

Historic Resource Evaluation
101 South Main Street
Ukiah, CA 95482
Mendocino County, California
(APN 002-231-01-00)



Prepared for:

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January 2020; **REVISED January 2022 for Todd Schapmire**

TABLE OF CONTENTS

TABLE OF FIGURES	3
PROJECT OVERVIEW & EXECUTIVE SUMMARY	5
METHODOLOGY	5
EVALUATOR QUALIFICATIONS	6
SITE LOCATION	6
DESCRIPTION	7
HISTORICAL CONTEXT OF UKIAH	8
HISTORY OF 101 SOUTH MAIN STREET	12
TABLE OF OWNERS	20
TABLE OF TENANTS	20
DETERMINATION OF ELIGIBILITY	21
CRITERIA	21
INTEGRITY ANALYSIS	22
CHARACTER DEFINING FEATURES	23
CONCLUSION	24
RESOURCES CONSULTED	25
APPENDIX A: PHOTOGRAPHS	27
APPENDIX B: UKIAH “HISTORIC RESOURCES INVENTORY” SURVEY FORMS (1985, REVISED 1999)	45
APPENDIX C: DPR523 FORM A, PRIMARY FORM	49
APPENDIX D: DPR523 FORM B, BUILDING/OBJECT/STRUCTURE FORM	51
APPENDIX E: DPR523 FORM L, CONTINUATION FORMS	53
APPENDIX E: DPR523 FORM J, LOCATION MAP	56



Table of Figures

PARCEL MAP 2-23	6
AERIAL VIEW OF PROJECT AREA, GOOGLE MAPS 2020.....	7
1866 MAP OF NORTHERN CALIFORNIA, STERLING M. HOLDREDGE	9
ABSALOM AND MARY PERKINS, 1859	10
PERKINS CHILDREN, 1859.....	10
UKIAH POPULATION, 1880 TO 2010	10
HEADLINE OF UKIAH DISPATCH, JUNE 22, 1917.....	11
POST FIRE PHOTOGRAPH OF THE WEST SIDE OF STATE STREET, BETWEEN PERKINS AND CHURCH STREETS (COURTESY OF ED BOLD).....	11
1958 USGS QUAD, UKIAH, CA.....	11
UKIAH DAILY JOURNAL, NOVEMBER 27, 1891	12
PERKINS AD, MENDOCINO DEMOCRAT, NOVEMBER 1, 1873	12
McKINDLEY LIVERY, UKIAH CITY PRESS, AUGUST 9, 1878.....	12
HOLZ FEED CO. ADVERTISEMENT, UKIAH DISPATCH DEMOCRAT, JUNE 24, 1921	13
"ELLIS FEED BARN," UKIAH DISPATCH, NOVEMBER 13, 1903	13
1885 AND 1888 SANBORN FIRE INSURANCE MAPS	15
1893 AND 1898 SANBORN FIRE INSURANCE MAPS	15
1918 (POST FIRE) AND 1929 SANBORN FIRE INSURANCE MAPS (COURTESY OF MENDOCINO COUNTY HISTORICAL SOCIETY).....	15
M. VONSEN CO. ADVERTISEMENT, UKIAH REPUBLICAN PRESS, APRIL 2, 1930	16
MERCER'S FEEDS ADVERTISEMENT, UKIAH DISPATCH, MAY 15, 1927	16
H & W FEED CO. ADVERTISEMENT, UKIAH DAILY JOURNAL, NOVEMBER 9, 1956	16
1937, UKIAH MARKETING MOVIE, MINUTE 7:02 AND 7:06	17
1938 AERIAL OF UKIAH (COURTESY OF MENDOCINO COUNTY HISTORICAL SOCIETY)	17
1948, PHOTOGRAPH BY PHYLLIS BARTOLOMIE (COURTESY OF THE MENDOCINO COUNTY HISTORICAL SOCIETY).....	18
1948, PHOTOGRAPH BY PHYLLIS BARTOLOMIE (COURTESY OF THE MENDOCINO COUNTY HISTORICAL SOCIETY).....	18
ADVERTISEMENT FOR "PIET'S ANTIKES," UKIAH DAILY JOURNAL, JANUARY 20, 1980	19
1957 AERIAL OF UKIAH (CARTWRIGHT AERIAL SURVEYS, CAS-1957)	19
WEST ELEVATION (FACING SOUTH MAIN STREET)	29
NORTHWEST CORNER, ENTRANCE	29
NORTHWEST CORNER, FRONT DOOR	30
NORTHWEST CORNER, DOOR AND JALOUSIE TRANSOM (NOT ORIGINAL)	30
NORTHWEST CORNER, DETAIL OF METAL AWNING	31
WEST ELEVATION, WINDOW WITH MULTI LITE TRANSOM (ORIGINAL).....	31
WEST ELEVATION, MIDDLE WINDOW WITH JALOUSIE TRANSOM (CA 1963).....	32
WEST ELEVATION, SOUTH WINDOW WITH JALOUSIE TRANSOM (CA 1963).....	32
WEST ELEVATION, CEILING OF AWNING	33
WEST ELEVATION, CONDITION OF PRESSED TIN	33
WEST ELEVATION, FALSE FRONTING (LOOKING NE)	34
WEST ELEVATION FALSE FRONT (LOOKING NW)	34
WEST ELEVATION, FALSE FRONT (LOOKING SW)	35
SOUTH ELEVATION	35
SOUTH ELEVATION, MECHANICAL EQUIPMENT DETAIL.....	36
SOUTH ELEVATION, PEDESTRIAN ENTRANCE AT SE CORNER	36
EAST ELEVATION, MURAL	37
EAST ELEVATION, MURAL SIGNATURE	37
NORTH ELEVATION (FRONTING PERKINS STREET)	38
NORTH ELEVATION, INFILLED BAY AT NE CORNER.....	38
NORTH ELEVATION, MURAL AND WINDOWS	39
SETTING, NEIGHBOR TO THE SOUTH.....	39
SETTING, LOOKING SOUTH ON SOUTH MAIN STREET	40



SETTING, SW CORNER OF PERKINS AND SOUTH MAIN STREETS 40
SETTING, LOOKING WEST ON PERKINS STREET 41
SETTING, NW CORNER OF PERKINS AND SOUTH MAIN STREETS 41
SETTING, WEST SIDE OF MAIN STREET, LOOKING NW FROM PROJECT AREA 42
SETTING, NEIGHBOR TO NORTH (NE CORNER OF PERKINS AND MAIN STREETS) 42
SETTING, LOOKING EAST ON PERKINS STREET (NORTH SIDE) 43
SETTING, LOOKING EAST ON PERKINS STREET (SOUTH SIDE) 43
SETTING, PARKING LOT AND NEIGHBOR TO THE EAST 44



17 November 2021

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Subject: Clarification on historic designation of 101 South Main Street, Ukiah, CA

Dear Ms. Irace:

Per our recent phone conversation and email, I would like to clarify the historic designation of the commercial property at 101 South Main Street in Ukiah. This letter serves as an update to my January 2020 “Historic Resource Evaluation (HRE)” of the property.

The resource was included in Ukiah’s 1985 inventory of historic resources, which was updated in 1999. The “3S” designation referenced in my HRE is based on the 1999 document that gives the buildings a “3S” rating. In March 2020, two months after my HRE, the California Office of Historic Preservation (OHP) updated its database of historic resources, which they renamed the “Built Environment Resources Database (BERD)” (https://ohp.parks.ca.gov/?page_id=30338). That recent database categorizes the resource as “5S2,” meaning that a local government has recognized the resource as “eligible for local listing or designation.” I defer to the more recent data issued by the OHP and agree with its assessment that the building could only be considered an historic resource at the local level (5S2).

The 1999 Ukiah report also states that the building is significant for both its association with a significant event (criterion A, now called 1) and for its architectural character (criterion C, now called 3). I agree that the building is associated with the early twentieth century commercial development of Ukiah (criterion 1). However, I do not believe this building “embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values,” which is the standard of significance for architectural merit (criterion 3). Please refer to the HRE for copies of the survey forms from both 1985 and 1999 (“Appendix B”) and for more detail on my determination of eligibility.

If you have any further questions, please feel free to call me at 415-806-4549.

Sincerely,


Alice P. Duffee
APD Preservation LLC

Project Overview & Executive Summary

Prospective buyers of the property at 101 South Main Street in Ukiah, California, are assessing the historic character of the building as part of the decision making process. They hired Alice P. Duffee, an architectural historian and preservation planner with APD Preservation LLC, to evaluate the historic character of the property and identify what features, if any, render the property historically significant. This report is the result of that evaluation.

The parcel was the site of early commercial development in Ukiah, dating to 1857 when Absalom Tidwell Perkins built a livery on this corner of the country crossroads. That original building was replaced by a second livery/hay barn in 1890. Ukiah's June 1917 fire destroyed that second building, and a third structure was built on the site y bat least by 1921. From 1921 to 1963 the building served as a feed store under four different businesses. With the modernization of Ukiah, the building was converted to retail space in 1963. Modifications made to that building at that time included infilling two open bays with windows, replacing the front doors, replacing and reconfiguring the awning, and installing an additional window. The false front that most defines the building was modified in 1938, but retains its basic early twentieth century appearance. The building has remained in retail use almost continuously since 1963.

The building at 101 South Main Street dates from 1921, is included in Ukiah's 1985 "Historic Resources Survey," and is included in the State of California's "Built Environmental Resource Database (BERD)" with a designation of "**5S2**," meaning that a local government has recognized the resource as "eligible for local listing or designation." Where the previous local survey form suggests that the building is eligible for listing on the National Register of Historic Places (NRHP), I defer to the State of California's more recent determination that the building is significant at the LOCAL level and not the national level.

Further evaluation and research of the property confirms that the information in the earlier reconnaissance level survey is correct and that the building appears to be significant for its association with the post-fire redevelopment of Ukiah (criterion 1). Its period of significance is 1921 (its inferred construction date), and the building retains enough physical integrity to convey its early twentieth century commercial origins, which render it historic. The building in its current dilapidated state, however, does not appear to be significant for its architectural merit.

Based on extensive research of the development of this parcel, it is my professional opinion that the **building qualifies as an historic resource** under the California Environmental Quality Act (CEQA).

The character defining features of this historic building are as follows:

- False front with pronounced box cornice on west elevation
- One-story
- Rectangular footprint with clipped corner at northwest corner
- Entrance on the clipped northwest corner
- Gable roof
- Pressed tin siding on west and north elevations, corrugated metal siding on east and south
- Irregular window placement

Methodology

On January 7, 2020, Alice P. Duffee undertook a field survey of the property to conduct a visual review and assessment of the building. Records searches were conducted at the following repositories, as well as a variety of online research websites:

- Mendocino County Recorder's office
- Mendocino County Historical Society
- City of Ukiah Building Department
- Northwest Information Center (NWIC)



- San Francisco Public Library (SFPL) online research databases
- California Digital Newspaper Collection
- Online Archive of California and a variety of online research websites

Evaluator qualifications

Alice P. Duffee of APD Preservation LLC conducted the evaluation of the historic character of the building at 101 South Main Street in Ukiah, California. Ms. Duffee holds a Master of Science degree in Historic Preservation from the University of Pennsylvania and a Bachelor of Arts in Architectural History from the University of Virginia. She has worked in the field of Cultural Resources Management for thirty years, twenty-six of which have been in Northern California. For the past eight years she has focused her attention on projects in the North Bay. Ms. Duffee exceeds the standards for “Architectural Historian” as defined by the Code of Federal Regulations (36 CFR Part 61) and is listed in the California Historical Resources Information System (CHRIS) as a consultant qualified to work in the fields of Architectural History and History.

