

## WORK TO BE DONE

GRADING AND DRAINAGE WORK CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS. THE CURRENT SAN DIEGO AREA REGIONAL STANDARD DRAWINGS. THE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE SAN DIEGO COUNTY GRADING ORDINANCE

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## LEGEND

## DESCRIPTION

APPLICABLE SAN DIEGO REGIONAL STANDARD DRAWING (SDRSD)

## SYMBOL

LIMITS OF WORK  
RIGHT OF WAY (ROW)  
PROPERTY LINE  
FEMA FLOOD ZONE DELINEATION  
EXISTING MAJOR ELEVATION CONTOUR LINE  
EXISTING MINOR ELEVATION CONTOUR LINE  
EXISTING GRADE SPOT ELEVATION  
EXISTING WATER LINE  
EXISTING SEWER LINE  
EXISTING OVERHEAD ELECTRICAL & TELEPHONE LINES  
EXISTING FENCE LINE  
PROPOSED PORTLAND CEMENT CONCRETE (PCC) SIDEWALK PAVEMENT  
PROPOSED CONCRETE CURB & GUTTER PER G-2, TYPE G  
PROPOSED 6" CONCRETE CURB PER G-1  
PROPOSED CONCRETE DRIVEWAY PER G-26  
PROPOSED ASPHALT CONCRETE (AC) PAVEMENT  
LIMITS OF CLEAR AND GRUB  
GROUND SLOPE AND GENERAL DIRECTION OF DRAINAGE FLOW  
PROPOSED MAJOR ELEVATION CONTOUR LINE  
PROPOSED MINOR ELEVATION CONTOUR LINE  
PROPOSED WATER LINE  
PROPOSED FIRE WATER LINE  
PROPOSED WATER METER  
PROPOSED REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER WS-02, WR-01, WR-01, WR-02  
PROPOSED SEWER LINE  
PROPOSED SEWER CLEANOUT

— R/W —  
— FLOOD —  
560  
561  
+ EG 561.36'  
W  
S  
HEAT  
X  
0.95%  
560  
561  
W  
FW  
WM  
RP  
S  
CO

GRADING PLAN FOR  
DOLLAR GENERAL STORE  
BORREGO SPRINGS, CALIFORNIA

## VICINITY MAP

NOT TO SCALE  
THOMAS BROS.: PAGE 4321, SECTION 19551

## PROJECT SITE

SITE ADDRESS: PALM CANYON RD., BORREGO SPRINGS, CA.  
NEAREST INTERSECTION: PALM CANYON DR. AND DIGIORGIO DR.  
APN: 141-370-1700  
LEGAL DESCR.: SEC 32-10-6E"POR"  
EASEMENTS:  
1. INTENTIONALLY DELETED  
2. INTENTIONALLY DELETED  
3. GRANTOR: A.A. BURNAND JR AND CLARA BURNAND  
GRANTEE: COUNTY OF SAN DIEGO  
DOCUMENT NO. BOOK 2345, PAGE 114  
PURPOSE: PUBLIC ROAD  
WIDTH: 10'  
4. GRANTOR: LAWRENCE BARKER, INC.  
GRANTEE: COUNTY OF SAN DIEGO  
DOCUMENT NO. BOOK 2345, PAGE 114  
PURPOSE: PUBLIC ROAD  
WIDTH: 50'  
5. GRANTOR: ROBERT E. TYSON AND MARGARET F. TYSON  
GRANTEE: SDG&E  
PURPOSE: PUBLIC UTILITIES  
WIDTH:

## GRADING NOTES

- ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF COUNTY GRADING ORDINANCE SECTION 87.101 THROUGH 87.804.
- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
- NATURAL DRAINAGE SHALL NOT BE DIVERTED OR CONCENTRATED ONTO ADJACENT PROPERTY.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
- A CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
- REGARDLESS OF WHICH BMPs ARE IMPLEMENTED, ALL SLOPES OVER THREE FEET IN HEIGHT WILL BE PLANTED AND MAINTAINED WITH GROUND COVER OR OTHER PLANTING IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS TO PROTECT THE SLOPES AGAINST EROSION AND INSTABILITY. PLANTING SHALL COMMENCE AS SOON AS SLOPES ARE COMPLETED.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:

PHONE NUMBER:

SAN DIEGO GAS AND ELECTRIC: 1 (800) 611-7343

AT&amp;T TELEPHONE: 1 (800) 288-2020

CATV (USA COMMUNICATIONS): 1 (877) 234-0102

SEWER (BORREGO (CALIF) WATER DISTRICT): (760) 767-5806

WATER (BORREGO (CALIF) WATER DISTRICT): (760) 767-5806

- A SOILS REPORT WITH COMPACTION TESTS IS REQUIRED FOR ALL FILL OVER 12" IN DEPTH. PDS FORM 73 MINOR GRADING CERTIFICATION AND A COPY OF THE COMPACTION REPORT IS REQUIRED TO BE SUBMITTED PRIOR TO ROUGH GRADING APPROVAL.
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES (PDS) DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND VALID GRADING PERMIT HAS BEEN ISSUED.
- THE DIRECTOR'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED (SECTIONS 87.403 & 87.410). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00AM AND 6:00PM EACH DAY, MONDAY THROUGH SATURDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS:  
CUT: 1-1/2: 1 FOR MINOR SLOPES (SLOPES < 15'), 2:1 FOR MAJOR SLOPES.  
FILL: 2:1  
CUT / EXCAVATION: 94 C. Y.  
FILL: 303 C. Y.  
NET IMPORT / EXPORT: 209 C. Y.  
EARTHWORK QUANTITY PROVIDED FOR AGENCY USE ONLY, CONTRACTOR RESPONSIBLE FOR THEIR OWN ESTIMATE

(NOTE: A SEPARATE VALID PERMIT MUST EXIST FOR EITHER WASTE OR IMPORT AREAS BEFORE PERMIT TO BE ISSUED).

- SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO.
- PERMANENT POST-CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE REMOVED OR MODIFIED WITHOUT THE APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.
- THE APPLICANT IS RESPONSIBLE FOR THE ROAD MAINTENANCE (SWEEPING AS NECESSARY) AND REPAIRS OF ANY DAMAGE CAUSED BY THEM TO THE ON-SITE AND OFF-SITE COUNTY MAINTAINED OR PRIVATE ROADS THAT SERVE THE PROPERTY EITHER DURING CONSTRUCTION OR SUBSEQUENT OPERATIONS. THE APPLICANT WILL REPAIR THOSE PORTIONS OF THE ROUTE THAT WOULD BE DAMAGED BY THE HEAVY LOADS THAT LOADED TRUCKS PLACE ON THE ROUTE IDENTIFIED.
- FINAL APPROVAL OF THIS GRADING PLAN IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGE TO THESE PLANS.
- THE ENGINEER-OF-WORK SHALL COMPLY WITH ALL PROJECT APPLICABLE LAWS THAT INCLUDE, BUT ARE NOT LIMITED TO, HEALTH, SAFETY, AND ENVIRONMENTAL LAWS, ORDINANCES, AND REGULATIONS RELATING TO THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND U.S. FEDERAL GOVERNMENT. THE PROJECT IS SUBJECT TO ENFORCEMENT UNDER PERMITS FROM THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) AND THE COUNTY OF SAN DIEGO WATERSHED PROTECTION, STORMWATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE NO. 10410, COUNTY OF SAN DIEGO HYDRAULIC DESIGN MANUAL, AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS FOR THE LIFE OF THIS PERMIT. THE PROJECT SITE SHALL BE IN COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS REFERENCED ABOVE AND ALL OTHER APPLICABLE ORDINANCES AND STANDARDS. THIS INCLUDES COMPLIANCE WITH THE APPROVED STORM WATER QUALITY MANAGEMENT PLAN (SWQMP), ALL REQUIREMENTS FOR LOW IMPACT DEVELOPMENT (LID), HYDROMODIFICATION, DETENTION FACILITIES, MATERIALS AND WASTES CONTROL, EROSION CONTROL, AND SEDIMENT CONTROL ON THE PROJECT SITE.
- THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR THE PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO THE FEDERAL ENDANGERED SPECIES ACT AND CLEAN WATER ACT. GRADING AND/OR FURTHER DEVELOPMENT ARE PROHIBITED WITHIN THE AREAS DESIGNATED LIMITS OF JURISDICTIONAL HABITAT UNTIL FEDERAL PERMITS AND STATE PERMITS IF ANY HAVE BEEN ACQUIRED.
- ALL GRADING DETAILS SHALL BE IN CONFORMANCE WITH THE FOLLOWING SAN DIEGO COUNTY DESIGN STANDARDS OR REGIONAL STANDARD DRAWINGS:  
A. DS-08 LOT GRADING  
B. DS-10 GRADING OF SLOPES  
C. DS-11 REQUIRED SETBACKS  
D. D-40 RIP RAP ENERGY DISSIPATOR  
E. D-75 DRAINAGE DITCH
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
- ALL GRADING OPERATIONS SHALL BE PERFORMED UNDER THE GENERAL SUPERVISION AND COORDINATION OF A CIVIL ENGINEER, HIRED BY THE APPLICANT, UNTIL COMPLETION AND APPROVAL OF WORK IN ACCORDANCE WITH SECTION 87.420 OF THE SAN DIEGO COUNTY GRADING ORDINANCE.

## BASIS OF BEARINGS:

- BASIS OF BEARINGS: THE CENTERLINE OF PALM CANYON DRIVE, AS PER PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500. TAKEN TO BEAR: SOUTH 89°23'43" WEST
- BASIS OF ELEVATIONS: NGS BENCHMARK NO. AF9883, SURVEY DISK STAMPED, "SDPR 12 1995". ELEVATION = 765.88' NAVD 83.
- SITE BENCHMARKS:  
BASE CONTROL POINT NUMBER 1.  
NAIL SET IN ASPHALT.  
ELEVATION = 557.47', AS SHOWN ON THIS SHEET.

## SOURCE OF TOPOGRAPHIC SURVEY

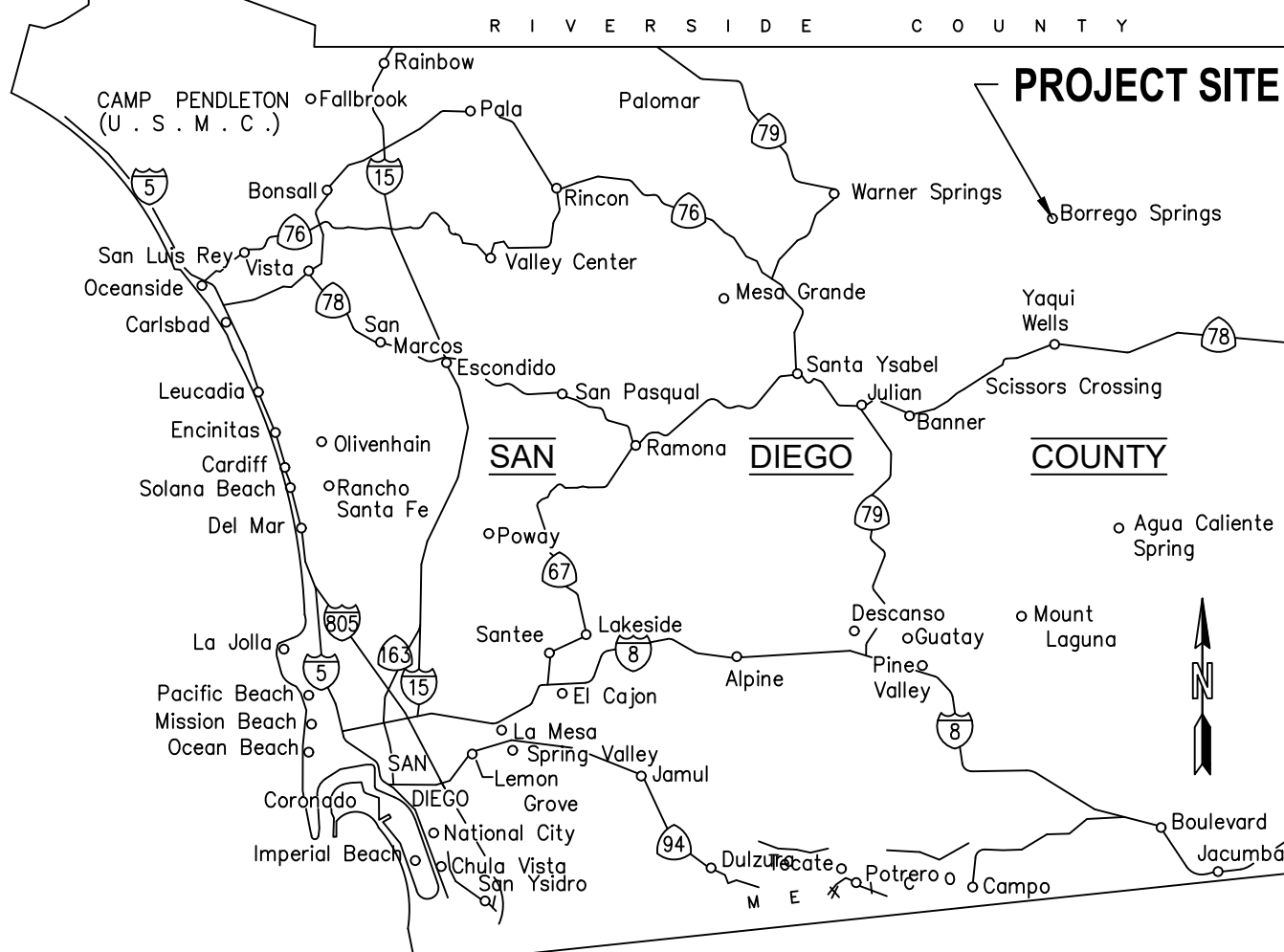
BASE CONSULTING GROUP, INC.  
16453 E. MANNING AVE.  
REEDLEY, CALIFORNIA 93654  
559-637-1544

## SOILS ENGINEER'S CERTIFICATE

THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN COMPLIANCE WITH THE RECOMMENDATIONS OUTLINED IN OUR GEOTECHNICAL INVESTIGATION  
TITLED: GEOTECHNICAL REPORT, PROPOSED DOLLAR GENERAL, PALM CANYON DRIVE DATED: JANUARY 2021  
THE SOILS REPORT SHALL BE CONSIDERED AS A PART OF THIS PLAN AND ALL GRADING WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF SAID REPORT.

LANDMARK GEO-ENGINEERS AND GEOLOGIST  
77-948 WILDCAT DRIVE  
PALM DESERT, CALIFORNIA 92211  
P: 760-360-0665

BY: GREG M. CHANDRA DATE: JANUARY 2021  
NAME: \_\_\_\_\_  
GE NO.: C34432 EXPIRATION: 09/30/2023



## FIRE AGENCY APPROVAL

NAME: BORREGO SPRINGS FIRE DEPARTMENT  
APPROVAL: \_\_\_\_\_  
DATE: \_\_\_\_\_

## RECORD PLAN

NAME: \_\_\_\_\_  
R.C.E: \_\_\_\_\_  
DATE: \_\_\_\_\_

## COUNTY APPROVED CHANGES

NO.	DESCRIPTION	APPROVED BY	DATE

## OWNERS CERTIFICATE

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS.

IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERNATIONS OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PUBLIC WORKS DETERMINES NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

I HEREBY AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN 60 DAYS AFTER THE ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVITY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THE PROJECT OR UNDER MY CONTROL.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ASSESSOR'S PARCEL NO. 141-370-1700

NAME: RUSSELL F. FINDLAY, TRUSTEE OF THE RUSSELL F. FINDLAY LIVING TRUST

ADDRESS: W/NWC PALM CANYO DR & DIGIORGIO DR.  
BORREGO SPRINGS, CA 92004

PHONE NUMBER: 858-354-0007

## BENCH MARK

DESCRIPTION: BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT

LOCATION: CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST

RECORD FROM: PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500

ELEVATION: 557.47 DATUM: NAVD 1988

## PDS ENVIRONMENTAL REVIEW

APPROVED FOR COMPLIANCE WITH THE ENVIRONMENTAL REVIEW

APPROVED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

NOTICE: THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.\*

## PROPERTY OWNER/DEVELOPER INFORMATION

NAME: NNN RETAIL DEVELOPMENT

ADDRESS: 15882 WAKEFIELD LN.  
SAN DIEGO, CA 92127

TELEPHONE NUMBER: 858-354-0007

(24 HOUR CONTACT NUMBER)

SITE A.P.N. NUMBER: 141-370-1700

SITE ADDRESS: W/NWC PALM CANYO DR & DIGIORGIO DR.  
BORREGO SPRINGS, CA 92004

## PARCEL INFORMATION

ADDRESS: 800 PALM CANYON ROAD  
BORREGO SPRINGS, CALIFORNIA 92004

APN: 141-370-1700

LEGAL DESCRIPTION:  
SEC. 32-10-6E"POR"

## GRADING ON ADJACENT PARCELS

LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED:

APN(s): N/A

## PROPERTY OWNER CERTIFICATION

I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES:

OWNER'S SIGNATURE (REQUIRED): \_\_\_\_\_ DATE: \_\_\_\_\_

## WATER &amp; SEWER AGENCY APPROVAL

NAME: BORREGO WATER DISTRICT

APPROVAL: \_\_\_\_\_

DATE: \_\_\_\_\_

## DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 87.03 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

NAME: MIKE MAGEE, PE DATE: 3/14/2022  
RCE NO.: 85660 EXPIRES: 9/30/2022

## DISTURBED AREA CALCS

PAD + SLOPES: 18,295 SF

DRIVEWAY: 34,225 SF

PRIMARY SEPTIC: 0 SF

TOTAL: 52,520 SF

IF ≥ 1 AC, PROVIDE WIDTH: \_\_\_\_\_ PENDING

FIRE CLEARING: 0 SF

IF FIRE CLEARING AREA = 0

\*ALL REQUIRED FIRE CLEARING WILL NOT CREATE A LAND DISTURBANCE ACTIVITY AS DEFINED BY COUNTY CODE.\*

## PLAN CHECK/PERMITS

LANDSCAPE: PENDING

SITE PLAN: PENDING

WDID: PENDING

## ENGINEER OF WORK

ENGINEER OF WORK: MIKE MAGEE, PE  
COMPANY: WSP USA, INC.  
ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350,  
SAN DIEGO, CA, 92121

PHONE: 858-500-4500

SIGNATURE:

## PRIVATE CONTRACT

COUNTY OF SAN DIEGO  
PLANNING AND DEVELOPMENT SERVICES

GRADING PLAN FOR:  
DOLLAR GENERAL STORE  
BORREGO SPRINGS, CALIFORNIA

C-001

CALIFORNIA COORDINATE INDEX 394-1959

SHEET: 1 OF 16

APPROVED FOR:  
WILLIAM F. MORGAN  
COUNTY ENGINEER

ENGINEER OF WORK:

MICHAEL MAGEE

GRADING PERMIT NUMBER:

PDS2021-LDGRMJ-30354

BY: \_\_\_\_\_ DATE: \_\_\_\_\_



WSP USA Inc.  
10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
FAX: 858-500-4501



# GRADING PLAN FOR DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA

## STORMWATER MANAGEMENT NOTES

- DURING THE RAINY SEASON THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM, 125 % SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
- NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE SAN DIEGO COUNTY D.P.W. DIRECTOR'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION, UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED. THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
- THE PROPERTY OWNER IS OBLIGATED TO INSURE COMPLIANCE WITH ALL APPLICABLE STORM WATER REGULATIONS AT ALL TIMES. THE B.M.P.'S (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE MAINTENANCE OF THE B.M.P.'S IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE B.M.P.'S MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED B.M.P.'S FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
- A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND THAT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS000002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE NOI NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS [VOID] [ALTERNATIVE: NOT YET ASSIGNED, BUT WILL BE PROVIDED BEFORE A PERMIT IS ISSUED]. THE PERMITTEE SHALL KEEP A COPY OF THE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY COUNTY.

## EMERGENCY EROSION CONTROL MEASURES NOTES

- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF THE SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. BETWEEN OCTOBER 1, AND APRIL 15, APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS AND STORM DRAIN SYSTEMS SHALL BE INSTALLED TO THE SATISFACTION OF THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF SAME BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE GRAVEL BAGS, CATCH BASINS AND DESILTING BASINS AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE COUNTY DEPARTMENT OF PUBLIC WORKS.

## THE USE OF BFM'S IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

APPLICATION RATES SHALL BE 3500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.

- BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
- THE SITE MUST BE PROTECTED WITH BROW DITCHES AND / OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
- BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLICATION FROM MULTIPLE ANGLES).
- FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION.
- A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE BFM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE COUNTY INSPECTOR FOR APPROVAL.

## SILTATION AND SEDIMENT CONTROL MEASURES NOTES

- THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEANED TO DESIGN CONTOURS AFTER EVERY RUNOFF PRODUCING STORM. THE BASINS SHOULD BE SEMI-PERMANENT STRUCTURES THAT WOULD REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL ESTABLISHED ON ALL ERODIBLE SLOPES.
- SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE COUNTY ENGINEER.
- SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH GRAVEL BAGS FROM TOP OF PIPE TO TOP OF DIKE.
- ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF GRAVEL BAGS WITH A TOP ELEVATION LEVEL WITH, AND TWO GRAVEL BAGS BELOW, THE GRADED SURFACE OF THE STREET. GRAVEL BAGS ARE TO BE PLACED WITH LAPPED COURSES. THE INTERVALS PRESCRIBED BETWEEN GRAVEL BAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET
- AFTER UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
- ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAYS AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET.
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET
- PROVIDE VELOCITY CHECK DAMS IN ALL STREET AREAS ACCORDING TO INTERVALS INDICATED BELOW. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF GRAVEL BAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE COUNTY ENGINEER, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. VELOCITY CHECK DAMS MAY ALSO SERVE AS SEDIMENT TRAPS.

GRADE OF STREET	INTERVAL	NUMBER OF BAGS HIGH
LESS THAN 2%	AS REQUIRED	
	200 FEET MAX	1
2% TO 4%	100 FEET	1
4% TO 6%	50 FEET	1
6% TO 10%	50 FEET	2
OVER 10%	25 FEET	2
- PROVIDE A GRAVEL BAG SILT BASIN OR TRAP BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.
- GRAVEL BAGS AND FILL MATERIAL SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.
- ALL EROSION CONTROL DEVICES WITHIN THE DEVELOPMENT SHOULD BE MAINTAINED DURING AND AFTER EVERY RUNOFF PRODUCING STORM, IF POSSIBLE. MAINTENANCE CREWS WOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.
- PROVIDE ROCK RIPRAP ON CURVES AND STEEP DROPS IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE EROSION CAUSED BY THE INCREASED FLOWS THAT MAY BE ANTICIPATED FROM DENUEDED SLOPES, OR IMPERVIOUS SURFACES.
- ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE AGENCIES; I.E., COUNTY ENGINEER, DEPARTMENT OF ENVIRONMENTAL HEALTH, FLOOD CONTROL AND OFFICE OF ENVIRONMENTAL MANAGEMENT ETC.

## BMP STENCIL PLACEMENT NOTE:

- ALL STORM DRAIN INLETS AND CATCH BASINS WITHIN THE PROJECT AREA SHALL HAVE A STENCIL OR TILE PLACED WITH PROHIBITIVE LANGUAGE (SUCH AS "NO DUMPING-LIVE IN <NAME RECEIVED WATER>") AND/OR GRAPHICAL ICONS TO DISCOURAGE ILLEGAL DUMPING.
- SIGNS AND PROHIBITIVE LANGUAGE AND/OR GRAPHICAL ICONS, WHICH PROHIBIT ILLEGAL DUMPING, MUST BE POSTED AT PUBLIC ACCESS POINTS ALONG CHANNELS AND CREEKS WITHIN THE PROJECT AREA.
- LEGIBILITY OF STENCILS, TILES AND SIGNS MUST BE MAINTAINED AND TILES MUST BE PLACED FLUSH WITH THE TOP OF CONCRETE TO REDUCE TRIPPING BY PEDESTRIANS.

## BIO-SWALE BMP NOTE:

- PERMANENT POST-CONSTRUCTION BMP DEVICES (BIO-SWALES SHOWN ON SHEET(S) N/A) SHOWN ON PLAN SHALL NOT BE REMOVED OR MODIFIED WITHOUT THE APPROVAL OF THE COUNTY OF SAN DIEGO.

STORMWATER TREATMENT CONTROL, L.I.D., AND HYDRO-MODIFICATION BMP'S			
DESCRIPTION/TYPE	SHT.	MAINTENANCE CATEGORY	REVISIONS
N/A-STD SWQMP	N/A	N/A	N/A

\* BMP'S APPROVED AS PART OF MINOR STORMWATER MANAGEMENT PLAN (MNSWMP) DATED: \_\_\_\_\_  
PENDING \_\_\_\_\_ ON FILE WITH DPW. ANY CHANGES TO THE ABOVE BMP'S WILL REQUIRE SWQMP REVISION AND PLAN CHANGE APPROVALS.

## NOTICE

THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR THE PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO THE FEDERAL ENDANGERED SPECIES ACT AND CLEAN WATER ACT. GRADING AND/OR FURTHER DEVELOPMENT ARE PROHIBITED WITHIN THE AREAS DESIGNATED "LIMITS OF JURISDICTIONAL HABITAT" UN7/L FEDERAL PERMITS AND STATE PERMITS (IF ANY) HAVE BEEN ACQUIRED."

## TRAFFIC CONTROL NOTE:

TRAFFIC CONTROL PLANS MUST BE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS, TRAFFIC ENGINEERING SECTION, PRIOR TO STARTING WORK.

## PUBLIC/PRIVATE ROAD REPAIR NOTES:

THE APPLICANT WILL REPAIR THOSE PORTIONS OF THE ROUT THAT WOULD BE DAMAGED BY THE HEAVY LOADS THAT LOADED TRUCKS PLACE ON THE ROUTE IDENTIFIED. PRIOR TO THE IMPORT/EXPORT ALL AFFECTED PROPERTY OWNERS SHALL BE NOTIFIED, NO EQUIPMENT OR MATERIAL STORAGE ON PUBLIC ROADS WILL BE ALLOWED, AND SWEEPING TO BE PERFORMED AT THE END OF EACH WORK SHIFT.

