

Specific Plan No. 380, Amendment #1 Keller Crossing Specific Plan

RIVERSIDE COUNTY

**PUBLIC REVIEW DRAFT
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TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
SUMMARY OF CHANGES	SC-1
CHAPTER I INTRODUCTION	1-1
A. Project Summary.....	1-1
B. Project Location and Setting.....	1-3
1. Surrounding Land Uses and Development.....	1-3
C. Document Purpose	1-8
D. Specific Plan Format.....	1-8
E. Relationship to the Riverside County General Plan.....	1-9
F. Planning Approach.....	1-10
G. Specific Plan Goals	1-10
H. Discretionary Actions.....	1-11
1. Riverside County Planning Commission	1-11
2. Riverside County Board of Supervisors	1-11
CHAPTER 2 DEVELOPMENT PLAN.....	2-1
A. Land Use Plan.....	2-1
1. Development Concept.....	2-1
2. Land Use Plan Designations.....	2-4
3. General Development Standards	2-5
B. Roadway Master Plan	2-9
1. Conceptual Vehicular Circulation Plan	2-9
2. Conceptual Pedestrian Circulation Plan	2-16
C. Open Space and Recreation Plan.....	2-18
1. Description	2-18
2. Park Land Dedication.....	2-19
3. Open Space and Recreation Development Standards	2-20
D. Drainage and Water Quality Plan	2-22
1. Drainage and Water Quality Plan Description	2-22
2. Drainage and Water Quality Development Standards.....	2-23
E. Master Water Plan.....	2-26
1. Domestic Water Plan.....	2-26
2. Recycled Water Plan.....	2-26
3. Domestic and Recycled Water Development Standards	2-26
F. Master Sewer Plan.....	2-29
1. Sewer Plan Description.....	2-29
2. Sewer Development Standards.....	2-29
G. Conceptual Grading Plan	2-31
1. Description	2-31
2. Grading Development Standards	2-32
H. Fuel Modification Plan	2-34
1. Urban-Wildland Interface.....	2-34
2. Fuel Modification Zones.....	2-34

3. Fuel Modification Plan Standards	2-36
CHAPTER 3 DEVELOPMENT STANDARDS	3-1
A. Planning Area Standards	3-2
1. Planning Area 1: Medium Density Residential	3-2
2. Planning Area 2: Medium Density Residential	3-4
3. Planning Area 3: Medium Density Residential	3-5
4. Planning Area 4: Medium High Density Residential	3-6
5. Planning Area 5: Medium Density Residential	3-7
6. Planning Area 6: High Density Residential	3-10
7. Planning Area 7: Commercial Retail	3-12
8. Planning Area 8: Open Space-Recreation (Park)	3-14
9. Planning Area 9: Open Space-Recreation	3-15
10. Planning Area 10: Open Space-Conservation Habitat	3-16
11. Planning Areas 11A and 11B: Open Space-Water	3-17
11. Planning Area 12: Community Development – Very Low Density Residential	3-18
CHAPTER 4 DESIGN GUIDELINES	4-1
A. Purpose and Intent	4-1
B. Summary	4-2
C. Community Theme	4-2
D. Residential Design Guidelines	4-3
1. Single-Family Residential Architectural Styles	4-3
2. High Density Residential Architectural Styles	4-9
3. Residential Architectural Design Criteria	4-14
4. Residential Architectural Features	4-18
E. Commercial Design Guidelines	4-21
1. Site Planning Guidelines	4-21
2. Architectural Styles	4-24
3. Commercial Architecture Guidelines	4-25
F. Landscape Design Guidelines	4-28
1. Plant Palette	4-30
2. Monumentation	4-37
3. Streetscapes	4-44
4. Recreational Amenities	4-53
5. Walls and Fences	4-55
6. Landscape Interfaces	4-59
CHAPTER 5 IMPLEMENTATION PLAN	5-1
A. Implementation of Specific Plan No. 380, Amendment #1	5-1
1. Parcel and Tract Maps	5-1
2. Plot Plans and Conditional Use Permits	5-1
B. Modifications to the Specific Plan Amendment	5-2
1. Substantial Conformance	5-2
2. Specific Plan Amendments	5-3
C. Conceptual Phasing Plan	5-4
1. Conceptual Phasing Plan Standards	5-4

- D. Maintenance Plan 5-6
 - 1. Circulation and Related Facilities 5-6
 - 2. Landscaping, Open Space, and Related Facilities..... 5-6
 - 3. Utility Infrastructure..... 5-7

LIST OF FIGURES

<u>FIGURE</u>	<u>TITLE</u>	<u>PAGE</u>
Figure 1-1	Regional Map	1-4
Figure 1-2	Vicinity Map	1-5
Figure 1-3	Pre-Development Topographic Map	1-6
Figure 1-4	Surrounding Development Map	1-7
Figure 2-1	Specific Plan Land Use Plan.....	2-3
Figure 2-2	Conceptual Vehicular Circulation Plan.....	2-13
Figure 2-3A	Roadway Cross-Sections (1 of 2).....	2-14
Figure 2-3B	Roadway Cross-Sections (2 of 2).....	2-15
Figure 2-4	Conceptual Pedestrian Circulation Plan.....	2-17
Figure 2-5	Conceptual Open Space and Recreation Plan.....	2-21
Figure 2-6	Conceptual Drainage Plan.....	2-25
Figure 2-7	Conceptual Domestic Water Plan	2-27
Figure 2-8	Conceptual Recycled Water Plan	2-28
Figure 2-9	Conceptual Sewer Plan	2-30
Figure 2-10	Conceptual Grading Plan	2-33
Figure 2-11	Conceptual Fuel Modification Plan.....	2-37
Figure 3-1	Planning Areas Exhibit #1.....	3-3
Figure 3-2	Planning Areas Exhibit #2.....	3-9
Figure 4-1	Single-Family Architecture - Spanish	4-5
Figure 4-2	Single-Family Architecture - Craftsman	4-6
Figure 4-3	Single-Family Architecture - Traditional	4-7
Figure 4-4	Single-Family Architecture - Tuscan.....	4-8
Figure 4-5	High Density Residential - Spanish.....	4-10
Figure 4-6	High Density Residential - Prairie.....	4-11
Figure 4-7	High Density Residential - Farmhouse	4-12
Figure 4-8	High Density Residential - Contemporary.....	4-13
Figure 4-9	Conceptual Commercial Architecture.....	4-27
Figure 4-10	Conceptual Master Landscape Plan.....	4-29
Figure 4-11	Conceptual Master Entry Monumentation.....	4-39
Figure 4-12	Conceptual Primary Entry Monumentation	4-40
Figure 4-13	Conceptual Commercial Entry Monumentation.....	4-41
Figure 4-14	Conceptual Commercial Tower Sign	4-42
Figure 4-15	Conceptual Neighborhood Entry Monumentation.....	4-43
Figure 4-16	Winchester Road/Highway 79 Streetscape	4-45
Figure 4-17	Keller Road Streetscape	4-46
Figure 4-18	Street B Streetscape	4-48
Figure 4-19	Street D and Street E - Enhanced Local Street Streetscape.....	4-49
Figure 4-20A	Street F, Street G, & Street C (West of Street G) - Modified Local Street Streetscape	4-50
Figure 4-20B	Street A, Street C (Between Street G & Street B), and Local Street Streetscape	4-51
Figure 4-21	Roundabout Streetscape	4-52
Figure 4-22	Conceptual Park Plan	4-54