Site Location

The building at 101 South Main Street sits on the southeast corner of the intersection of Perkins Street and South Main Street on the east side of the City of Ukiah. Both Perkins and South Main streets have multiple lanes of two-way traffic; South Main Street has limited street parking on the west side. The area is medium density commercial structures from the nineteenth and twentieth centuries interspersed with sparse landscaping.

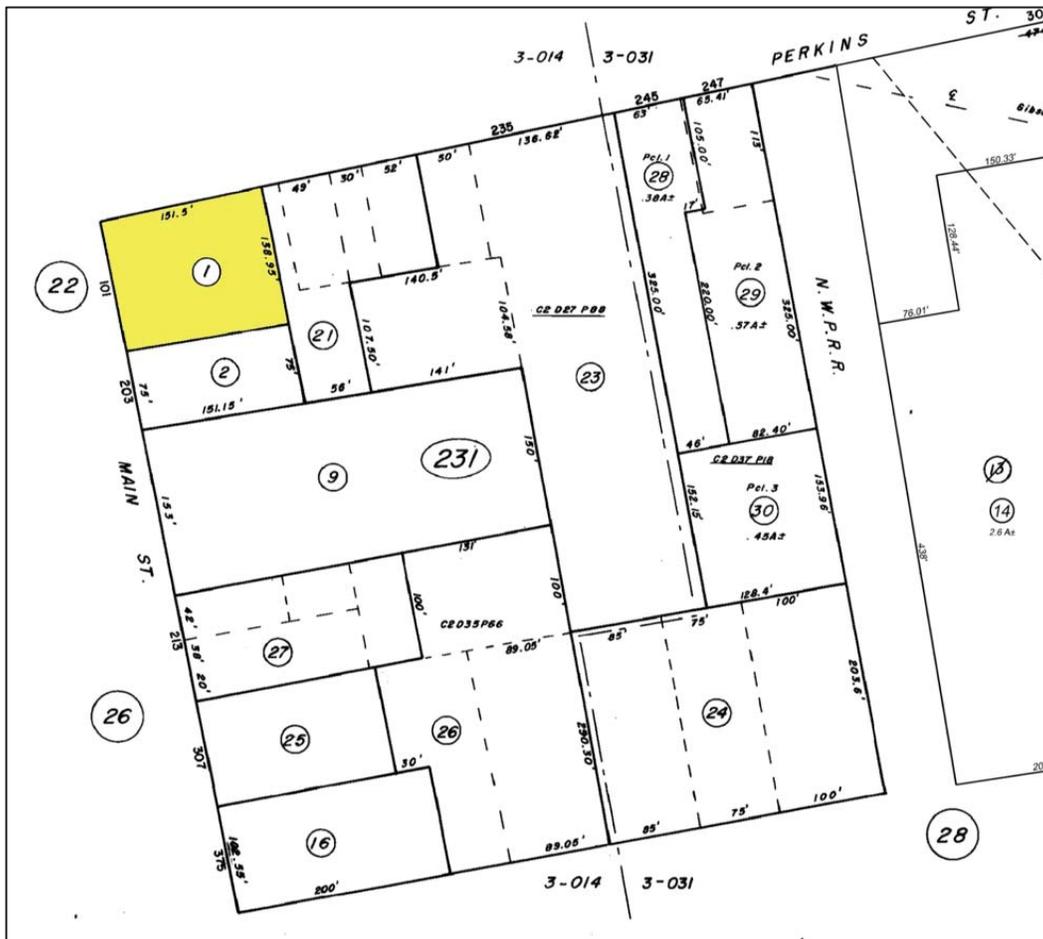


Figure 1: Parcel Map 2-23



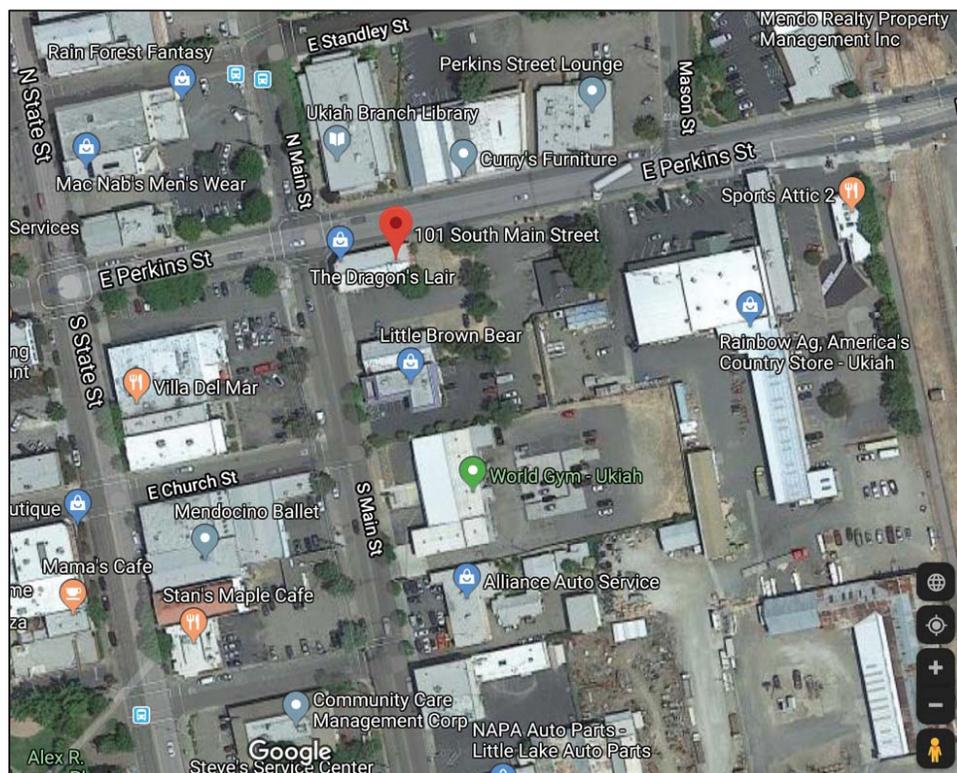


Figure 2: Aerial View of Project Area, Google Maps 2020

Description

The commercial building on the property is located at the southeast corner of the intersection of Perkins Street and South Main Street, fronting on both streets. It is one-story with a roughly rectangular footprint, with the northwest corner clipped to accommodate the primary entrance. The gable-roofed, wood frame structure is clad in corrugated metal and capped with corrugated metal roofing. The west and north elevations are faced in pressed tin to simulate rusticated, coursed, ashlar stone (see photo 37).

The west elevation, fronting South Main street, is dominated by a false front that extends above the gable end of the roof and is capped with a pronounced box cornice. While the street-facing side of the false front is faced with pressed tin, the rear is faced with corrugated metal (see photos 38, 39 and 40). The element is purely decorative. The 1937 marketing video of Ukiah indicates that, originally, this feature wrapped around both street-facing facades of the building. A 1938 aerial, however, shows that the northern section, facing Perkins Street, had been removed (see figures 22 and 23 below).

A corrugated metal awning extends the length of the west elevation and wraps around the northwest corner to shelter the primary entrance. A scalloped detail obscures the edge of the awning and adds a modicum of visual interest (see photo 32). The awning appears to be a modern replacement for a previous awning that appears in the 1937 video.

This elevation has three windows. The northernmost window appears in the 1937 video and appears to be original to the building. It is a fixed wood sash, single-paned window topped by a 6-paned transom window. The frame is simple board surround with a slightly projecting sill (see photo 33). The middle and southern windows appear to be later additions to the building, most likely when the building was converted from a feed store to a retail shop in 1963. The middle window replaced an open bay, and consists of a 2-paned, fixed sash set in an aluminum frame. A three-part, glass, jalousie transom extends across the width of the window. The surrounding frame is similar to the original window, except that the newer window has no

projecting sill. The southern-most window matches the middle window and appears to have been installed in 1963 to provide more light to the interior spaces (see photo 35).

The primary entrance is on the clipped northwest corner and consists of a pair of half-glass French doors with raised panels beneath arched glass panes (see photos 30 and 31). The door has a glass, jalousie transom and simple board frame. The doors are not original to the building, as evidenced by images from 1937 and 1948 (see figures 22 and 25 below).

The north elevation, fronting Perkins Street, has three original windows at irregular intervals and an infilled bay on the eastern corner. The original windows all have multi-lite, wood transoms. The western-most window is identical to the flanking window on the west elevation. To its east lies a set of three multi-paned windows framed as a single unit. Another single-paned, wood frame window is roughly centered on the elevation (see photos 46 and 48). The bay at the eastern corner has been infilled with corrugated metal and a small, single pane, wood framed window (see photo 47). The building's concrete foundation is visible on this elevation.

The east elevation has no openings and is covered with a mural of ionic columns that was painted in July 1982 by Neil Phillip Anderson and Rita Lowitt, according to the signature at the bottom right of the artwork (see photos 44 and 45).

The rear of the building (the south elevation) has a variety of mechanical equipment and a single pedestrian door at the eastern corner. A simple wood porch with four wood steps accesses the paneled rear door (see photos 41, 42 and 43).

Historical Context of Ukiah

The project area lies within the early “Rancho Yokaya,” which was an 8-square-league (35,541-acre) tract of land granted by Mexican Governor Pio Pico to Cayetano Juárez in 1845 in payment for Juárez’s decade of service to the Mexican government. The grant extended sixteen miles along the Russian River, from the southern end of Ukiah Valley to the northern end of Redwood Valley and ranged from one to two miles wide. It encompassed all of present day Ukiah.

The area remained sparsely settled by either Mexican or European settlers through the first half of the nineteenth century, though the Pomo Indians maintained a strong presence in the area. Around 1856 Samuel Lowry built a log cabin near what is now the northeast corner of Perkins and Main Street, and became Ukiah Valley’s first white settler. Lowry was born in Connecticut around 1818 and had come to Placer County with the Gold Rush.^{1 2}

In 1859 Mendocino County was officially carved out of Sonoma County, and Ukiah was selected as the county seat. The town was nestled between the coastal range of mountains and the Russian River, in the heart of the Ukiah Valley. The name Ukiah came from the Indian word “Yo’Kia,” meaning deep valley. Rathburn erected the first courthouse at a cost of \$7,000.³

¹ 1850 U.S. Census and 1852 California Census. (www.ancestry.com)

² Lyman L. Palmer, History of Mendocino County, California : Comprising its Geography, Geology, Topography, Climatography, Springs and Timber (San Francisco, CA: Alley, Bowen, 1880), page 475.

³ C. A. Menefee, Historical and Descriptive Sketch Book of Napa, Sonoma, Lake and Mendocino (Napa, CA: Reporter Publishing House, 1873), page 341.





