SPECIFICATIONS

The contractor shall include in his bid, a proposal to install individual landscape irrigation systems for the street frontage. All proposals shall meet the requirements of the outline specifications below:

- Planting Areas and Method of Irrigation
 - Shrub Areas - Shrub areas shall be irrigated with drip emitters (one per shrub, two per tree).
- Irrigation Equipment
 - Point of Connection: A gate valve shall be provided under work of another section. Irrigation demand is not to exceed sixty (60) gallons per minute. Required pressure is 60 P.S.I. or more.
 - Remote Control Valves: An electrically activated solenoid control valve shall control each circuit of sprinklers. Size will vary according to gpm demand of circuit. Sizes to be 3/4" through 2". Valves shall be Rainbird ECV series, anti-siphon valves. Valve shall be housed in a plastic valve box set flush with grade. Pea gravel shall be installed below valve, 6" deep. Four bricks shall support the plastic valve box at the base of the box, below grade. Solenoid control wire shall be spliced using epoxy-filled waterproof splice packs. Each valve waters only one type of hydrozone.
 - Controller and Wire: A WEATHER BASED SOLID-STATE CONTROLLER shall control the operation of the irrigation system. The controller shall be Rainbird "ESP-LXME-F/ETC-LX". The controller shall be mounted outdoors. The housing shall be weatherproof. Each controller station will require an underground AWG-UF 14-1 control wire to the valve location. A common wire AWG-UF 12-1 shall be connected to all valves related to a single controller.
 - Pipe and Fittings
 - Main line (constant pressure): 2" and smaller pipe shall be plastic PVC 1120 Schedule 40 with plastic PVC Schedule 40 solvent weld fittings, buried 18" deep.
 - Lateral lines (non-constant pressure) to sprinklers: Pipe shall be plastic PVC 1120-200 PSI with plastic Schedule 40 solvent weld fittings, buried 12" deep.
 - Sleeving: All pipe under paving shall be housed in a PVC plastic pipe sleeve. Sleeving material shall be 1120-200 P.S.I. PVC plastic pipe of size adequate to accommodate necessary pipes and wiring. Sleeves shall extend beyond walk, curb, or edge of paving. Sleeves shall be installed by concrete subcontractor.
 - Wye Strainer: Wye strainer shall be of plastic construction with 150 mesh PVC screen. Strainer shall be placed in a valve box below grade and connected into the lateral line downstream of the drip irrigation remote control valves.
 - Trim all spray heads to eliminate overspray onto walks and building.
 - No overhead irrigation on slopes greater than 25%, within 24" of nonpervious surface or areas less than 8' wide.
 - Irrigation system to include weather based controllers, main and lateral lines, valves, sprinkler heads, quick couplers, pressure regulators and backflow devices.
 - Rain sensor shut-off devices are included and to be noted in plan.
 - Dedicated irrigation meter is to be noted in plan.
 - Static water pressure at point of connection to public water supply is to be noted in plan.
 - Flow/application rate and operating psi for each station is to be noted in plan.
 - System only operates between 8:00pm and 10:00am.

This performance specification is intended as a brief description of the methods of irrigation to be applied to this project. This specification is not intended as a construction document.

WATER EFFICIENT LANDSCAPE WORKSHEET							
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.							
Reference Hydrozone #	Plant Factor (PF)	Irrigation Method ³	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ⁴	
Regular Landscape Areas							
Low Water-Use Plants	0.3	Drip	0.81	13,534	5,013	133,636	
Moderate Water-Use Plants	0.5	Drip	0.81	5,348	3,301	88,011	
High Water-Use Plants	0.8	Spray	0.75	0	0	0	
						0	
				(A)	(B)		
			Totals	18,882	8,314		
Special Landscape Areas							
			1		0		
			1		0		
			1		0		
				(C)	(D)		
			Totals		0		
					ETWU Total	221,647	
					Maximum Allowed Water Allowance (MAWA) ⁵	221,647	
E.g. 1.) front lawn 2.) low water use plantings 3.) medium water use planting							
E.g. 1.) front lawn 2.) low water use plantings 3.) medium water use planting							

ETAF Calculations
Regular Landscape Areas
Total ETAF x Area (B) 8,314
Total Area (A) 18,882
Average ETAF 0.440304372444329
All Landscape Areas
Total ETAF x Area (B+D) 8,314
Total Area (A+C) 18,882
Sitewide ETAF (B+D) ÷ (A+C) 0.440304372444329