Figure 4-23	Conceptual Wall and Fence Plan	4-57
Figure 4-24	Wall and Fence Details.....	4-58
Figure 4-25	Interface #1 – Residential to Trail to Off-Site Residential.....	4-60
Figure 4-26	Interface #2 – SF Residential to Open Space-CH	4-61
Figure 4-27	Interface #3 – High Density Residential to Winchester Road/Highway 79	4-62
Figure 4-28	Interface #4 – High Density Residential to Open Space-CH.....	4-64
Figure 4-29	Interface #5 – WQMP Basin to Off-Site Properties.....	4-65
Figure 5-1	Conceptual Phasing Plan.....	5-5

LIST OF TABLES

<u>TABLE</u>	<u>TITLE</u>	<u>PAGE</u>
Table SC-1	Summary of Changes: Land Use Summary	SC-2
Table 1-1	Land Use Summary	1-2
Table 2-1	Detailed Land Use Summary	2-2
Table 2-2	Open Space and Recreation Plan Summary.....	2-18
Table 2-3	Parkland Dedication Summary	2-19
Table 4-1	Community Plant Palette	4-31
Table 4-2	Fuel Modification Plant Palette	4-34
Table 4-3	Prohibited Plant List.....	4-36
Table 5-1	Maintenance Responsibilities	5-8

SUMMARY OF CHANGES

Specific Plan 380 Amendment #1 (SP 380-A1) modifies the Specific Plan text and graphics to accommodate a variety of changes to the Specific Plan that reflect modifications to the uses, configuration, acreages, unit counts, densities and Land Use Designations of all the Planning Areas. Additionally, Amendment #1 reduces the overall project acreage by 5.1 acres from 201.1 acres to 196 acres as a result of more accurate mapping techniques.

SP 380-A1 creates thirteen (13) Planning Areas,

Specifically, SP 380-A1 includes the following modifications:

- SP 380-A1 increases the number of residential units by 113 units from 320 units to 433 units;
- Eliminates the Mixed Use land use;
- Eliminates the Low-Density Residential land use;
- Increases the Medium Density Residential land use acreage by 47.3 acres from 13.9 acres to 61.2 acres in Planning Areas 1, 2, 3, and 5, and increases the total dwelling unit count by 235 units from 42 units to 277 units;
- Establishes one (1) Medium High Density Residential neighborhood on 14.1 acres in Planning Area 4, with a total of 76 units;
- Establishes one (1) High Density Residential neighborhood on 7.3 acres in Planning Area 6, with 80 Age Qualified (55+) homes;
- Reduces the Commercial Retail (CR) land use acreage by 24.5 acres from 37.8 acres to 13.3 acres in Planning Area 7;
- Establishes a 6.4-acre Public Park (OS-R) in Planning Area 8;
- Establishes 4.1-acre Land Use buffer with a recreational trail (OS-R) in Planning Area 9;
- Eliminates the Open Space – Conservation (OS-C) land use and establishes 61.4 acres of Open Space - Conservation Habitat (OS-CH) in Planning Area 10;
- Establishes a 4.3-acre and 6.9-acre detention and Water Quality Management basin designated Open Space-Water in Planning Areas 11A and 11B, respectively; and
- Establishes a 1-acre portion designated Community Development-Very Low Density Residential (CD-VLDR) in Planning Area 12 with no dwelling units allocated or permitted. The Planning Area will be utilized by adjacent landowners, Riverside County Flood Control and Water Conservation District, and Valley-Wide Recreation and Park District.

The modifications provided by SP 380-A1 are summarized in Table SC-1, *Summary of Changes: Land Use Designations*.

Table SC-1 - Summary of Changes: Land Use Designations

Approved Specific Plan No. 380			Specific Plan No. 380, Amendment #1		
Land Use Designation	Target Units	Acres	Land Use Designation	Target Units	Acres
Very Low Density Residential	3	9.9	Very Low Density Residential	--	1.0
Low Density Residential	25	18.3	Low Density Residential	--	--
Medium Density Residential	42	13.9	Medium Density Residential	277	61.2
Mixed Use	250	39.5	Mixed Use	--	--
Medium High Density Residential	--	--	Medium High Density Residential	76	14.1
High Density Residential	--	--	High Density Residential	80	7.3
Commercial Retail	--	37.8	Commercial Retail	--	13.3
Open Space – Conservation	--	61.1	Open Space – Conservation	--	--
Open Space – Recreation	--	--	Open Space – Recreation	--	10.5
Open Space – Conservation Habitat	--	--	Open Space – Conservation Habitat	--	61.4
Open Space - Water	--	--	Open Space – Water	--	11.2
Circulation	--	20.6	Circulation	--	16.0
TOTAL	320	201.1	TOTAL	433	196.0

CHAPTER 1 | INTRODUCTION

A. PROJECT SUMMARY

Located in the rolling foothills of the French Valley area of Riverside County, the KELLER CROSSING Specific Plan Amendment #1 (SP 380-A1) is a 196-acre master-planned community within the Southwest Area Plan (SWAP), which preserves 61.4 acres of hillside grassland and chaparral habitat, while establishing residential and commercial uses. In recognition of the area's need for housing, commercial retail uses, and employment opportunities, KELLER CROSSING establishes a residential community that creates a strong sense of place and reinforces the relaxed semi-rural character of the French Valley area. KELLER CROSSING Specific Plan Amendment #1 consists of 353 single-family homes, 80 Age-Qualified (55+) for-rent apartment homes with 13.3 acres of commercial area, and a total of 83.1 acres of open space, including a 6.4-acre public park, 4.1-acre land use buffer with a recreational trail, a 4.3-acre Water Quality Management Plan (WQMP) basin, a 6.9-acre WQMP basin, and 61.4 acres of open space to be dedicated to the Western Riverside County Regional Conservation Authority (RCA), pursuant to the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP). Located between Winchester Road (Highway 79) and Pourroy Road, along the north side of Keller Road, KELLER CROSSING is designed to serve its residents and surrounding communities with needed retail commercial uses, recreational space, and a variety of housing opportunities in distinct neighborhoods.