RECORD PLAN			
NAME:	_____		
R.C.E.	_____		
DATE:	_____		

COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

BENCH MARK			
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT		
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING-SOUTH 89°23'43" WEST		
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500		
ELEVATION:	557.47	DATUM:	NAVD 1988

PROPERTY OWNER/DEVELOPER INFORMATION	GRADING ON ADJACENT PARCELS	DISTURBED AREA CALCS	PLAN CHECK/PERMITS
NAME: NNN RETAIL DEVELOPMENT	LIST ANY ADJACENT PARCELS UNDER THE SAME OWNERSHIP AS THIS PARCEL FOR WHICH A GRADING PLAN HAS BEEN SUBMITTED OR A GRADING PERMIT ISSUED:	PAD + SLOPES: _____ SF	LANDSCAPE: PENDING
ADDRESS: 15882 WAKEFIELD LN. SAN DIEGO, CA 92127	APN(s): N/A	DRIVEWAY: _____ SF	SITE PLAN: PENDING
TELEPHONE NUMBER: 858-354-0007 (24 HOUR CONTACT NUMBER)	PROPERTY OWNER CERTIFICATION	PRIMARY SEPTIC: _____ SF	WDID: PENDING
SITE A.P.N. NUMBER: 141-370-1700	I CERTIFY THAT I HAVE READ AND UNDERSTAND THE STORMWATER MANAGEMENT NOTES AND THE GRADING NOTES:	TOTAL: _____ SF	ENGINEER OF WORK
SITE ADDRESS: WINWC PALM CANYO DR & DIGIORGIO RD. BORREGO SPRINGS, CA 92004	OWNERS SIGNATURE (REQUIRED): _____ DATE: _____	IF ≥1 AC, PROVIDE WDID: _____	ENGINEER OF WORK: MIKE MAGEE, PE COMPANY: WSP USA, INC. ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA, 92121 PHONE: 858-500-4500 SIGNATURE: <i>Michael E. Magee</i>

<b>wsp</b> WSP USA Inc. 10525 Vista Sorrento Parkway Suite 350 San Diego, CA 92121-2704 TEL: 858-500-4500 FAX: 858-500-4501	<b>DIGALERT</b> 811
PRIVATE CONTRACT	
COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES	
GRADING PLAN FOR: DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA	C-002
CALIFORNIA COORDINATE INDEX 394-1959	SHEET: 2 OF 16
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354



SURVEY CONTROL

BENCHMARK

VERTICAL DATUM IS NAVD 1988  
DESIGNATION: NGS BENCHMARK NO. AF9883  
DESCRIPTION: SURVEY DISK STAMPED "SDPR 12 1995"  
ELEVATION: 765.89'

REMARKS

THESE PLANS ARE BASED ON US CUSTOMARY (ENGLISH) UNITS. ALL DISTANCES ARE EXPRESSED IN FEET (FT) AND INCHES (IN) UNLESS OTHERWISE NOTED

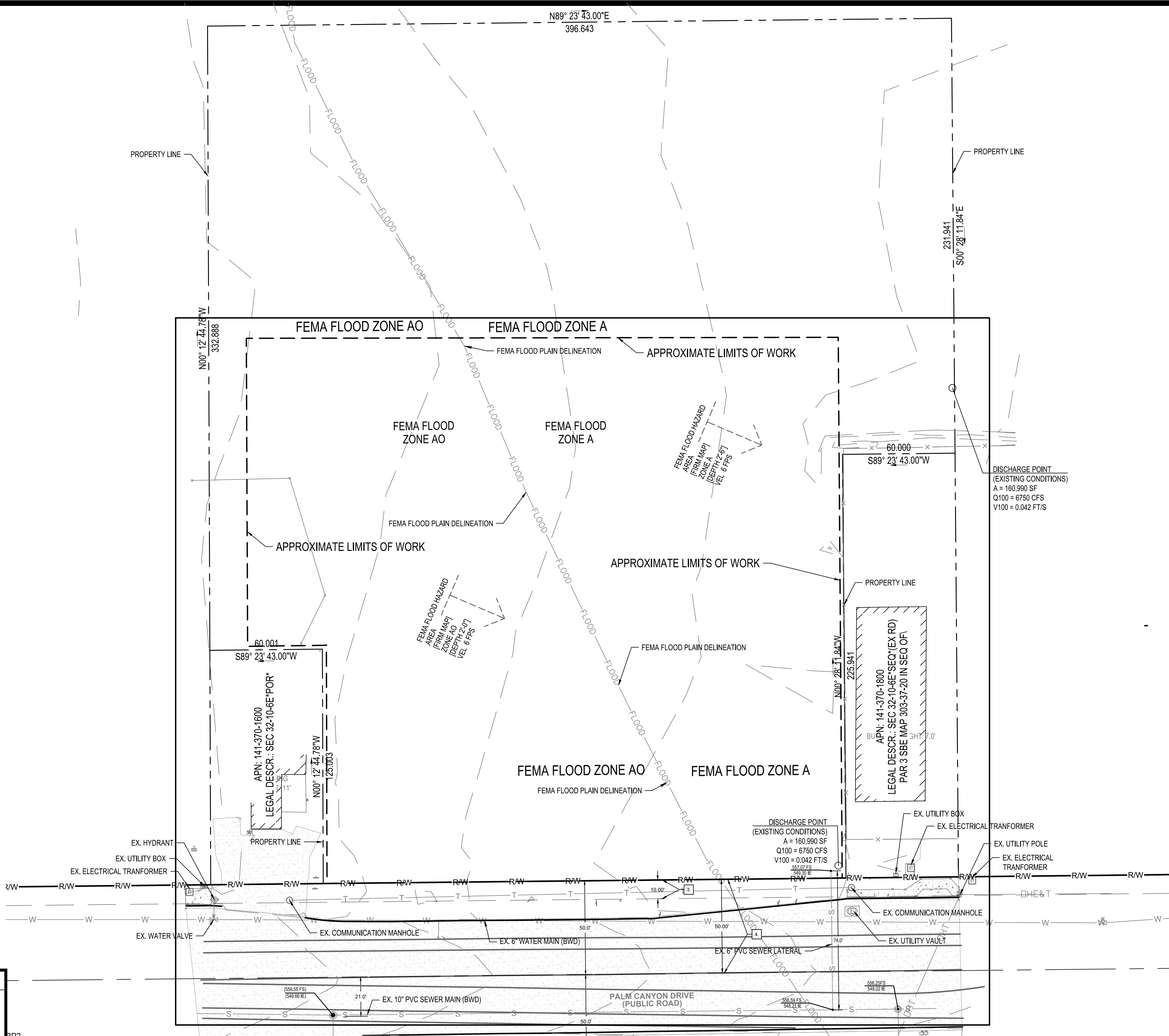
HORIZONTAL CONTROL

ALL BEARINGS, DISTANCES, STATIONS AND COORDINATES ARE GRID AND BASED ON THE NORTH AMERICAN DATUM OF 1983 (1991.35) CALIFORNIA COORDINATE SYSTEM, ZONE 6. BASED ON 1st ORDER CONTROL STATIONS SDGPS 03, SDGPS 34 AND LOMAX.

VCRB PM3  
N 2040433.783 ft  
E 6346507.008 ft  
EL = 869.86 ft

AT STATION VCRB PM3

$\lambda = -0.23 -12.48$   
COMBINATION FACTOR = 0.99991830  
GROUND DISTANCE = GRID DISTANCE / COMBINATION FACTOR  
CONVERSION FACTOR: 1 US SURVEY FOOT = 1200/3937 METERS



DESCRIPTION	LEGEND	SYMBOL
LIMITS OF WORK	(WITH APPLICABLE REGIONAL STANDARD DRAWING)	---
RIGHT OF WAY (ROW)		---R/W---
PROPERTY LINE		---
FEMA FLOOD ZONE DELINEATION		---FLOOD---
EXISTING MAJOR ELEVATION CONTOUR LINE		---560---
EXISTING MINOR ELEVATION CONTOUR LINE		---561---
EXISTING GRADE SPOT ELEVATION		+ EG 561.36'
EXISTING WATER LINE		---W---
EXISTING SEWER LINE		---S---
EXISTING OVERHEAD ELECTRICAL & TELEPHONE LINES		---OHE&T---
EXISTING FENCE LINE		---X---
EXISTING ASPHALT CONCRETE (AC) PAVEMENT		---P&T---

RECORD PLAN			
NAME:			
R.C.E.:			
DATE:			

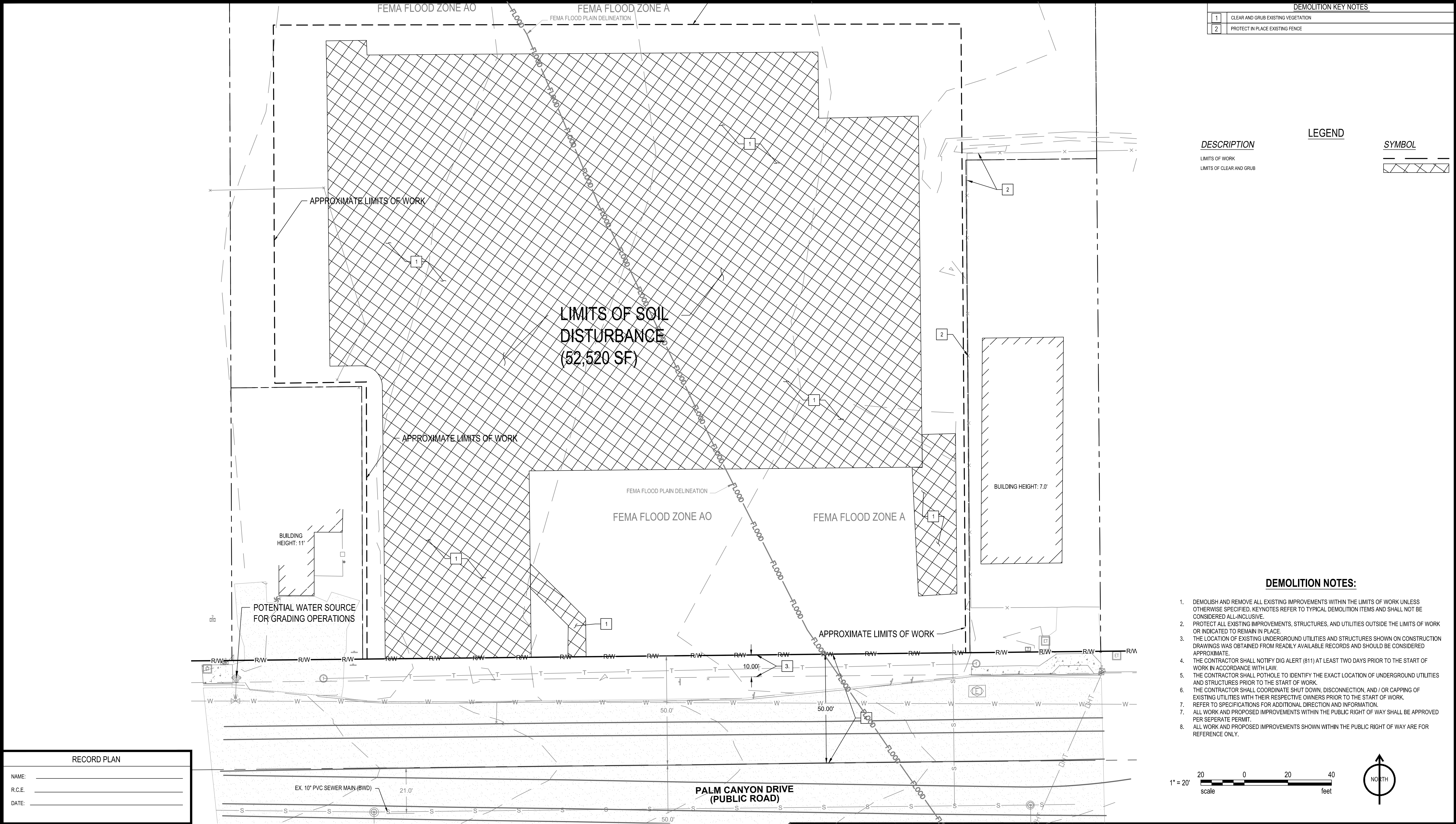
COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500
ELEVATION:	557.47'
DATUM:	NAVD 1988

WSP USA Inc.  
10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
FAX: 858-500-4501

PROPERTY OWNER INFORMATION	PLAN CHECK/PERMITS	PRIVATE CONTRACT
NAME: <u>NNN RETAIL DEVELOPMENT</u> ADDRESS: <u>15862 WAKEFIELD LN.</u> SAN DIEGO, CA 92127 TELEPHONE NUMBER: <u>858-354-0007</u> (24 HOUR CONTACT NUMBER) SITE A.P.N. NUMBER: <u>141-370-1700</u> SITE ADDRESS: <u>WINWC PALM CANYO DR &amp; DIGIORGIO RD.</u> BORREGO SPRINGS, CA 92004	LANDSCAPE: <u>PENDING</u> SITE PLAN: <u>PENDING</u> WDID: <u>PENDING</u> ENGINEER OF WORK ENGINEER OF WORK: MIKE MAGEE, PE COMPANY: WSP USA, INC. ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA, 92121 PHONE: 858-500-4500 SIGNATURE:	COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES GRADING PLAN FOR: DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA C-100 CALIFORNIA COORDINATE INDEX 394-1959 SHEET: 3 OF 16 APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER ENGINEER OF WORK: MICHAEL E. MAGEE RCE 85660 GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354





RECORD PLAN			
NAME: _____			
R.C.E. _____			
DATE: _____			

COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
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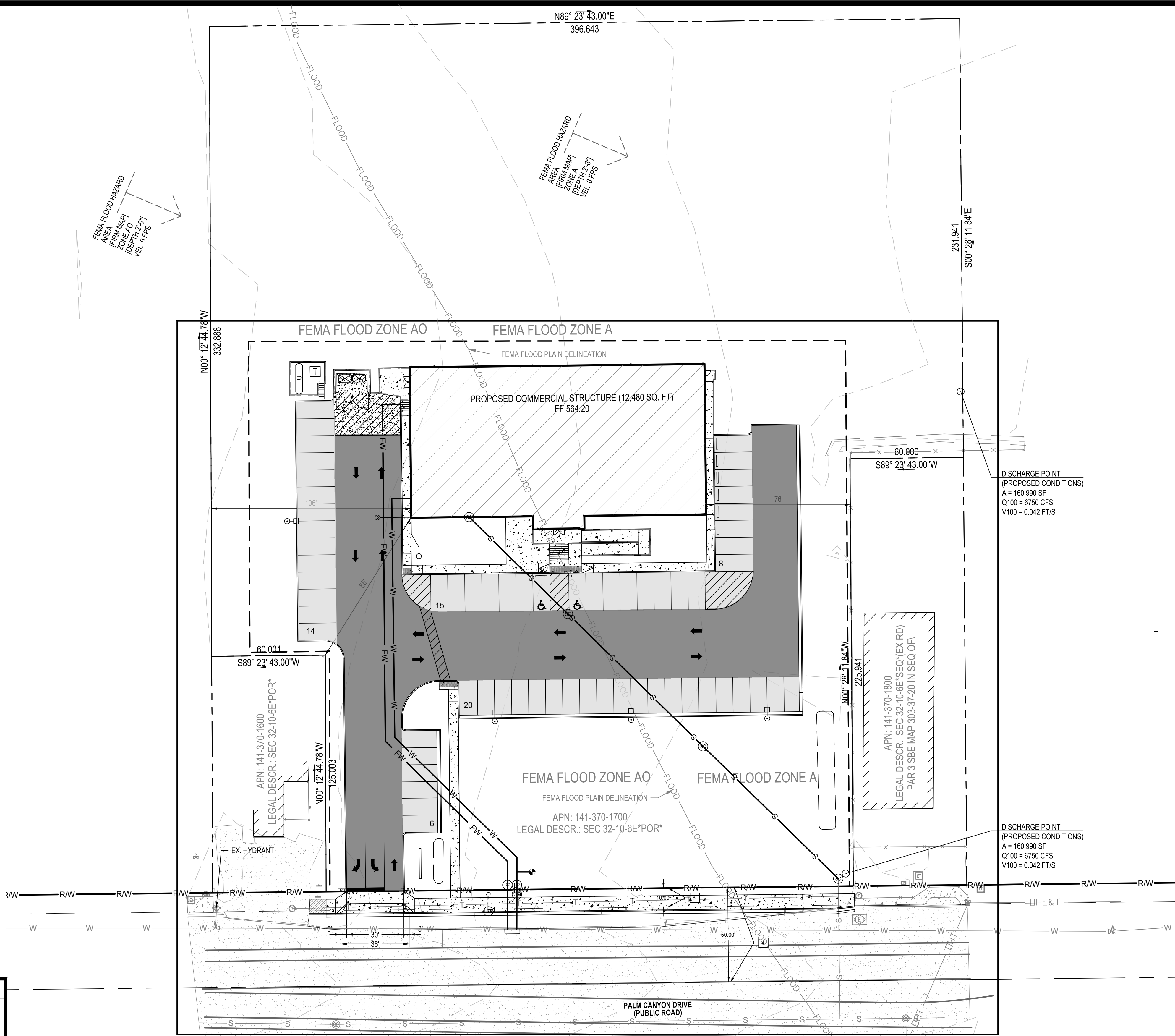
WSP USA Inc.  
10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
FAX: 858-500-4501

PROPERTY OWNER INFORMATION	
NAME:	NNN RETAIL DEVELOPMENT
ADDRESS:	15882 WAKEFIELD LN. SAN DIEGO, CA 92127
TELEPHONE NUMBER:	858-354-0007
(24 HOUR CONTACT NUMBER)	
SITE A.P.N. NUMBER:	141-370-1700
SITE ADDRESS:	WINWC PALM CANYO DR & DIGIORGIO RD, BORREGO SPRINGS, CA 92004

PLAN CHECK/PERMITS	
LANDSCAPE:	PENDING
SITE PLAN:	PENDING
WDID:	PENDING
ENGINEER OF WORK	
ENGINEER OF WORK:	MIKE MAGEE, PE
COMPANY:	WSP USA, INC.
ADDRESS:	10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA 92121
PHONE:	858-500-4500
SIGNATURE:	

PRIVATE CONTRACT	
COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES	
GRADING PLAN FOR: DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA	
CALIFORNIA COORDINATE INDEX	394-1959
SHEET: 4 OF 16	C-101
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354





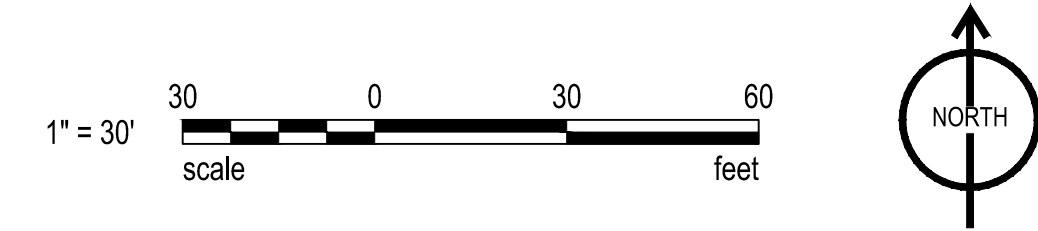
DESCRIPTION	LEGEND	SYMBOL
LIMITS OF WORK		---
RIGHT OF WAY (ROW)		---RW---
PROPERTY LINE		---
FEMA FLOOD ZONE DELINEATION		---FLOOD---
EXISTING MAJOR ELEVATION CONTOUR LINE		---560---
EXISTING MINOR ELEVATION CONTOUR LINE		---561---
EXISTING GRADE SPOT ELEVATION		+ EG 561.36'
EXISTING WATER LINE		---W---
EXISTING SEWER LINE		---S---
EXISTING OVERHEAD ELECTRICAL & TELEPHONE LINES		---CH&T---
EXISTING FENCE LINE		---X---
PROPOSED PORTLAND CEMENT CONCRETE (PCC) SIDEWALK PAVEMENT		[Pattern]
PROPOSED PORTLAND CEMENT CONCRETE (PCC) (LOADING AREA/TRASH ENCLOSURE)		[Pattern]
PROPOSED CONCRETE CURB & GUTTER PER G-2, TYPE G		[Pattern]
PROPOSED 6" CONCRETE CURB PER G-1		[Pattern]
PROPOSED CONCRETE DRIVEWAY PER G-14D & G-26		[Pattern]
PROPOSED CONCRETE CURB RAMP(S) PER DS-21A, DS-21E, DS-21F		[Pattern]
PROPOSED ASPHALT CONCRETE (AC) PAVEMENT (DRIVE AISLE)		[Pattern]
PROPOSED ASPHALT CONCRETE (AC) PAVEMENT (PARKING STALL)		[Pattern]
PROPOSED WATER LINE		---W---
PROPOSED FIRE WATER LINE		---FW---
PROPOSED WATER METER (PER SEPARATE PERMIT)		(WM)
PROPOSED REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER WS-02, WR-01, WR-01, WR-02 (PER SEPARATE PERMIT)		(RP)
PROPOSED SEWER LINE		---S---
PROPOSED SEWER CLEANOUT (PER SEPARATE PERMIT)		(CO)

SITE PREPARATION & GRADING QUANTITIES

- BENEATH STRUCTURES, SOILS SHALL BE OVER-EXCAVATED AT LEAST 5 FEET BELOW EXISTING GRADE AND EXTEND 5 FEET OUTSIDE PERIMETER FOOTINGS.
- BENEATH HARDCAPE PAVEMENTS, SOILS SHALL BE OVER-EXCAVATION AT LEAST 18 INCHES BELOW PLANNED SUBGRADE ELEVATION AND EXTEND 2 FEET OUTSIDE PROPOSED PAVEMENTS, OR UP TO EXISTING IMPROVEMENTS, WHICHEVER IS LESS.
- FILL MATERIALS SHALL BE MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT, PLACED IN 6-8 INCH LOOSE, UNCOMPACTED LIFTS, AND THEN COMPACTED TO AT LEAST 90 PERCENT RELATIVE DENSITY PER ASTM D1557.
- AGGREGATE BASE, SUBBASE, AND THE UPPER 12 INCHES OF SUBGRADE MATERIALS BENEATH TRAFFIC RATED PAVEMENT SHALL BE MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT, PLACED IN 6-8 INCH LOOSE, UNCOMPACTED LIFTS, AND THEN COMPACTED TO AT LEAST 95 PERCENT RELATIVE DENSITY PER ASTM D1557.

GRADING NOTES:

- THE PROPOSED DEVELOPMENT SHALL NOT INCREASE THE EXISTING BASE FLOOD ELEVATION (BFE) MORE THAN 1/2 FOOT WITHIN THE ALLUVIAL FAN TERMINUS WASH.
- THE PROPOSED STRUCTURE SHALL NOT ENCR OACH WITHIN 75 FEET OF NEAREST ADJACENT PROPERTY LINE OR RIGHT OF WAY.
- THE PROPOSED STRUCTURE AND ASSOCIATED BUILDING PAD SHALL BE ORIENTED IN THE DIRECTION OF THE EXISTING OVERLAND FLOW, WITH SMALLEST DIMENSION IMPEDING THE EXISTING DRAINAGE FLOW PATH.
- BUILDING PAD SHALL BE ELEVATED TO A FINISHED GRADE ELEVATION NOT LESS THAN 2 FEET ABOVE THE BFE USING ENGINEERED FILL MATERIAL IN ACCORDANCE WITH FDOT SECTION 811.501.6.2.A.
- PROPOSED FOUNDATIONS MUST EXTEND TO A DEPTH THAT MATCHES THE BASE FLOOD DEPTH OF 2 FEET MINIMUM AS SHOWN ON THE EFFECTIVE FEMA FIRM MAP.
- GRADING OF ASSOCIATED PARKING LOT AND HARDCAPE SHALL NOT DEViate MORE THAN +/- 6 INCHES FROM THE EXISTING GRADE ELEVATION.
- ALL GRADING DETAILS SHALL BE IN ACCORDANCE WITH THE CURRENT SAN DIEGO COUNTY STANDARD DRAWINGS DS-8, DS-10, DS-11, D75.
- ALL WORK AND PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED PER SEPARATE PERMIT.
- ALL PROPOSED UTILITY CONNECTIONS SHALL BE APPROVED PER SEPARATE PERMIT.
- ALL WORK AND PROPOSED IMPROVEMENTS SHOWN WITHIN THE PUBLIC RIGHT OF WAY ARE FOR REFERENCE ONLY.