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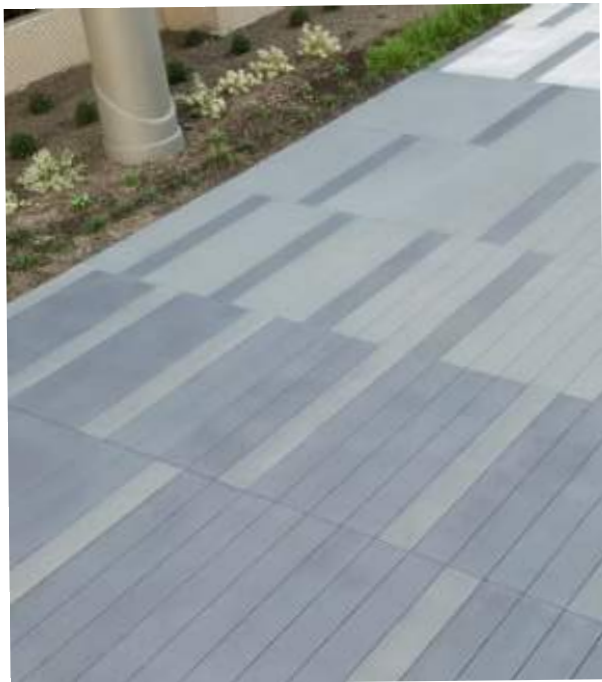
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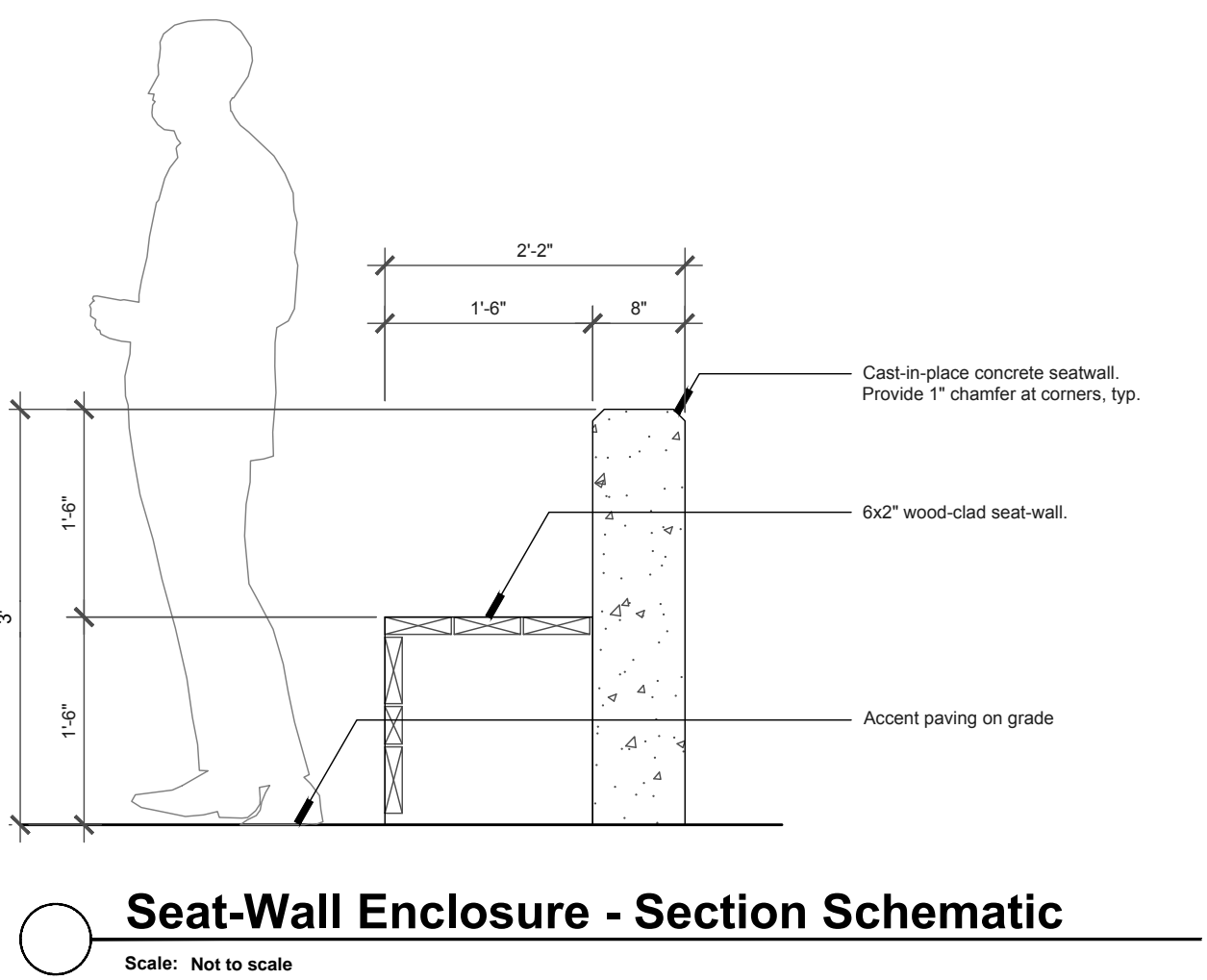
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PAVING AND BENCHES