KELLER CROSSING Specific Plan Amendment #1 establishes five (5) single-family residential neighborhoods in Planning Areas (PA) 1-5 and one (1) Age-Qualified apartment neighborhood, defined as an active adult community for qualifying residents ages 55 or older (55+), within PA 6. The single-family neighborhoods are comprised of homes on minimum 5,000, 6,000, and 7,000 square foot lots. The four (4) distinct architectural themes for single-family homes in the KELLER CROSSING community include Spanish, Craftsman, Traditional, and Tuscan styles, and reflect regional influences of the California semi-rural lifestyle. The apartment homes featured in PA 6 consist of simple one- to three- story buildings and are characterized by four (4) architectural themes, including, Spanish, Prairie, Farmhouse, and Contemporary styles that complement the architectural themes of adjacent commercial and residential uses.

Located along Winchester Road, the 13.3-acre commercial component of KELLER CROSSING Specific Plan Amendment #1 establishes opportunities for commercial retail uses, which may include supermarkets, restaurants, and a pharmacy made accessible to residents of KELLER CROSSING and the surrounding communities. The commercial area will include outdoor public spaces to encourage and enhance community interaction, and will be integral to the design of the commercial area, with pedestrian connectivity to commercial uses and the park in Planning Area 8. The commercial component will reflect Mediterranean and Contemporary architectural themes.

KELLER CROSSING Specific Plan Amendment #1 allocates 83.1 acres to open space comprised of conservation habitat, WQMP/detention basin use, and recreational space. SP 380-A1 preserves 61.4 acres as Open Space-Conservation Habitat (OS-CH) to be dedicated to the Western Riverside County Regional Conservation Authority (RCA) within PA 10. These protected hillsides provide residents with a natural backdrop to the public park, and reinforces the semi-rural character of the community. SP 380-A1 incorporates a 4.1-acre visual and noise buffer in PA 9, between the KELLER CROSSING community and

established large lot residential community to the west of Pourroy Road in PA 9. SP 380-A1 creates a 4.3-acre WQMP basin (PA 11A) on the northeastern portion of the community and a 6.9-acre WQMP basin (PA 11B) on the southern portion of the community to detain and ensure storm water runoff flows are treated and safely conveyed through the Specific Plan area. SP 380-A1 also offers recreational amenities by establishing a recreational trail in PA 9 and a 6.4-acre public park in PA 8. The local park may be owned and maintained by Valley-Wide Recreation and Park District, a Homeowner’s Association, or a similar entity, and may include unlighted sports fields, basketball courts, a playground area, a gazebo, and a paved trail.

A cohesive landscape concept enhances the KELLER CROSSING Specific Plan Amendment #1 architectural theme and creates a sense of community, characteristic of the rural, hilly inland valleys, for residents and visitors. Finally, KELLER CROSSING Specific Plan Amendment #1 includes a vehicular circulation system to facilitate access within the community. A summary of the land uses within the KELLER CROSSING community is provided in Table 1-1, *Keller Crossing Specific Plan No. 380, Amendment #1 - Land Use Summary*.

Table 1-1 KELLER CROSSING SPECIFIC PLAN NO. 380, AMENDMENT #1 - LAND USE SUMMARY

RESIDENTIAL					
PA	LAND USE	ACRES	DENSITY RANGE	TARGET DENSITY	TARGET DU'S
1	Medium Density Residential (MDR)	10.6	2-5 du/ac ¹	4.4 du/ac ¹	47
2	Medium Density Residential (MDR)	15.4	2-5 du/ac	4.7 du/ac	72
3	Medium Density Residential (MDR)	14.4	2-5 du/ac	4.1 du/ac	59
4	Medium High Density Residential (MHDR)	14.1	5-8 du/ac	5.4 du/ac	76
5	Medium Density Residential (MDR)	20.8	2-5 du/ac	4.8 du/ac	99
6	High Density Residential (HDR)	7.3	8-14 du/ac	11.0 du/ac	80
12	Very Low Density Residential (CD-VLDR) ²	1.0	--	--	--
RESIDENTIAL SUB-TOTAL		83.6	--	5.2 du/ac	433
NON-RESIDENTIAL					
PA	LAND USE	ACRES	MAXIMUM BUILDING SQUARE FOOTAGE		
7	Commercial Retail (CR)	13.3	176,000		
8	Open Space – Recreation (OS-R) - Park	6.4	--		
9	Open Space - Recreation (OS-R)	4.1	--		
10	Open Space - Conservation Habitat (OS-CH)	61.4	--		
11A	Open Space – Water (OS-W) (WQMP Basin)	4.3	--		
11B	Open Space – Water (OS-W) (WQMP Basin)	6.9	--		
--	Circulation	16.0	--		
NON-RESIDENTIAL SUB-TOTAL		112.4	--		
PROJECT TOTAL		196.0	--		
			433		

Notes:

1. du/ac = dwelling units per acre

2. No dwelling units are allocated to Planning Area 12.

B. PROJECT LOCATION AND SETTING

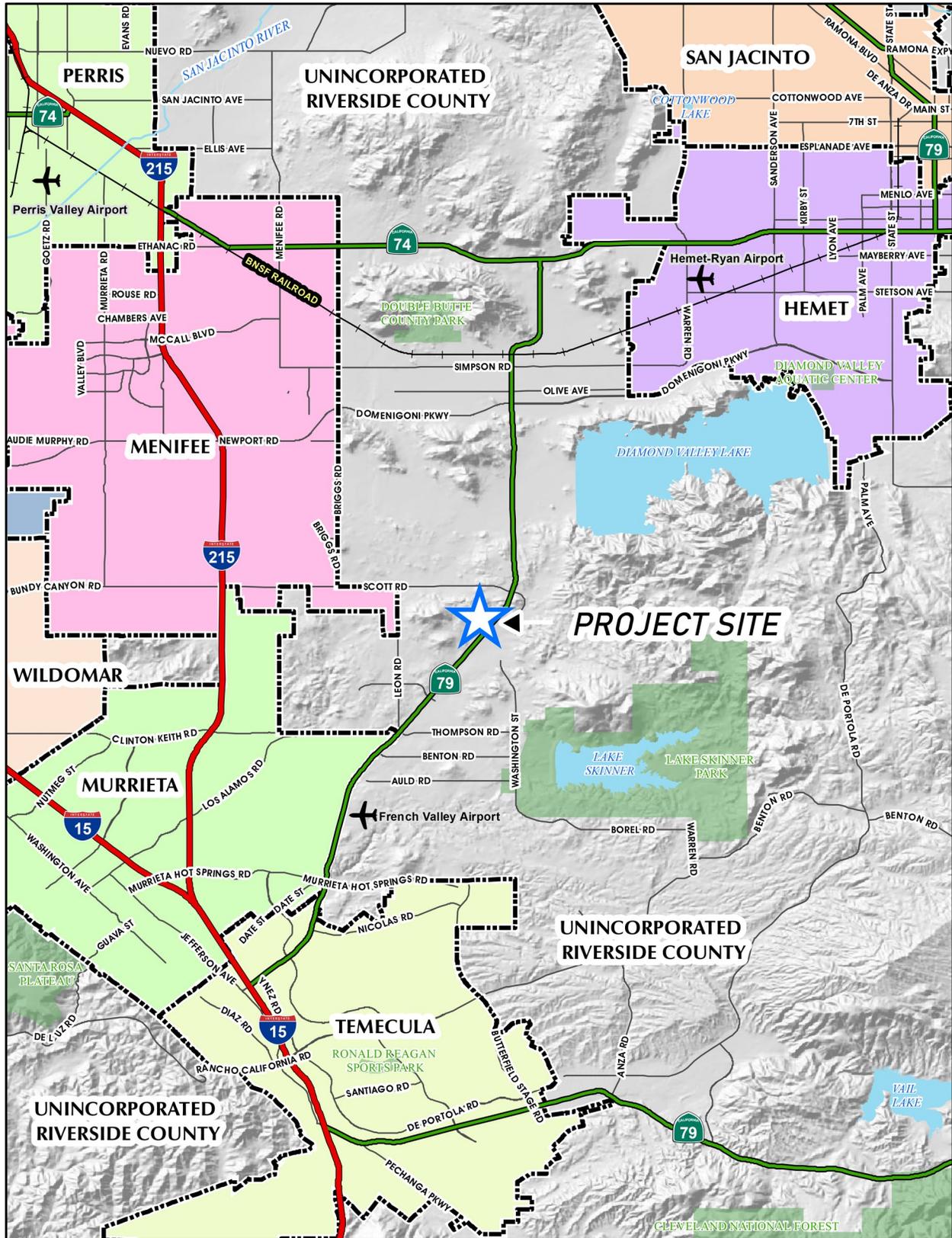
KELLER CROSSING Specific Plan Amendment #1 is located within the French Valley area in western Riverside County. As shown on Figure 1-1, *Regional Map*, the French Valley portion of the Southwest Area Plan is located northeast of the City of Murrieta and the French Valley Airport, north of the City of Temecula, northwest of the Lake Skinner, southeast of the City of Menifee and the City of Perris, and southwest of the City of Hemet and Diamond Valley Lake. As shown on Figure 1-2, *Vicinity Map*, regional access to the KELLER CROSSING community is primarily provided via Winchester Road (Highway 79).

As shown on Figure 1-3, *Pre-Development Topographic Map*, the 196-acre project site is located within the rolling terrain of the French Valley area and consists of hillsides on the northern section of the KELLER CROSSING community. The existing highest elevation on the site is 1,589 feet above sea level at the northeast corner of the Specific Plan, while the existing lowest elevation is 1,416 feet above sea level at the southeast corner of the Specific Plan. The KELLER CROSSING Specific Plan Amendment #1 is comprised of ten (10) Assessor Parcel Numbers: 472-110-001, 472-110-002, 472-110-003, 472-110-004, 472-110-007, 472-110-008, 472-110-009, 472-110-032, 472-110-033, and 472-110-034.

1. SURROUNDING LAND USES AND DEVELOPMENT

As shown on Figure 1-4, *Surrounding Development Map*, planned residential and commercial uses, and MSHCP-designated land abut the KELLER CROSSING community's northern, southern, eastern, and western boundaries. Conservation Habitat (OS-CH), Rural Residential (R-R), and Conservation (OS-C) land uses, consisting of undeveloped land and MSHCP-dedicated hillsides abut KELLER CROSSING's northern boundary. A residential and commercial portion of the Winchester 1800 Specific Plan is located across from the southeast corner of Keller Road and Winchester Road. Scattered single-family homes and undeveloped land designated as Rural Residential (R-R) abut the eastern, western, and southern boundaries of KELLER CROSSING.

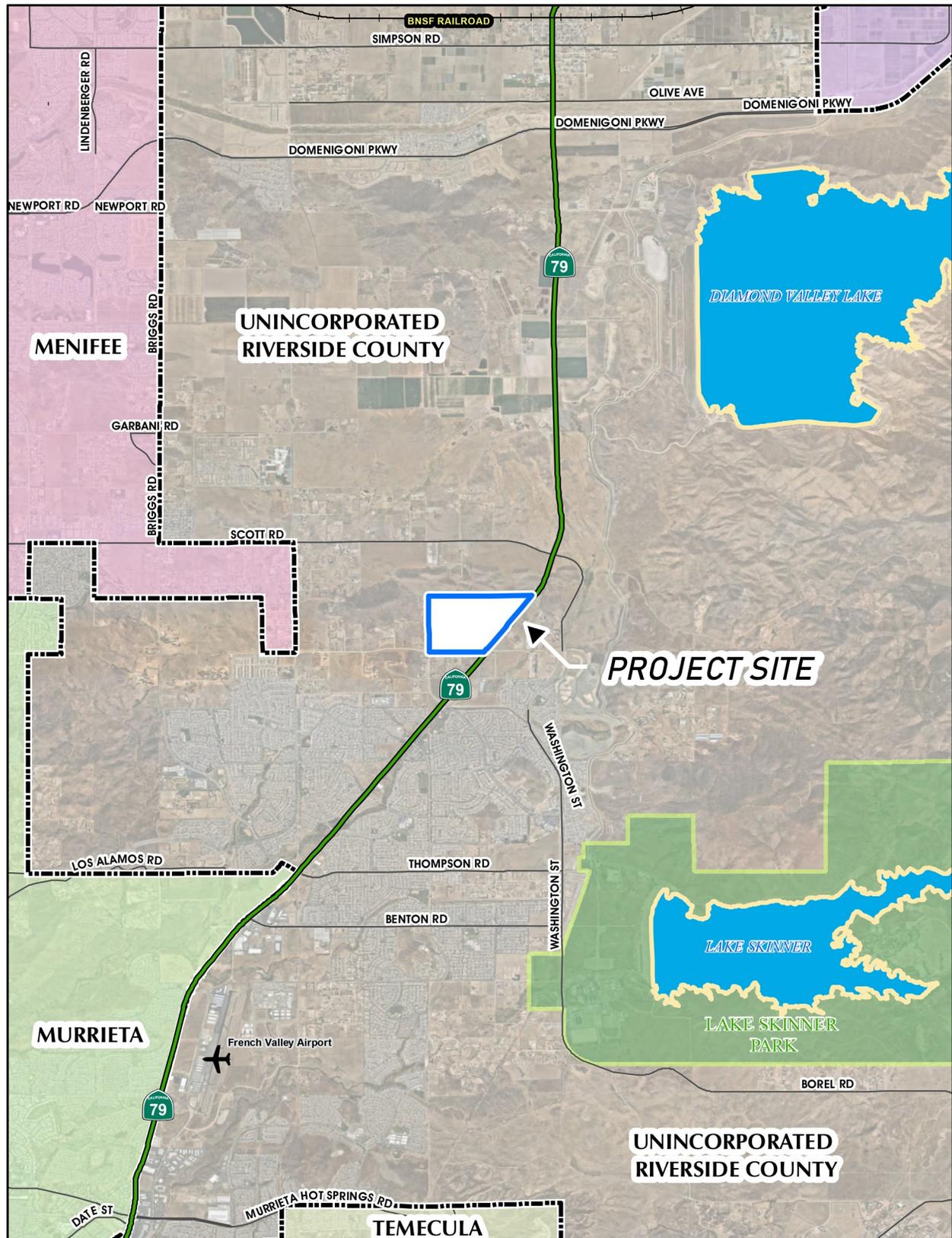
The land uses within the KELLER CROSSING Specific Plan Amendment #1 serve to create buffers between uses intensities. Manufactured slopes buffer residential uses from the commercial area, WQMP basin, and protected hillsides. Additionally, the park in Planning Area 8 buffers single-family home neighborhoods from the commercial area and the Age-Qualified (55+) apartment homes.