RECORD PLAN			
NAME:			
R.C.E.			
DATE:			

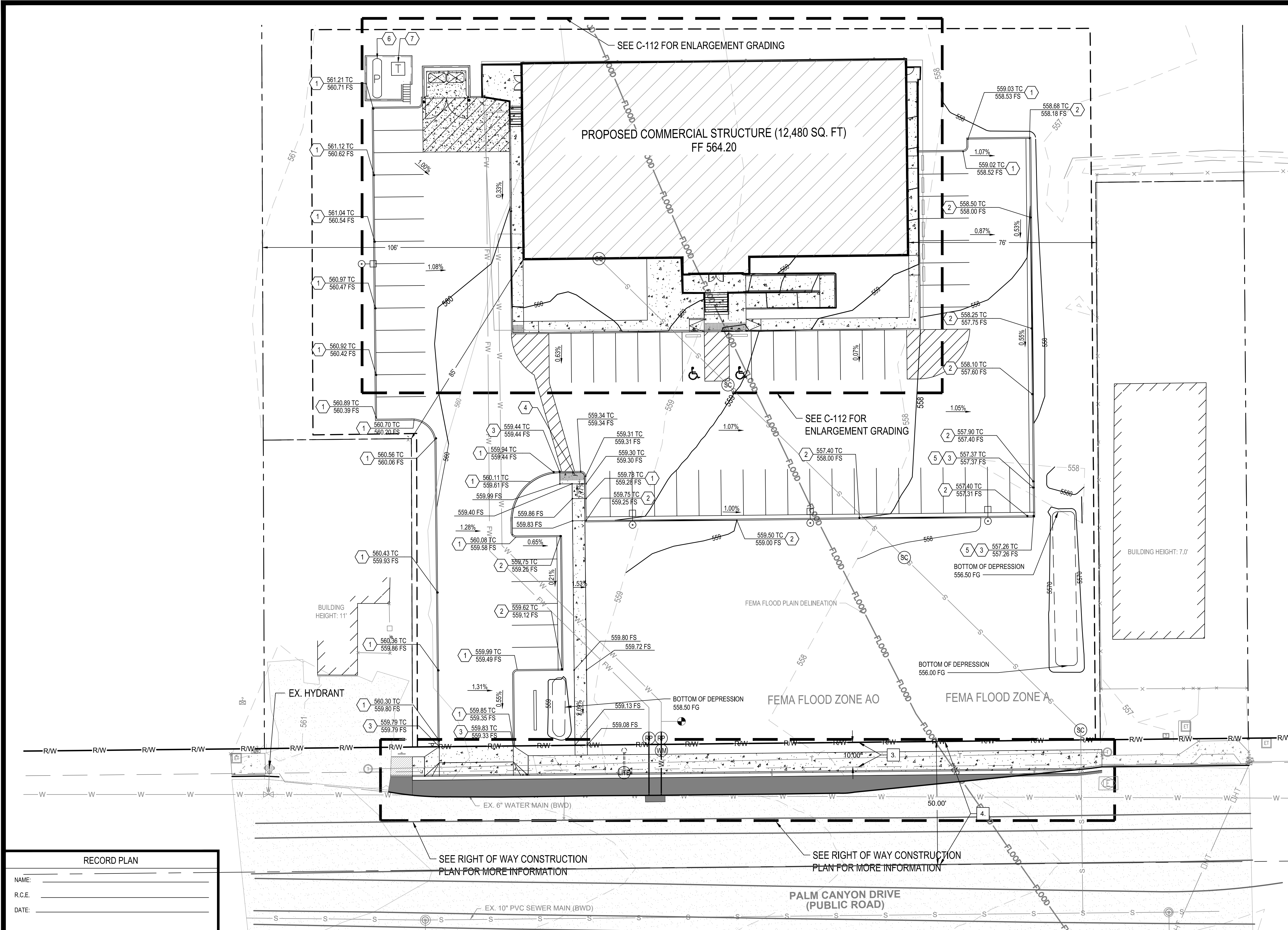
COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500
ELEVATION:	557.47
DATUM:	NAVD 1988

WSP USA Inc.  
10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
FAX: 858-500-4501

PROPERTY OWNER INFORMATION	PLAN CHECK/PERMITS	PRIVATE CONTRACT
NAME: <u>NNN RETAIL DEVELOPMENT</u>	LANDSCAPE: <u>PENDING</u>	COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES
ADDRESS: <u>15882 WAKEFIELD LN.</u> SAN DIEGO, CA 92127	SITE PLAN: <u>PENDING</u>	GRADING PLAN FOR: DOLLAR GENERAL STORE BORRERO SPRINGS, CALIFORNIA
TELEPHONE NUMBER: <u>858-354-0007</u> (24 HOUR CONTACT NUMBER)	WDID: <u>PENDING</u>	C-110
SITE A.P.N. NUMBER: <u>141-370-1700</u>	ENGINEER OF WORK	CALIFORNIA COORDINATE INDEX <u>394-1959</u> SHEET: <u>5</u> OF <u>16</u>
SITE ADDRESS: <u>WINWC PALM CANYO DR &amp; DIGIORGIO RD.</u> BORRERO SPRINGS, CA 92004	ENGINEER OF WORK: <u>MIKE MAGEE, PE</u> COMPANY: <u>WSP USA, INC.</u> ADDRESS: <u>10525 VISTA SORRENTO PKWY, STE 350,</u> SAN DIEGO, CA, 92121 PHONE: <u>858-500-4500</u> SIGNATURE: <u>[Signature]</u>	APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354





GRADING KEY NOTES		
1	6" CONCRETE CURB(S) AND GUTTER (SEPERATE) PER SDSCD G-01	1 C-500
2	6" CONCRETE CURB AND GUTTER (COMBINED) PER SDSCD G-02	4 C-500
3	CURB END TAPER PER	3 C-500
4	TRUNCATED DOMES PER SDSCD G-30	6 C-501
5	CURB OPENING	
6	PROPOSED ABOVE GROUND PROPANE STORAGE TANK, SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION	
7	PROPOSED TELECOMMUNICATION UTILITY BOX, SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION	

LEGEND		SYMBOL
DESCRIPTION	(WITH APPLICABLE REGIONAL STANDARD DRAWING)	
PROPOSED CONCRETE CURB & GUTTER PER G-2, TYPE G		
PROPOSED 6" CONCRETE CURB PER G-1		
PROPOSED WALL		
PROPOSED MAJOR ELEVATION CONTOUR LINE		
PROPOSED MINOR ELEVATION CONTOUR LINE		
PROPOSED SPOT GRADE		
PROPOSED SLOPE		

GRADING NOTES:

1. THE PROPOSED DEVELOPMENT SHALL NOT INCREASE THE EXISTING BASE FLOOD ELEVATION (BFE) MORE THAN 1/2 FOOT WITHIN THE ALLUVIAL FAN TERMINUS WASH.
2. THE PROPOSED STRUCTURE SHALL NOT ENCR OACH WITHIN 75 FEET OF NEAREST ADJACENT PROPERTY LINE OR RIGHT OF WAY.
3. THE PROPOSED STRUCTURE AND ASSOCIATED BUILDING PAD SHALL BE ORIENTED IN THE DIRECTION OF THE EXISTING OVERLAND FLOW, WITH SMALLEST DIMENSION IMPEDING THE EXISTING DRAINAGE FLOW PATH.
4. BUILDING PAD SHALL BE ELEVATED TO A FINISHED GRADE ELEVATION NOT LESS THAN 2 FEET ABOVE THE BFE USING ENGINEERED FILL MATERIAL IN ACCORDANCE WITH FDPO SECTION 811.501.d.2.A.
5. PROPOSED FOUNDATIONS MUST EXTEND TO A DEPTH THAT MATCHES THE BASE FLOOD DEPTH OF 2.5 FEET MINIMUM AS SHOWN ON THE EFFECTIVE FEMA FIRM MAP.
6. GRADING OF ASSOCIATED PARKING LOT AND HARDSCAPE SHALL NOT DEVIATE MORE THAN +/- 6 INCHES FROM THE EXISTING GRADE ELEVATION.
7. ALL GRADING DETAILS SHALL BE IN ACCORDANCE WITH THE CURRENT SAN DIEGO COUNTY STANDARD DRAWINGS DS-8, DS-10, DS-11, D75.
8. ALL WORK AND PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED PER SEPARATE PERMIT.
9. ALL PROPOSED UTILITY CONNECTIONS SHALL BE APPROVED PER SEPARATE PERMIT.
10. ALL WORK AND PROPOSED IMPROVEMENTS SHOWN WITHIN THE PUBLIC RIGHT OF WAY ARE FOR REFERENCE ONLY.

RECORD PLAN			
NAME:			
R.C.E.:			
DATE:			

COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500
ELEVATION:	557.47
DATUM:	NAVD 1988

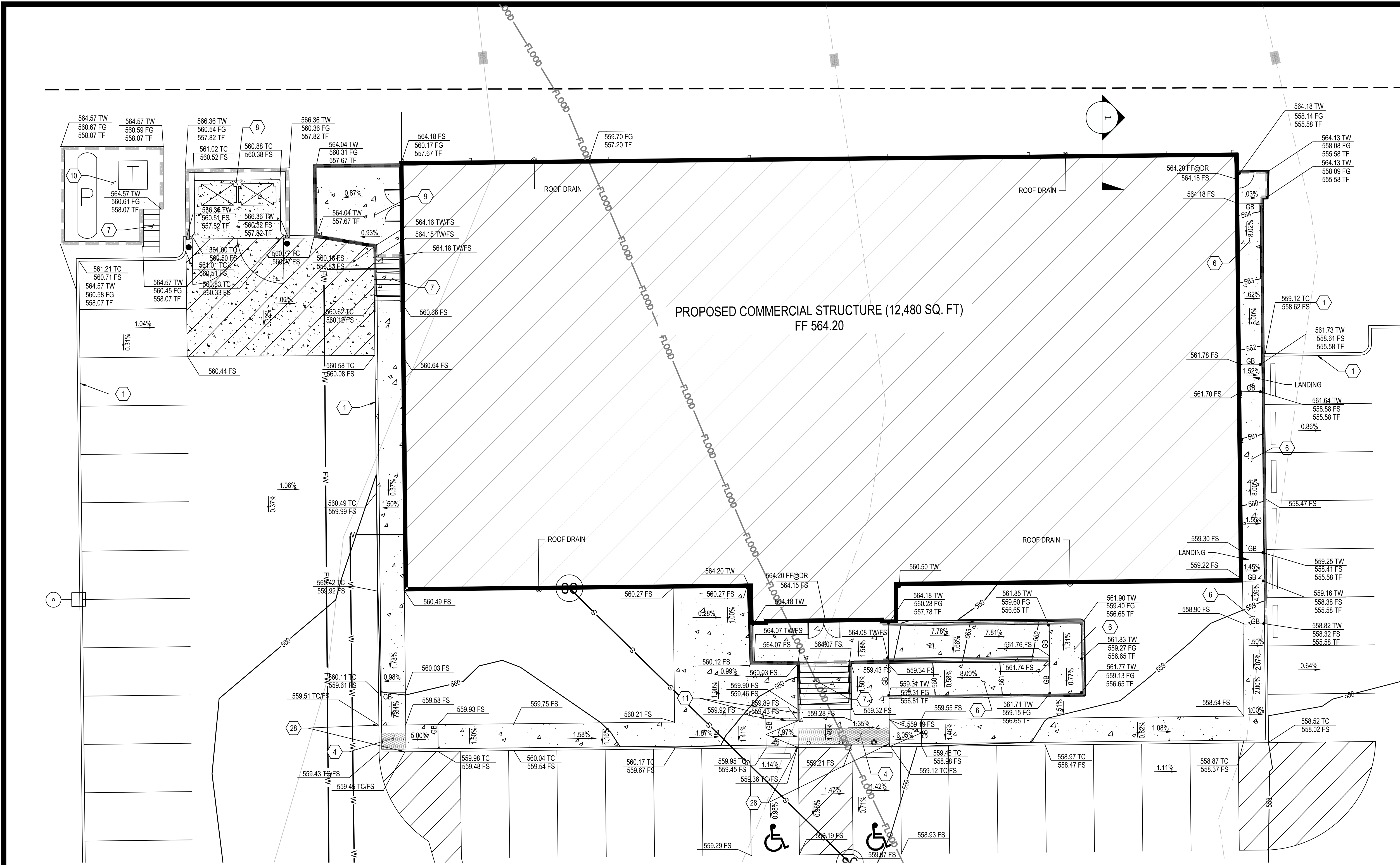
WSP USA Inc.  
10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
FAX: 858-500-4501

PROPERTY OWNER INFORMATION	
NAME:	NNN RETAIL DEVELOPMENT
ADDRESS:	15882 WAKEFIELD LN. SAN DIEGO, CA 92127
TELEPHONE NUMBER:	858-354-0007 (24 HOUR CONTACT NUMBER)
SITE A.P.N. NUMBER:	141-370-1700
SITE ADDRESS:	WINWC PALM CANYO DR & DIGIORGIO RD, BORREGO SPRINGS, CA 92004

PLAN CHECK/PERMITS	
LANDSCAPE:	PENDING
SITE PLAN:	PENDING
WDID:	PENDING
ENGINEER OF WORK	
ENGINEER OF WORK: MIKE MAGEE, PE	
COMPANY: WSP USA, INC.	
ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA 92121	
PHONE: 858-500-4500	
SIGNATURE:	

PRIVATE CONTRACT	
COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES	
GRADING PLAN FOR: DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA	
CALIFORNIA COORDINATE INDEX	394-1959
SHEET: 6 OF 16	
APPROVED FOR: MICHAEL E. MAGEE COUNTY ENGINEER	
ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354	



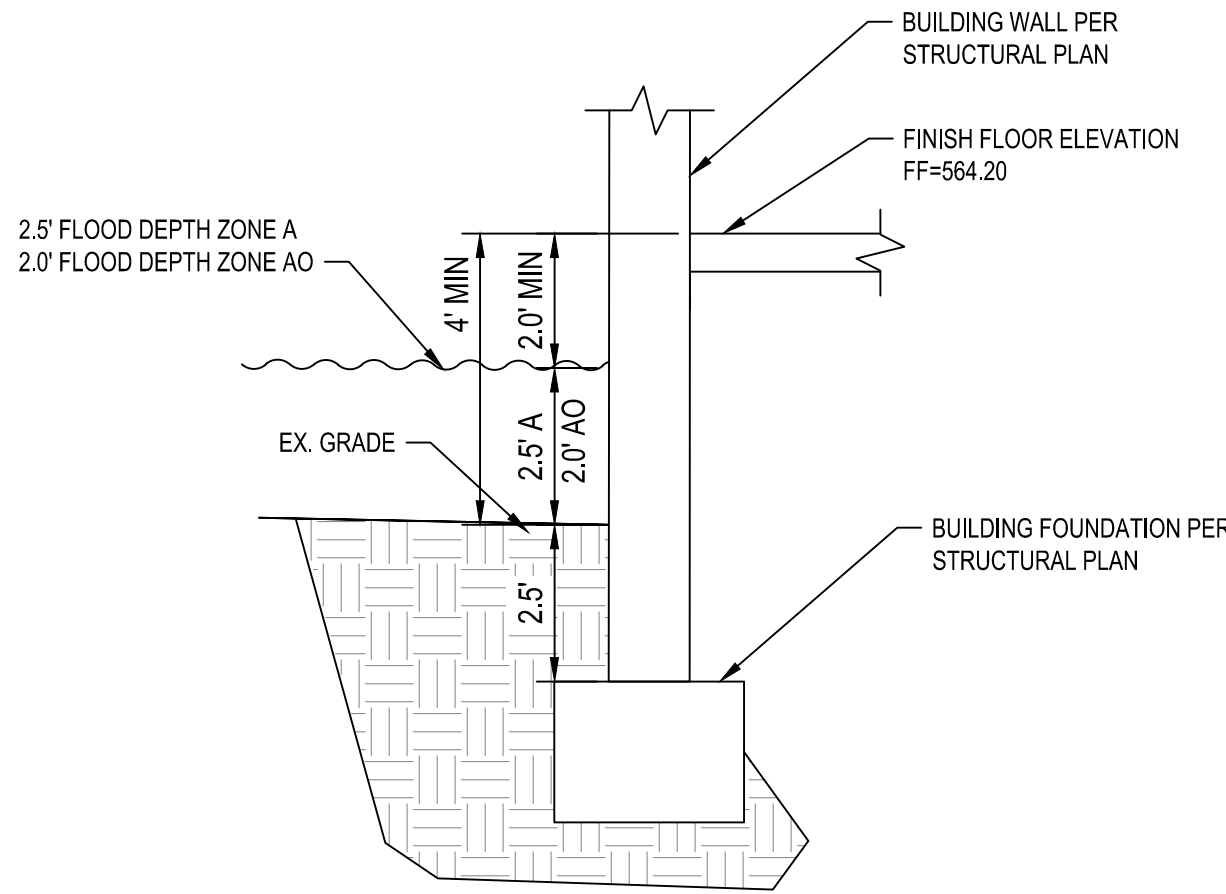


GRADING KEY NOTES		
1	6" CONCRETE CURB(S) AND GUTTER (SEPERATE) PER SDSCD G-01	1 C-500
4	TRUNCATED DOMES PER SDSCD G-30	6 C-501
6	ACCESSIBLE CONCRETE SIDEWALK, REFER TO ARCHITECTURAL PLAN FOR MORE INFORMATION	
7	CONCRETE STEPS, REFER TO ARCHITECTURAL PLAN FOR MORE INFORMATION	
8	TRASH ENCLOSURE, REFER TO ARCHITECTURAL PLAN FOR MORE INFORMATION	
9	LOADING DOCK, REFER TO ARCHITECTURAL PLAN FOR MORE INFORMATION	
10	TRANSFORMER AND PROPANE PAD, REFER TO ARCHITECTURAL PLAN FOR MORE INFORMATION	
11	CONCRETE THICKEN EDGE PER	8 C-500
28	FLUSH CURB PER	2 C-500

DESCRIPTION	SYMBOL
PROPOSED CONCRETE CURB & GUTTER PER G-2, TYPE G	
PROPOSED 6" CONCRETE CURB PER G-1	
PROPOSED WALL	
PROPOSED MAJOR ELEVATION CONTOUR LINE	
PROPOSED MINOR ELEVATION CONTOUR LINE	
PROPOSED SPOT GRADE	
PROPOSED SLOPE	

#### GRADING NOTES:

1. THE PROPOSED DEVELOPMENT SHALL NOT INCREASE THE EXISTING BASE FLOOD ELEVATION (BFE) MORE THAN 1/2 FOOT WITHIN THE ALLUVIAL FAN TERMINUS WASH.
2. THE PROPOSED STRUCTURE SHALL NOT ENCR OACH WITHIN 75 FEET OF NEAREST ADJACENT PROPERTY LINE OR RIGHT OF WAY.
3. THE PROPOSED STRUCTURE AND ASSOCIATED BUILDING PAD SHALL BE ORIENTED IN THE DIRECTION OF THE EXISTING OVERLAND FLOW, WITH SMALLEST DIMENSION IMPEDING THE EXISTING DRAINAGE FLOW PATH.
4. BUILDING PAD SHALL BE ELEVATED TO A FINISHED GRADE ELEVATION NOT LESS THAN 2 FEET ABOVE THE BFE USING ENGINEERED FILL MATERIAL IN ACCORDANCE WITH FDO SECTION 811.501.d.2.A.
5. PROPOSED FOUNDATIONS MUST EXTEND BELOW THE SCOUR DEPTH, THE SCOUR DEPTH CAN BE ASSUMED TO BE THE SAME AS THE FLOOD DEPTH WHICH IS 2.5' BELOW GRADE.
6. GRADING OF ASSOCIATED PARKING LOT AND HARDSCAPE SHALL NOT DEVIATE MORE THAN +/- 6 INCHES FROM THE EXISTING GRADE ELEVATION.
7. ALL GRADING DETAILS SHALL BE IN ACCORDANCE WITH THE CURRENT SAN DIEGO COUNTY STANDARD DRAWINGS DS-8, DS-10, DS-11, D75.
8. ALL WORK AND PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED PER SEPARATE PERMIT.
9. ALL PROPOSED UTILITY CONNECTIONS SHALL BE APPROVED PER SEPARATE PERMIT.
10. ALL WORK AND PROPOSED IMPROVEMENTS SHOWN WITHIN THE PUBLIC RIGHT OF WAY ARE FOR REFERENCE ONLY.



RECORD PLAN			
NAME:			
R.C.E.:			
DATE:			

COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500
ELEVATION:	557.47
DATUM:	NAVD 1988

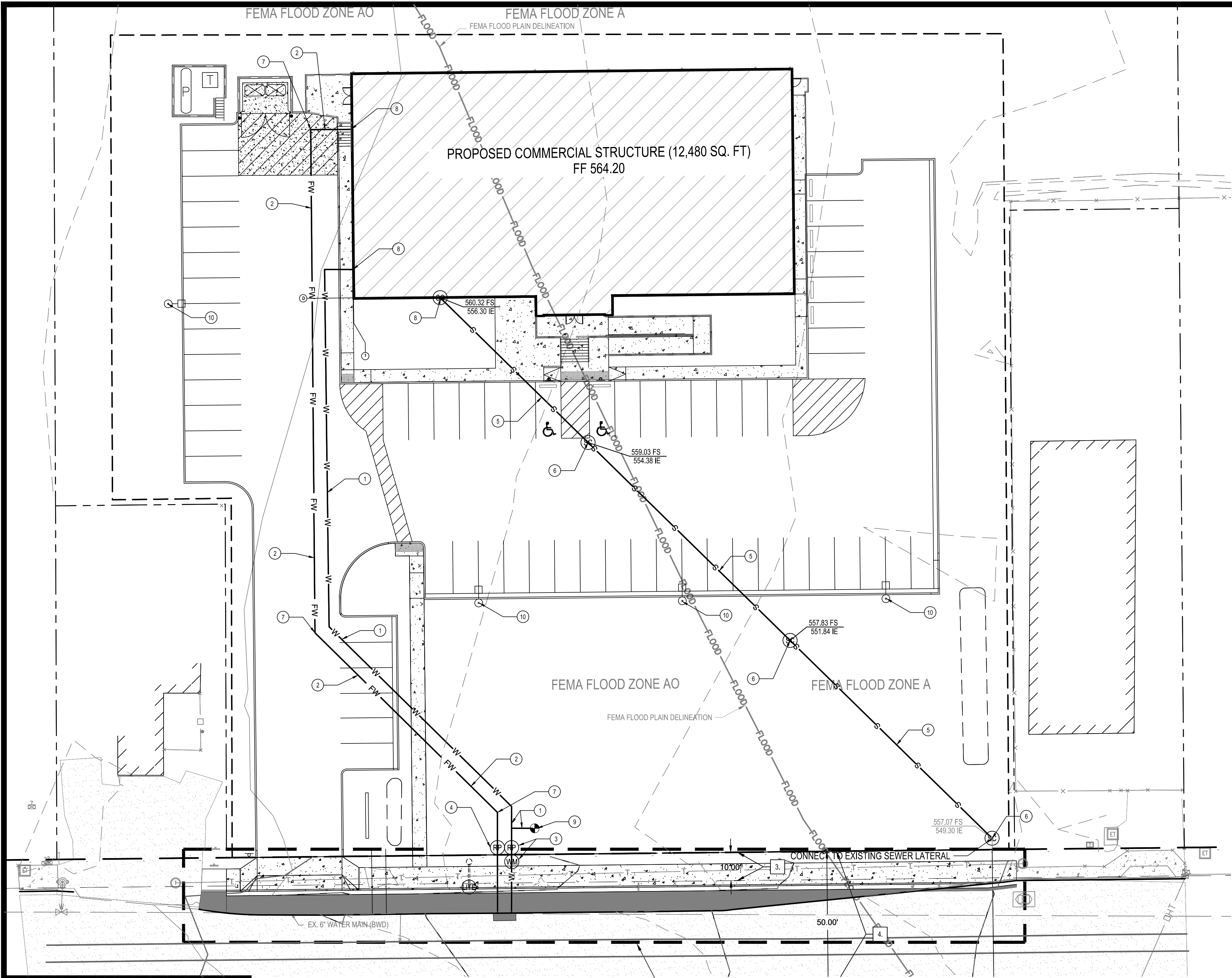


PROPERTY OWNER INFORMATION	
NAME:	NNN RETAIL DEVELOPMENT
ADDRESS:	15882 WAKEFIELD LN. SAN DIEGO, CA 92127
TELEPHONE NUMBER:	858-354-0007
SITE A.P.N. NUMBER:	141-370-1700
SITE ADDRESS:	WINWC PALM CANYO DR & DIGIORGIO RD, BORREGO SPRINGS, CA 92004

PLAN CHECK/PERMITS	
LANDSCAPE:	PENDING
SITE PLAN:	PENDING
WDID:	PENDING
ENGINEER OF WORK	
ENGINEER OF WORK:	MIKE MAGEE, PE
COMPANY:	WSP USA, INC.
ADDRESS:	10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA, 92121
PHONE:	858-500-4500
SIGNATURE:	

PRIVATE CONTRACT	
COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES	
GRADING PLAN FOR: DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA	
CALIFORNIA COORDINATE INDEX	394-1959
SHEET: 7 OF 16	C-112
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354





**PIPE TRENCH DIMENSIONS:**  
THE FOLLOWING REQUIREMENTS ARE CONSIDERED MINIMAL UNLESS OTHERWISE INDICATED, IN ORDER TO PROVIDE ADEQUATE PIPE CLEARANCES AND BEDDING, PROVIDE TRENCHES WIDER THAN THE SPECIFIED MINIMUMS WHERE REQUIRED TO PROPERLY INSTALL THE PARTICULAR TYPE OF PIPING. IN THE EVENT UTILITY COMPANY REGULATIONS, CODE REQUIREMENTS, OR THE PIPE MANUFACTURE'S RECOMMENDATIONS DIFFER FROM THESE PROVISIONS, THE MOST RESTRICTIVE REQUIREMENTS SHALL TAKE PRECEDENCE:  
1. MINIMUM PIPE BURIAL DEPTHS:  
SEWER: AS SHOWN ON PLAN + 4" BED  
DRAINAGE: 24" + PIPE O.D. + 4" BED  
GAS: 30" + PIPE O.D. + 4" BED  
WATER (FIRE): 36" + PIPE O.D. + 6" BED  
WATER (DOMESTIC): 36" + PIPE O.D. + 4" BED  
ALL OTHER: 24" (30" AT PLANTERS) + PIPE O.D. + 4" BED  
WATER (IRRIGATION PRESSURE PIPING - RECLAIM)  
3" DIAMETER OR LESS: 18" + PIPE O.D. + 2" BED  
4" DIAMETER OR MORE: SAME AS DOMESTIC WATER  
FINISH GRADE TO TOP OF PIPE, TYPICAL. O.D.: OUTSIDE DIMENSION.  
2. TRENCH WIDTHS:  
SEWER & DRAINAGE: 12" + PIPE O.D. FOR 4" TO 18" DIA. PIPE  
GAS: 8" + PIPE O.D.  
WATER (FIRE): 12" + PIPE O.D.  
WATER (DOMESTIC): 8" + PIPE O.D.  
WATER (IRRIGATION PRESSURE PIPING): 3" DIAMETER OR LESS: 4" + PIPE O.D.

- UTILITY NOTE**  
1. THE FOLLOWING UTILITY LINES ARE SHOWN FOR COORDINATION PURPOSES ONLY. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR INFORMATION AND DETAILS.  
E - ELECTRICAL  
T - TELECOMMUNICATIONS  
G - GAS  
2. ALL NEW WATER LINES TO BE AWWA C900 PVC FOR PIPES 4" AND GREATER, FOR PIPES UNDER 4" TO BE SCH-80 PVC  
3. ALL NEW SEWER LINES THAT SERVICE THE NEW BUILDING TO BE SDR 35 PVC.  
4. THRUST BLOCKING AT ALL BENDS, TEES AND FITTINGS FOR PIPE 4" AND LARGER  
5. MIN CLEARANCE FOR UTILITY CROSSING IS 6" WITH A SAND CUSSION.

- SPECIAL NOTE:**  
A. ALL FITTINGS SHALL BE BITUMINOUS COATED. WRAP ALL BURIED, FERROUS METAL FITTINGS WITH 2 LAYERS OF 8 MIL POLYURETHANE FILM SECURED WITH PLASTIC ADHESIVE TAPE PER AWWA C105.  
B. ALL BOLTS, NUTS, WASHERS AND RODDING USED FOR THE INSTALLATION OF UNDERGROUND PIPING, VALVES AND FITTING SHALL BE STAINLESS STEEL CONFORMING TO UNS 31600 (FORMERLY AISI TYPE 316). BOLTS SHALL CONFORM TO ASTM F 593, ALLOY GROUP 2, CONDITION CW1/CW2 (DEPENDING ON SIZE). NUTS SHALL CONFORM TO ASTM F 594, ALLOY GROUP 2, CONDITION CW1/CW2 (DEPENDING ON SIZE).  
C. CONCRETE FOR THRUST BLOCKS SHALL BE CLASS 470-C-2000, CONFORMING TO SECTION 201 OF THE STANDARD SPECIFICATIONS. QUANTITY OF CONCRETE AND THE AREA OF BEARING IN UNDISTURBED SOIL SHALL BE AS SHOWN ON (C-503)  
D. MECHANICAL RESTRAINT DEVICES SHALL BE PROVIDED WHERE THRUST BLOCKS HAVE RESTRICTED SPACE FOR CONSTRUCTION. RESTRAINT DEVICES SHALL BE THE WEDGING ACTION TYPE. ALL RODS, NUTS AND WASHERS SHALL BE STAINLESS STEEL PER ASTM F-593 AND F-594. UNIFLANGE, EBBA IRON OR EQUAL.