BIKE LOCKER



Horizontal Slat Screening Fence

Decorative Metal Vehicular Gate & Fence

Patio Enclosure Combo Fence

Omega Fence at Parking Lot

BIKE RACK

FENCES AND SCREEN WALLS

Pole Light
GARDCO P15-P-A02-730

Standard Arm (AR)
Weight: 27 Lbs (12.4 Kg) EPA: 0.26ft² (0.024m²)

5'5" (14.1cm)
32'4" (82.4cm)
2'4" (6.0cm)
15'2" (38.7cm)
26'3" (66.8cm)

Bollard Light
BEGA 99 058 - 11.6W-K3

Shielded LED bollard - asymmetric

LED	A	B	Anchorage
99058	11.6W	7 1/2"	39%

Wall Sconce
ALVA TESS-30-XXX-3000

12"
30", 45" or 60"

Wall Sconce @ BBQ
BEGA 22 360 - 15.4W-K3

LED wall luminaire - light output on one side

LED	A	B	C
22360	15.4W	12 1/2"	4 3/4"

Handrail Light
WAGNER LULS-30K-20-70-MA-XX

CONSTRUCTION
An extruded aluminum housing and fully gasketed assembly insure heat dissipation and ingress protection to IP67. Stainless steel hardware and mechanical attachment promote easy installation and longevity.

PHOTOMETRICS
Main Beam 45° + nadir

Exterior Downlight
BEGA 55 926 - 12.7W-K3

LED recessed ceiling downlight - wide beam

LED	β	A	B	C
55926	12.7W	86°	5%	3 1/4"

Trellis Downlight
TEGAN EX5-LED-35°-ADJDL-XX

Ø 4 - 5/16" (110mm)
3 - 9/16" (91mm)
Ø 1 - 5/8" (41mm)

Kore-EX5 LED Monopoint Adjustable Downlight, Black

Rooftop Garden Light
BK LIGHTING SF-48"-L-LED-e65-WFL-A9

CATALOG NUMBER LOGIC
Example: SF - 36" - L - LED - e65 - NSP - A9 - BZP - 12 - 11 - C - PP-TRe20

MATERIAL
Aluminum

SERIES
SF - Staff Star Pathlight

OVERALL HEIGHT
24" (Standard), 30", 36", 42", 48", 54", 60", 66", or 72" height

STAFF STYLE
L - 90° Radius

SOURCE
LED - with Integral Dimming Driver (25W min. load when dimmed)**

LED TYPE
e64 - 7W LED/2700K e66 - 7W LED/4000K e65 - 7W LED/3000K e74 - 7W LED/Amber