Source(s): ESRI, RCTLMA (2022)

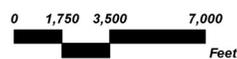
FIGURE 1-1

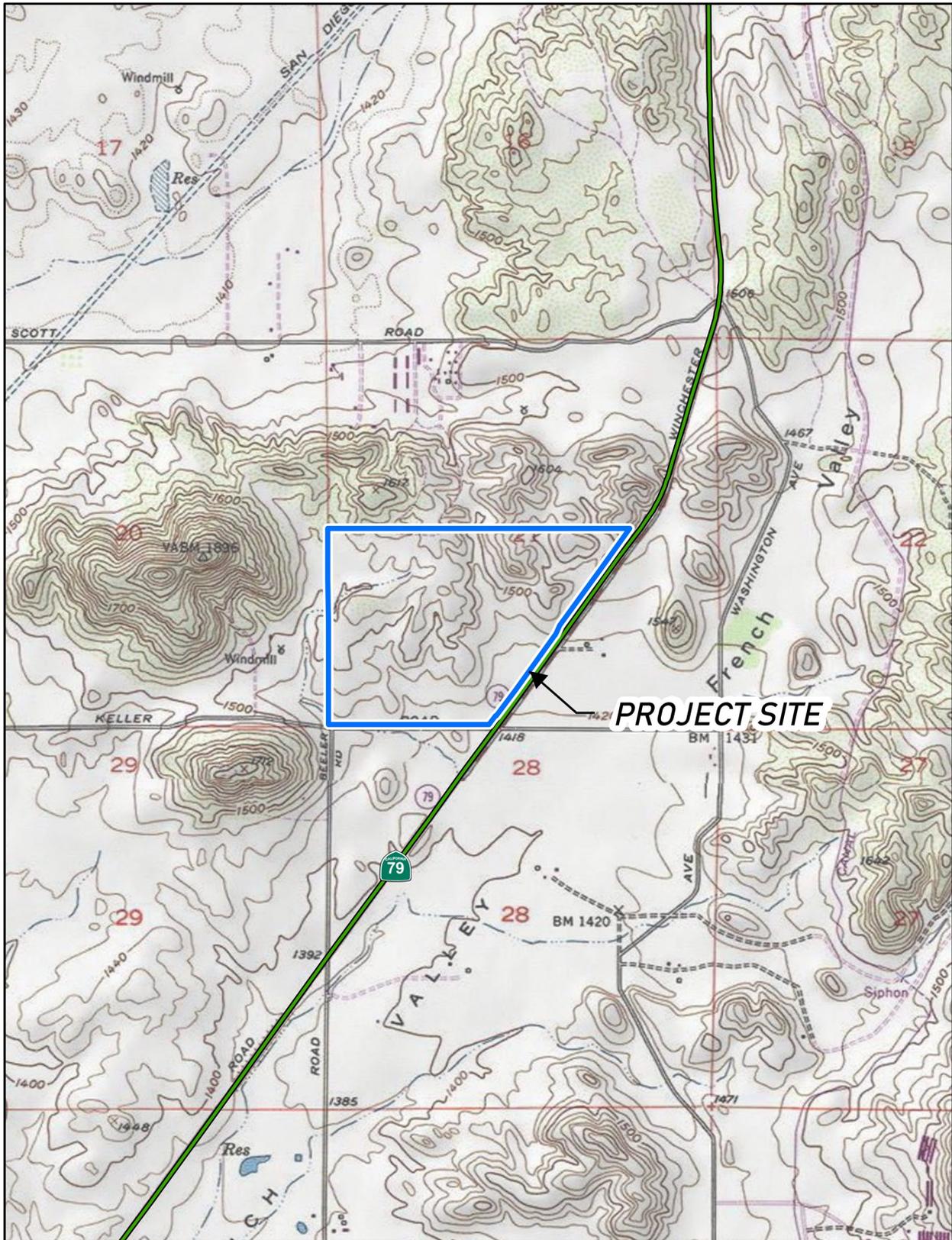




Source(s): ESRI, RCTLMA (2022), Nearmap (2022)