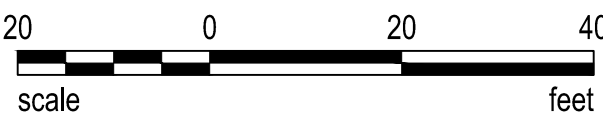
UTILITY KEYNOTES		
1	1" SCH-80 PVC WATER LINE AND BEDDING PER	1 C-503
2	6" C900-PVC FIRE WATER LINE AND BEDDING PER	1 C-503
3	1" WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY TO BE INSTALLED BY BORREGO WATER DISTRICT	
4	6" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY TO BE INSTALLED BY BORREGO WATER DISTRICT	
5	4" PVC SEWER LINE AND BEDDING PER SDGSD SS-01, SP-02	1 C-504
6	SEWER CLEANOUT PER SDGSD SC-01	2 C-504
7	CONCRETE THRUST BLOCK & ANCHOR INSTALLATION PER SDGSD WT-01	4 C-503
8	POC TO BUILDING, REFER TO PLUMBING PLAN FOR MORE INFORMATION	
9	POC TO IRRIGATION SYSTEM, REFER TO LANDSCAPING PLAN FOR MORE INFORMATION	
10	SITE LIGHT, REFER TO ELECTRICAL PLAN FOR MORE INFORMATION	

DESCRIPTION	LEGEND	SYMBOL
EXISTING SEWER LINE	-----	S
EXISTING WATER LINE	-----	W
PROPOSED SEWER LINE	-----	S
PROPOSED WATER LINE	-----	W
PROPOSED FIREWATER LINE	-----	FW

**UTILITY NOTES:**

- NEW WATER LATERAL TO BE INSTALLED BY BORREGO WATER DISTRICT WITHIN THE PUBLIC RIGHT OF WAY PER GREENBOOK STANDARDS FOR PUBLIC WORK.
- NEW WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY TO BE INSTALLED BY BORREGO WATER DISTRICT PER GREENBOOK STANDARDS FOR PUBLIC WORK.

1" = 20'



RECORD PLAN			
NAME:			
R.C.E.			
DATE:			
COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

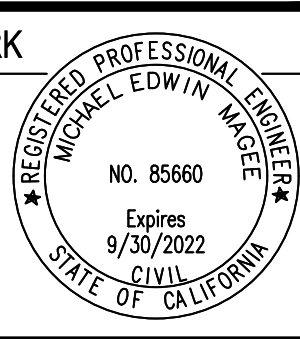
BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500
ELEVATION:	557.47
DATUM:	NAVD 1988



<b>wsp</b>	WSP USA Inc. 10525 Vista Sorrento Parkway Suite 350 San Diego, CA 92121-2704 TEL: 858-500-4500 FAX: 858-500-4501
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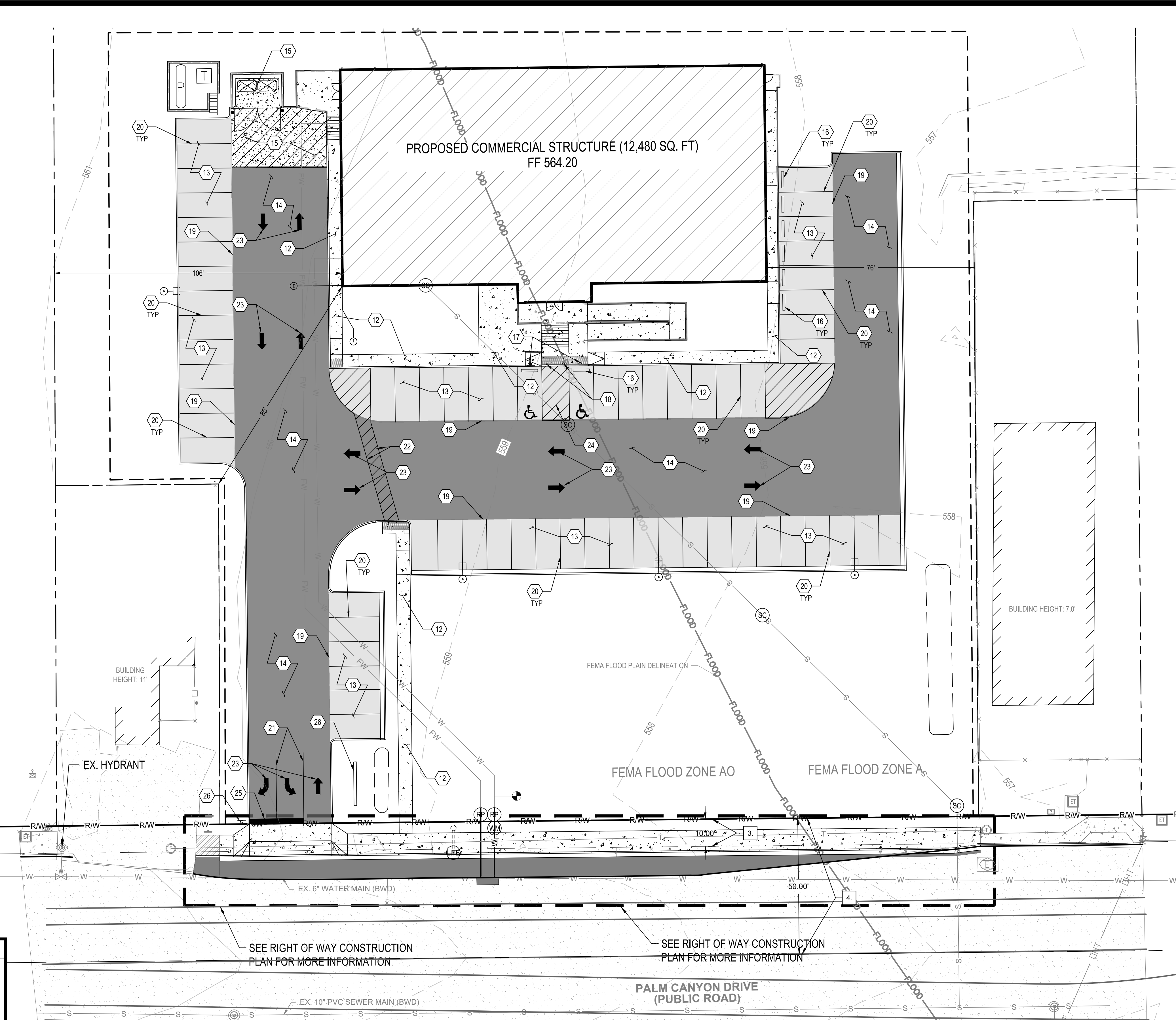
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TELEPHONE NUMBER:	858-354-0007 (24 HOUR CONTACT NUMBER)
SITE A.P.N. NUMBER:	141-370-1700
SITE ADDRESS:	WINWC PALM CANYO DR & DIGIORGIO RD, BORREGO SPRINGS, CA 92004

PLAN CHECK/PERMITS	
LANDSCAPE:	PENDING
SITE PLAN:	PENDING
WDID:	PENDING
ENGINEER OF WORK	
ENGINEER OF WORK:	MIKE MAGEE, PE
COMPANY:	WSP USA INC.
ADDRESS:	10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA 92121
PHONE:	858-500-4500
SIGNATURE:	<i>Michael Magee</i>



PRIVATE CONTRACT	
COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES	
GRADING PLAN FOR: DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA	
CALIFORNIA COORDINATE INDEX	394-1959
SHEET: 8 OF 16	C-120
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354





KEY NOTES		
12	4" PORTLAND CEMENT CONCRETE PAVEMENT, PROVIDE THICKEN EDGE WHERE HARDSCAPE MEETS ASPHALT OR LANDSCAPE SEE DETAIL	5 C-500
13	4" ASPHALT CONCRETE PARKING PAVEMENT UNDERLAIN BY 4" CLASS 2 AGGREGATE BASE PER	2 C-501
14	6" ASPHALT CONCRETE STRUCTURAL PAVEMENT SECTION PER SDGSD DS-01 & GENERAL NOTE 2	3 C-501
15	6" PORTLAND CEMENT CONCRETE PAVEMENT UNDERLAIN BY 4" CLASS 2 AGGREGATE BASE PER	1 C-501
16	WHEEL STOP PRE	9 C-500
17	ADA SIGN PER	2 C-502
18	BOLLARD PER	3 C-502
19	VARIOUS DEPTH AC TRANSITION PER	8 C-501
20	4" WIDE PARKING STALL STRIPING (WHITE)	
21	4" WIDE LANE STRIPING (WHITE)	
22	CROSS WALK PER	4 C-501
23	DIRECTIONAL ARROW (WHITE)	
24	ADA STALLS STRIPING PER	5 C-501
25	12" WIDE STOP BAR (WHITE)	
26	STOP SIGN PER	1 C-502
27	STORE SIGN, REFER TO ARCHITECTURAL PLAN FOR MORE INFORMATION	

DESCRIPTION	LEGEND	SYMBOL
PROPOSED PORTLAND CEMENT CONCRETE (PCC) SIDEWALK PAVEMENT		
PROPOSED 4" ASPHALT CONCRETE PARKING PAVEMENT		
PROPOSED 6" ASPHALT CONCRETE PARKING PAVEMENT		
PROPOSED 6" PORTLAND CEMENT CONCRETE (PCC) PAVEMENT		

RECORD PLAN			
NAME:			
R.C.E.			
DATE:			

COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

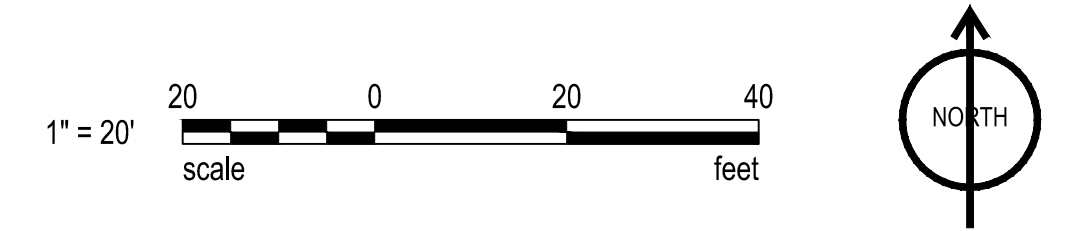
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10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
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PLAN CHECK/PERMITS	
LANDSCAPE:	PENDING
SITE PLAN:	PENDING
WDID:	PENDING
ENGINEER OF WORK	
ENGINEER OF WORK:	MIKE MAGEE, PE
COMPANY:	WSP USA, INC.
ADDRESS:	10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA 92121
PHONE:	858-500-4500
SIGNATURE:	

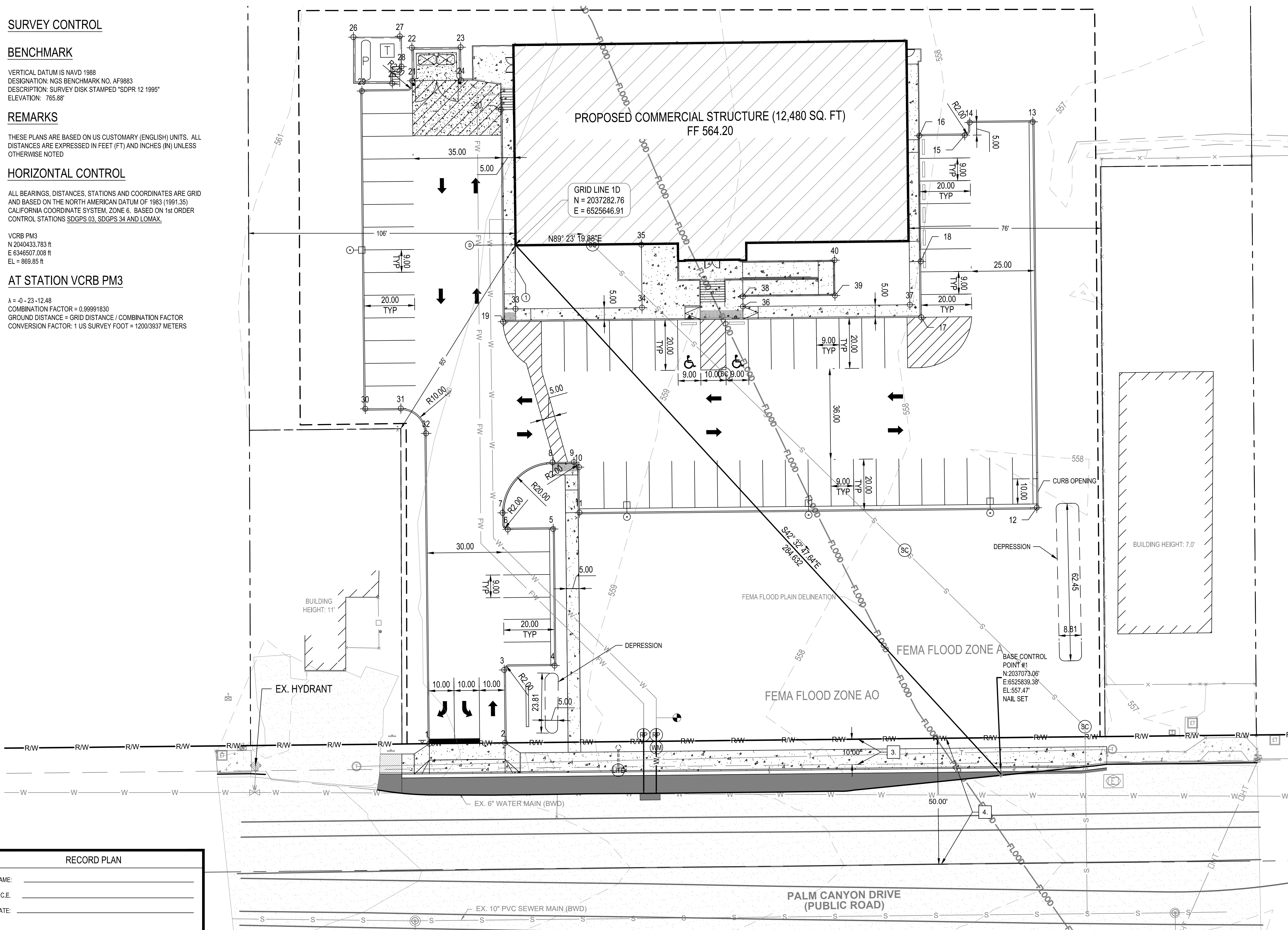
PRIVATE CONTRACT	
COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES	
GRADING PLAN FOR: DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA	
CALIFORNIA COORDINATE INDEX	394-1959
SHEET: 9 OF 16	
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354





$\lambda = -0.23 - 12.48$   
 COMBINATION FACTOR = 0.99991830  
 GROUND DISTANCE = GRID DISTANCE / COMBINATION FACTOR  
 CONVERSION FACTOR: 1 US SURVEY FOOT = 1200/3937 METERS

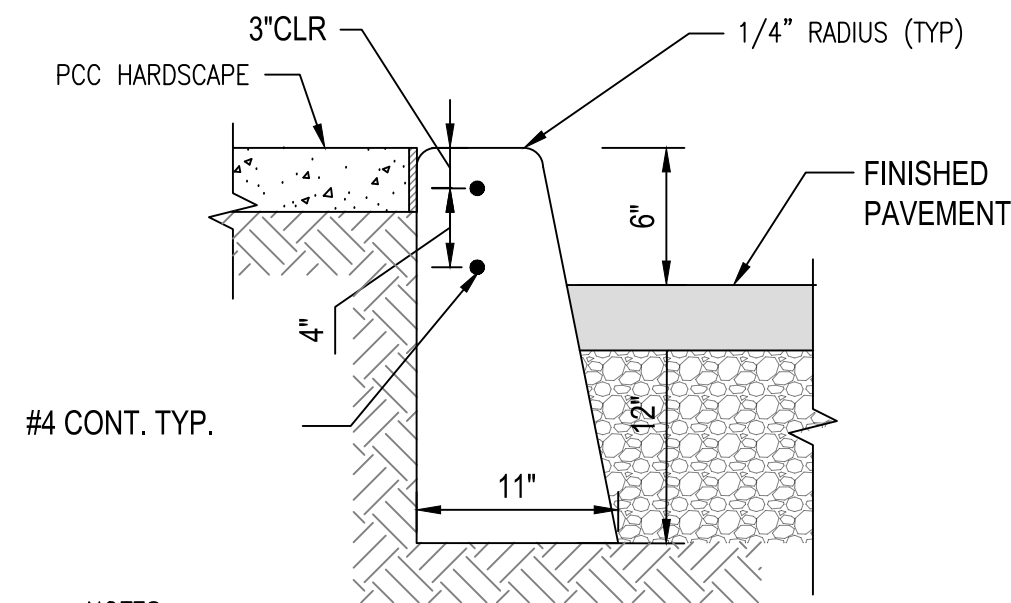
POINT TABLE			
Point #	Description	Northing	Easting
1	DRIVEWAY ENTRANCE	2037084.9652	6525612.1378
2	DRIVEWAY ENTRANCE	2037085.2819	6525642.8369
3	CURB PC	2037114.2002	6525642.5133
4	CURB CORNER	2037115.9118	6525662.4964
5	CURB CORNER	2037170.0780	6525661.9247
6	CURB PC	2037169.8882	6525643.9485
7	CURB PC	2037176.4880	6525641.8798
8	CURB PC	2037196.4869	6525661.6638
9	CURB PC	2037196.5753	6525670.1517
10	CURB PC	2037194.5964	6525672.1516
11	CURB CORNER	2037176.5992	6525672.3416
12	CURB CORNER	2037178.5128	6525683.6194
13	CURB CORNER	2037331.4981	6525852.0045
14	CURB CORNER	2037331.2342	6525827.0058
15	CURB PC	2037326.2133	6525825.0587
16	CURB END	2037326.0233	6525807.0597
17	CURB CORNER	2037254.0274	6525807.8197
18	CURB END	2037276.1605	6525807.5881
19	CURB CORNER	2037252.2832	6525642.0768
20	CURB END	2037336.3193	6525641.1917
21	WALL END	2037347.7932	6525806.0688
22	WALL CORNER	2037360.8758	6525605.9307
23	WALL CORNER	2037361.0799	6525625.2638
24	WALL END	2037347.9972	6525625.4019
25	WALL CORNER	2037346.7382	6525598.1470
26	WALL CORNER	2037365.0796	6525582.7597
27	WALL CORNER	2037365.4006	6525601.1656
28	WALL CORNER	2037353.4006	6525601.8345
29	CURB CORNER	2037343.6976	6525586.1118
30	CURB CORNER	2037217.7046	6525587.4416
31	CURB PC	2037217.8529	6525601.5455
32	CURB PC	2037079.9847	6525611.5446
33	CONCRETE CORNER	2037257.3357	6525647.0258
34	CONCRETE CORNER	2037257.8847	6525697.1434
35	CONCRETE END	2037282.8316	6525696.8798
36	CONCRETE CORNER	2037258.2764	6525737.1435
37	CONCRETE CORNER	2037258.9650	6525803.2670
38	RAMP END	2037262.2761	6525737.1012
39	RAMP CORNER	2037262.6814	6525773.5993
40	RAMP CORNER	2037276.6607	6525773.4554



<b>RECORD PLAN</b>			
NAME: _____			
R.C.E. _____			
DATE: _____			
<b>COUNTY APPROVED CHANGES</b>			
NO.	DESCRIPTION	APPROVED BY	DATE

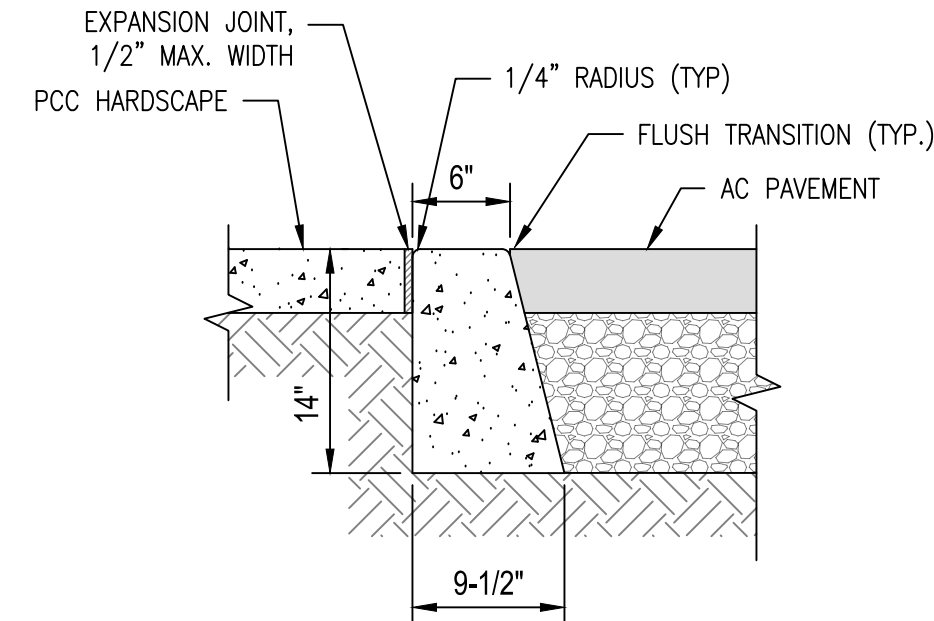
<div style="text-align: center; border-bottom: 1px solid black; margin-bottom: 10px;"> <b>PROPERTY OWNER INFORMATION</b> </div> NAME: <u>NON RETAIL DEVELOPMENT</u>  ADDRESS: <u>15882 WAKEFIELD LN.</u> <u>SAN DIEGO, CA 92127</u>  TELEPHONE NUMBER: <u>858-354-0007</u> (24 HOUR CONTACT NUMBER)  SITE A.P.N. NUMBER: <u>141-370-1700</u>  SITE ADDRESS: <u>WINVO PALM CANYO DR &amp; DIGIORGIO RD,</u> <u>BORREGO SPRINGS, CA 92004</u>	<div style="text-align: center; border-bottom: 1px solid black; margin-bottom: 10px;"> <b>PLAN CHECK/PERMITS</b> </div> LANDSCAPE: <u>PENDING</u> SITE PLAN: <u>PENDING</u> WDD: <u>PENDING</u>  <div style="text-align: center; border-bottom: 1px solid black; margin-bottom: 10px;"> <b>ENGINEER OF WORK</b> </div> ENGINEER OF WORK: <u>MIKE MAGEE, PE</u> COMPANY: <u>WSP USA, INC</u> ADDRESS: <u>10525 VISTA SORRENTO PKWY, STE 350,</u> <u>SAN DIEGO, CA 92121</u> PHONE: <u>858-500-4500</u> SIGNATURE:	<div style="text-align: center; border-bottom: 1px solid black; margin-bottom: 10px;"> <b>PRIVATE CONTRACT</b> </div> <div style="text-align: center; margin-bottom: 10px;"> COUNTY OF SAN DIEGO  PLANNING AND DEVELOPMENT SERVICES </div> <div style="display: flex; justify-content: space-between;"> <div style="width: 60%;"> GRADING PLAN FOR:  <b>DOLLAR GENERAL STORE</b>  <b>BORREGO SPRINGS, CALIFORNIA</b> </div> <div style="width: 35%; text-align: right; font-size: 24pt; font-weight: bold;"> C-140 </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 60%;"> CALIFORNIA COORDINATE INDEX </div> <div style="width: 35%; text-align: right;"> SHEET: <u>10</u> OF <u>16</u> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 30%;"> APPROVED FOR:  <u>WILLIAM F. MORGAN</u>  COUNTY ENGINEER   BY: _____ DATE: _____ </div> <div style="width: 65%;"> ENGINEER OF WORK:  <u>MICHAEL E MAGEE</u>  RCE 85660  GRADING PERMIT NUMBER:  <b>PDS2021-LDGRM-J-30354</b> </div> </div>
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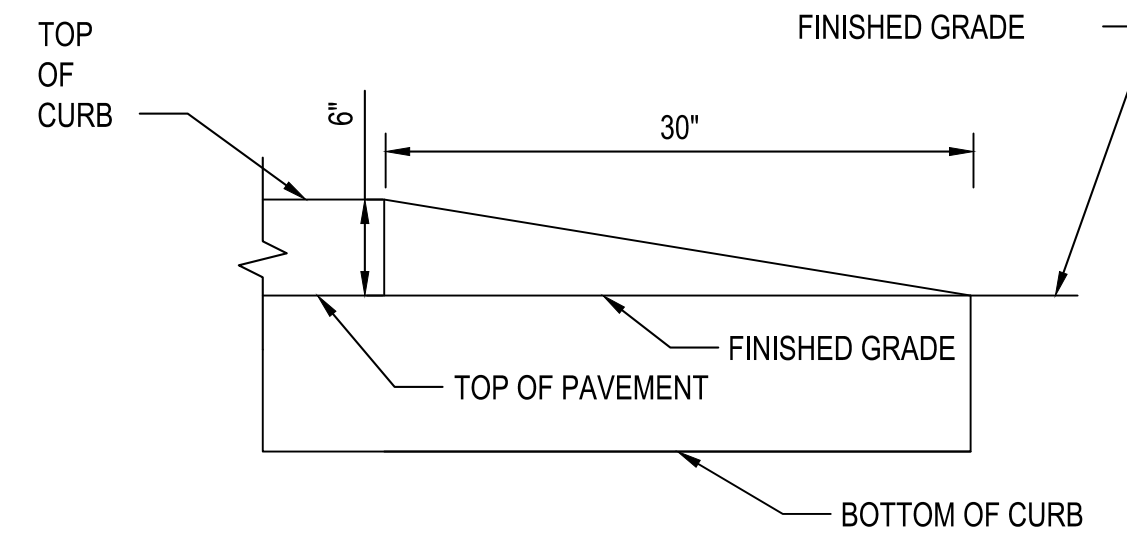
- NOTES:
1. CONCRETE SHALL BE 560-C-3250 P.C.C., CURED WITH WHITE PIGMENT COMPOUND.
  2. ALL EXPOSED CORNERS SHALL BE FINISHED WITH 1/4" RADIUS.
  3. FINISH SHALL BE FINE BROOM.
  4. EXISTING P.C.C. SHALL BE SAWCUT AT JOINT PRIOR TO REMOVAL.
  5. CURBS SHALL HAVE WEAKEND PLAN JOINTS AT 10' INTERVALS ONLY.
  6. SLOPE TOP OF CURB 1/4" PER FOOT TOWARDS STREET.