The town grew steadily, though it remained a relatively remote outpost in the hinterlands of Northern California for several more decades. Through the 1860s-1880s, access was restricted to overland routes, with San Francisco being a two-day journey via stagecoach.⁴

The area around the intersection of the current Perkins and Main streets was one of the earliest settlement locations for the town. Lowry had built his log cabin in this location, and then sold the 160-acre parcel to Absalom Tidwell Perkins in 1857.^{5 6}

Perkins, his wife Elizabeth, and their five children relocated to Ukiah from Yuba County, north of Sacramento.⁷ Within a year, Perkins built a house for his family near the southwest corner of the current Perkins and Main streets, took over Lowry's blacksmith shop on the northeast corner of the intersection, built a store to the west on Main Street and built a schoolhouse south of Perkins Street and west of State Street.⁸ On the southeast corner of Perkins and Main, **on the site of the current Project Area**, Perkins built a "feed stable for the accommodation of freighting teams."⁹ By 1860, Ukiah had approximately 25 dwellings and a budding commercial district.¹⁰

A.T. Perkins was possibly "the most important man of the region in those days."¹¹ In 1863 he launched a local newspaper, the Constitutional Democrat. Perkins was also a silent partner of "one of the leading mercantile establishments of early days in Ukiah."¹² His blacksmith/wagon shop was considered the largest on the north coast. In 1873 he shut down his blacksmith shop and turned his attention to his dry goods store.¹³ A.T. Perkins, however, continued to work as a blacksmith, and was mortally kicked by a horse he was shoeing. After a two-week period of paralysis, A.T. Perkins died in Ukiah on August 27, 1879.¹⁴

Meanwhile, the town continued on its trajectory of steady growth. Ukiah was officially incorporated in 1872 and a more substantial courthouse replaced the earlier structure. The new building was quite a bit grander, and cost the county \$40,000.¹⁵ County Court convened in the new hall for the first time in March 1873. At this time the town boasted a variety of stores, four churches, seven saloons, and two livery stable. Ukiah's streets were surveyed and laid out in 1876.

⁴ Palmer, page 481.

⁵ Aurelius O. Carpenter and Percy H. Millberry, History of Mendocino and Lake Counties, California, with Biographical Sketches (Los Angeles, CA: Historic Record Company, 1914), page 71.

⁶ Palmer, page 475.

⁷ Palmer states that the family moved from Marysville, CA, (page 476), though a genealogical search indicates that their daughter Emily Saline Perkins was born in Wheatland (Yuba County) in November 1856, not Marysville. Both towns, however, are in Yuba County north of Sacramento.

⁸ Palmer, page 477.

⁹ Palmer, page 480.

¹⁰ Palmer, page 480.

¹¹ Frank L. Perkins, letter to his nephew, Morgan L. Perkins, March 11, 1945, page 4. (www.ancestry.com).

¹² Frank L. Perkins, page 4.

¹³ Mendocino Democrat, 10/25/1873. Courtesy of the Mendocino County Historical Society.

¹⁴ Frank L. Perkins, page 4.

¹⁵ Menefee, page 341.



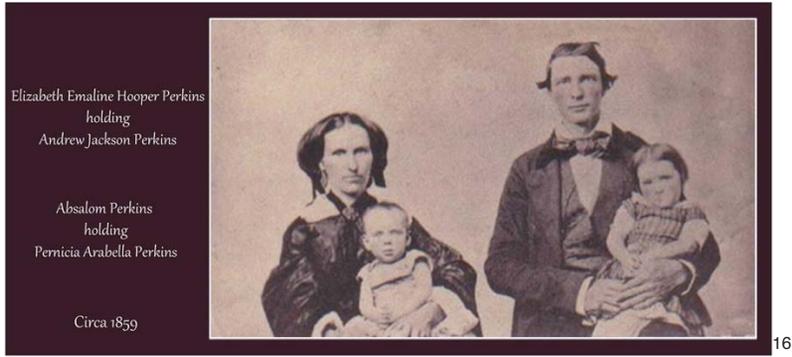


Figure 4: Absalom and Mary Perkins, 1859

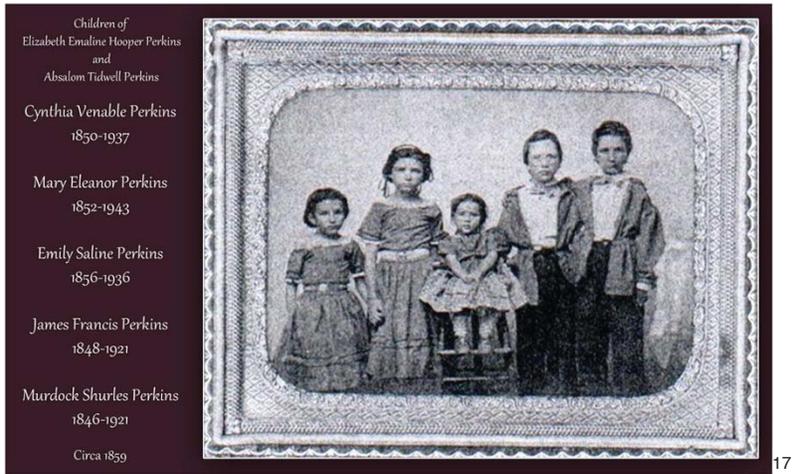


Figure 5: Perkins Children, 1859

Ukiah's sparse population and relative remoteness delayed the arrival of the railroad. On August 30, 1869, San Francisco & North Pacific Railroad (SF & NPRR) drove in its first railroad stake in Petaluma; it reached Santa Rosa in 1870 and Cloverdale in 1872. In 1886 the Cloverdale and Ukiah Railroad was formed to extend the SF & NPRR north to Ukiah; the line was completed in 1889, twenty years after it began in Petaluma. The improved transportation network did open up Mendocino County to greater commercial and industrial growth, though the population did not expand rapidly.

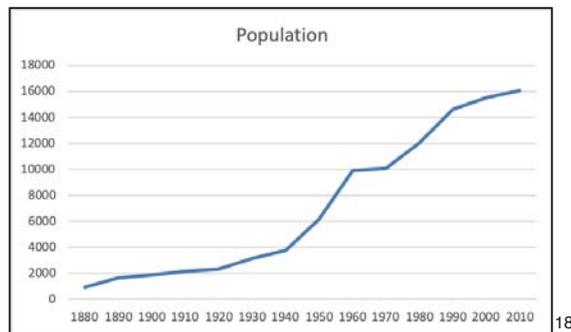


Figure 6: Ukiah Population, 1880 to 2010

¹⁶ www.ancestry.com

¹⁷ www.ancestry.com

¹⁸ "Census of Population and Housing", Census.gov.

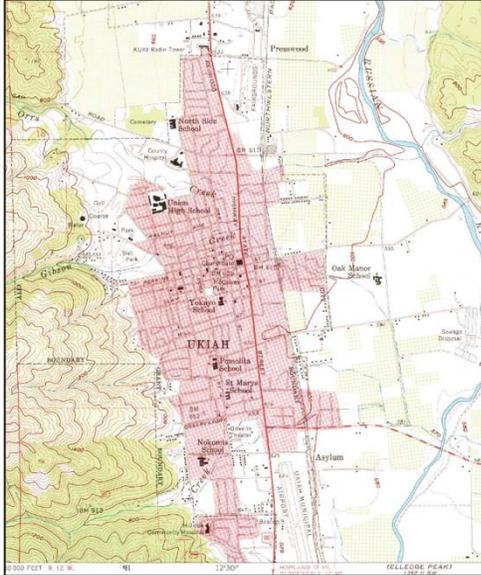


Figure 9: 1958 USGS Quad, Ukiah, Ca

On Monday, June 1917, the town of Ukiah changed forever. At 3:00 pm a fire was spotted at a Chinese restaurant on the west side of State Street, between Perkins and Church streets. The flames quickly consumed the modest frame structure and spread to the adjoining Fashion Livery on the north. Strong winds pushed the flames east, forging a two-block wide path of destruction from State street to the railroad tracks. The area was rebuilt over the next decade, showcasing the resilience of the community.

**GREATEST FIRE IN HISTORY OF UKIAH INFLECTS
LOSS OF OVER \$180,000 INSIDE BRIEF PERIOD
OF TIME LAST MONDAY. ABOUT HALF INSURED**

Figure 7: Headline of *Ukiah Dispatch*, June 22, 1917



Figure 8: Post fire photograph of the west side of State Street, between Perkins and Church Streets (courtesy of Ed Bold)

Like communities up and down the west coast, growth of Ukiah skyrocketed after World War II as veterans returned home and took advantage of numerous government programs designed to promote home ownership and community stability. Between 1940 and 1950, the population of Ukiah nearly doubled, jumping from 3,731 to 6,120.

Today, Ukiah boasts a population over 16,000 people. It has a solid commercial district spiraling out from State and Perkins streets.

W. J. Ellis is building a two-story frame building 26x50 on the southeast corner of Main and Perkins streets. Buckle & Keenan will occupy the lower story as a blacksmith and carriage shop, and the upper story will be used as a paint shop.

Figure 10: *Ukiah Daily Journal*, November 27, 1891

History of 101 South Main Street

From its earliest days, the project area has been in the midst of Ukiah's commercial heart. Beginning in 1856, Samuel Lowry built a blacksmith shop on what today is the northeast corner of Main and Perkins Streets, across from the project area. In 1857, Lowry sold a 160-acre parcel, including the project area, to the pioneering Perkins family who was relocating to the area from Arkansas via Yuba County. A. T. Perkins ran his own blacksmith shop out of the facility on the property, and built a supporting "feed stable for the accommodation of freighting teams" across the road on the site of the current project area.¹⁹

In 1878, Perkins sold the parcel to Robert McKindley, who continued to run the livery until 1885, when David Frost purchased the property. The 1885 and 1888 Sanborn Fire Insurance maps show two adjoining, 1-story, wood-frame buildings, one used for hay and one as a wagon shed.

I.N. Stapp and W.J. Ellis purchased the property in 1887. Wallace Johnson Ellis was a Civil War Veteran who relocated to Ukiah around 1876, following his marriage to his second wife, Orlena A. Brown Ellis.

In 1889, Ellis tore down A.T. Perkins' original stable on the project area, and in 1890 he bought out his business partner.²⁰ By 1891, the newspaper reported that Ellis was erecting a new, 26' x 50' building for

Wagons, Carriages,
...AND...
BUGGIES.
A. T. PERKINS & Co.
Ukiah City.
Desire to inform the public that they keep constantly on hand, a large stock of
WAGONS,
CARRIAGES,
and BUGGIES,
Of the latest styles, made by experienced workmen and warranted to give satisfaction. Persons wanting anything in this line will do well to examine our stock,
BEFORE PURCHASING!
We are also Agents for imported wagons, which we can sell on
Sixty Days Time
if desired. We have connected with our business, a first-class
Repairing and Horseshoeing
shop, to which we give our personal attention. Terms reasonable.
A. T. Perkins, & Co.
Ukiah, April 1, 1873. 9-9 tf

Figure 11: Perkins ad, *Mendocino Democrat*, November 1, 1873

Buckle & Keenan on the site. The building was intended to be two stories, but within a week the *Dispatch Democrat* reported that the building was reduced to one story.²¹ While the corner building (on the project area) was a blacksmith shop, Ellis operated his "Ellis Feed Barn" on the rest of the property (see Sanborn Fire Insurance Maps below). George Clark took over operation of the "Ellis Feed Barn" in 1903.

W. J. Ellis died October 7, 1909, leaving the property to his wife, Orlena. Orlena Ellis continued to rent out the commercial buildings on the property.

In June 1917 an epic fire cleared the entire block bounded by Perkins, Main, Church and the railroad, including the project area. In July 1921, following the fire, the *Ukiah Republican Press* reported that Mrs. W. J. Ellis planned to rebuild the structure, which would measure 30' x 150'.²² It is not clear if Ellis actually did rebuild the property, though.