FIGURE 1-2



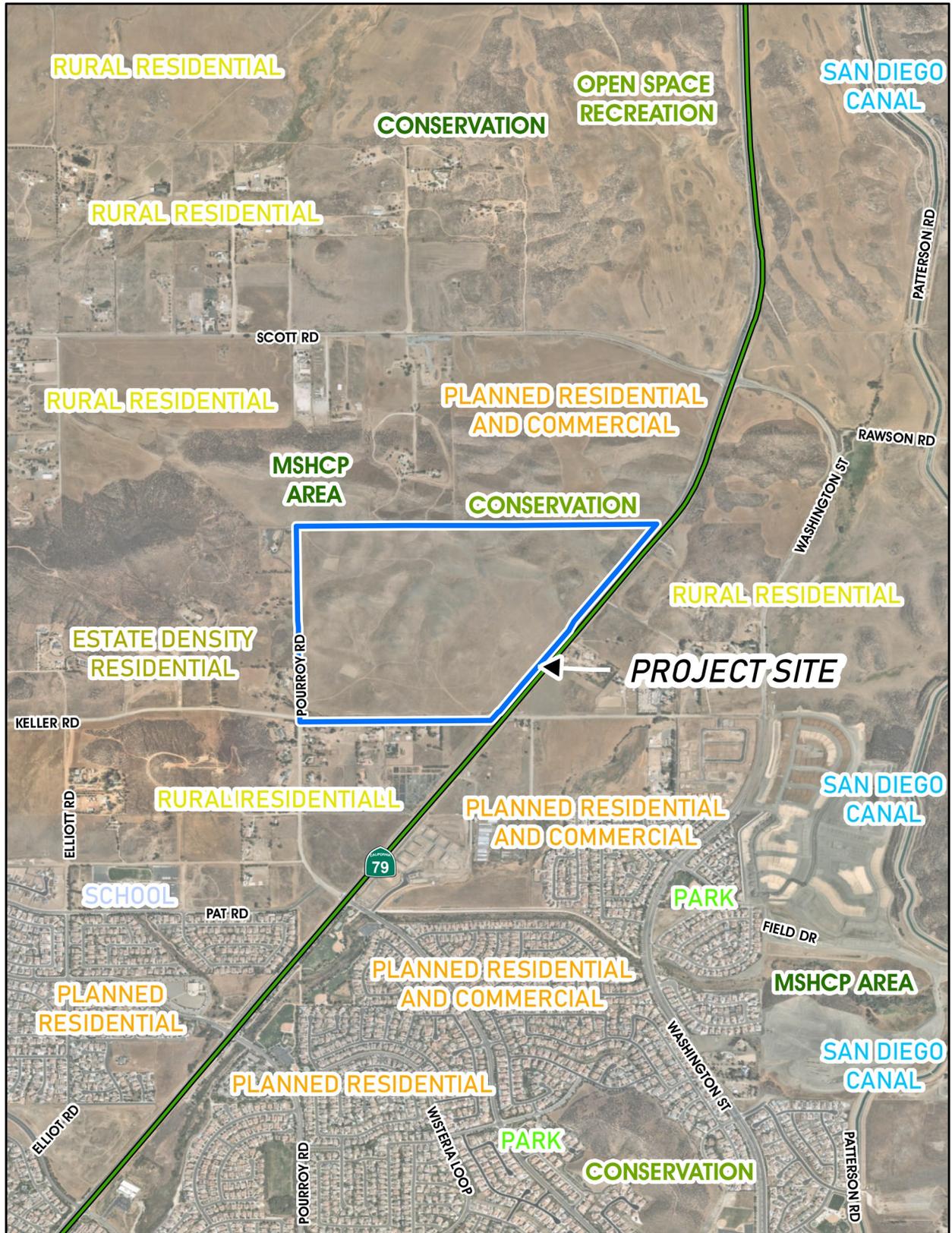


Source: ESRI (2022), USGS (2019), RCTLMA (2022)

FIGURE 1-3

PRE-DEVELOPMENT
TOPOGRAPHIC MAP





Source(s): Nearmap (2022), RCTLMA (2022)

FIGURE 1-4

SURROUNDING DEVELOPMENT MAP



C. DOCUMENT PURPOSE

Authorized by California Government Code §65450 et seq., a Specific Plan is a tool that is used for the systematic implementation of the General Plan for all or part of the area covered by the General Plan. It effectively establishes a link between implementing policies of the General Plan and the individual development proposals in a defined area. As such, this document provides the County of Riverside with policies and regulations to ensure efficient, orderly development of the subject property in accordance with the agency' adopted General Plan.

The KELLER CROSSING Specific Plan Amendment #1 establishes standards for the development of a master-planned community comprised of residential, retail commercial, open space, and recreation uses within the French Valley portion of the Southwest Area Plan (SWAP). This Specific Plan Amendment includes regulations relative to land uses, site planning, and building intensity, as well as design guidelines that are intended to allow for innovation in architecture, landscaping, and building arrangements as future tentative maps and entitlement applications are submitted to implement the Specific Plan.

All future implementing actions (development plans, tract maps, site plans, and other entitlements) for property located within the boundaries of this Specific Plan are required to be consistent with the standards and guidelines set forth in this document and with all applicable County regulations, unless directed by the Community Development Director. Furthermore, all regulations, conditions, standards, and guidelines contained herein shall be deemed distinct and independent provisions of the Specific Plan. If any section, clause, phrase, or portion of this document is for any reason to be invalid by the decision of any federal or state court of competent jurisdiction, such decision shall not affect the validity of the remaining portion of this Specific Plan.

D. SPECIFIC PLAN FORMAT

This KELLER CROSSING Specific Plan Amendment #1 has been prepared pursuant to the provisions of California Government Code §65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code §65450 through §65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandates consistency with the General Plan. According to §65450, a Specific Plan shall include text and a diagram or diagrams which specify all of the following details:

1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the Specific Plan;
2. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the Specific Plan;

3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;
4. A program of implementation measures including regulations, programs, public works projects, and financing measures; and
5. A statement of the relationship of the Specific Plan to the General Plan.

California Government Code §65452 also provides for the inclusion of any other subject that, in the judgment of the local planning agency, is deemed necessary or desirable to implement the General Plan, such as architectural or landscape design guidelines.

In response to government requirements, this Specific Plan has been prepared to provide the essential link to the policies of the County of Riverside General Plan and Southwest Area Plan. The KELLER CROSSING Specific Plan Amendment #1 is consistent with, and results in the implementation of, applicable goals and policies of the General Plan by providing a balanced mix of residential, commercial, open space, and recreational uses that maintain a healthy transition from rural residential and agricultural activities in the area. A thorough discussion of the KELLER CROSSING Specific Plan Amendment #1 consistency with applicable General Plan policies is provided in the KELLER CROSSING Specific Plan Amendment #1 Environmental Impact Report (SCH No. 20211030301). By functioning as a regulatory document, the KELLER CROSSING Specific Plan Amendment #1 provides a means of implementing and detailing the County's General Plan and tailoring its policies to the subject property. In this regard, all future development plans or other entitlement applications are required to substantially conform to the standards and guidelines set forth in this document, as well as all applicable County regulations. This Specific Plan is designed to address site specific issues, such as building setbacks and visual appearance, as well as community-wide concerns, such as vehicular and non-vehicular circulation, fuel management and fire protection, landscaping, and the provision of utilities. The KELLER CROSSING Specific Plan also ensures that new development meets or exceeds County standards for environmental protection, infrastructure, site planning, and aesthetic quality.