1 6" HIGH CURB  
SCALE: NTS

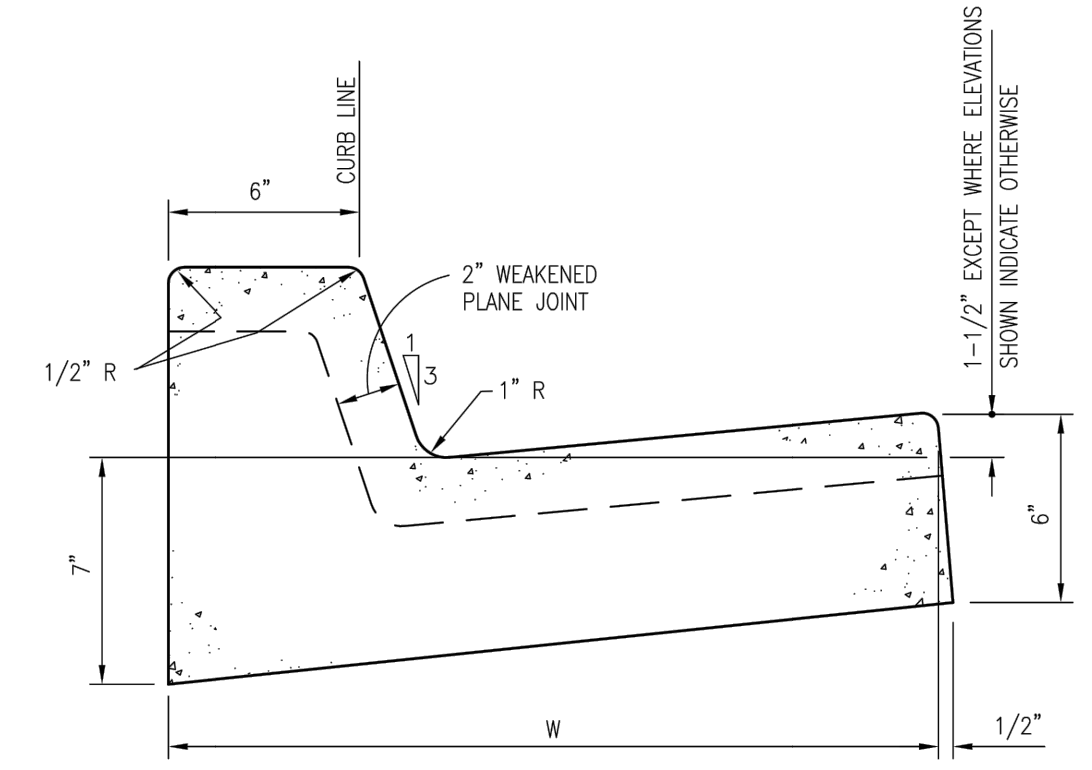


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  5. CURBS SHALL HAVE WEAKEND PLAN JOINTS AT 10' INTERVALS ONLY.
  6. SLOPE TOP OF CURB 1/4" PER FOOT TOWARDS STREET.

2 CONCRETE FLUSH CURB  
SCALE: NTS



3 CURB END TAPER  
SCALE: NTS



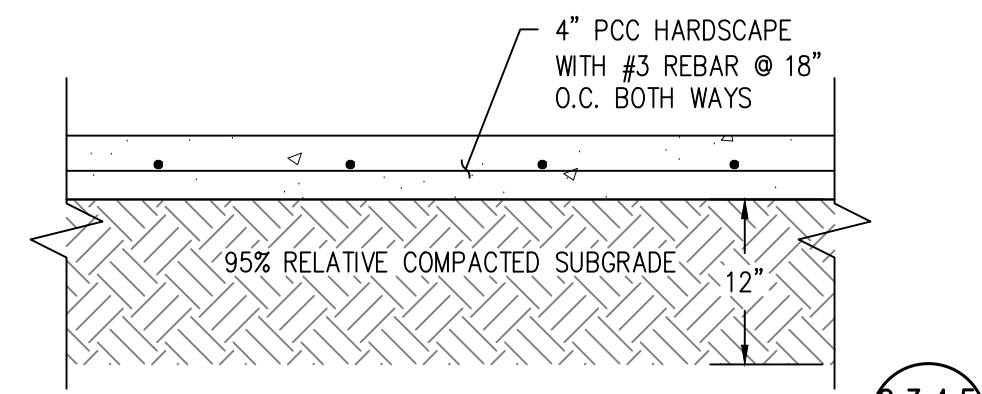
TYPE	W	*AREA
G	24"	1.34 SQ. FT.
H	30"	1.60 SQ. FT.

\* 6" CURB HEIGHT

- NOTES:
1. CONCRETE SHALL BE 520-C-2500.
  2. SEE STANDARD DRAWINGS G-9 AND G-10 FOR JOINT DETAILS.
  3. SLOPE TOP OF CURB 2% MAX TOWARD GUTTER.

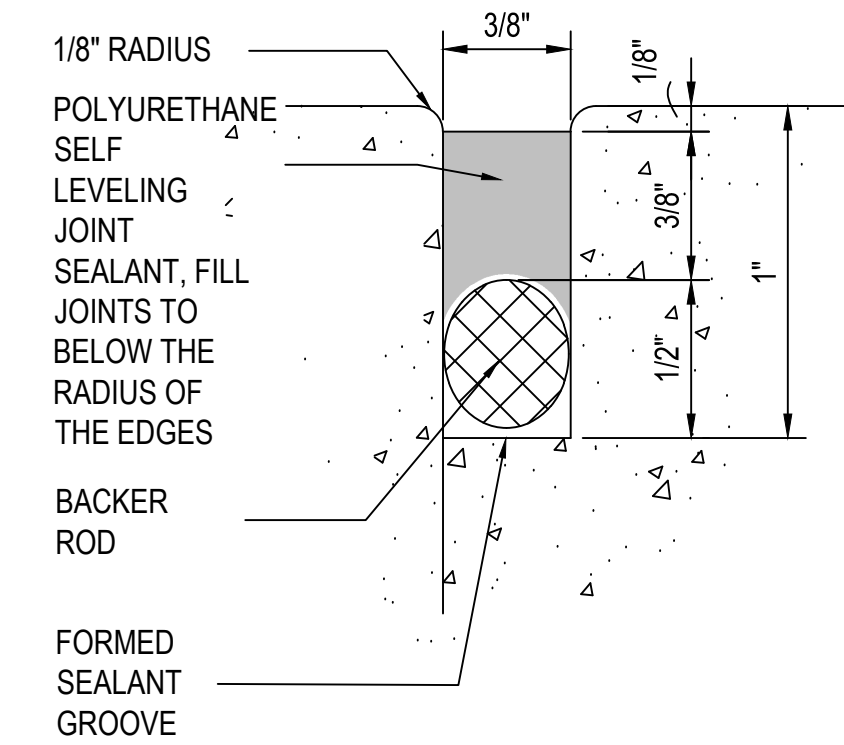
LEGEND ON PLANS

4 CONCRETE CURB & GUTTER - COMBINED (SDCSD G-02)  
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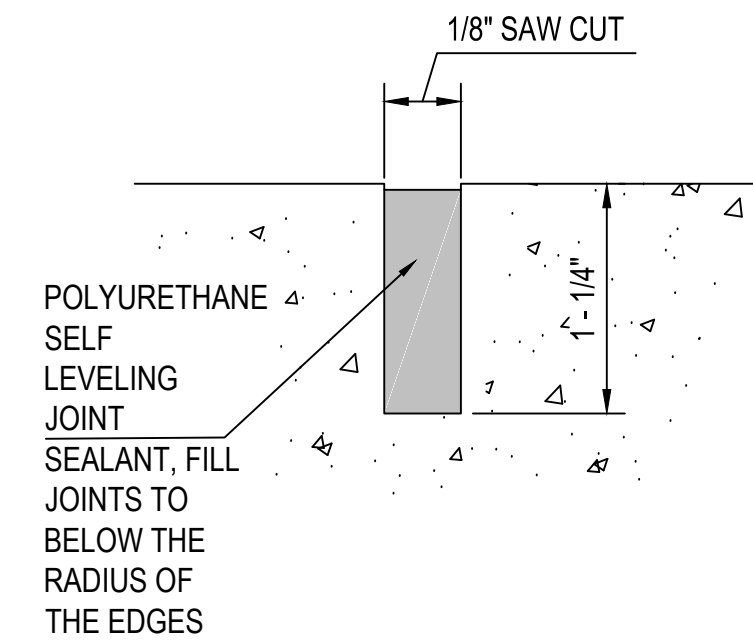


\* FOR JOINTING DETAILS SEE 2,3,4,5 C500

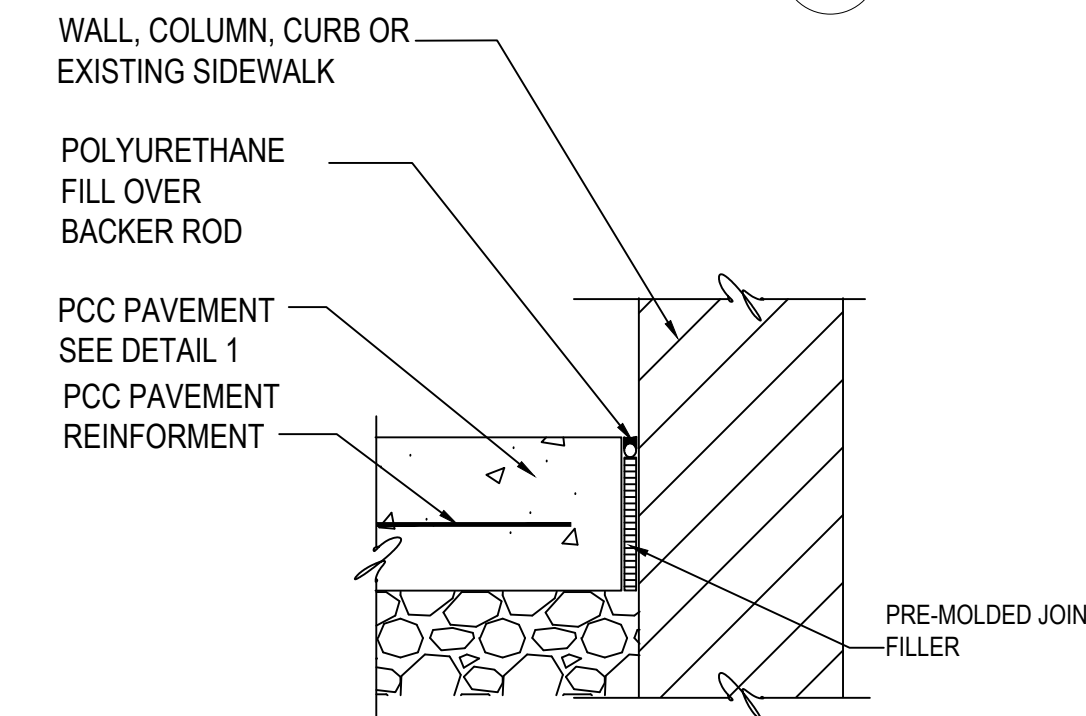
5 CONCRETE PAVEMENT (SIDEWALK)  
SCALE: NTS



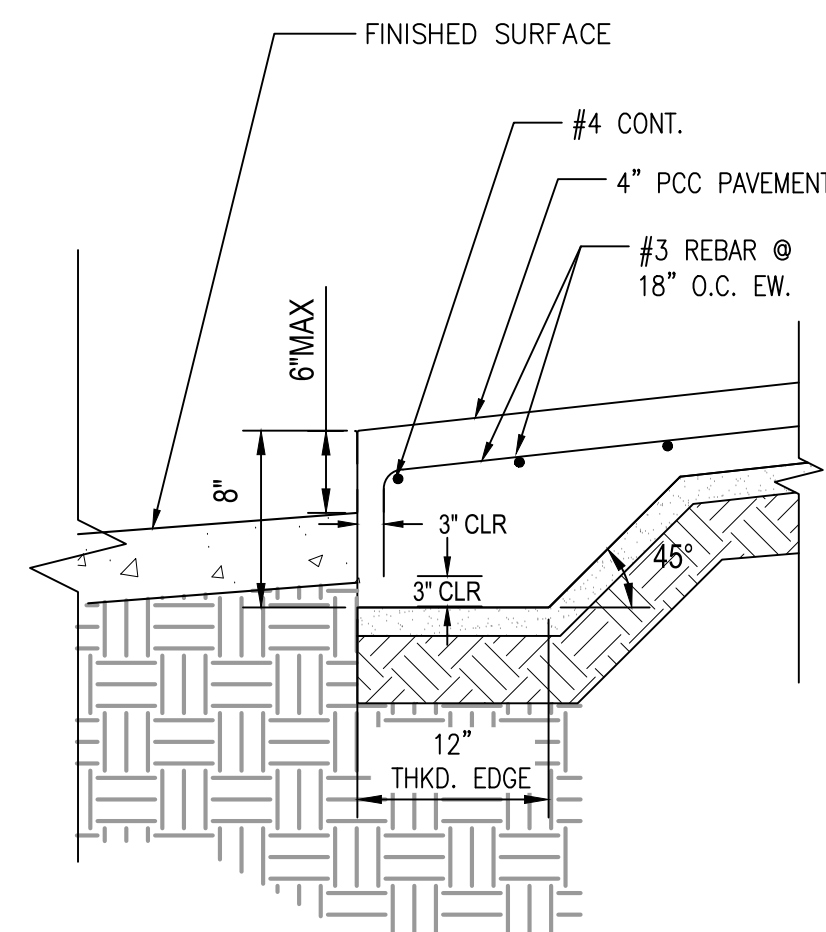
6 CONSTRUCTION JOINT  
SCALE: NTS



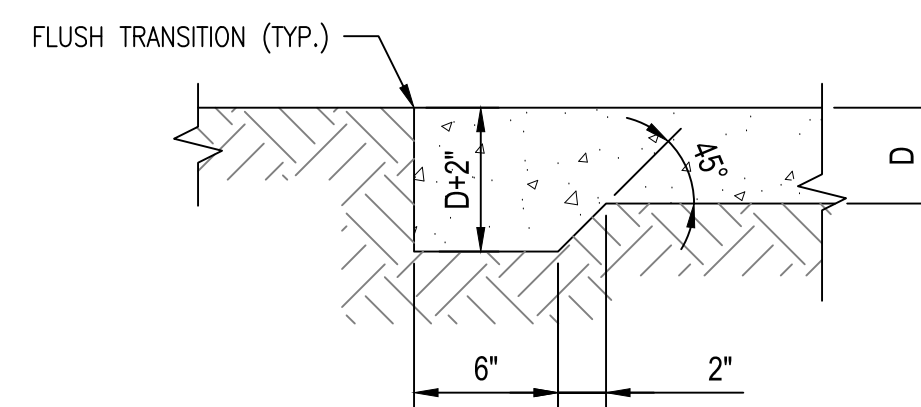
6 CONTRACTION JOINT  
SCALE: NTS



7 ISOLATION JOINT  
SCALE: NTS

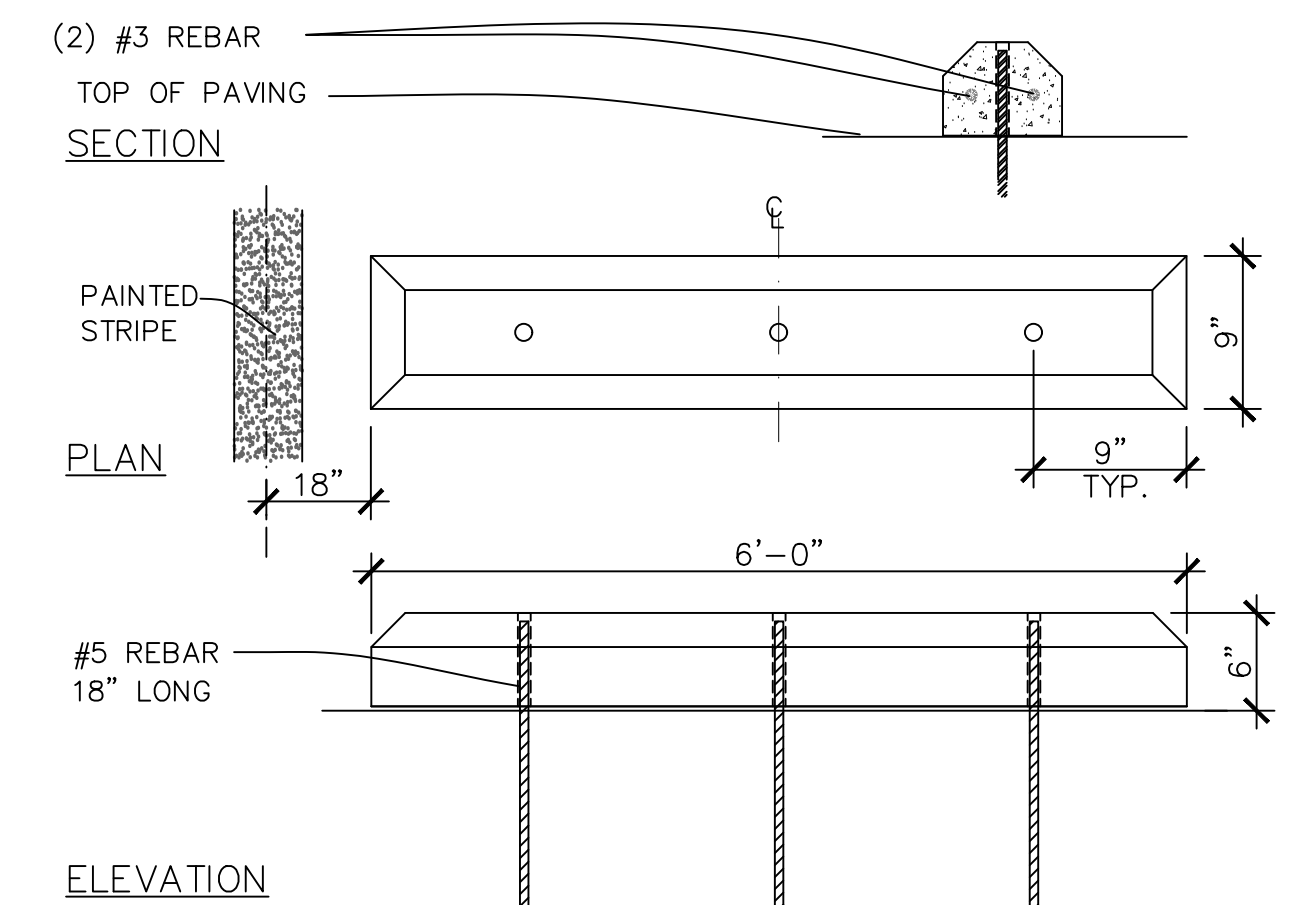


AT MAIN ENTRANCE STAIR



AT LANDSCAPE AREA

8 PCC THICKEN EDGE  
SCALE: NTS



9 CONCRETE WHEEL STOP  
SCALE: NTS

RECORD PLAN			
NAME:			
R.C.E.			
DATE:			
COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

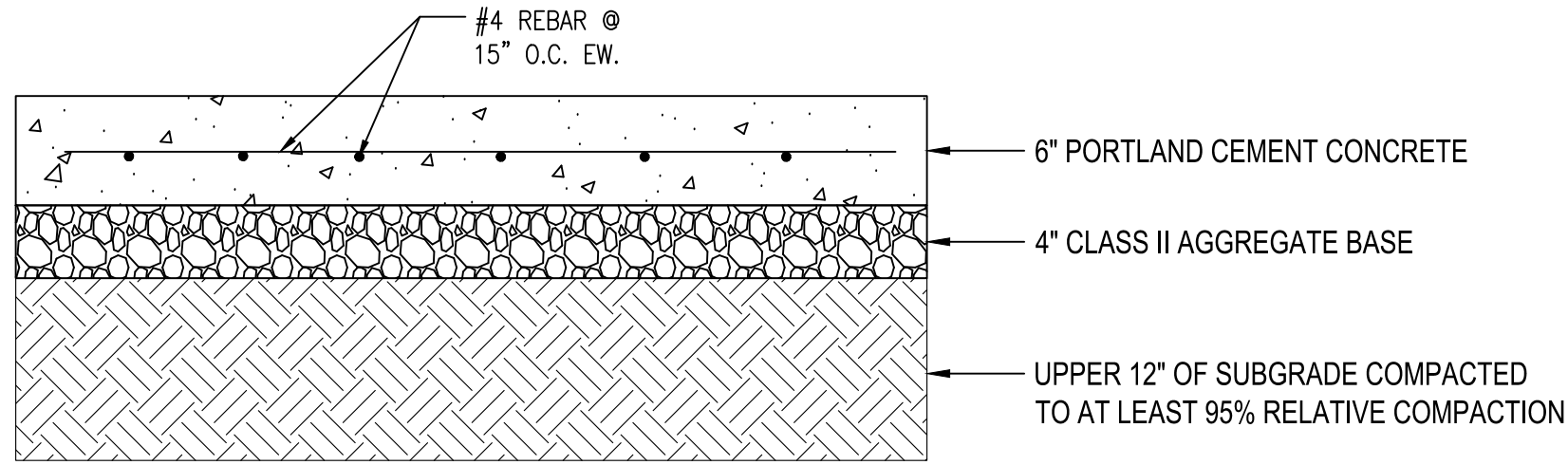
BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500
ELEVATION:	557.47
DATUM:	NAVD 1988



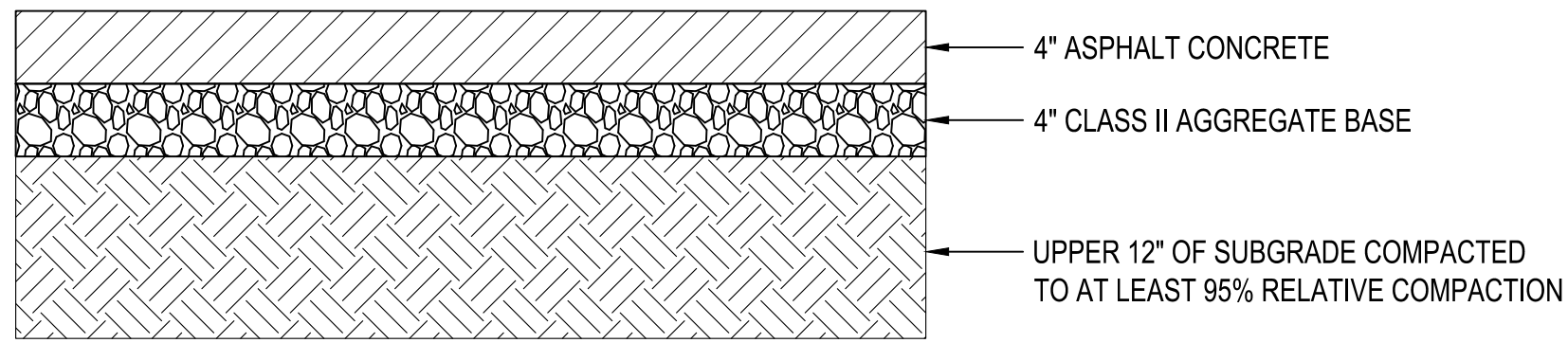
WSP USA Inc. 10525 Vista Sorrento Parkway Suite 350 San Diego, CA 92121-2704 TEL: 858-500-4500 FAX: 858-500-4501
---

PROPERTY OWNER INFORMATION	PLAN CHECK/PERMITS	PRIVATE CONTRACT
NAME: NNN RETAIL DEVELOPMENT ADDRESS: 15882 WAKEFIELD LN. SAN DIEGO, CA 92127  TELEPHONE NUMBER: 858-354-0007 (24 HOUR CONTACT NUMBER)  SITE A.P.N. NUMBER: 141-370-1700  SITE ADDRESS: WINWC PALM CANYO DR & DIGIORGIO RD. BORREGO SPRINGS, CA 92004	LANDSCAPE: PENDING SITE PLAN: PENDING WDID: PENDING  ENGINEER OF WORK ENGINEER OF WORK: MIKE MAGEE, PE COMPANY: WSP USA, INC. ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA, 92121 PHONE: 858-500-4500 SIGNATURE: <i>Mike Magee</i>	COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES  GRADING PLAN FOR: DOLLAR GENERAL STORE BORREGO SPRINGS, CALIFORNIA C-500  CALIFORNIA COORDINATE INDEX 394-1959 SHEET: 11 OF 16  APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER  ENGINEER OF WORK: MICHAEL E MAGEE RCE 85660 GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354

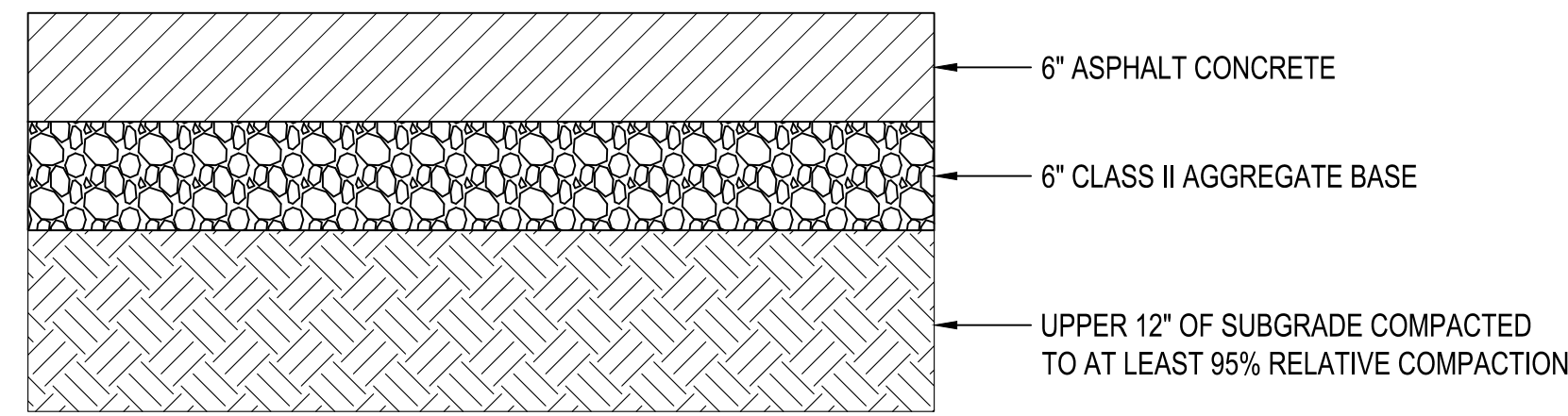




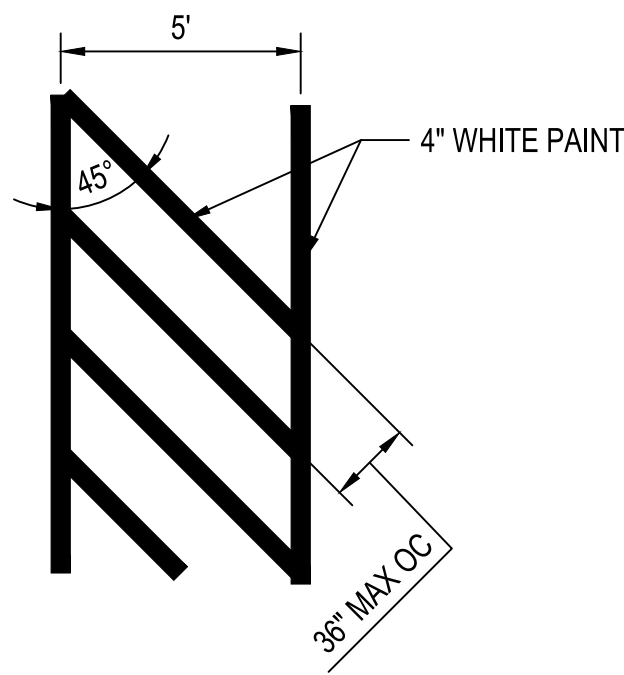
1 PORTLAND CEMENT CONCRETE PAVEMENT SECTION  
SCALE: NTS