In October 1920 Orlena Ellis sold the property to William Martin Cox, though the deed does not specify whether there was a structure on it. Cox was born in 1860 in Ukiah, and was a general merchant. Most notably, he operated a hardware store.

NEW FEED STABLE
—AND—
Hay Yard,
R. & J. McKindley, Proprietors,
COR. MAIN AND PERKINS STS.,
(Opp. Marks' Warehouse),
UKIAH CITY CAL.
EVERY ATTENTION PAID TO TEAMS.
The best of feed always kept on hand. Teamsters will find it greatly to their advantage to put up their teams with us as we have greatly reduced the prices of feeding. 49

Figure 12: *McKindley Livery, Ukiah City Press*, August 9, 1878

¹⁹ Palmer, page 481.

²⁰ *Dispatch Democrat*, June 6, 1889, page 3 column 3. Courtesy of the Mendocino Historical Society.

²¹ *Dispatch Democrat*, December 4, 1891. Courtesy of the Mendocino County Historical Society.

²² *Ukiah Republican Press*, July 20, 1917. Courtesy of the Mendocino County Historical Society

By 1921 the building was standing and was the new home to Holz Feeds. The 1929 Sanborn Fire Insurance Map shows the building on the site, in its existing configuration, including the clipped northwest corner (see figure 16 below). That building still stands on the site at 101 South Main Street and is the project area.

ELLIS FEED BARN.

One of the newest additions to the business directory of Ukiah is the name of George Clark, proprietor of the Ellis Feed Barn. Mr. Clark succeeded W. J. Ellis October 26th, and is prepared to care for horses and teams, both regular and transient. With his large barn and spacious feed yard he can easily accommodate fifty head at one time. The best of attention is accorded to all animals left in his charge, and prompt and courteous attention and reasonable prices are the invariable rules. Special rates are made for regular boarders and patrons of this barn can rest assured that their stock will be well cared for and receive the very best of attention.

Figure 14: "Ellis Feed Barn," *Ukiah Dispatch*, November 13, 1903

Holz FEEDS
UKIAH, CAL.

I DESIRE TO ANNOUNCE TO THE PUBLIC I HAVE DISPOSED OF MY INTEREST IN THE UKIAH MILLING COMPANY, AND WILL ON JULY 1, 1921, SEVER ALL CONNECTION WITH THAT COMPANY.

THE HOLZ FEED CO., HAS BEEN ORGANIZED BY ME, AND ON JULY 1, 1921, WILL OPEN A STORE ON THE SOUTHEAST CORNER OF MAIN AND PERKINS STREETS IN UKIAH, WHERE I WILL CONDUCT A GENERAL FEED AND COMMISSION BUSINESS, AND BUY AND SELL FARM PRODUCE OF EVERY KIND, INCLUDING GRAIN, HAY, FEEDSTUFFS AND EGGS, AND WILL ALSO MAKE A SPECIALTY OF GRINDING FEEDS TO ORDER.

L. J. HOLZHAUSER.

HOLZ FEED CO.
Phone 165 Ukiah City

Figure 13: Holz Feed Co. Advertisement, *Ukiah Dispatch Democrat*, June 24, 1921

Stamped sheet metal had been available since the 1870s, when it was showcased by Kittredge Cornice & Ornament Company at the Philadelphia Centennial Exhibition. The popularity of this cladding material, as well as full metal storefronts, soared as a result of more economical fabrication methods and the expanded distribution channels presented by the transcontinental railroad in the 1880s. Manufacturers blanketed the country with hundreds of thousands of catalogs, promoting their metal storefronts as more durable and fire resistant than traditional wood clapboards, as well as an economical means of ornamentation.



1905 George L. Mesker & Co. Catalog

Between 1870 and 1930 there were more than forty-five architectural metal manufacturers in ten states. The majority of these firms were located along rail lines near raw materials in states including Ohio, Pennsylvania, Indiana, and New York. By 1905, George L. Mesker & Co. was advertising that his products were in every state of the country.

By the second decade of the century, however, the popularity of the metal storefronts was waning. Cox's metal building on South Main Street was at the tail end of the trend.

Cox died from injuries sustained in a car accident on July 6, 1921. His widow, Eugenia, inherited the property, which was eventually sold to W.T. Robuson after her death in 1937.



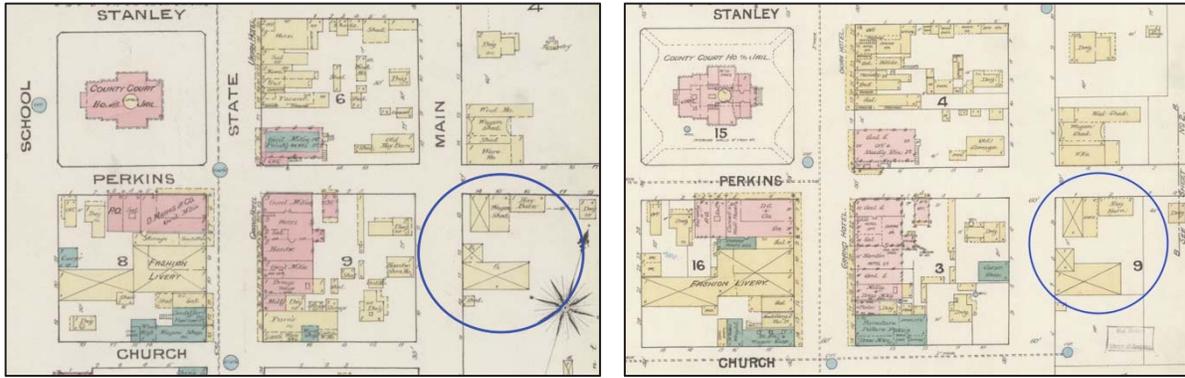


Figure 15: 1885 and 1888 Sanborn Fire Insurance Maps

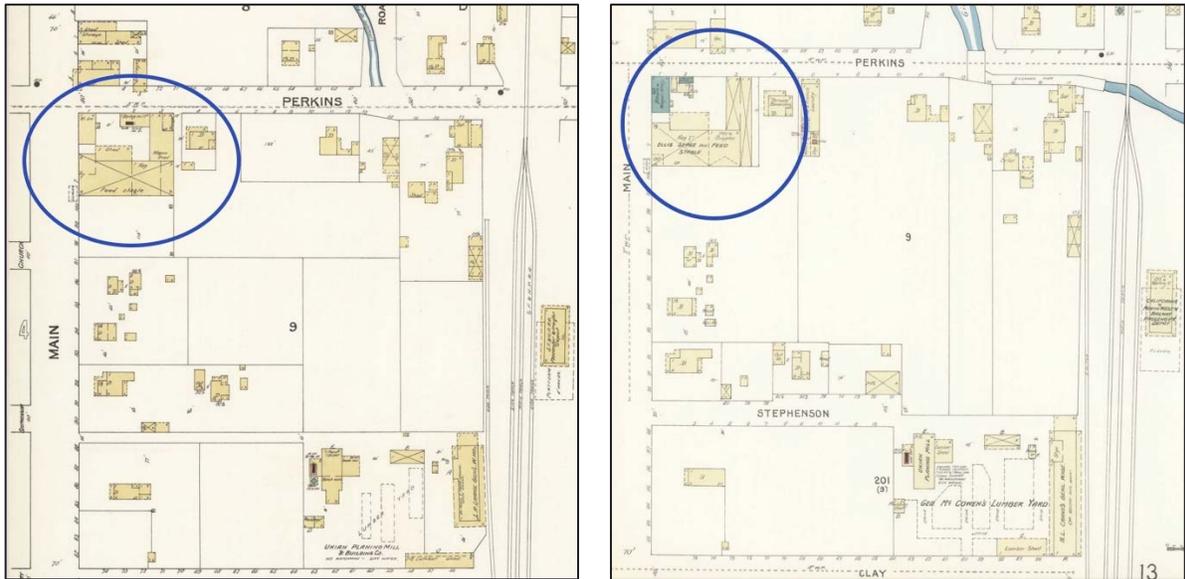


Figure 16: 1893 and 1898 Sanborn Fire Insurance Maps

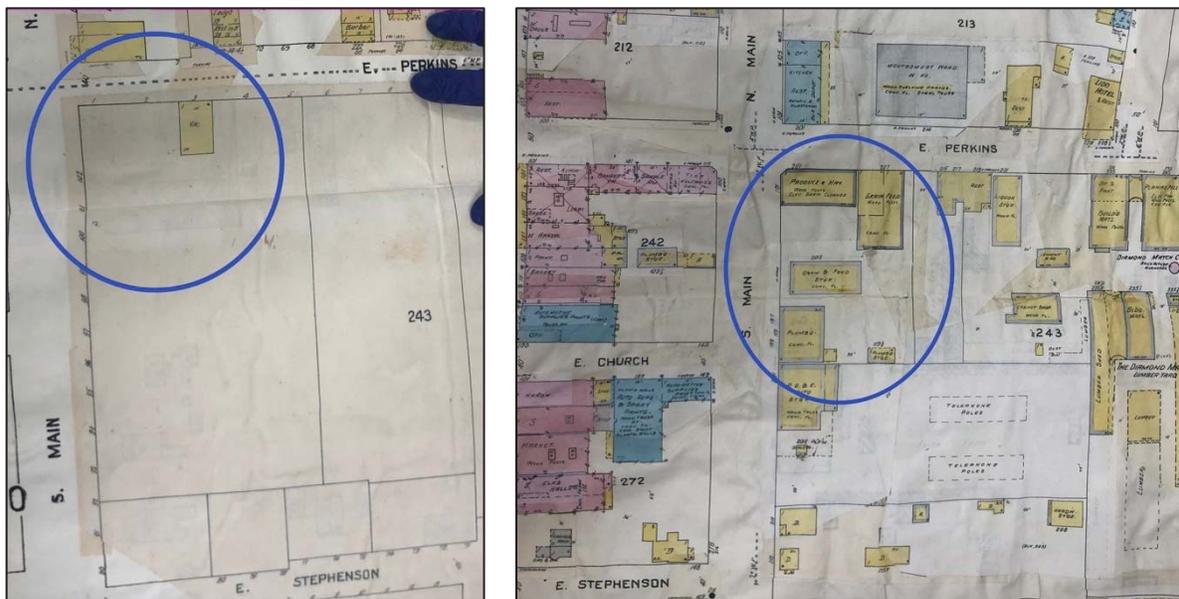


Figure 17: 1918 (post fire) and 1929 Sanborn Fire Insurance Maps (courtesy of Mendocino County Historical Society)





ANNOUNCING
Mercer's Feeds
Now Dealer for
Albers Milling Co.
Featuring A Complete Line of

- FEEDS
- POULTRY SUPPLIES
- DAIRY EQUIPMENT
- LAWN SUPPLIES

ALBERS recognizes the importance of a planned nutritional program for each type of animal and for each stage of the animal's development.

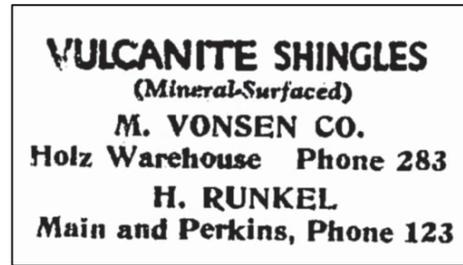
Successful feeders have come to appreciate the value of sound management in today's need for economical production and now look to the ALBERS plant for security in their feeding programs.