SITE LIGHTING

*Additional Lighting Product Info on L7.0 Lighting Plan



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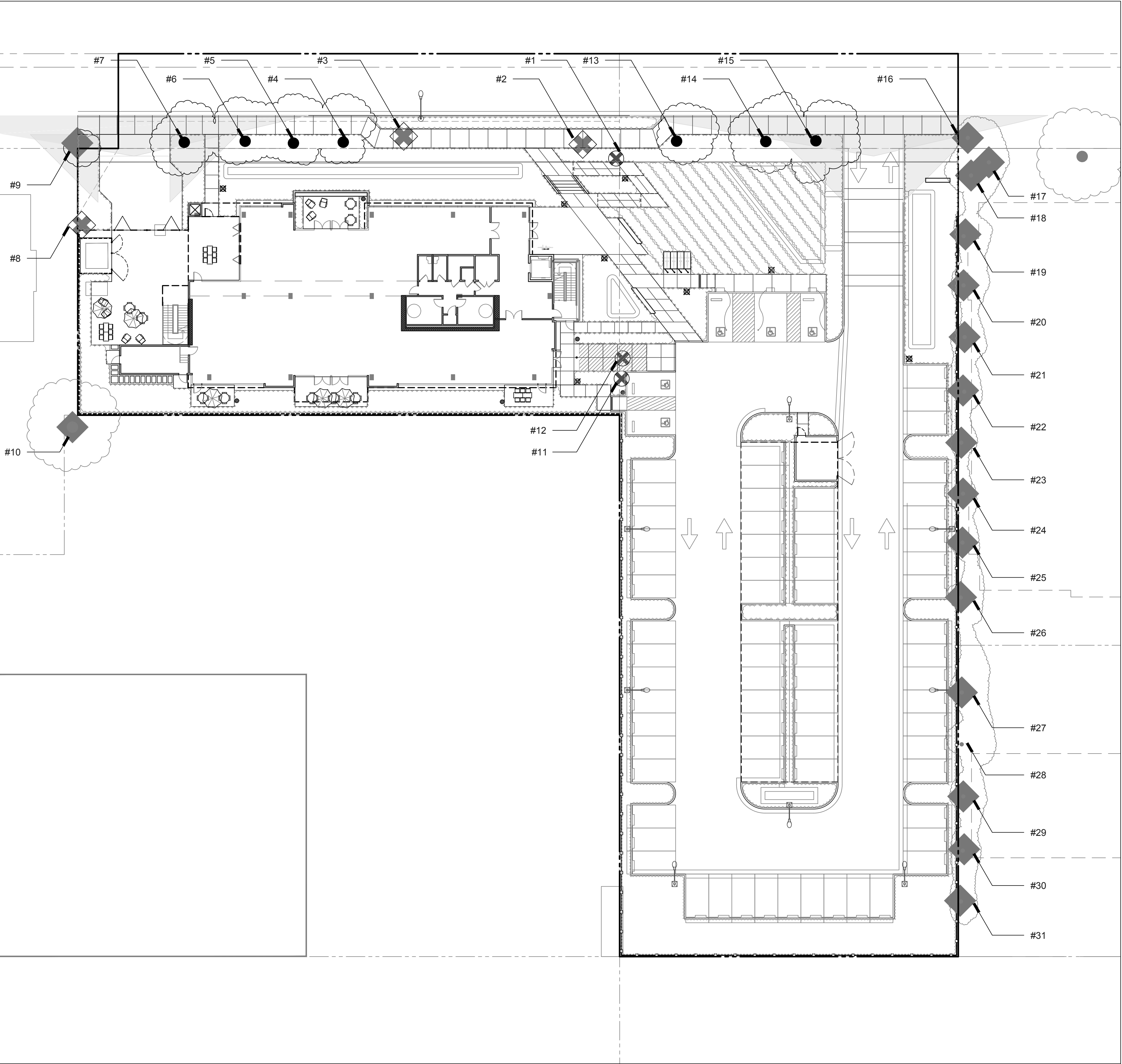
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MATERIALS

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TREE DISPOSITION LEGEND

ON-SITE TREES	REMAIN		REMOVE	
	KEY	QTY.	KEY	QTY.
HERITAGE TREE	◆	0	◆	1
NON-HERITAGE TREE	●	0	⊗	3
STREET TREES	KEY	QTY.	KEY	QTY.
	◆	1	◆	2
NON-HERITAGE TREE	●	7	⊗	0
OFF-SITE TREES	KEY	QTY.	KEY	QTY.
	◆	16	◆	0
NON-HERITAGE TREE	●	1	⊗	0
TOTALS	KEY	QTY.	KEY	QTY.
HERITAGE TREE	◆	17	◆	3
NON-HERITAGE TREE	●	8	⊗	3

REPLACEMENT RATIO FOR HERITAGE TREES:

3	HERITAGE TREES REMOVED	3	NON-HERITAGE TREES REMOVED
X 2	2:1 MITIGATION REQUIREMENT	X 1	1:1 MITIGATION REQUIREMENT
= 6	REPLACEMENT TREES REQUIRED	3	REPLACEMENT TREES REQUIRED

TOTAL NUMBER OF PROPOSED ON-SITE TREES (24" box min): 63

TREE PROTECTION NOTES: REFER TO RECOMMENDATIONS IN ARBORIST REPORT DATED JULY 24, 2020.



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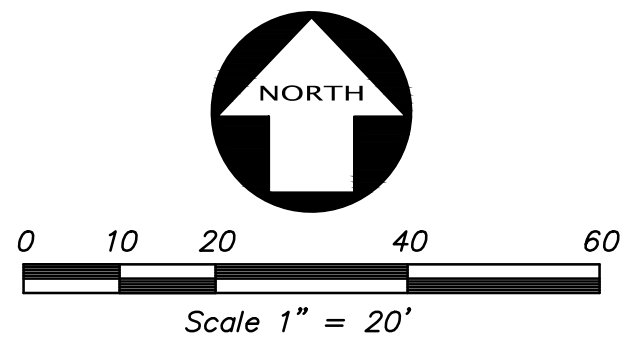
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PLAN