E. RELATIONSHIP TO THE RIVERSIDE COUNTY GENERAL PLAN

This Specific Plan defines the methods and requirements for development of the KELLER CROSSING community to ensure that applicable policies from the Riverside County General Plan and the Southwest Area Plan are implemented and, to ensure that development envisioned by this Specific Plan is consistent with applicable provisions of General Plan. The General Plan sets forth long-term goals for the County's growth and development as mandated by State law, covering topics of land use, housing, parks and recreation, environmental resources, community economics, safety, mobility, community design, and social resources. The Specific Plan's consistency with the General Plan and Southwest Plan policies are discussed below.

Riverside County’s Vision relating to Population Growth focuses on *“Growth involving new development or expansion of existing development is consistently accompanied by the public improvements required to serve it”* (RCGP, 2015, p. V.10).

Principle IV.A.5 – Community Variety, Choice, and Balance: *“The creation of new cities/towns, villages and aggregated specific plan areas should be considered. The process of planning for new communities should be started so that when they are built, they will have the infrastructure, the facilities, services, and economic sustainability to make them viable into the next century”* (RGCP, 2015, p. 7).

SP380-A1 is consistent with the County vision related to Population Growth and Principle IV.A.5 because the Specific Plan establishes land uses, development standards and design guidelines which provide for the creation of a high-quality and a well-planned community with the necessary public improvements, consisting of roadways and utilities, required to serve the proposed Amendment, and consistent with the Southwest Area Plan and the County General Plan vision for sustainable population growth in this portion of the County.

SWAP Policy 23.8 – *“Protect sensitive biological resources in the Southwest Area Plan through adherence to policies found in the Multiple Species Habitat Conservation Plans, Environmentally Sensitive Lands, Wetlands, and Floodplain and Riparian Area Management sections of the General Plan Multipurpose Open Space Element”* (SWAP, 2020, p. 59).

SP 380-A1 is consistent with SWAP Policy 23.8 because the Specific Plan preserves 61.4 acres of natural habitat by designating Planning Area 10 as *“Open Space-Conservation Habitat”* (OS-CH), which is intended to be dedicated to the MSHCP. These actions contribute to the achievement of the goals of the General Plan Multipurpose Open Space Element and the MSHCP.

F. PLANNING APPROACH

The KELLER CROSSING Specific Plan Amendment #1 was created using an integrated, multi-disciplinary approach. The team assembled to undertake this project included the County, land planners, civil engineers, environmental resource specialists, landscape architects, geotechnical specialists, hydrology specialists, the land owner, and real estate market analysts. This team worked together to create a comprehensive development plan for the approximately 196.0-acre site that is consistent with the planned and proposed future land uses of surrounding property, and responds to development and population trends of the French Valley portion of the Southwest Area Plan. The team also took great care to ensure that the development plan is consistent with the recommendations and requirements set forth by the County of Riverside General Plan. These efforts resulted in a plan for the KELLER CROSSING Specific Plan Amendment #1 that helps fulfill the residential, commercial, recreational, and infrastructure needs of the area, in an efficient, orderly, and aesthetically attractive manner.

G. SPECIFIC PLAN GOALS

Many important issues were thoroughly examined and considered during the preparation of this Specific Plan. Engineering feasibility, market acceptance, economic viability, County General Plan goals, and local community goals were all considered during the planning process. To ensure the functional integrity,

economic viability, environmental sensitivity, and positive aesthetic impact of this Specific Plan, planning and development goals for the community have been established and supported by extensive analysis. With these specific goals in mind, the following goals have been established for the KELLER CROSSING Specific Plan Amendment #1:

To establish a Specific Plan consistent with the Goals, Policies and Objectives of the County's General Plan;

1. To establish high-quality housing opportunities, including an Age-Qualified (55+) neighborhood, designed to be marketable and accessible to various economic segments within the French Valley portion of the Southwest Area Plan;
2. To create commercial uses that ensure land use diversity, provide convenient retail locations for residents of the local area, and increase the sales tax base of the County;
3. To create recreational amenities for the benefit of residents within the KELLER CROSSING community and the surrounding areas;
4. To preserve the open space habitat for the protection of the environment;
5. To ensure compatibility between adjacent uses and intensities, and provide visual and physical separation between communities with open space buffers;
6. To create a community development that results in logical, coordinated growth, consistent with the long-range vision established by the County General Plan; and
7. To develop design guidelines for architecture, landscaping, color palette, paving, walls, fencing, signage, and entry treatments that reinforce the identity of the community.

H. DISCRETIONARY ACTIONS

The KELLER CROSSING Specific Plan No. 380, Amendment #1 (SP380-A1) has been prepared under the authority of the Riverside County Planning Department. This document will be used by the County of Riverside in connection with the following decisions.

1. RIVERSIDE COUNTY PLANNING COMMISSION

- i. Recommendation to the Board of Supervisors regarding certification of the EIR (SCH No. 20211030301).
- ii. Recommendation to the Board of Supervisors regarding approval of General Plan Amendment No. 21004 (GPA21004) by Resolution.
- iii. Recommendation to the Board of Supervisors regarding adoption of Amendment #1 to Specific Plan No. 380 (SP00380A01) by Resolution.
- iv. Recommendation to the Board of Supervisors regarding approval of Change of Zone No. 1900024 (CZ2100012) by Ordinance.
- v. Recommendation to the Board of Supervisors regarding adoption of Tentative Tract Map No. 38163 (TR38163).

2. RIVERSIDE COUNTY BOARD OF SUPERVISORS

- i. Certification of the project EIR (SCH No. 20211030301).
- ii. Adoption by Resolution of General Plan Amendment No. 21004 (GPA21004).
- iii. Adoption by Resolution of Amendment #1 to Specific Plan No. 380 (SP00380A01).
- iv. Approval by Ordinance of Change of Zone No. 2100012 (CZ2100012).
- v. Approval of Tentative Tract Map No. 38163 (TR38163).

Subsequent discretionary actions may include, but are not limited to, Tentative Tract Maps, Final Maps, Conditional Use Permits, Plot Plans, Grading Permits, water and sewer system approvals, and encroachment permits.

CHAPTER 2 | DEVELOPMENT PLAN

A. LAND USE PLAN

1. DEVELOPMENT CONCEPT

KELLER CROSSING Specific Plan Amendment #1 is a master-planned community featuring 353 single-family homes, 80 Age-Qualified (55+) for-rent apartment homes, a retail commercial component, a public park, and open space land uses, as shown on Figure 2-1, *Specific Plan Land Use Plan*. SP 380-A1 provides for the development of a maximum of 433 homes, consistent with the semi-rural character of the French Valley area. The residential neighborhoods within the KELLER CROSSING community accommodate 353 single-family homes on minimum 5,000, 6,000, and 7,000 square foot lots and 80 Age-Qualified (55+) for-rent apartment homes, with four (4) distinct architectural themes, combined with an informal community landscape concept characteristic of the rural, hilly inland valleys, to establish a strong sense of place and reinforce the relaxed semi-rural character of the French Valley area.