Mercer's is your headquarters for all your farm supplies. Stop in, get acquainted and see how you can cut your feed problems--today.

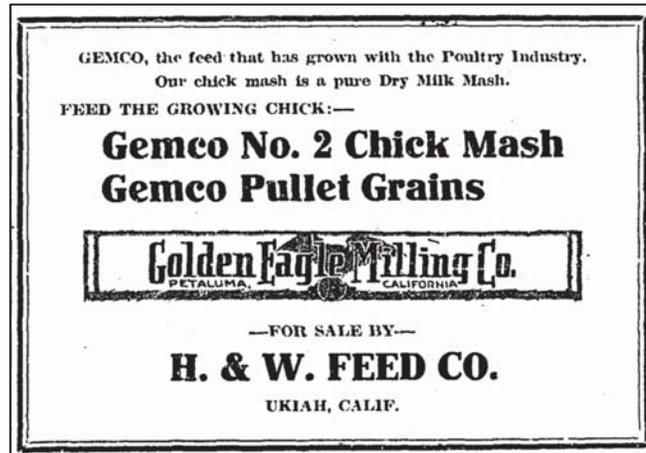
Perkins & Main
Ukiah HO 2-5058

Figure 19: Mercer's Feeds Advertisement, Ukiah Dispatch, May 15, 1927



VULCANITE SHINGLES
(Mineral-Surfaced)
M. VONSEN CO.
Holz Warehouse Phone 283
H. RUNKEL
Main and Perkins, Phone 123

Figure 18: M. Vonsen Co. advertisement, Ukiah Republican Press, April 2, 1930



GEMCO, the feed that has grown with the Poultry Industry.
Our chick mash is a pure Dry Milk Mash.

FEED THE GROWING CHICK:—

Gemco No. 2 Chick Mash
Gemco Pullet Grains



—FOR SALE BY—
H. & W. FEED CO.
UKIAH, CALIF.

Figure 20: H & W Feed Co. advertisement, Ukiah Daily Journal, November 9, 1956

The building remained in constant use as a feed store from 1921 until 1963, through four different businesses: Holz Feed Co., H & W Feed Co., M. Vonsen Co., and Mercer Feed Co. The building's proximity to the railroad depot on the east side of the block made it an attractive commercial venture.

A 1937 marketing film made to promote and showcase local businesses in Ukiah includes footage of the building as it appeared shortly after its construction (see figure 20 below). The building has been slightly modified since then.

The fenestration on the north elevation retains its 1937 appearance, though the west side has changed with the open bay being replaced by two windows. The primary entrance has also been changed from its original 6-paneled doors with multi-paned transom to the current half-glass door with jalousie transom (see photo 31). The awning has been replaced and redesigned to wrap around the northwest corner to shelter the entrance. An aerial photograph from 1938 indicates that the false front across the north elevation was removed between 1937 and 1938 (see figure 21 below).



Figure 21: 1937, Ukiah Marketing Movie, minute 7:02 and 7:06



Figure 22: 1938 Aerial of Ukiah (courtesy of Mendocino County Historical Society)



Figure 23: 1948, photograph by Phyllis Bartolomie (courtesy of the Mendocino County Historical Society)



Figure 24: 1948, photograph by Phyllis Bartolomie (courtesy of the Mendocino County Historical Society)



*Figure 25: Advertisement for "Piet's Antieks,"
Ukiah Daily Journal, January 20, 1980*



Figure 26: 1957 Aerial of Ukiah (Cartwright Aerial Surveys, CAS-1957)

In 1963 the building was transformed into retail space and became the site of “Schuler’s Surplus Sales.” A building permit from July 17, 1962, states that air conditioning was installed in the structure, supporting the hypothesis that the building was repurposed at this time. It is probable that the bay on the west elevation was replaced with two windows at this time to better enclose the space for retail use. The use of jalousie transoms on these two windows also supports this date, given the popularity of jalousie windows in the 1950s and 1960s. The front door appears to have been replaced at this time with the current half-glass French doors with jalousie transom. These replacement doors provided significantly more light to the interior.

This change of use was indicative of the changing face of Ukiah at mid-century. The modern town needed general retail space instead of feed stores, wagon sheds and blacksmith shops.

The building has remained in consistent use as a commercial facility since 1963, cycling through at least seven tenants, as outlined in the “Table of Tenants” below. The current business, “Dragon’s Lair,” has been in the building since 1995.

Permit records for the property include:

- 7/17/1962 Installation of air conditioning
- 3/4/1985 Retroactive permit for interior and mechanical modifications
- 4/18/1985 Interior modifications for Main Street Wine & Cheese

Table of Owners

Date	Owner	Notes	Source
1845	Cayetano Juarez	Rancho Yokaya (8 square leagues)	Hoffman, 1862.
1856	Samuel Lowry	160 acres	Carpenter & Milberry, p. 475
1857	A.T. Perkins		Carpenter & Milberry, p. 475
7/18/1878	Robert McKindley [sic]	130' (E-W) x 92' (N-S), Perkins & Main	Deed Book 18, p. 358
8/4/1885	David Frost		Deed Book 36, p. 254
6/25/1887	I.N. Stapp & W.J. Ellis		Deed Book 40, p. 536
9/20/1890	W.J. Ellis		Deed Book 53, p. 148
10/25/1920	W.M. Cox	207.15' (E-W) x 213.95' (N-S)	Deed Book 161, p. 338
3/21/1922	Eugenia B. Cox	(same)	Deed Book 167, p. 449
2/15/1937	W.T. Robuson	151.15' (E-W) x 138.95' (N-S)	Official Records Book 113, p. 241
3/10/1957	McCarty's a co-partnership	(same)	Deed Book 475, p. 78
1/27/1970	Jing Quan (1/2) & Phillip Quan (1/2)		Deed Book 809, p. 514
4/6/2011	Rosita Quan		Record 2011-04877
1/29/2016	Todd & Noel Schapmire		Record 2016-01157

Table of Tenants

Date	Tenant
1921	Holz Feed Co.
1923-1929	H&W Feed Co.
1930-1956	M. Vonsen Co. (Hay, Grain, Flour, Feed)
1956-1961	Mercer Feed Co.
1963-1967	Schuler's Surplus Sales
1969-1972	UVARC Thrift Shop
1973 – 1978	Ukiah Valley Thrift Shop
1980-1985	Piet's Antieks
1985-1991	Main Street Wine and Cheese
1992	Political Campaign headquarters
1995	Dragon's Lair



Determination of Eligibility

The California Environmental Quality Act (PRC §21084.1) and its associated guidelines for implementation (CCR Title 14, Chapter 3, sections 15000 et seq.) defines historic resources as any object, building, structure, site, area, place, record or manuscript that, in general, meets at least one of the following four criteria:²³

1. listed in the California Register of Historical Resources (PRC §5024.1 Title 14 CCR, Section 4850 et seq);
2. determined eligible for listing the California Register by the State Historic Preservation office;
3. included in a local register of historical resources (as defined in PRC §5024.1(g); OR
4. determined by the lead agency, through the presence of substantial evidence, to be historically significant because of its association with significant events, association with significant persons, architectural distinction, or potential to yield information important in history or prehistory.

The building at 101 South Main Street is identified in the 1985 “Ukiah Historic Resource Survey” and the 1999 “City of Ukiah Architectural Survey” as historically significant. It is included in the State of California’s “Built Environmental Resource Database (BERD)” with a designation of “**5S2**,” meaning that a local government has recognized the resource as “eligible for local listing or designation.” Where the previous local inventory suggests that the building is eligible for listing on the National Register of Historic Places (NRHP), I defer to the State of California’s assessment that the building is significant at the LOCAL level and not the national level. (See Appendix B for copies of local inventory forms.)

CRITERIA

According to the California Office of Historic Preservation (OHP), a building, structure or object is eligible for listing in the California Register if it meets one or more of the four following criteria:²⁴

Criteria	101 South Main Street
1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.	This commercial building is directly associated with the post-fire, early twentieth century commercial development of the east side of Ukiah.
2. Associated with the lives of persons important to local, California or national history.	While the property was initially developed by one of Ukiah’s founding fathers (A.T. Perkins), the current building was built after that period. It is not directly associated with any persons significant to local, state or national history.

²³ [https://govt.westlaw.com/calregs/Document/IFFC7DA00D48511DEBC02831C6D6C108E?viewType=Full&transitionType=Default&contextData=\(sc.Default\)](https://govt.westlaw.com/calregs/Document/IFFC7DA00D48511DEBC02831C6D6C108E?viewType=Full&transitionType=Default&contextData=(sc.Default))

²⁴ Pub. Res. Code 5024.1, Title 14 CCR, Section 4852.



<p>3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.</p>	<p>The utilitarian building is not architecturally distinctive and does not possess high artistic values.</p>
<p>4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation</p>	<p>Even though no archeological surveys have been conducted on this site specifically, there remains a possibility that buried archaeological deposits could be present and that accidental discovery could occur. In keeping with the CEQA guidelines, if such archaeological remains are unearthed, work at the place of discovery should be halted immediately until a qualified archaeologist can evaluate the finds. Should archeological resources be discovered, avoidance and preservation in place would be the preferred forms of mitigation.</p> <p>Prehistoric archaeological indicators include: obsidian and chert flakes and chipped stone tools; grinding and mashing implements (e.g., slabs and handstones, and mortars and pestles); bedrock outcrops and boulders with mortar cups; and locally darkened midden soils. Midden soils may contain a combination of any of the previously listed items, with the possible addition of bone and shell remains and fire-affected stones.</p> <p>Historic period site indicators generally include: fragments of glass, ceramic, and metal objects; milled and split lumber; and structure and feature remains, such as building foundations and discrete trash deposits (e.g. wells, privy pits, dumps).</p>

INTEGRITY ANALYSIS

Integrity is the ability of a property to convey its historic significance. It consists of seven aspects: location, design, setting, materials, workmanship, feeling and association.²⁵

Integrity Element	101 South Main Street	Conclusion
<p>Location (<i>“place where the property was built”</i>)</p>	<p>The building retains its integrity of location as it has not been moved or relocated.</p>	<p>INTACT</p>
<p>Design (<i>“combination of elements that</i></p>	<p>Changes to the building include removing the false front across the north elevation, replacing the awning in a similar location, infilling a bay at</p>	<p>INTACT</p>

²⁵ http://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_8.htm



<i>create the form, plan, space, structure, and style” (NPS)</i>	<p>the northeast corner of the north elevation, infilling a bay on the west elevation and adding two windows to the west elevation.</p> <p>These changes, however, do not impede the structure’s ability to convey its 1921 origins as a commercial building. At the same time, the building retains its basic utilitarian design.</p>	
Setting (“ <i>physical environment</i> ”)	The nineteenth and early-twentieth century commercial setting has been gradually converted into a modern commercial intersection. Only two buildings from the early twentieth century (post 1917 fire) remain to tell the story of the commercial history of this block.	COMPROMISED
Materials	The original materials remain predominantly intact on all four elevations, though they have been patched and replaced in-kind over the past century.	INTACT
Workmanship (“ <i>evidence of labor and skill</i> ”)	The utilitarian building does not display notable workmanship.	N/A
Feeling (“ <i>expression of the aesthetic or historic sense of a particular period of time</i> ”)	The site itself retains its basic light industrial/commercial feeling, though the surrounding area has been altered. Almost all of the other light industrial buildings in the area have been demolished and replaced with modern commercial buildings, including the mid-century post office across the street and the modern buildings directly east and south of the project area. The block no longer services agricultural functions of the surrounding area.	INTACT
Association (“ <i>direct link between an important historic event or person</i> ”)	The property directly retains its early commercial associations. The building appears basically as it did when it was built around 1921, with minor changes to the fenestration, roof line and entrances.	INTACT

CHARACTER DEFINING FEATURES

The National Park Service defines character and “character defining features” as:

those visual aspects and physical features that comprise the appearance of every historic building. Character-defining elements include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.²⁶

²⁶ Lee H. Nelson, FAIA, Preservation Brief 17: Architectural Character (Washington, D.C. National Park Service, 1988), p. 1.