2 ASPHALT CONCRETE PAVEMENT SECTION - PARKING STALLS  
SCALE: NTS

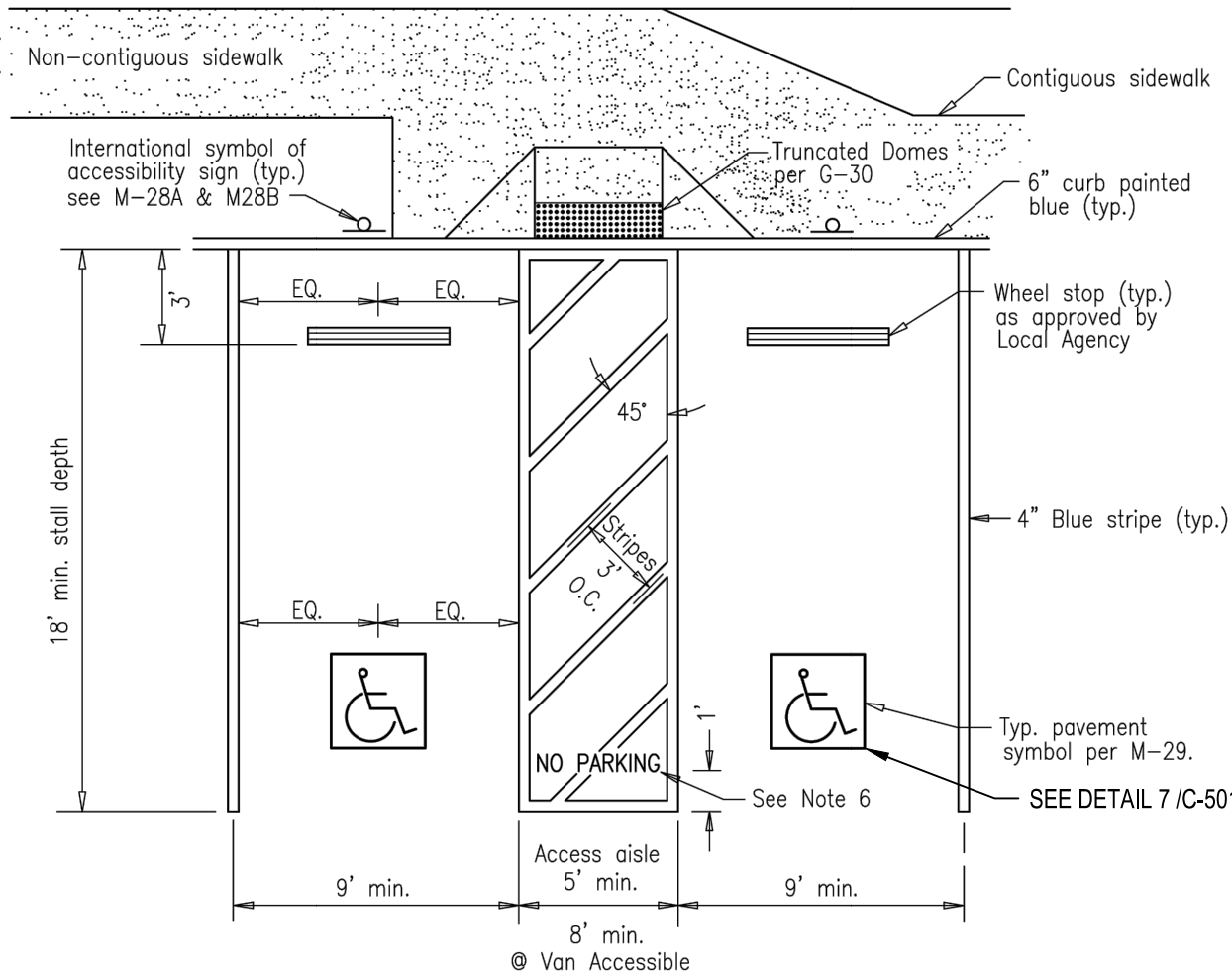


3 ASPHALT CONCRETE PAVEMENT SECTION - ROADWAY  
SCALE: NTS



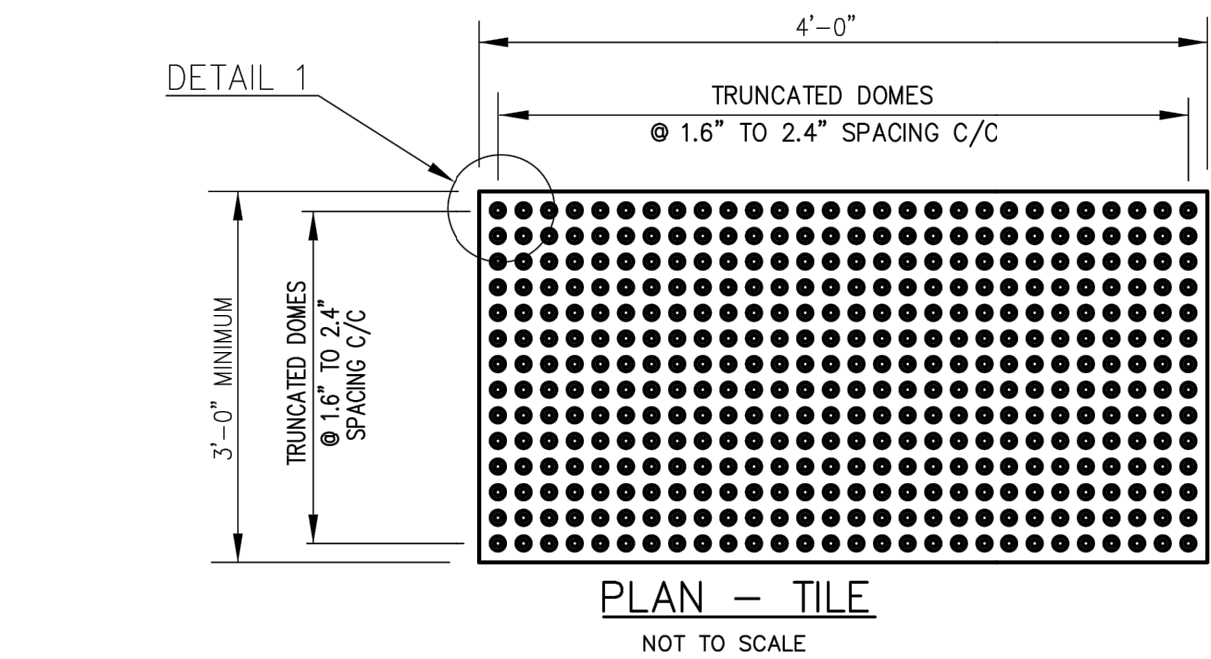
- TYPE 1
- NOTES:
1. THE CROSSWALK LINE SHALL BE PLACED AT THE ANGLE OF THE TRAVEL LANES AND TRAVERSE THE PEDESTRIAN CROSSING.
  2. A CROSSWALK LINE SHALL BE PLACED TO AVOID WHEEL PATHS. THIS IS IDEALLY DONE BY CENTERING THE LINES AT THE EDGE OF EACH TRAVEL LANE AND IN THE CENTER OF EACH TRAVEL LANE DUE TO VARYING LANE WIDTHS THIS IS SOMETIMES NOT POSSIBLE.
  3. CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST SAN DIEGO COUNTY STANDARDS.

4 PEDESTRIAN CROSSING PAVEMENT MARKING  
SCALE: NTS

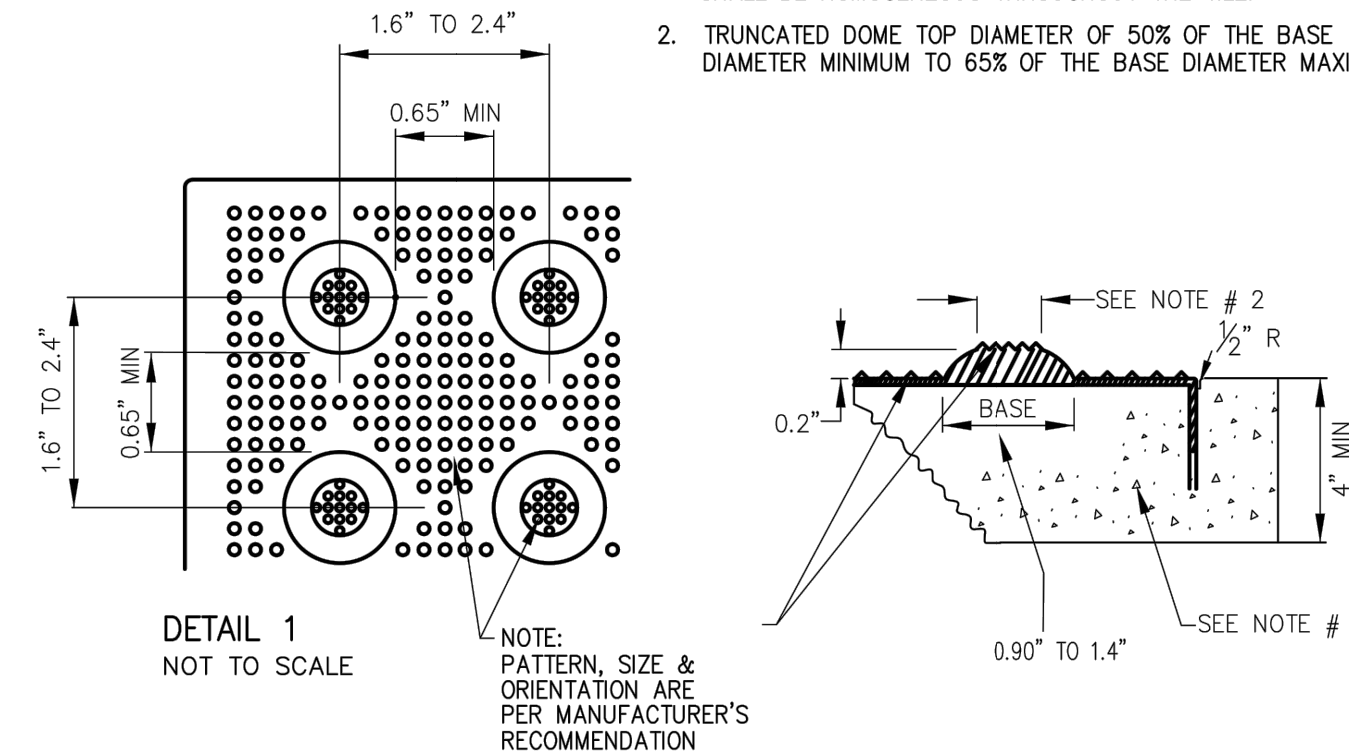


- NOTES:
1. Provide for adequate drainage.
  2. For appropriate ramp alternate to conform to topographical conditions, see standard drawings G-27 through G-32B.
  3. Blue color should match color No. 15090 in the Federal Standard 595a as specified in Section 522(b)2.
  4. If only one accessible parking stall is going to be provided, the access aisle shall be 8' (van accessible) and located on the passenger side.
  5. Sidewalk cross slope shall not exceed 2.0%.
  6. "NO PARKING" 12" high stencil marking, reflective white over blue stripes.

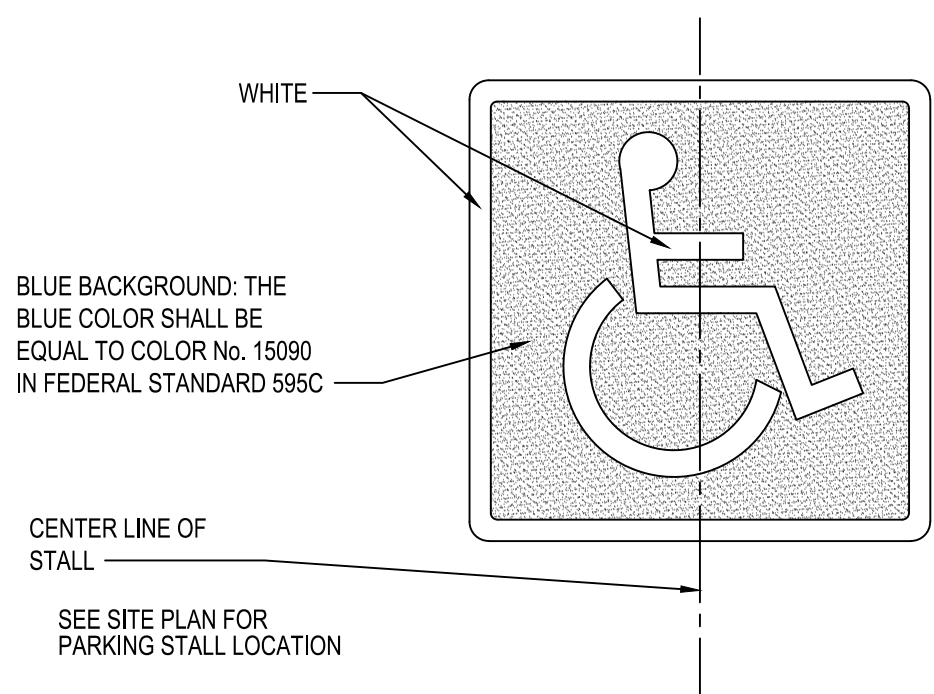
5 ACCESSIBLE PARKING MARKING  
SCALE: NTS



- NOTES
1. DETECTABLE WARNING SURFACE COLOR SHALL BE YELLOW CONFORMING TO FEDERAL STANDARDS 595B TABLE IV, COLOR NO. 33538, OR AS SPECIFIED BY THE AGENCY. COLOR SHALL BE HOMOGENEOUS THROUGHOUT THE TILE.
  2. TRUNCATED DOME TOP DIAMETER OF 50% OF THE BASE DIAMETER MINIMUM TO 65% OF THE BASE DIAMETER MAXIMUM.



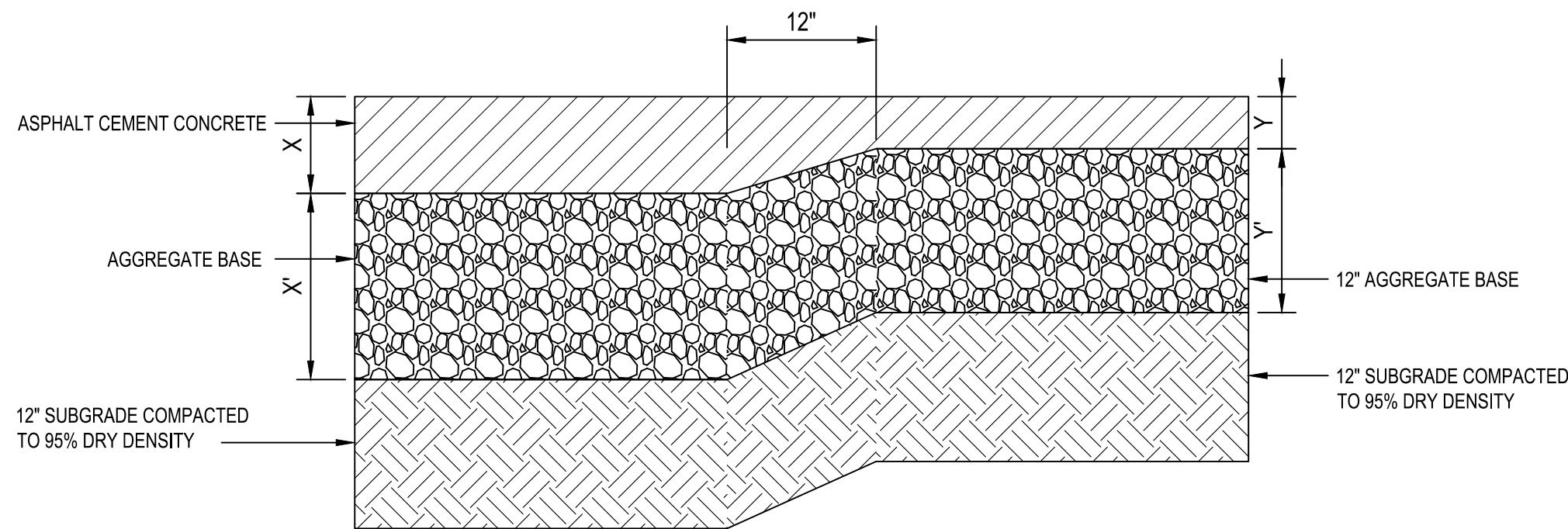
6 TRUNCATED DOMES (SDCSD G-30)  
SCALE: NTS



NOTE:  
A 36 BY 36-INCH BLUE BACKGROUND WITH A WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PARKING SPACE SURFACE VISIBLE TO TRAFFIC ENFORCEMENT OFFICERS WHEN VEHICLES ARE PROPERLY PARKED IN THE SPACE.

THE PARKING SPACE SHALL BE OUTLINED OR PAINTED BLUE WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OUTLINE IN WHITE OR OTHER SUITABLE CONTRASTING COLOR.

7 ISA SYMBOL MARKING DETAIL  
SCALE: NTS



8 VARIOUS DEPTH AC TO AC PAVEMENT TRANSITION DETAIL  
SCALE: NTS

RECORD PLAN			
NAME: _____			
R.C.E. _____			
DATE: _____			
COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500
ELEVATION:	557.47
DATUM:	NAVD 1988

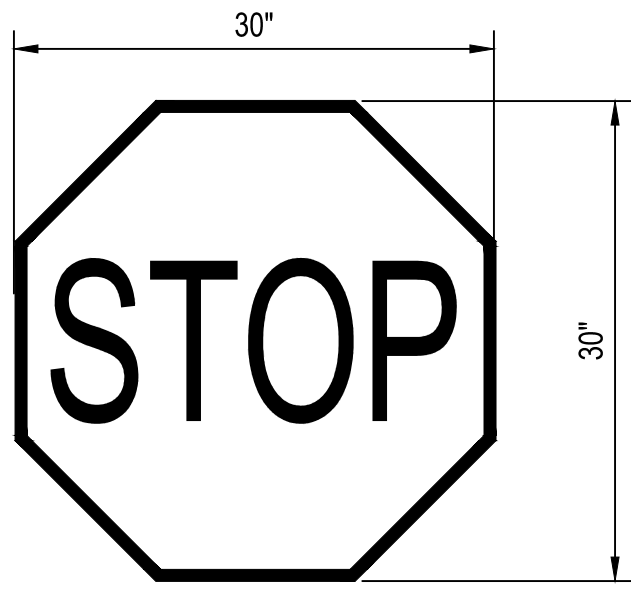
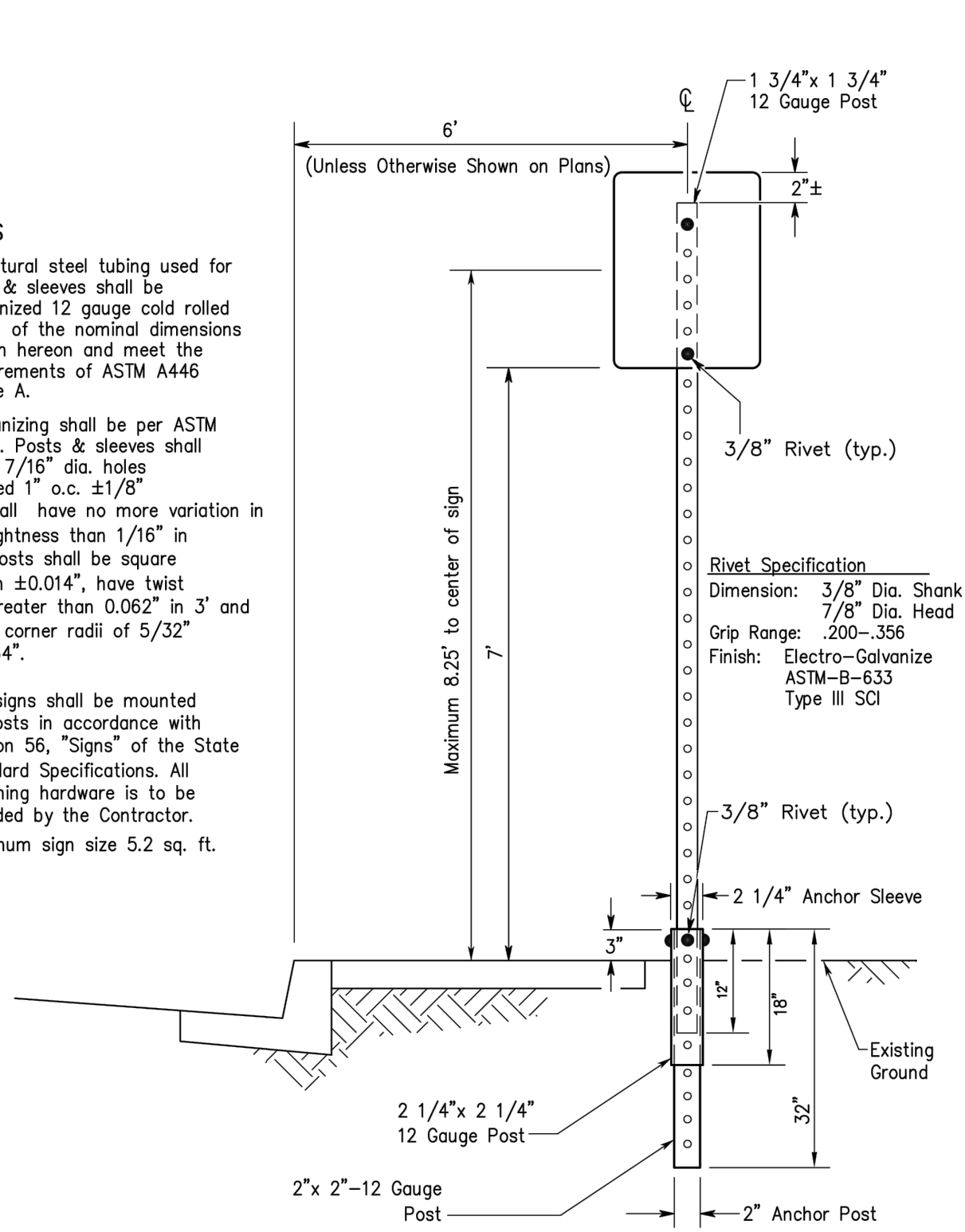
WSP USA Inc.  
10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
FAX: 858-500-4501

PROPERTY OWNER INFORMATION	PLAN CHECK/PERMITS	PRIVATE CONTRACT
NAME: <u>NNN RETAIL DEVELOPMENT</u>	LANDSCAPE: <u>PENDING</u>	COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES
ADDRESS: <u>15882 WAKEFIELD LN.</u> <u>SAN DIEGO, CA 92127</u>	SITE PLAN: <u>PENDING</u>	GRADING PLAN FOR: DOLLAR GENERAL STORE BORRERO SPRINGS, CALIFORNIA
TELEPHONE NUMBER: <u>858-354-0007</u> (24 HOUR CONTACT NUMBER)	WDID: <u>PENDING</u>	CALIFORNIA COORDINATE INDEX <u>394-1959</u>
SITE A.P.N. NUMBER: <u>141-370-1700</u>	ENGINEER OF WORK	SHEET: <u>12</u> OF <u>16</u>
SITE ADDRESS: <u>WINWC PALM CANYO DR &amp; DIGIORGIO RD.</u> <u>BORRERO SPRINGS, CA 92004</u>	ENGINEER OF WORK: MIKE MAGEE, PE COMPANY: WSP USA, INC. ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA, 92121 PHONE: 858-500-4500 SIGNATURE:	APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER
		GRADING PERMIT NUMBER: <u>PDS2021-LDGRMJ-30354</u>



NOTES

1. Structural steel tubing used for post & sleeves shall be galvanized 12 gauge cold rolled steel, of the nominal dimensions shown hereon and meet the requirements of ASTM A446 Grade A.
2. Galvanizing shall be per ASTM A525. Posts & sleeves shall have 7/16" dia. holes spaced 1" o.c.  $\pm 1/8"$  & shall have no more variation in straightness than 1/16" in 3'. Posts shall be square within  $\pm 0.014"$ , have twist no greater than 0.062" in 3' and have corner radii of 5/32"  $\pm 1/64"$ .
3. The signs shall be mounted on posts in accordance with Section 56, "Signs" of the State Standard Specifications. All fastening hardware is to be provided by the Contractor.
4. Maximum sign size 5.2 sq. ft.