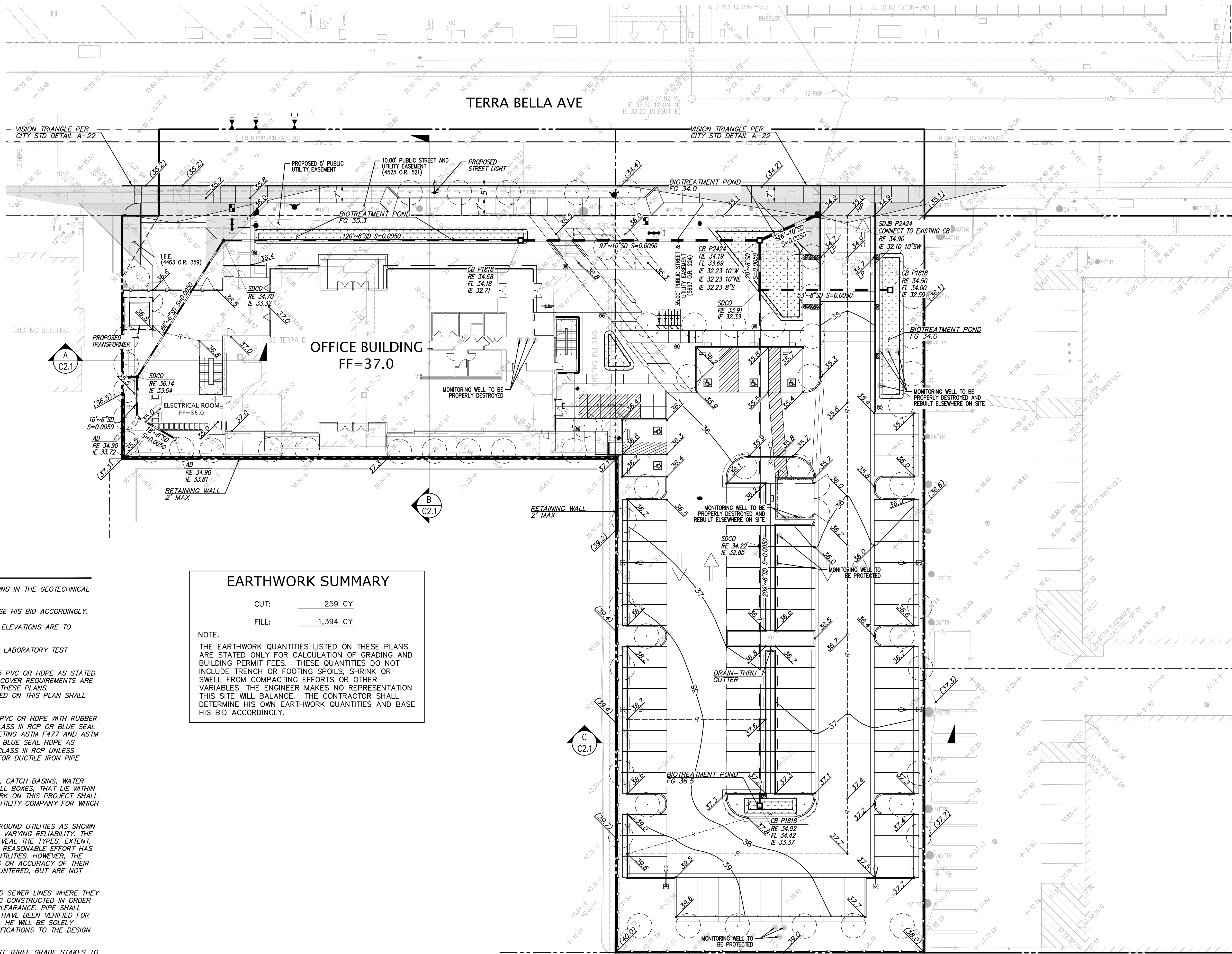
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LEGEND

- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FL FLOW LINE
- FF FINISH FLOOR
- IE INVERT ELEVATION
- PV PAVEMENT
- RE RIM ELEVATION
- 23.8 SPOT ELEVATION
- X-SD STORM DRAIN LINE
- TC TOP OF CURB