The following table addresses the standard elements of “character defining features” as applied to 101 South Main Street.

Feature	101 South Main Street
Shape	1-story. Rectangular footprint. Clipped at NW corner.
Roof and roof features	Gabled roof with false front on the west elevation fronting South Main Street.
Openings	Entrance at the clipped NW corner. Irregularly spaced window openings of varying sizes and shapes across the west and north elevations. No windows on the south or east sides. <i>Note: The current front door is a replacement feature in the location of the original doors ,and the southern windows on the west elevation are not original to the building. Both of these modifications date to 1963.</i>
Projections	Porch at SE corner. Metal awning with corrugated metal roof across the west elevation. <i>Note: The current awning is a replacement awning in roughly the same location as the original feature.</i>
Trim & Secondary Features	None.
Materials (from a distance)	Metal.
Setting	Medium Density Commercial.
Materials (at close range)	Pressed tin. Corrugated metal.
Craft Details	None.

Conclusion

The building at 101 South Main Street dates from 1921, is included in Ukiah’s 1985 “Historic Resources Survey,” and is included in the State of California’s “Built Environmental Resource Database (BERD)” with a designation of “**5S2**,” meaning that a local government has recognized the resource as “eligible for local listing or designation.” Where the previous local inventory suggests that the building is eligible for listing on the National Register of Historic Places (NRHP), I defer to the State of California’s more recent determination that the building is significant at the LOCAL level and not the national level.

Further evaluation and research of the property confirms that the information in the earlier reconnaissance level survey is correct and that the building appears to be significant for its association with the post-fire redevelopment of Ukiah (criterion 1). Its period of significance is 1921 (its inferred construction date), and the building retains enough physical integrity to convey its early twentieth century commercial origins, which render it historic. The dilapidated utilitarian building does not appear to be significant for its architectural merit (criterion 3).

Based on extensive research of the development of this parcel, it is my professional opinion that the **building qualifies as an historic resource** under the California Environmental Quality Act (CEQA).



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Appendix A: Photographs

FIGURE 1: PARCEL MAP 2-23	6
FIGURE 2: AERIAL VIEW OF PROJECT AREA, GOOGLE MAPS 2020.....	7
FIGURE 3: 1866 MAP OF NORTHERN CALIFORNIA, STERLING M. HOLDREDGE	9
FIGURE 4: ABSALOM AND MARY PERKINS, 1859	10
FIGURE 5: PERKINS CHILDREN, 1859	10
FIGURE 6: UKIAH POPULATION, 1880 TO 2010	10
FIGURE 7: HEADLINE OF <u>UKIAH DISPATCH</u> , JUNE 22, 1917	11
FIGURE 8: POST FIRE PHOTOGRAPH OF THE WEST SIDE OF STATE STREET, BETWEEN PERKINS AND CHURCH STREETS (COURTESY OF ED BOLD)	11
FIGURE 9: 1958 USGS QUAD, UKIAH, CA.....	11
FIGURE 10: <u>UKIAH DAILY JOURNAL</u> , NOVEMBER 27, 1891	12
FIGURE 11: PERKINS AD, <u>MENDOCINO DEMOCRAT</u> , NOVEMBER 1, 1873.....	12
FIGURE 12: MCKINDLEY LIVERY, <u>UKIAH CITY PRESS</u> , AUGUST 9, 1878.....	12
FIGURE 14: HOLZ FEED CO. ADVERTISEMENT, <u>UKIAH DISPATCH DEMOCRAT</u> , JUNE 24, 1921	13
FIGURE 13: "ELLIS FEED BARN," <u>UKIAH DISPATCH</u> , NOVEMBER 13, 1903	13
FIGURE 16: 1885 AND 1888 SANBORN FIRE INSURANCE MAPS	15
FIGURE 17: 1893 AND 1898 SANBORN FIRE INSURANCE MAPS	15
FIGURE 18: 1918 (POST FIRE) AND 1929 SANBORN FIRE INSURANCE MAPS (COURTESY OF MENDOCINO COUNTY HISTORICAL SOCIETY).....	15
FIGURE 19: M. VONSEN Co. ADVERTISEMENT, <u>UKIAH REPUBLICAN PRESS</u> , APRIL 2, 1930.....	16
FIGURE 20: MERCER'S FEEDS ADVERTISEMENT, <u>UKIAH DISPATCH</u> , MAY 15, 1927	16
FIGURE 21: H & W FEED Co. ADVERTISEMENT, <u>UKIAH DAILY JOURNAL</u> , NOVEMBER 9, 1956	16
FIGURE 22: 1937, UKIAH MARKETING MOVIE, MINUTE 7:02 AND 7:06	17
FIGURE 23: 1938 AERIAL OF UKIAH (COURTESY OF MENDOCINO COUNTY HISTORICAL SOCIETY)	17
FIGURE 24: 1948, PHOTOGRAPH BY PHYLLIS BARTOLOMIE (COURTESY OF THE MENDOCINO COUNTY HISTORICAL SOCIETY)	18
FIGURE 25: 1948, PHOTOGRAPH BY PHYLLIS BARTOLOMIE (COURTESY OF THE MENDOCINO COUNTY HISTORICAL SOCIETY)	18
FIGURE 26: ADVERTISEMENT FOR "PIET'S ANTIKES," <u>UKIAH DAILY JOURNAL</u> , JANUARY 20, 1980	19
FIGURE 27: 1957 AERIAL OF UKIAH (CARTWRIGHT AERIAL SURVEYS, CAS-1957)	19
PHOTO 28: WEST ELEVATION (FACING SOUTH MAIN STREET)	29
PHOTO 29: NORTHWEST CORNER, ENTRANCE.....	29
PHOTO 30: NORTHWEST CORNER, FRONT DOOR	30
PHOTO 31: NORTHWEST CORNER, DOOR AND JALOUSIE TRANSOM (NOT ORIGINAL)	30
PHOTO 32: NORTHWEST CORNER, DETAIL OF METAL AWNING.....	31
PHOTO 33: WEST ELEVATION, WINDOW WITH MULTI LITE TRANSOM (ORIGINAL).....	31
PHOTO 34: WEST ELEVATION, MIDDLE WINDOW WITH JALOUSIE TRANSOM (CA 1963)	32
PHOTO 35: WEST ELEVATION, SOUTH WINDOW WITH JALOUSIE TRANSOM (CA 1963)	32
PHOTO 36: WEST ELEVATION, CEILING OF AWNING	33
PHOTO 37: WEST ELEVATION, CONDITION OF PRESSED TIN	33
PHOTO 38: WEST ELEVATION, FALSE FRONTING (LOOKING NE).....	34
PHOTO 39: WEST ELEVATION FALSE FRONT (LOOKING NW)	34
PHOTO 40: WEST ELEVATION, FALSE FRONT (LOOKING SW)	35
PHOTO 41: SOUTH ELEVATION	35
PHOTO 42: SOUTH ELEVATION, MECHANICAL EQUIPMENT DETAIL.....	36
PHOTO 43: SOUTH ELEVATION, PEDESTRIAN ENTRANCE AT SE CORNER	36
PHOTO 44: EAST ELEVATION, MURAL.....	37
PHOTO 45: EAST ELEVATION, MURAL SIGNATURE	37
PHOTO 46: NORTH ELEVATION (FRONTING PERKINS STREET)	38
PHOTO 47: NORTH ELEVATION, INFILLED BAY AT NE CORNER	38

PHOTO 48: NORTH ELEVATION, MURAL AND WINDOWS..... 39
PHOTO 49: SETTING, NEIGHBOR TO THE SOUTH 39
PHOTO 50: SETTING, LOOKING SOUTH ON SOUTH MAIN STREET 40
PHOTO 51: SETTING, SW CORNER OF PERKINS AND SOUTH MAIN STREETS 40
PHOTO 52: SETTING, LOOKING WEST ON PERKINS STREET 41
PHOTO 53: SETTING, NW CORNER OF PERKINS AND SOUTH MAIN STREETS 41
PHOTO 54: SETTING, WEST SIDE OF MAIN STREET, LOOKING NW FROM PROJECT AREA 42
PHOTO 55: SETTING, NEIGHBOR TO NORTH (NE CORNER OF PERKINS AND MAIN STREETS) 42
PHOTO 56: SETTING, LOOKING EAST ON PERKINS STREET (NORTH SIDE) 43
PHOTO 57: SETTING, LOOKING EAST ON PERKINS STREET (SOUTH SIDE) 43
PHOTO 58: SETTING, PARKING LOT AND NEIGHBOR TO THE EAST 44





Photo 27: West elevation (facing South Main Street)

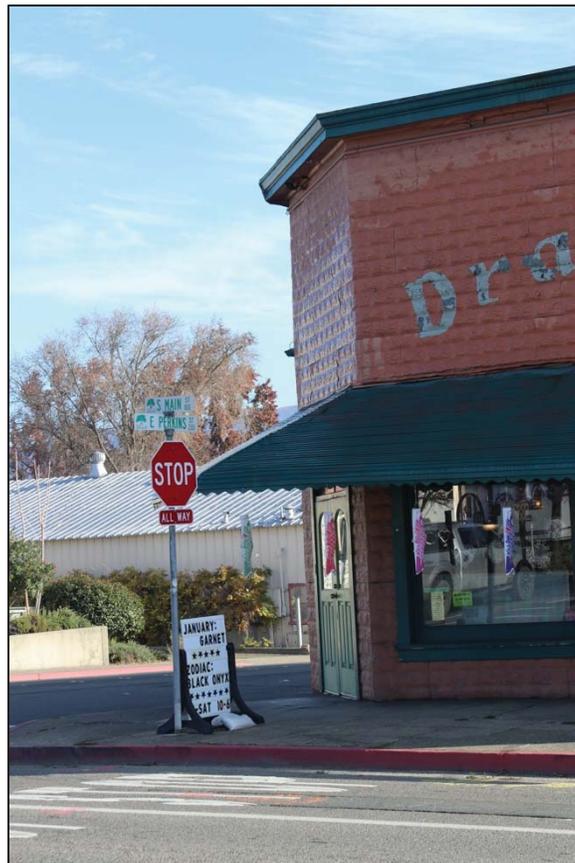


Photo 28: Northwest corner, entrance



Photo 29: Northwest corner, front door



Photo 30: Northwest corner, door and jalousie transom (not original)



Photo 31: Northwest corner, detail of metal awning



Photo 32: West elevation, window with multi lite transom (original)



Photo 33: West elevation, middle window with jalousie transom (ca 1963)



Photo 34: West elevation, south window with jalousie transom (ca 1963)