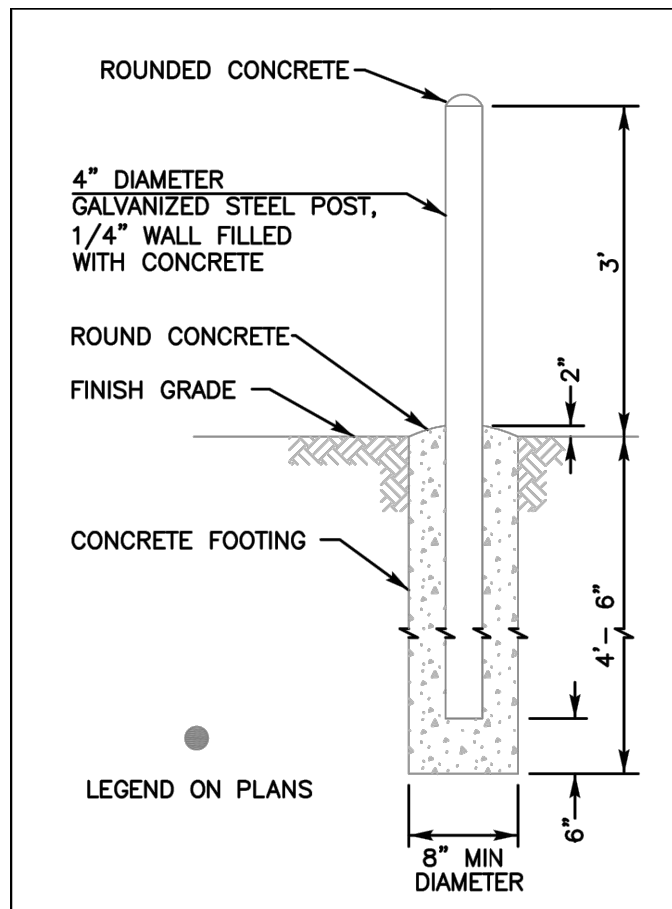
30"X30" STOP SIGN

NOTES:

1. SEE PLANS FOR LOCATIONS OF SIGNS.
2. COLOR: RED BACKGROUND AND WHITE BORDER AND LETTERS.
3. 3M ENGINEER GRADE REFLECTIVE SHEETING.
4. THICKNESS TO BE 0.063 GA. ALUMINUM.

1

STOP SIGN AND POST DETAIL  
SCALE: N.T.S.

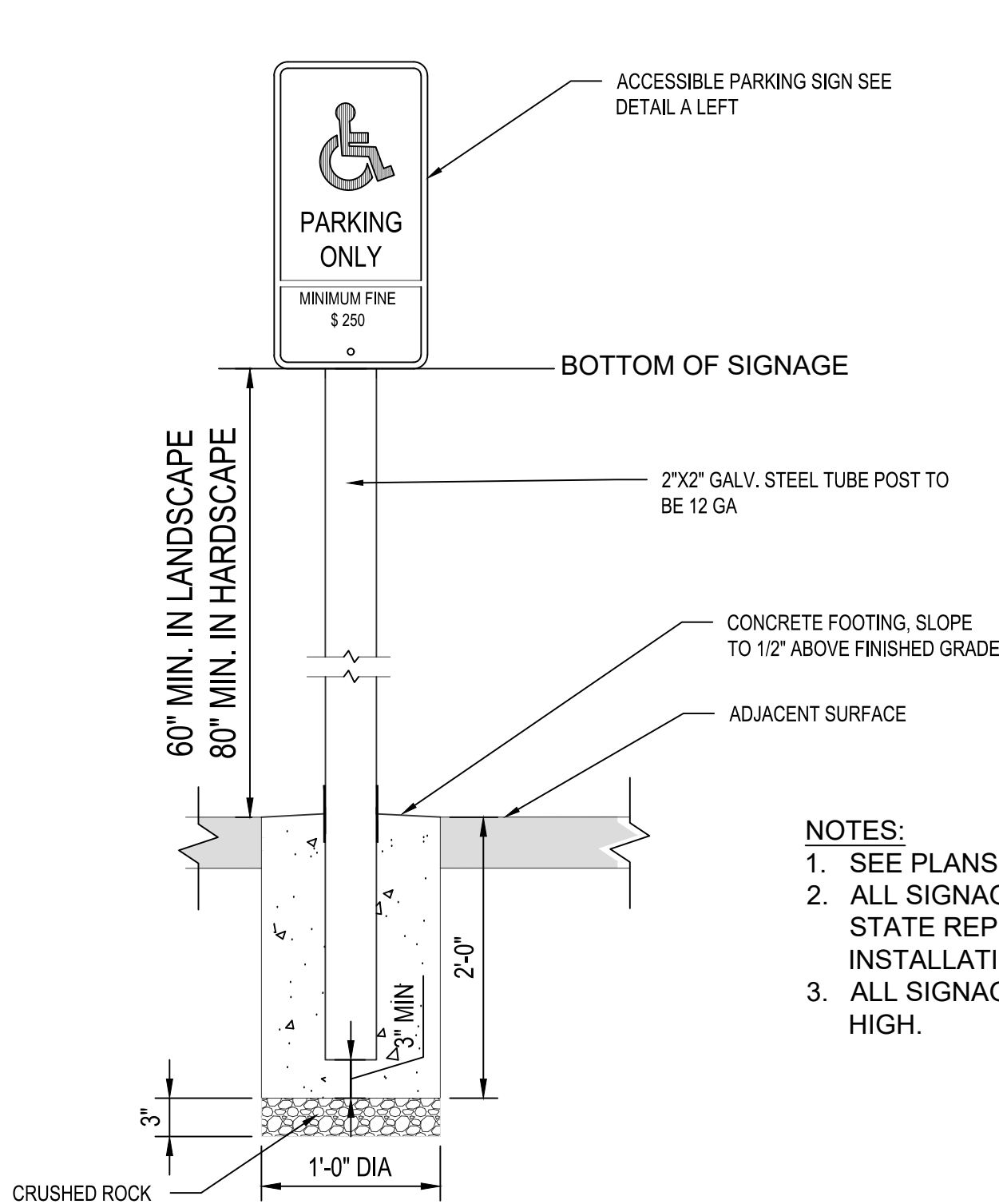


NOTE:

1. BOLLARD SHALL BE COATED USING SAFETY YELLOW IN ACCORDANCE WITH AGENCY'S STANDARD.

3

PROTECTION BOLLARD DETAIL  
SCALE: N.T.S.



NOTES:

1. SEE PLANS FOR LOCATIONS OF SIGNS.
2. ALL SIGNAGE TO BE APPROVED BY STATE REPRESENTATIVE PRIOR TO INSTALLATION.
3. ALL SIGNAGE LETTERING TO BE MIN. 1" HIGH.

SIGN SIZE 70 SQ. IN. MINIMUM IN-SIZE

INTERNATIONAL SYMBOL OF ACCESSIBILITY

ALTERNATE SIGN AT VAN PARKING



(B)



(A)

SIGN AT ACCESSIBLE PARKING

PROVIDE AND INSTALL ACCESSIBLE PARKING SIGN WHERE INDICATED ON THE DRAWINGS. SIGN SHALL BE A MINIMUM OF 70 SQUARE INCHES MOUNTED ON A POST. BOTTOM OF SIGN SHALL BE 6'-8" ABOVE GRADE. SIGN SHALL BE A BLUE BACKGROUND, COLOR NUMBER 15090 FEDERAL STANDARDS 695C, WITH A WHITE, REFLECTORIZED FINISH, 6" HIGH INTERNATIONAL SYMBOL OF ACCESSIBILITY. TEXT TO BE 1" HIGH MIN. COLOR WHITE - TYP.



DETAIL A

2


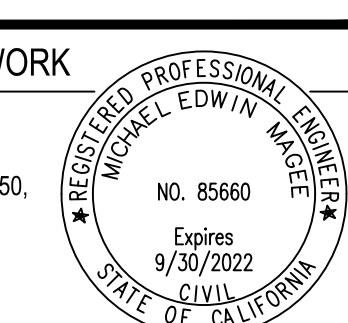
ACCESSIBLE PARKING SIGN DETAIL  
SCALE: N.T.S.

RECORD PLAN			
NAME: _____			
R.C.E. _____			
DATE: _____			
COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

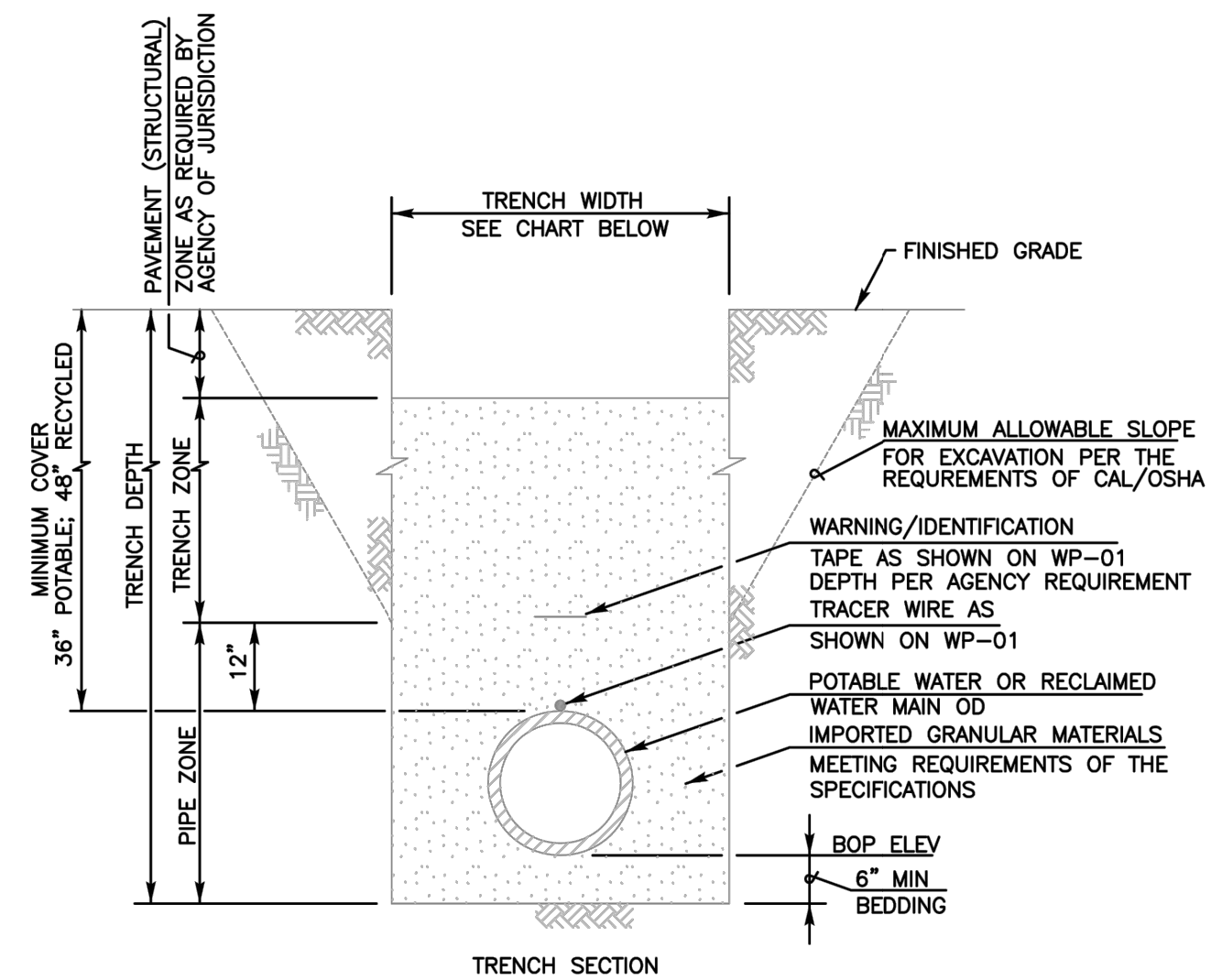
BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
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WSP USA Inc.  
10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
FAX: 858-500-4501

PROPERTY OWNER INFORMATION	PLAN CHECK/PERMITS	PRIVATE CONTRACT
NAME: NNN RETAIL DEVELOPMENT	LANDSCAPE: PENDING	COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES
ADDRESS: 15882 WAKEFIELD LN. SAN DIEGO, CA 92127	SITE PLAN: PENDING	GRADING PLAN FOR: DOLLAR GENERAL STORE BORRERO SPRINGS, CALIFORNIA
TELEPHONE NUMBER: 858-354-0007 (24 HOUR CONTACT NUMBER)	WDID: PENDING	C-502
SITE A.P.N. NUMBER: 141-370-1700	ENGINEER OF WORK	CALIFORNIA COORDINATE INDEX 394-1959
SITE ADDRESS: WINWC PALM CANYO DR & DIGIORGIO RD. BORRERO SPRINGS, CA 92004	ENGINEER OF WORK: MIKE MAGEE, PE COMPANY: WSP USA, INC. ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA, 92121 PHONE: 858-500-4500 SIGNATURE: 	APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER
		ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354
		BY: _____ DATE: _____



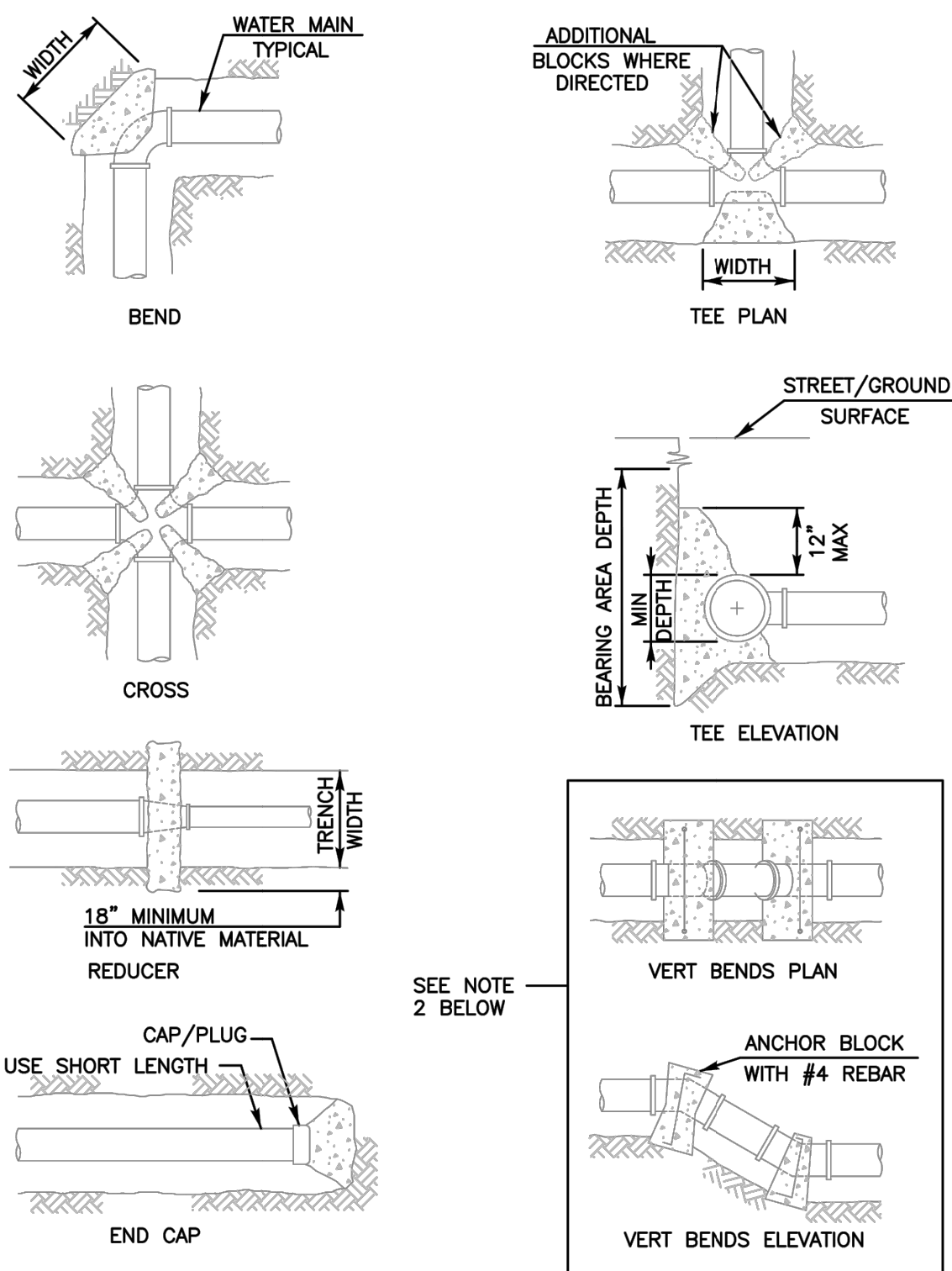


- NOTES:
- 1) REFER TO AGENCY SPECIFICATIONS WHERE APPLICABLE
  - 2) PAVING OR PAVEMENT REPAIR TO BE DONE IN ACCORDANCE TO CITY OR COUNTY STANDARDS
  - 3) EXCAVATE BELL HOLES AT EACH PIPE JOINT TO PERMIT PROPER ASSEMBLY AND INSPECTION OF THE ENTIRE JOINT
  - 4) ALL PIPELINE TRENCHES SHALL BE EXCAVATED SO THAT THE DISTANCE BETWEEN TRENCH WALLS AT THE TOP OF PIPE SHALL BE AS SHOWN BELOW:

TRENCH WIDTH		
NOMINAL PIPE INSIDE DIAMETER	MINIMUM DISTANCE	MAXIMUM DISTANCE
4" & SMALLER	18"	28"
6" & 8"	24"	32"
10" & 12"	28"	36"
16" THRU 36"	OD PLUS 24"	OD PLUS 36"

#### 1 PIPE BEDDING & TRENCH BACKFILL FOR WATER PIPE

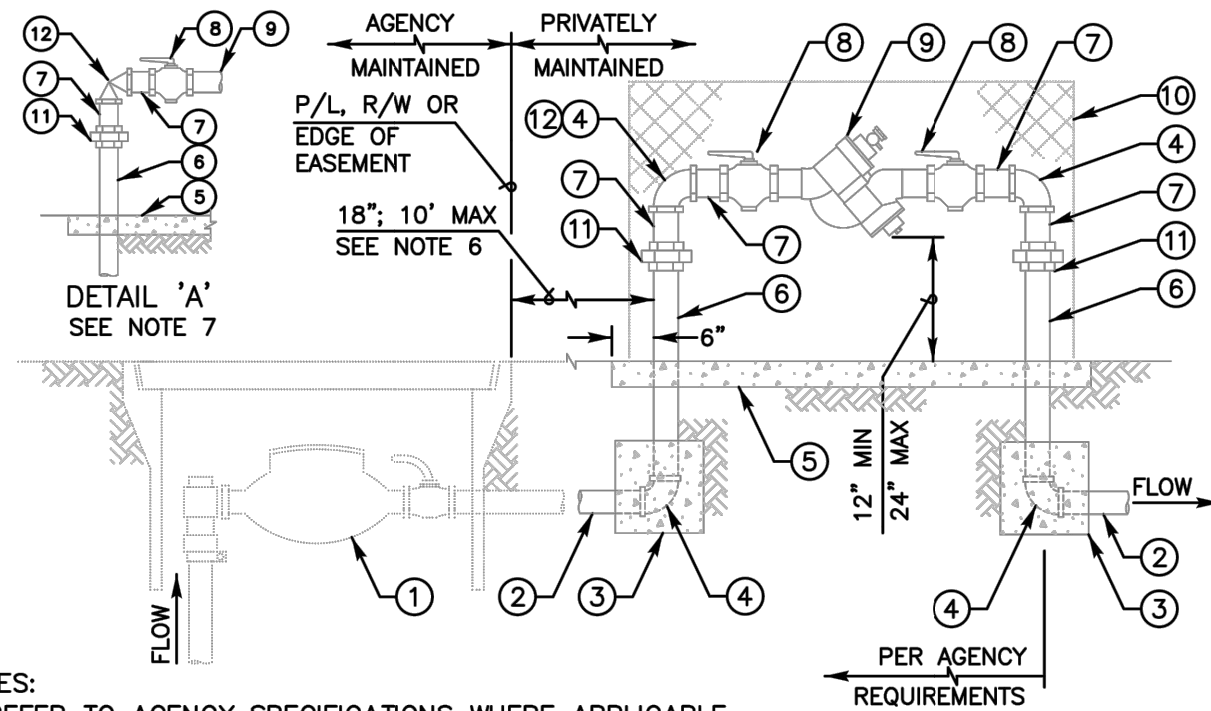
SCALE: NTS



- NOTES:
- 1) FOR ADDITIONAL THRUST BLOCKS, ANCHOR BLOCKS AND NOTES SEE WT-01 (2 OF 3) & (3 OF 3)
  - 2) THE ANCHOR BLOCKS ON VERTICAL BENDS REQUIRE AGENCY APPROVAL

#### 4 CONCRETE THRUST & ANCHOR BLOCK INSTALLATION (SDCSD WT-01)

SCALE: NTS



- NOTES:
- 1) REFER TO AGENCY SPECIFICATIONS WHERE APPLICABLE
  - 2) INSTALL WARNING/IDENTIFICATION TAPE AS SHOWN ON WP-01
  - 3) LOCATE BACKFLOW PREVENTION DEVICE (BPD) IN SUCH A MANNER THAT WILL ALLOW THE DEVICE TO BE READILY ACCESSIBLE FOR INSPECTION AND REPAIR
  - 4) STRAINERS SHALL NOT BE INSTALLED PRIOR TO THE FIRST SHUT-OFF VALVE
  - 5) ALL ABOVE GROUND PIPING, UNIONS, ELBOWS, & NIPPLES SHALL BE SOLDERED OR THREADED BRASS
  - 6) INSTALL A CASING ENCASED IN CONCRETE WHEN THE DISTANCE BETWEEN THE METER BOX AND THE RISER TO THE BPD EXCEEDS 18"
  - 7) INSTALL AN ANGLE PRESSURE REDUCING VALVE IN LIEU OF THE FIRST 90° ELL WHEN SYSTEM PRESSURE EXCEEDS 150 PSI PER AGENCY SPECIFICATIONS
  - 8) TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH AGENCY SPECIFICATIONS PRIOR TO ACCEPTANCE
  - 9) BPD & APPURTENANCES INSTALLED FOR THE USE OF RECYCLED WATER SHALL BE IDENTIFIED AS DESCRIBED IN AGENCY SPECIFICATIONS
  - 10) MATERIALS SHALL BE SELECTED FROM THE AGENCY'S APPROVED MATERIALS LIST
  - 11) BACKFLOW AND WATER METER SHALL BE OF EQUAL SIZE

RP W  
RP RW  
LEGEND ON PLANS

#### 2 3/4 TO 2 INCH REDUCED PRESSURE BACKFLOW PREVENTION DEVICE (SDCSD WR-01)

SCALE: NTS

VALVE SUPPORT BLOCK		
VALVE SIZE	DIMENSION "A"	DIMENSION "B"
4"	12"	12"
6"	12"	12"
8"	13"	14"
10"	14"	16"
12"	15"	18"
DIMENSION "C" = TRENCH WIDTH PLUS TWO TIMES THE PIPE DIAMETER		

THRUST AND ANCHOR BLOCKS					
MINIMUM BEARING AREA IN SQUARE FOOT					
MAIN SIZE	TEES	90° BEND	45° BEND	22½° BEND	
4"	4	5	3	1.5	
6"	8	10	5	2.5	
8"	12	16	9	4.5	
10"	17	24	13	6.5	
12"	24	33	19	9.5	

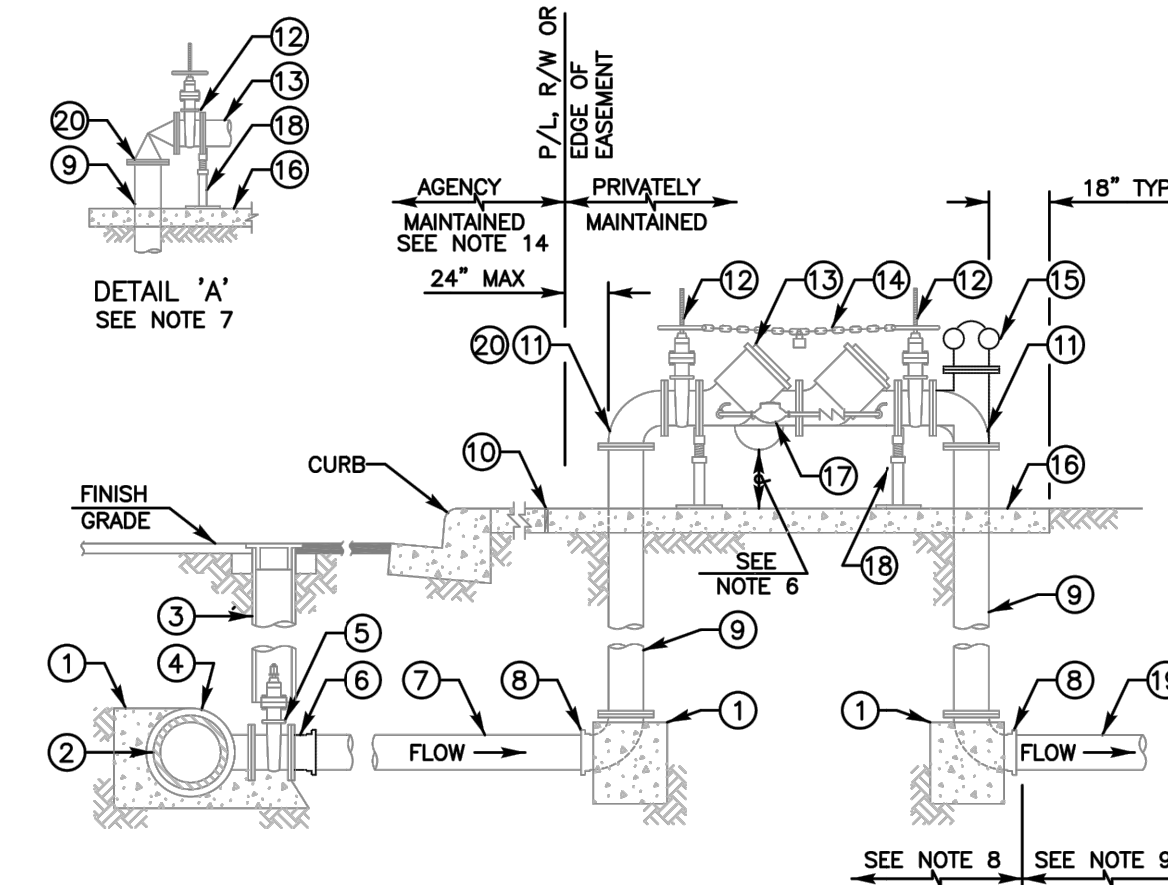
  

VALVE SUPPORT PLAN	
TRENCH	DIMENSION "C"

VALVE SUPPORT ELEVATION	
BOTTOM OF TRENCH TYP	DIM "A" CLEAR BELL OR FLG, SEE NOTE 5
CONCRETE BLOCK TYPICAL	DIM "B"
	DIMENSION "C"