GRADING NOTES

- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE GEOTECHNICAL AND FOUNDATION INVESTIGATION PREPARED FOR THIS SITE BY TBD.
- CONTRACTOR SHALL DETERMINE HIS OWN EARTH QUANTITIES AND BASE HIS BID ACCORDINGLY.
- TOP OF CURB ELEVATION IS 0.5' ABOVE THE A.C. PAVING AND SPOT ELEVATIONS ARE TO FINISHED SURFACE (UNLESS OTHERWISE NOTED).
- COMPACTION TO BE DETERMINED USING ASTM D1557, LATEST EDITION LABORATORY TEST PROCEDURE.
- STORM DRAIN DESIGNATED AS "SD" SHALL BE CLASS III RCP, SDR 35 PVC OR HDPE AS STATED BELOW. PVC AND HDPE PIPES SHALL ONLY BE USED WHEN MINIMUM COVER REQUIREMENTS ARE MET AS SPECIFIED IN THE PVC PIPE BEDDING DETAIL AS SHOWN ON THESE PLANS. SUBSTITUTIONS FOR ANY PIPE WITH A PARTICULAR MATERIAL SPECIFIED ON THIS PLAN SHALL ONLY BE MADE WITH THE WRITTEN APPROVAL OF THE ENGINEER.
- STORM DRAIN PIPE SHALL BE: 10" DIAMETER AND SMALLER SDR 35 PVC OR HDPE WITH RUBBER GASKETS MEETING ASTM F477. 12" DIAMETER TO BE SDR 35 PVC, CLASS III RCP OR BLUE SEAL HDPE AS MANUFACTURED BY HANCOR WITH WATER TIGHT JOINTS MEETING ASTM F477 AND ASTM D3212. 15" THROUGH 24" DIAMETERS; PIPE TO BE CLASS III RCP OR BLUE SEAL HDPE AS SPECIFIED ABOVE. PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE (DIP).
- ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS, AND PULL BOXES, THAT LIE WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS OR AREAS AFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN NOT ASSUME RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT ARE NOT SHOWN ON THESE DRAWINGS.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED, ABOVE OR BELOW, BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
- THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR THE TRENCHING OR PLACEMENT OF CONCRETE.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- ALL WORK, ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE CITY OF SAN JOSE STANDARDS AND REQUIREMENTS.
- HISTORICAL OVERLAND RELEASE THROUGH ADJACENT PROPERTY. TOTAL IMPERVIOUS AREA REDUCED BY IMPLEMENTATION OF NEW PERVIOUS AREA

EARTHWORK SUMMARY

CUT: 259 CY
FILL: 1,394 CY

NOTE:
THE EARTHWORK QUANTITIES LISTED ON THESE PLANS ARE STATED ONLY FOR CALCULATION OF GRADING AND BUILDING PERMIT FEES. THESE QUANTITIES DO NOT INCLUDE TRENCH OR FOOTING SPOILS, SHRINK OR SWELL FROM COMPACTING EFFORTS OR OTHER VARIABLES. THE ENGINEER MAKES NO REPRESENTATION THIS SITE WILL BALANCE. THE CONTRACTOR SHALL DETERMINE HIS OWN EARTHWORK QUANTITIES AND BASE HIS BID ACCORDINGLY.



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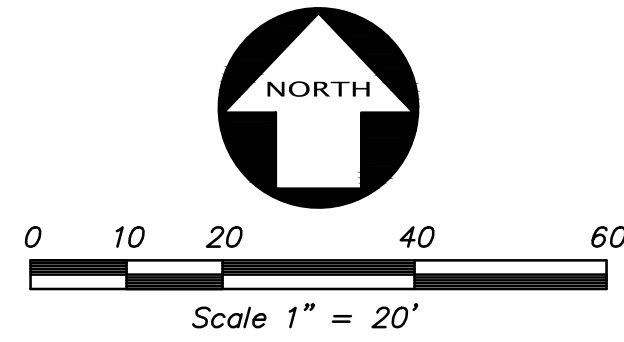
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GRADING