Photo 35: West elevation, ceiling of awning



Photo 36: West elevation, condition of pressed tin

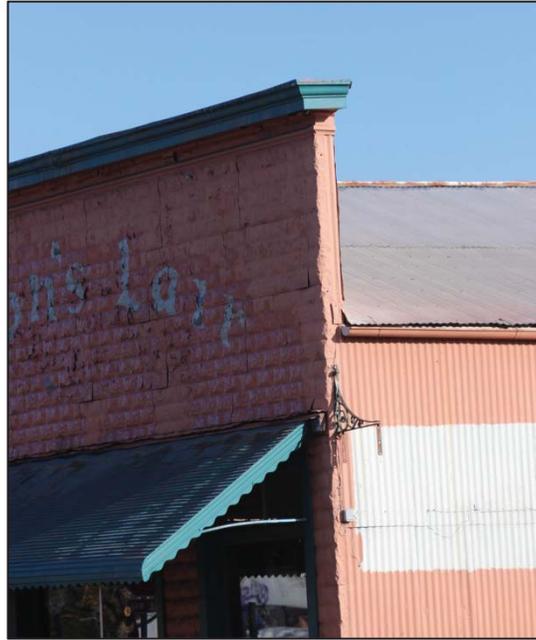


Photo 37: West elevation, false fronting (looking NE)



Photo 38: West elevation false front (looking NW)



Photo 39: West elevation, false front (looking SW)



Photo 40: South elevation



Photo 41: South elevation, mechanical equipment detail



Photo 42: South elevation, pedestrian entrance at SE corner



Photo 43: East elevation, mural



Photo 44: East elevation, mural signature



Photo 45: North elevation (fronting Perkins Street)



Photo 46: North elevation, infilled bay at NE corner



Photo 47: North elevation, mural and windows



Photo 48: Setting, neighbor to the south



Photo 49: Setting, looking south on South Main Street



Photo 50: Setting, SW corner of Perkins and South Main streets



Photo 51: Setting, looking west on Perkins Street



Photo 52: Setting, NW corner of Perkins and South Main streets



Photo 53: Setting, west side of Main Street, looking NW from project area



Photo 54: Setting, neighbor to north (NE corner of Perkins and Main streets)



Photo 55: Setting, looking east on Perkins Street (north side)



Photo 56: Setting, looking east on Perkins Street (south side)



Photo 57: Setting, parking lot and neighbor to the east

**Appendix B: Ukiah “Historic Resources Inventory” survey forms (1985,
revised 1999)**



State of California – The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

HABS		HAER	NR	Ser. No. <u>5</u>	SHL	Loc
UTM:	A	<u>10/482280</u>	B	<u>4333240</u>		
	C		D			

IDENTIFICATION

1. Common name: Main Street Wine and Cheese
2. Historic name: W.M. Cox Company
3. Street or rural address: 101 So. Main Street
 City Ukiah Zip 95482 County Mendocino
4. Parcel number: 002-231-01
5. Present Owner: Jing Quan Address: 247 E. Perkins
 City Ukiah Zip 95482 Ownership is: Public _____ Private
6. Present Use: Commercial Original use: Commercial

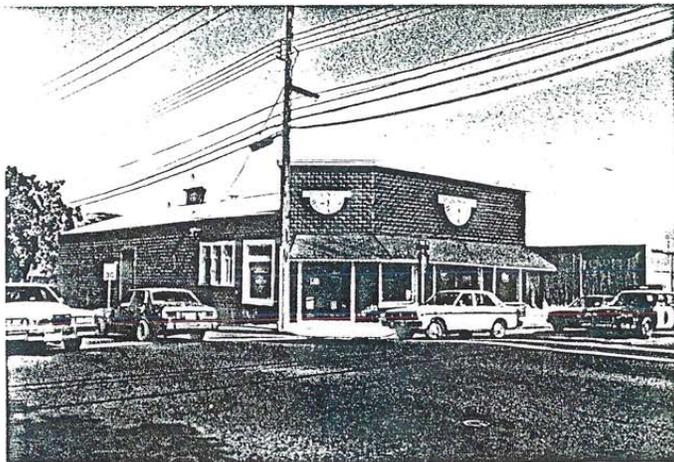
DESCRIPTION

7a. Architectural style: Vernacular Commercial

7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

The small one story commercial building is rectangular in form, with an angular corner. The main body of the building has a gabled form roof, behind the tall parapeted facade wall of the shop front. A molded tin cornice projects from the top of the wall, and a canopy extends over the ground floor shop windows and angled entry. The north elevation contains a large window and two smaller grouped ones all with multi-paned upper portions. The frame building is sheathed with pressed metal panels, patterned to resemble courses of rusticated stone. Signs have been added to the facade and the corrugated metal sheathing rear of the store has been painted with stylized Greek columns.

Alterations include some modifications to openings on sides and rear of building, minor additions to the south elevation, and some interior remodeling. A tromp l'oeil painting of large classical columns was painted across the rear of the building around 1981-82.



8. Construction date:
 Estimated _____ Factual 1921
9. Architect Unknown
10. Builder Unknown
11. Approx. property size (in feet)
 Frontage 125 Depth 151
 or approx. acreage _____
12. Date(s) of enclosed photograph(s)
Dec. '84, May '85



13. Condition: Excellent ___ Good ___ Fair X Deteriorated ___ No longer in existence ___
14. Alterations: Modification of openings & rear, add. to so, ext. rem., painting
15. Surroundings: (Check more than one if necessary) Open land ___ Scattered buildings ___ Densely built-up X
 Residential ___ Industrial X Commercial X Other: _____
16. Threats to site: None known ___ Private development ___ Zoning ___ Vandalism ___
 Public Works project ___ Other: _____
17. Is the structure: On its original site? X Moved? ___ Unknown? ___
18. Related features: _____

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

In 1878 Robt. McKinley purchased the SE corner of Perkins and Main from A.T. Perkins. McKinley lived in a house on the site and shared the lot with a feed stables he owned. The McKinley family kept a part interest in the business until 1885. In 1889 the old stables were torn down and new blacksmith - wagon shop structure was built by the Ellis family who then owned the property. In 1917 the big downtown fire destroyed all the buildings on the lot. The W.M. Cox Company bought the property from the Ellis' in Oct. 1920. The Cox family had owned general merchantile and grocery stores in Ukiah for many years. A deed transfer from the Cox Co. to widow in March 1922 implies that the building was on site.

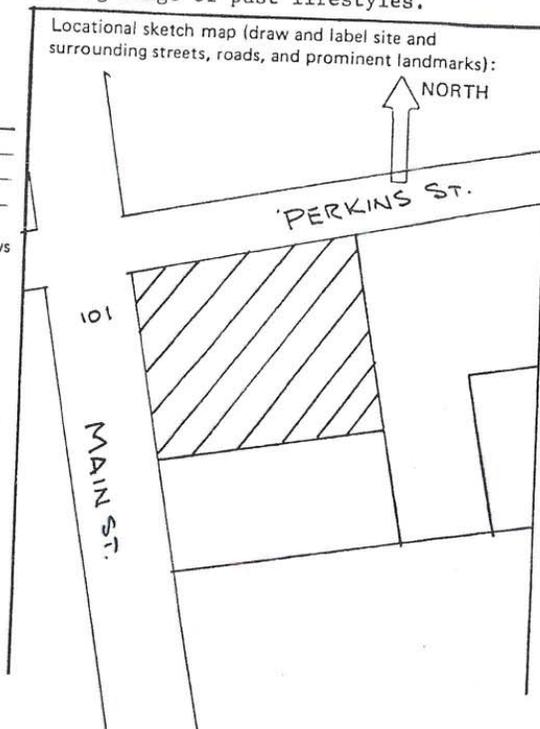
In 1925 Eugenia Cox, widow of W.M. leased the building to W.R. Hildreth and F.M. Wilson (see 216 W. Henry) for 72 moths at \$100 a month with permission to let them place a large pair of scales on the premises. For many years this building was used to buy and sell produce, hay and clean grain.

The structure is representative of a type of commercial structure common to its era. It is a rather rare survivor of the type in Ukiah, and is located prominently. Its surfacing materials and form create a rather strong image of past lifestyles.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
 Architecture 1 Arts & Leisure ___
 Economic/Industrial 2 Exploration/Settlement ___
 Government ___ Military ___
 Religion ___ Social/Education ___

21. Sources (List books, documents, surveys, personal interviews and their dates).
 Western Title, Dispatch Democrat
 Mendocino Co. Records
 Sanborn Maps, 1888, 1898 and 1929

22. Date form prepared November 22, 1985
 By (name) P. Boghosian/Vol. Committee
 Organization Hist. Env. Cons./City of Ukiah
 Address: 203 S. School St.
 City Ukiah Zip 95482
 Phone: (707) 462-2971



State of California - The Resources Agency

P-23-005127

DEPARTMENT OF PARKS AND RECREATION

HRI# 5482

CONTINUATION SHEET

NRHP Status Code 3S

City of Ukiah Architectural Survey

Update Continuation

Resource Name:

APN: 002-231-01-00

P2. Property Address: 101 Main Street, S.
Ukiah, CA 95482

P3. Description:

P4. Resources Present: Building District Element of District

P6. Date Constructed: c. 1921

P7. Owner and Address: Jing & Phillip Quan
247 E. Perkins Street

B5. Architectural Style: Vernacular commercial

B6. Construction History: (Changes or alterations since 1985)

B10. Significance:

This pressed metal-clad building is an excellent example of its type and the only one left in Ukiah.

Commercial development in Ukiah

Applicable Criteria ^{A,} C

is there an intact commercial district which may warrant NR/CR eligibility ??

Site Photo



P8. Recorded by: Bonnie W. Snyder, P.S. Preservation Services, P.O. Box 191275, Sacramento CA 95819

P9. Date Recorded: July 1, 1999

b



Appendix C: DPR523 Form A, Primary Form



State of California <input type="checkbox"/> The Resources Agency		Primary #	PR-23-005127
DEPARTMENT OF PARKS AND RECREATION		HRI #	5482
PRIMARY RECORD		Trinomial	
		NRHP Status Code	3S
Other Review Code	Reviewer	Date	Listings

Page 1 of 5 *Resource Name or #: 101 South Main Street, Ukiah

P1. Other Identifier (APN): 002-231-01-00

*P2. Location: Not for Publication Unrestricted

*a. County Mendocino and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Ukiah Date 2018 T 15N; R 12W; of of Sec ; B.M.

c. Address: 101 South Main Street City Ukiah Zip 95482-4919

d. UTM: (Give more than one for large and/or linear resources) Zone 10S, 482165.27 mE/ 4333451.62 mN

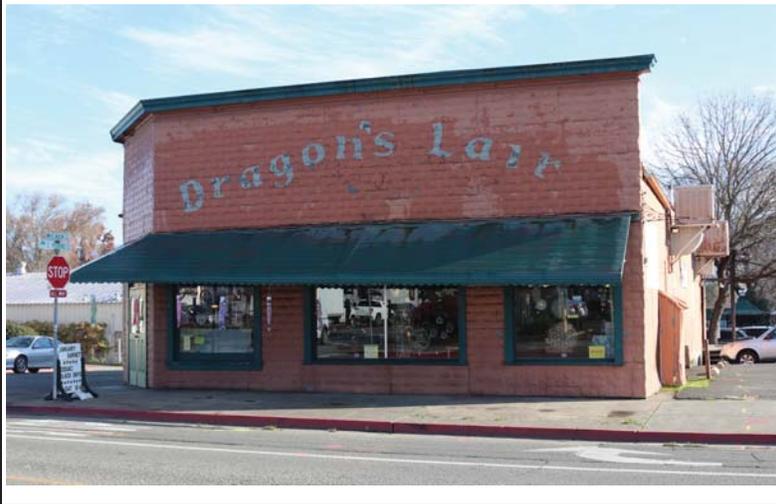
e. Other Locational Data: (e.g., parcel #, directions, elevation, decimal degrees, etc.) APN 002-231-01-00