- NOTES:
- 1) REFER TO AGENCY SPECIFICATIONS WHERE APPLICABLE
  - 2) BEARING AREA BASED ON SOIL BEARING VALUE OF 1500 PSF AND 225 PSI LINE PRESSURE AND A MINIMUM OF 36" COVER FOR BEARING= 1000 PSF, 1.5 x AREA SHOWN FOR BEARING= 500 PSF, 3.0 x AREA SHOWN
  - 3) DESIGN ENGINEER SHALL DETERMINE SIZES, REFER TO AGENCY SPECIFICATIONS FOR THRUST AND ANCHOR BLOCK SIZING
  - 4) THRUST BLOCKS SHALL BE CENTERED ON THE FITTING SO THAT THE BEARING AREA IS EXACTLY OPPOSITE THE RESULTANT DIRECTION OF THRUST
  - 5) CONCRETE SHALL BE PLACED SO THAT FITTINGS AND VALVES WILL BE ACCESSIBLE FOR REPAIR OR REPLACEMENT
  - 6) ALL THRUST AND ANCHOR BLOCKS SHALL BE POURED AGAINST WETTED UNDISTURBED SOIL
  - 7) FOR MINIMUM CONCRETE CURING TIME REFER TO AGENCY SPECIFICATIONS
  - 8) FOR ADDITIONAL THRUST BLOCKS SEE WT-01 (1 OF 3) & (3 OF 3)



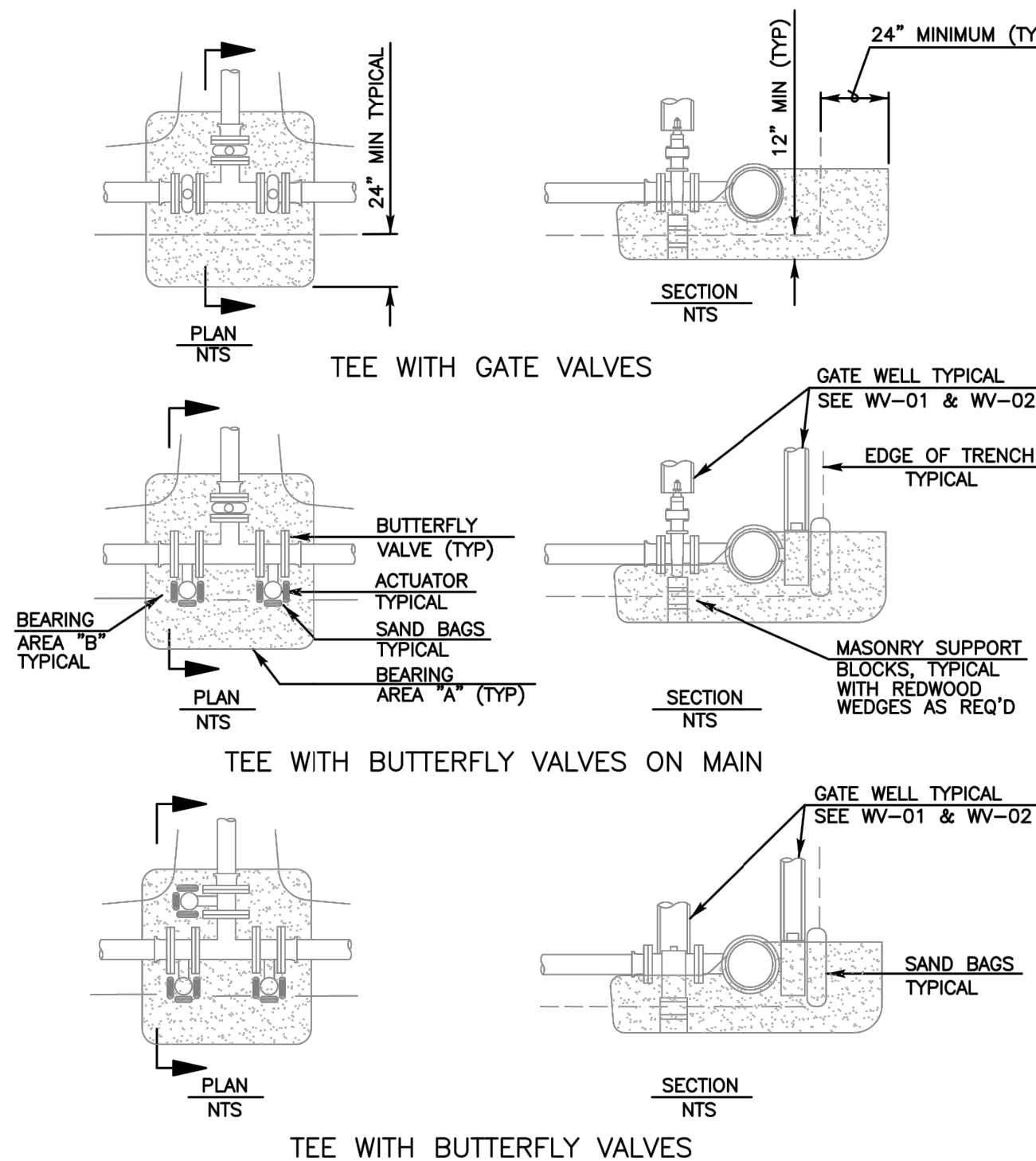
FOR NOTES REGARDING THE INSTALLATION OF FIRE SERVICES SEE WF-05 SHEET 2 OF 2

RPFS  
LEGEND ON PLANS

ITEM NO	SIZE AND DESCRIPTION	ITEM NO	SIZE AND DESCRIPTION
1	CONCRETE THRUST BLOCK SEE WT-01	13	RPDA UNLESS OTHERWISE SPECIFIED BY AGENCY OF JURISDICTION SEE NOTE 4
2	WATER MAIN	14	CHAIN WITH KNOX LOCK SEE NOTE 4
3	GATE WELL WITH CAP SEE WV-01 OR WV-02	15	FLANGED TEE WITH "FDC" SEE NOTE 4
4	SIZE x SIZE MJ/PO/FLG x FLG TEE	16	CONCRETE SLAB AS REQUIRED BY AGENCY OF JURISDICTION, MINIMUM 4" THICK x 36" WIDE x AS REQUIRED
5	FLG x MJ/PO/FLG RWGV		
6	FLG x MJ/PO ADAPTER (IF REQUIRED)		
7	C-900 PVC PIPE	17	3/4" BYPASS, METER & RP DEVICE
8	MJ/PO x FLG 90° BEND	18	ADJUSTABLE VALVE SUPPORT
9	FLANGED DUCTILE IRON PIPE	19	PVC OR DI PIPE SEE NOTE 9
10	COLD JOINT STRIP	20	FLANGED ANGLE PRESSURE REDUCING VALVE SEE NOTE 7
11	FLANGED 90° BEND, SEE NOTE 7		
12	FLANGED OS&Y RWGV WITH HAND WHEEL		

#### 3 4 INCH & LARGER FIRE SERVICE INSTALLATION (SDCSD WF-05)

SCALE: NTS



- NOTES:
- 1) BEARING AREA "B" MUST BE EQUAL TO OR GREATER THAN THE AREA REQUIRED FOR A 90° ELBOW INSTALLATION
  - 2) INSTALL SAND BAGS AROUND BUTTERFLY VALVE ACTUATOR TO ISOLATE IT FROM CONCRETE
  - 3) BFRYS INSTALLED AT CROSSES OR TEES REQUIRE A FLANGED DUCTILE IRON SPOOL TO BE INSTALLED BETWEEN THE FITTING AND VALVE IN ACCORDANCE WITH THE AGENCY SPECIFICATIONS

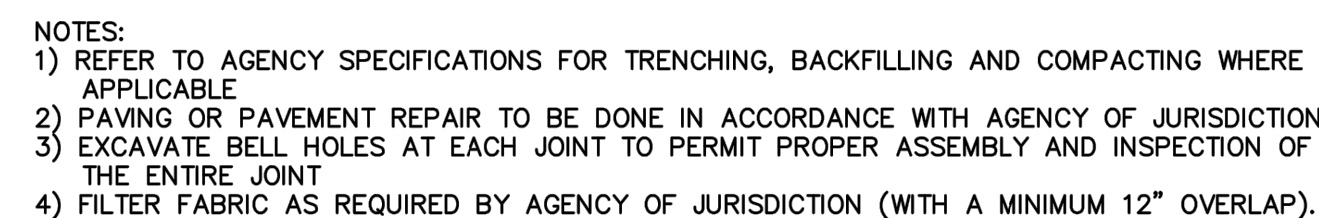
RECORD PLAN			
NAME:			
R.C.E.			
DATE:			
COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

BENCH MARK	
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500
ELEVATION:	557.47
DATUM:	NAVD 1988

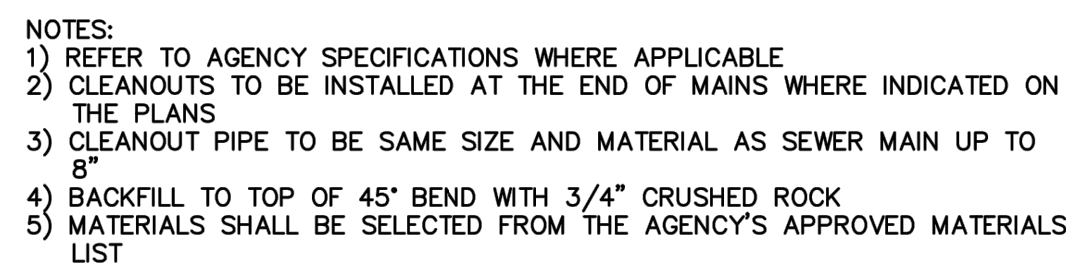
<b>DIGALERT</b> 811	<b>wsp</b> WSP USA Inc. 10525 Vista Sorrento Parkway Suite 350 San Diego, CA 92121-2704 TEL: 858-500-4500 FAX: 858-500-4501
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PROPERTY OWNER INFORMATION	PLAN CHECK/PERMITS	PRIVATE CONTRACT
NAME: <u>NNN RETAIL DEVELOPMENT</u>	LANDSCAPE: <u>PENDING</u>	COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES
ADDRESS: <u>15862 WAKEFIELD LN.</u> SAN DIEGO, CA 92127	SITE PLAN: <u>PENDING</u>	GRADING PLAN FOR: DOLLAR GENERAL STORE BORRERO SPRINGS, CALIFORNIA
TELEPHONE NUMBER: <u>858-354-0007</u> (24 HOUR CONTACT NUMBER)	WDID: <u>PENDING</u>	CALIFORNIA COORDINATE INDEX <u>394-1959</u> SHEET: <u>14</u> OF <u>16</u>
SITE A.P.N. NUMBER: <u>141-370-1700</u>	ENGINEER OF WORK MICHAEL E. WAGG No. 85660 Expires 9/30/2022 CIVIL STATE OF CALIFORNIA	APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER
SITE ADDRESS: <u>WINWC PALM CANYO DR &amp; DIGIORGIO RD.</u> BORRERO SPRINGS, CA 92004	ENGINEER OF WORK: MIKE MAGEE, PE COMPANY: WSP USA, INC. ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA, 92121 PHONE: 858-500-4500 SIGNATURE: <i>Mike Magee</i>	ENGINEER OF WORK: MICHAEL E. WAGG GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354







SCALE: NTS




ITEM NO	SIZE AND DESCRIPTION	ITEM NO	SIZE AND DESCRIPTION
①	12" CI CLEANOUT BOX COVER MARKED 'SEWER' AND AGENCY NAME AS REQUIRED	⑤	45' ELBOW
②	CONCRETE RING	⑥	3/4" CRUSHED ROCK PIPE BEDDING
③	12" PVC, C-900 x 15" LONG (CLEANOUT BOX)	⑦	SEWER MAIN
④	SIZE x REQUIRED LENGTH PVC PIPE	⑧	3/4" CRUSHED ROCK SEE NOTE 4
		⑨	STANDARD WYE BRANCH
		⑩	INSTALL PLUG AND CONCRETE LUG

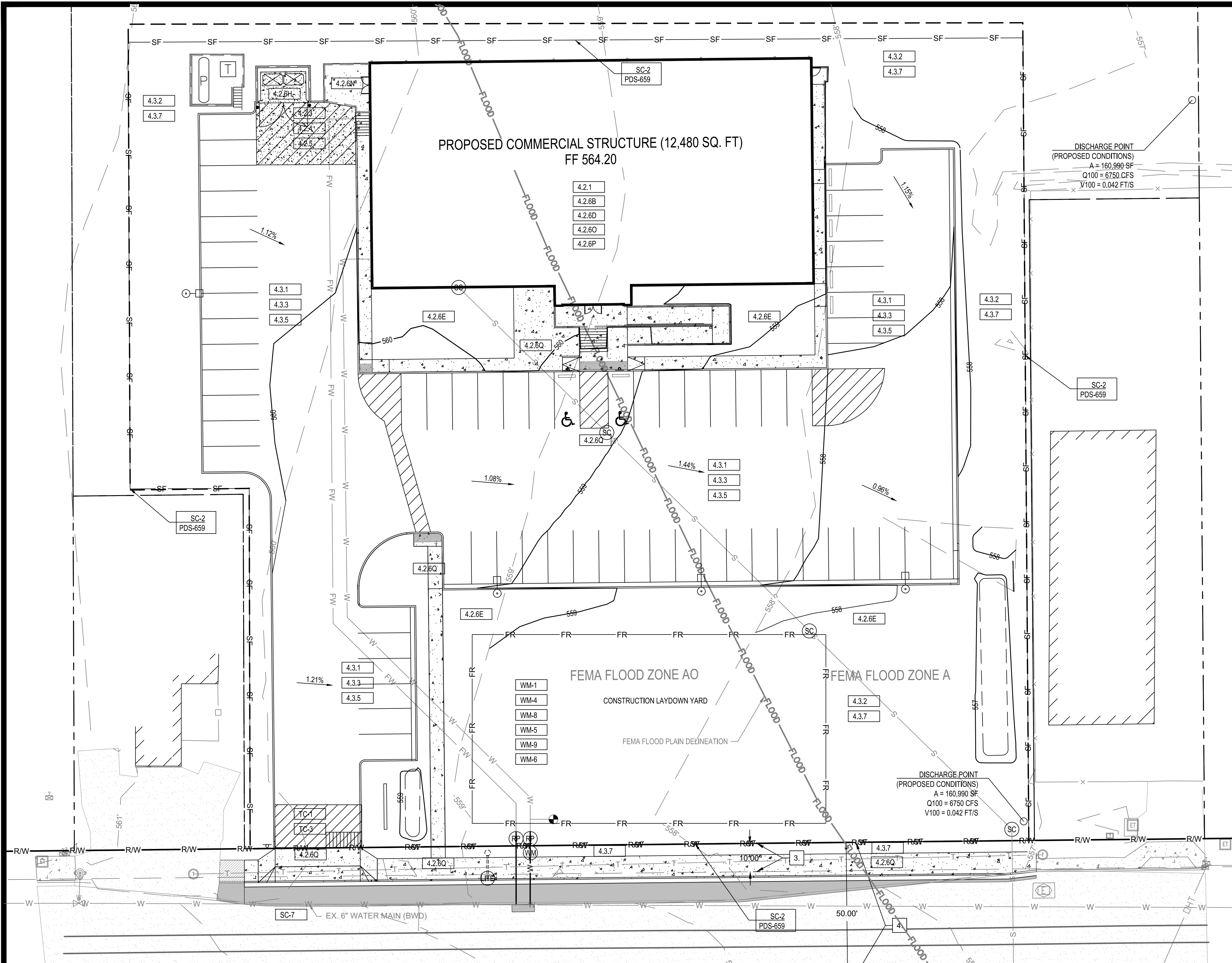
SCALE: NTS

<b>BENCH MARK</b>				WSP USA Inc. 10525 Vista Sorrento Parkway Suite 350 San Diego, CA 92121-2704 TEL: 858-500-4500 FAX: 858-500-4501
DESCRIPTION:	BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT			
LOCATION:	CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST			
RECORD FROM:	PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500			
ELEVATION:	557.47      DATUM:      NAVD 1988			



PROPERTY OWNER INFORMATION		PLAN CHECK/PERMITS		PRIVATE CONTRACT	
NAME: <u>NNN RETAIL DEVELOPMENT</u>		LANDSCAPE: <u>PENDING</u>		COUNTY OF SAN DIEGO	
ADDRESS: <u>15882 WAKEFIELD LN.</u>		SITE PLAN: <u>PENDING</u>		PLANNING AND DEVELOPMENT SERVICES	
<u>SAN DIEGO, CA 92127</u>		WDID: <u>PENDING</u>		GRADING PLAN FOR:	
TELEPHONE NUMBER: <u>858-354-0007</u>		ENGINEER OF WORK		DOLLAR GENERAL STORE	
(24 HOUR CONTACT NUMBER)				BORREGO SPRINGS, CALIFORNIA	
SHEET: <u>15</u> OF <u>16</u>				C-504	
SITE A.P.N. NUMBER: <u>141-370-1700</u>		ENGINEER OF WORK: MIKE MAGEE, PE		CALIFORNIA COORDINATE INDEX <u>394-1959</u>	
SITE ADDRESS: <u>WINWC PALM CANYO DR &amp; DIGIORGIO RD.</u>		COMPANY: WSP USA, INC.		APPROVED FOR:	
<u>BORREGO SPRINGS, CA 92004</u>		ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350,		WILLIAM P. MORGAN	
		SAN DIEGO, CA 92121		COUNTY ENGINEER	
		PHONE: 858-500-4500		BY: _____ DATE: _____	
		SIGNATURE: <u><i>Mike Magee</i></u>		ENGINEER OF WORK:	
				MICHAEL E MAGEE _____ RCE 85660	
				GRADING PERMIT NUMBER: <b>PDS2021-LDGRMJ-30354</b>	





BMP LEGEND	
PDS 659	SAN DIEGO COUNTY STANDARD LOT PERIMETER PROTECTION DETAIL
MATERIALS & WASTE MANAGEMENT BMPs:	
WM-1	MATERIAL DELIVERY & STORAGE
WM-4	SPILL PREVENTION AND CONTROL
WM-8	CONCRETE WASTE MANAGEMENT
WM-5	SOLID WASTE MANAGEMENT
WM-9	SANITARY WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMPs:	
SC-1	SILT FENCE
SC-5	FIBER ROLLS
SC-7	STREET SWEEPING AND VACUUMING
TC-1	STABILIZED CONSTRUCTION ENTRANCE
TC-3	ENTRANCE / EXIT TIRE WASH

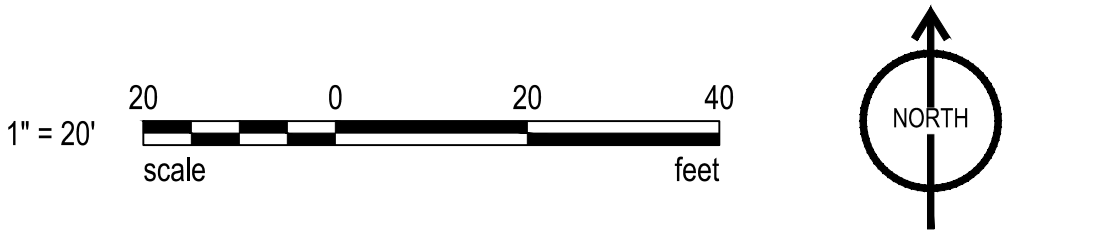
LEGEND	
DESCRIPTION	SYMBOL
LIMITS OF WORK	
RIGHT OF WAY (ROW)	R/W
PROPERTY LINE	
FEMA FLOOD ZONE DELINEATION	
EXISTING MAJOR ELEVATION CONTOUR LINE	
EXISTING MINOR ELEVATION CONTOUR LINE	
EXISTING GRADE SPOT ELEVATION	+ EG 561.36'
EXISTING WATER LINE	W
EXISTING SEWER LINE	S
EXISTING OVERHEAD ELECTRICAL & TELEPHONE LINES	D/E/L/T
EXISTING FENCE LINE	X
PROPOSED PORTLAND CEMENT CONCRETE (PCC) SIDEWALK PAVEMENT PER G-14D	
PROPOSED CONCRETE CURB & GUTTER PER G-2, TYPE G	
PROPOSED 8" CONCRETE CURB PER G-1	
PROPOSED CONCRETE DRIVEWAY PER G-14D & G-26	
GROUND SLOPE AND GENERAL DIRECTION OF DRAINAGE FLOW	0.95%
PROPOSED MAJOR ELEVATION CONTOUR LINE	
PROPOSED MINOR ELEVATION CONTOUR LINE	
PROPOSED WATER LINE	W
PROPOSED FIRE WATER LINE	FW
PROPOSED WATER METER	WM
PROPOSED REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER WS-02, WR-01, WR-01, WR-02	RP
PROPOSED SEWER LINE	S
PROPOSED SEWER CLEANOUT	CO

PERMANENT SITE DESIGN BMP(S)		
BMP TYPE & FACT SHEET ID	BMP NAME	QUANTITY
4.3.1	MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	1
4.3.2	CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	1
4.3.3	MINIMIZE IMPERVIOUS AREA	1
4.3.4	MINIMIZE SOIL COMPACTION	1
4.3.5	IMPERVIOUS AREA DISPERSION	1
4.3.6	RUNOFF COLLECTION	1
4.3.7	LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	1

SOURCE CONTROL BMP(S)		
BMP TYPE & FACT SHEET ID	BMP NAME	QUANTITY
4.2.1	PREVENTION OF ILLICIT DISCHARGE TO THE MS4	1
4.2.3	PROTECTED OUTDOOR MATERIALS STORAGE AREAS	1
4.2.4	PROTECTED MATERIALS STORED IN OUTDOOR WORK AREAS	1
4.2.5	PROTECT TRASH STORAGE AREAS	1

WASTE MANAGEMENT		
BMP TYPE & FACT SHEET ID	BMP NAME	QUANTITY
4.2.6 B	INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT PUMPS	8
4.2.6 D	NEED FOR FUTURE INDOOR & STR. PEST CONTROL	1
4.2.6 E	LANDSCAPE OUTDOOR PESTICIDE USE	1
4.2.6 H	TRASH OR REFUSE AREAS	1
4.2.6 N	LOADING DOCKS	1
4.2.6 O	FIRE SPRINKLER TEST WATER	1
4.2.6 P	MISCELLANEOUS DRAIN OR WASH WATER	1
4.2.6 Q	PLAZAS, SIDEWALKS, DRIVEWAYS, AND PARKING LOTS	2

- BMP NOTES**
- CONSTRUCTED PERVIOUS SURFACES SHALL NOT BE SEALED.
  - TOTAL SOIL DISTURBANCE AREA = 0.86 ACRES
- SITE FEATURES**
- NATURAL AREAS, SOILS, AND VEGETATION SHALL BE PRESERVED TO THE FULLEST EXTENT POSSIBLE
  - OUTDOOR SITE FEATURES SHALL DISPERSE STORM WATER TO VEGETATED / PERVIOUS LANDSCAPE AREA
  - LANDSCAPE SHALL UTILIZE WATER-EFFICIENT VEGETATION AND MAXIMIZE PERVIOUS AREA AT THE SITE
- MATERIALS MANAGEMENT**
- MATERIAL DELIVERY AND STORAGE SHALL BE IMPLEMENTED IN ACCORDANCE WITH CALTRANS BMP WM-1 WITHIN APPROVED CONSTRUCTION LAYDOWN AREA THROUGH THE ENTIRE CONSTRUCTION DURATION
  - SPILL PREVENTION AND CONTROL SHALL BE IMPLEMENTED SITE-WIDE IN ACCORDANCE WITH CALTRANS BMP WM-4 THROUGH THE ENTIRE CONSTRUCTION DURATION
- WASTE MANAGEMENT**
- WASTE MANAGEMENT, INCLUDING CONCRETE WASTE MANAGEMENT BMPs SHALL BE IMPLEMENTED SITE-WIDE IN ACCORDANCE WITH CALTRANS BMP WM-8 THROUGH THE ENTIRE CONSTRUCTION DURATION
  - SOLID WASTE MANAGEMENT SHALL BE IMPLEMENTED IN ACCORDANCE WITH CALTRANS BMP WM-5 THROUGH THE ENTIRE CONSTRUCTION DURATION
  - SANITARY WASTE MANAGEMENT SHALL BE IMPLEMENTED IN ACCORDANCE WITH CALTRANS BMP WM-9 THROUGH THE ENTIRE CONSTRUCTION DURATION



RECORD PLAN			
NAME:			
R.C.E.:			
DATE:			

COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

SUMMARY OF SURFACE ELEMENTS - ONSITE GRADING PLAN			
SURFACE COVER	EXISTING (SF)	PROPOSED (SF)	TOTAL (SF)
IMPERVIOUS	0	52,520	52,520
PERVIOUS	160,410	107,890	107,890
TOTAL AREA DISTURBED (SF)		52,520	

SUMMARY OF SURFACE ELEMENTS - OFFSITE PUBLIC IMPROVEMENT PLAN			
SURFACE COVER	EXISTING (SF)	PROPOSED (SF)	TOTAL (SF)
IMPERVIOUS	0	4,697	4,697
PERVIOUS	5,615	918	918
TOTAL AREA DISTURBED (SF)		5,615	

**BENCH MARK**

DESCRIPTION: BASE CONTROL POINT NUMBER 1, NAIL SET IN ASPHALT

LOCATION: CENTERLINE OF PALM CANYON DR., BEARING: SOUTH 89°23'43" WEST

RECORD FROM: PARCEL MAP NO. 8500, IN BOOK OF PARCEL MAPS AT PAGE 8500

ELEVATION: 557.47 DATUM: NAVD 1988

**DIGALERT**

811

**wsp**

WSP USA Inc.  
10525 Vista Sorrento Parkway  
Suite 350  
San Diego, CA 92121-2704  
TEL: 858-500-4500  
FAX: 858-500-4501

PROPERTY OWNER INFORMATION	
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SITE A.P.N. NUMBER:	141-370-1700
SITE ADDRESS:	WINWC PALM CANYO DR & DIGIORGIO RD. BORRERO SPRINGS, CA 92004

PLAN CHECK/PERMITS	
LANDSCAPE:	PENDING
SITE PLAN:	PENDING
WDID:	PENDING
ENGINEER OF WORK	
ENGINEER OF WORK: MIKE MAGEE, PE	COMPANY: WSP USA, INC.
ADDRESS: 10525 VISTA SORRENTO PKWY, STE 350, SAN DIEGO, CA, 92121	PHONE: 858-500-4500
SIGNATURE: <i>Mike Magee</i>	

PRIVATE CONTRACT	
COUNTY OF SAN DIEGO PLANNING AND DEVELOPMENT SERVICES	
GRADING PLAN FOR: DOLLAR GENERAL STORE BORRERO SPRINGS, CALIFORNIA	C-600
CALIFORNIA COORDINATE INDEX	394-1959
SHEET: 16 OF 16	
APPROVED FOR: WILLIAM P. MORGAN COUNTY ENGINEER	ENGINEER OF WORK: MICHAEL E. MAGEE GRADING PERMIT NUMBER: PDS2021-LDGRMJ-30354