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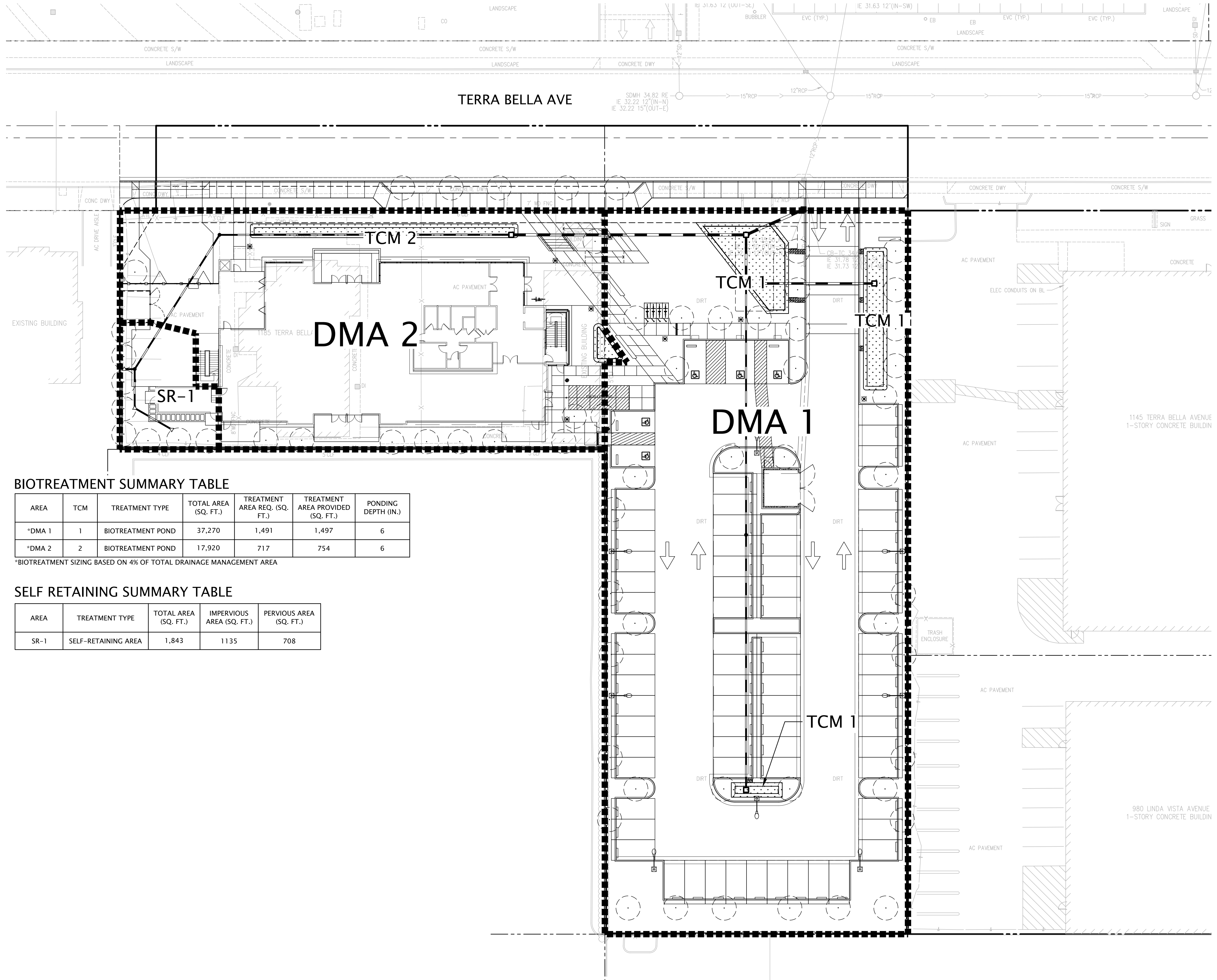
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LEGEND

	TRIBUTARY AREA LIMITS
	BIO-RETENTION TREATMENT AREA
DMA	DRAINAGE MANAGEMENT AREA
TCM	TREATMENT CONTROL MEASURE
SR	SELF-RETAINING AREA



BIOTREATMENT SUMMARY TABLE

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH (IN.)
*DMA 1	1	BIOTREATMENT POND	37,270	1,491	1,497	6
*DMA 2	2	BIOTREATMENT POND	17,920	717	754	6

*BIOTREATMENT SIZING BASED ON 4% OF TOTAL DRAINAGE MANAGEMENT AREA

SELF-RETAINING SUMMARY TABLE

AREA	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	PERVIOUS AREA (SQ. FT.)
SR-1	SELF-RETAINING AREA	1,843	1135	708