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The 1-story, gable-roofed, wood-framed commercial building has a roughly rectangular footprint, with the NW corner clipped to accommodate the primary entrance. It is clad in corrugated metal and capped with corrugated metal roofing. The west and north elevations are faced in pressed tin to simulate rusticated, coursed, ashlar stone. The west elevation, fronting South Main street, is dominated by a false front that extends above the gable end of the roof and is capped with a pronounced boxed cornice. The street-facing side of the false front is faced with pressed tin; the rear is faced with corrugated metal. A corrugated metal awning extends the length of the west elevation and wraps around the northwest corner to shelter the primary entrance. A scalloped detail obscures the edge of the awning and adds visual interest. This elevation has 3 windows. The northernmost window is a fixed sash, single-paned window topped by a 6-paned transom window. The frame is simple board surround with a slightly projecting sill. The middle and south windows have fixed sashes set in aluminum frames. Glass, jalousie transom top the windows. The frames have no projecting sills. The entrance is on the NW corner and consists of a pair of half-glass French doors with raised panels beneath arched glass panes. The door has a glass, jalousie transom and simple board frame. (CONTINUED)

*P3b. Resource Attributes: (List attributes and codes) HP6 (1-3 story commercial)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P4. Resources Present:

Building Structure
 Object Site District
 Element of District Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) 1/7/20, West

*P6. Date Constructed/Age and Source: 1921 (Ukiah Republican Press)

Historic
 Prehistoric
 Both

*P7. Owner and Address:

Todd & Noel Schapmire, 390 W Standley St., Ukiah, CA 95482

*P8. Recorded by: (Name, affiliation, and address)

Alice P. Duffee
APD Preservation LLC

*P9. Date Recorded: Jan. 2020

*P10. Survey Type: (Describe)
Intensive

*P11. Report Citation: (Cite survey report

and other sources, or enter "none.") "Historic Resource Evaluation", Duffee (1/2020), 1999 Update

*Attachments: NONE Location Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (9/2013)

*Required information



Appendix D: DPR523 Form B, Building/Object/Structure Form



State of California <input checked="" type="checkbox"/> The Resources Agency	Primary #	<u>PR-23-005127</u>
DEPARTMENT OF PARKS AND RECREATION	HRI#	<u>5482</u>
BUILDING, STRUCTURE, AND OBJECT RECORD		

*Resource Name or # (Assigned by recorder) 101 South Main Street, Ukiah *NRHP Status Code 3CS
Page 2 of 5

B1. Historic Name: 101 South Main Street
 B2. Common Name: 101 South Main Street
 B3. Original Use: Commercial B4. Present Use: Commercial
 *B5. Architectural Style: Utilitarian

*B6. Construction History: (Construction date, alterations, and date of alterations) 1917-1921

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features:

None

B9a. Architect: UNK

b. Builder: UNK

*B10. Significance: Theme Commercial Architecture Area Ukiah, Mendocino County
 Period of Significance 1921 Property Type Commercial

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The parcel was the site of early commercial development in Ukiah, dating to 1857 when Absalom Tidwell Perkins built a livery on this corner of the country crossroads. The original building was replaced with a second livery/hay barn in 1890. Ukiah's June 1917 fire destroyed the 2nd building, and a 3rd structure was built on the site by at least 1921. From 1921-1963 the building served as a feed store. The building was converted to retail space in 1963. Modifications made at that time included infilling 2 open bays with windows, replacing the front doors, replacing and reconfiguring the awning, and adding an additional window. The false front that most defines the building was modified in 1938, but retains its basic early 20th century feeling. The building has remained in retail use almost continuously since 1963. The building is significant for its association with the post-fire redevelopment of Ukiah. It stands as the only remaining building to tell the story of how this block functioned as a service hub for agricultural commerce in the region. The building retains enough physical integrity to convey its early 20th century commercial origins.

. B11. Additional Resource Attributes: (List attributes and codes) HP6 (1-3 story commercial)

Applicable Criteria Associated Event Associated Person Architecture Potential to Yield Information

*B12. References:

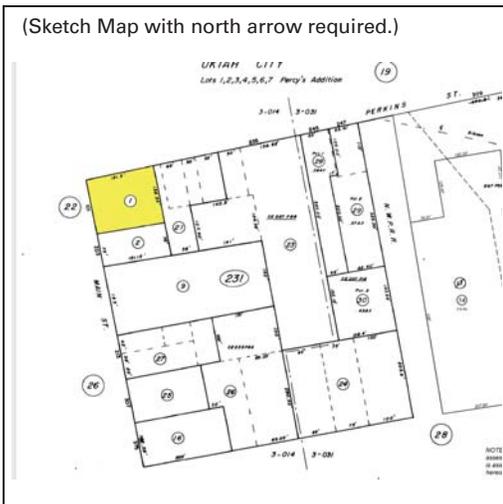
"Historic Resource Evaluation," Duffee (1/2020)

B13. Remarks:

*B14. Evaluator: Alice P. Duffee, APD Preservation

*Date of Evaluation: January 2020

(This space reserved for official comments.)



Appendix E: DPR523 Form L, Continuation Forms



State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION CONTINUATION SHEET	Primary # PR-23-005127 HRI# 5482 Trinomial
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Page 3 of 5 *Resource Name or # 101 S. Main Street, Ukiah
*Recorded by: Alice P. Duffee *Date: January 2020 ■ Continuation ■ Update

***P3a. Description (CONTINUED):**

The north elevation has 3 original windows at irregular intervals and an infilled bay on the eastern corner. The original windows have multi-lite, wood transoms. The western-most window is identical to the flanking window on the west elevation. To its east lies a set of 3 multi-paned windows framed as a single unit. Another single-paned, wood frame window is roughly centered on the elevation. The bay at the eastern corner has been infilled with corrugated metal and a small, single pane, wood framed window. The building's concrete foundation is visible on this elevation. The east elevation has no openings and is covered with a mural of ionic columns that was painted in 7/1982 by Neil Phillip Anderson and Rita Lowitt, according to the signature at the bottom right of the artwork. The rear of the building (the south elevation) has a variety of mechanical equipment and a single pedestrian door at the eastern corner. A simple wood porch with 4 wood steps accesses the paneled rear door.



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # **PR-23-005127**
HRI# **5482**
Trinomial

Page 4 of 5 *Resource Name or # 101 South Main Street, Ukiah
*Recorded by: Alice P. Duffee *Date: January 2020 ■ Continuation ■ Update

PHOTOGRAPHS



West Elevation (South Main Street)



South Elevation



East Elevation (Mural 7/1982)



North Elevation (Perkins Street)



West Elevation, Pressed Tin Detail



Northwest corner, False Front Detail

Appendix E: DPR523 Form J, Location Map



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

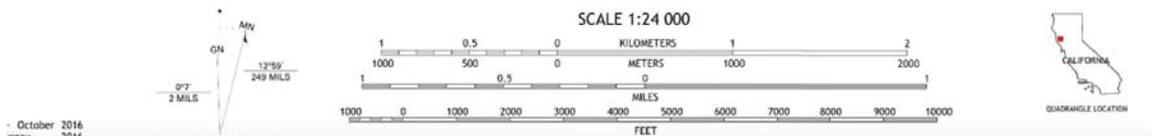
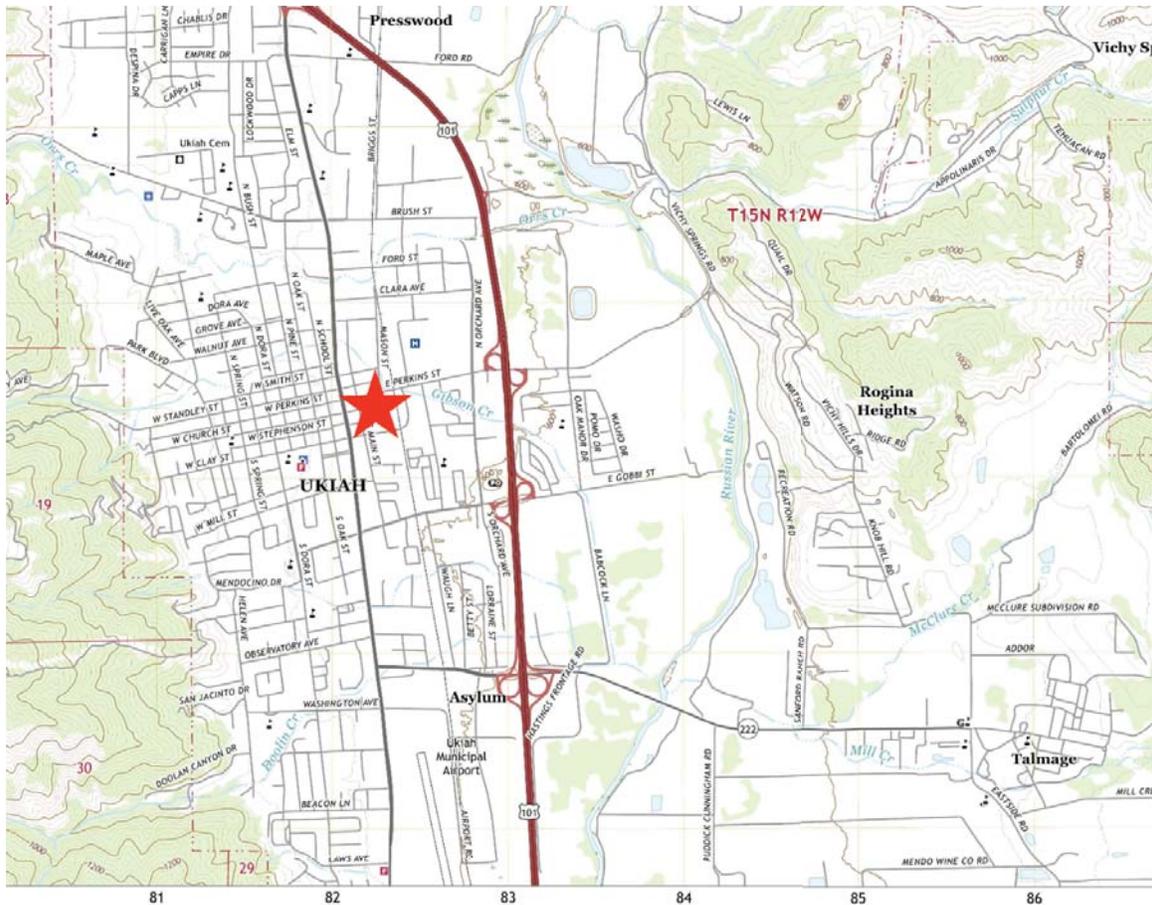
Primary # **PR-23-005127**
HRI# **5482**
Trinomial

Page 5 of 5

*Resource Name or #:

101 South Main Street, Ukiah, CA

7.5 USGS Topographic Map, Ukiah Quad, 2018



October 2016
revised 2016

DPR 523J (1/95) *Required information