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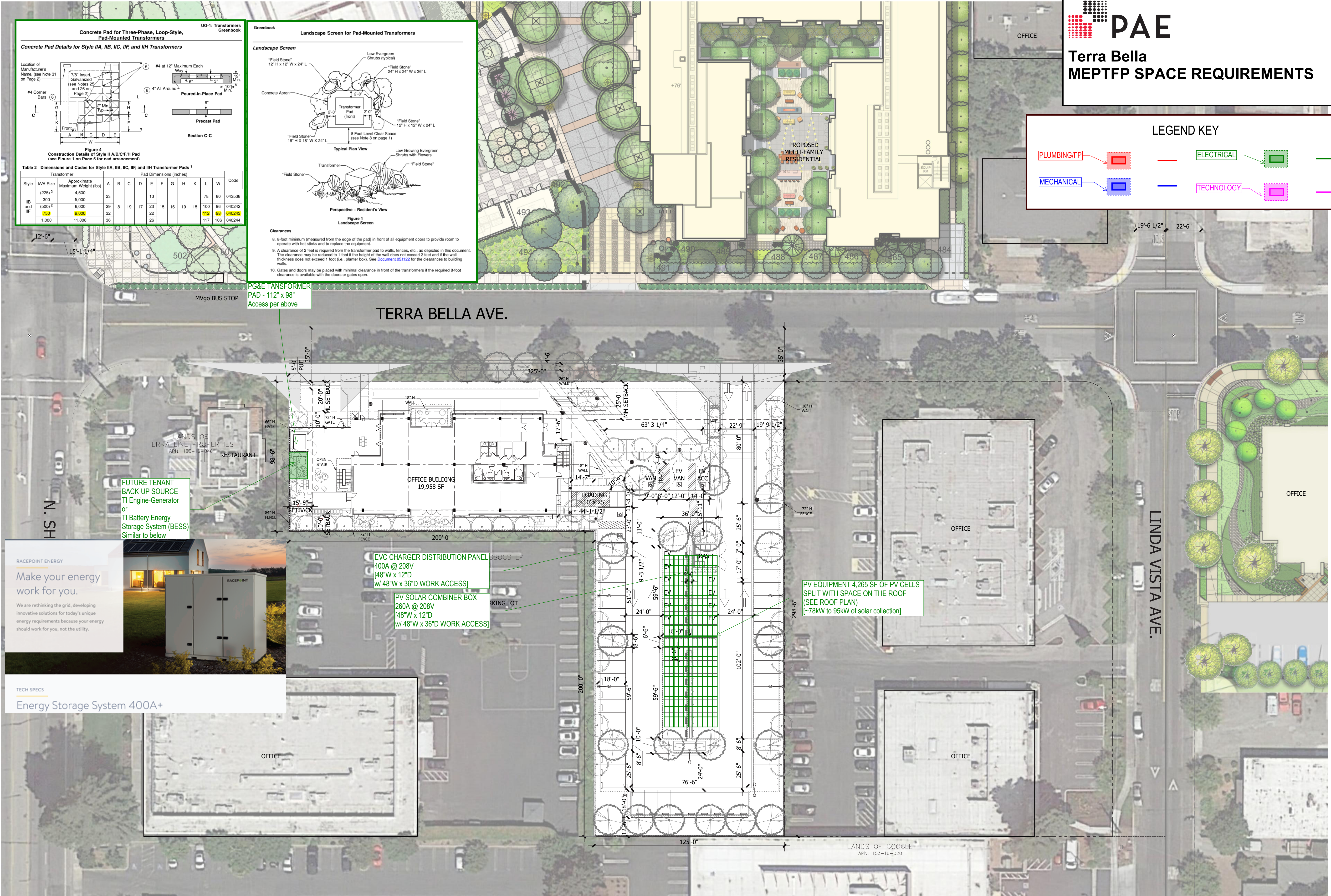
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STORMWATER CONTROL PLAN

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Terra Bella

MEPTFP SPACE REQUIREMENTS

LEGEND KEY

PLUMBING/FP

ELECTRICAL

MECHANICAL

TECHNOLOGY

Concrete Pad for Three-Phase, Loop-Style, Pad-Mounted Transformers

UG-1: Transformers Greenbook

Concrete Pad Details for Style IIA, IIB, IIC, IIF, and IIH Transformers

Location of Manufacturer's Name, (see Note 31 on Page 2)

#4 Corner Bars

7/8" Insert Galvanneal (see Notes 25 and 26 on Page 2)

#4 at 12" Maximum Each Way

Poured-in-Place Pad

6" Precast Pad

Section C-C

Figure 4 Construction Details of Style II A/B/C/F/H Pad (see Figure 1 on Page 5 for end arrangement)

Style	KVA Size (225)²	Approximate Maximum Weight (lbs)	A	B	C	D	E	F	G	H	K	L	W	Code
IIB	300	5,000	23	8	19	17	23	15	16	19	15	100	96	040242
IIF	750	9,000	32	8	22	22	22	22	16	19	15	112	98	040243
IIH	1,000	11,000	36	8	26	26	26	26	16	19	15	117	106	040244

Figure 1 Landscape Screen

Clearances

8. 8-foot minimum (measured from the edge of the pad) in front of all equipment doors to provide room to operate with hot sticks and to replace the equipment.

9. A clearance of 2 feet is required from the transformer pad to walls, fences, etc., as depicted in this document. The clearance may be reduced to 1 foot if the height of the wall does not exceed 2 feet and if the wall thickness does not exceed 1 foot (i.e., planter box). See Document 051122 for the clearances to building walls.

10. Gates and doors may be placed with minimal clearance in front of the transformers if the required 8-foot clearance is available with the doors or gates open.

PG&E TRANSFORMER PAD - 112" x 98" Access per above

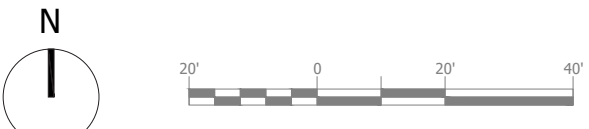
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Sheet Title:

MECHANICAL SITE PLAN

Job No. 20006

Date: 08/26/2021

Scale: 1" = 30' - 0"

Drawn By:

Sheet No:

M1.0