The KELLER CROSSING Specific Plan Amendment #1 features a 13.3-acre commercial area located at the northwest corner of Winchester Road and Keller Road, which establishes opportunities for commercial retail and restaurant uses that may be developed at a maximum FAR of 0.35, or up to 176,000 square feet, whichever is less. The commercial area complements the residential component by providing the residents of the KELLER CROSSING community with walkable outdoor public spaces that enhance community activity and interaction with commercial retail locations. Additionally, the commercial uses will contribute to the long-term economic vitality of the County by generating sales tax revenue.

Hillsides form the northern portion of the KELLER CROSSING community, in an east to west direction, and will remain undisturbed to preserve the 61.4 acres of Open Space-Conservation Habitat (OS-CH) for the Western Riverside County Multi-Species Habitat Conservation Preservation Plan (MSHCP). The KELLER CROSSING community also provides manufactured slopes within the residential planning areas that function as buffers between the preserved portions of the MSHCP hillsides and surrounding neighborhoods. A 4.1-acre landscaped buffer with a recreational trail in Planning Area 9 serves as a land use transition and visual and noise buffer between residential homes in Planning Areas 1 and 3 and the existing residential neighborhood west of Pourroy Road. SP 380-A1 also offers its residents active and passive recreational opportunities by establishing a 6.4-acre public park. The public park may include sports fields, basketball courts, a playground area, a gazebo, picnic benches, and a paved trail.

The KELLER CROSSING community contains 11.2 acres of Open Space-Water (WQMP basin) land use, consisting of detention basins in the northeastern (PA 11A) and southern (PA 11B) portions of the community, which capture, detain, and discharge stormwater runoff. In addition, the basins include storm water management capabilities as appropriate, to provide for the removal of water-borne pollutants from stormwater that is discharged from the KELLER CROSSING community. These areas are landscaped to provide an aesthetic amenity for the community.

The design of KELLER CROSSING Specific Plan Amendment #1 includes a vehicular network of roadways that connects the community to each of the on-site community features as well as to the surrounding road network.

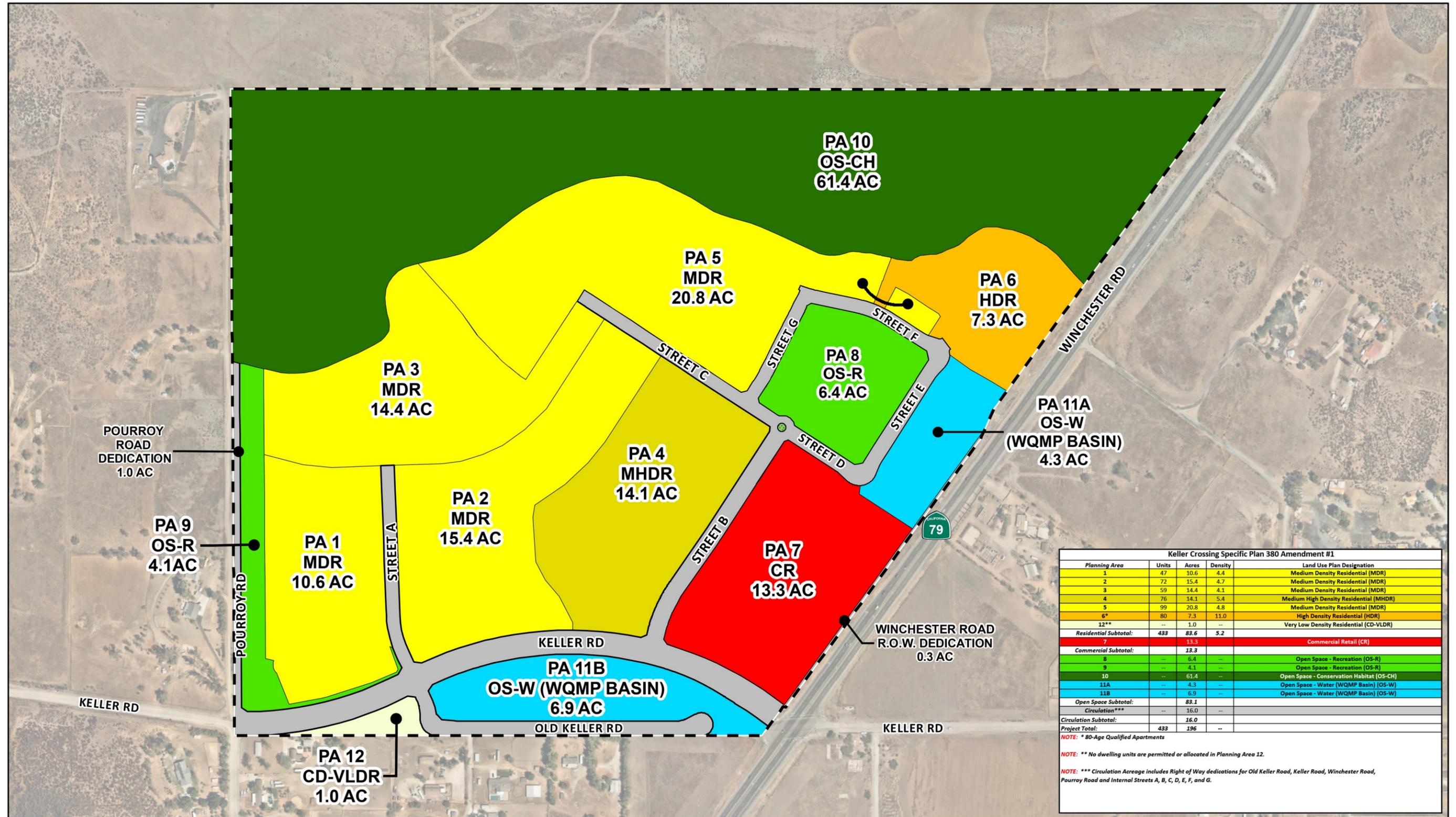
An overview of the land uses within the KELLER CROSSING Specific Plan is summarized in Table 2-1, *Detailed Planning Area Summary*.

Table 2-1 DETAILED PLANNING AREA SUMMARY

RESIDENTIAL					
LAND USE	PLANNING AREA	ACRES	DENSITY RANGE	TARGET DENSITY	TARGET DUS
Medium Density Residential (MDR)	1	10.6	2-5 du/ac ¹	4.4 du/ac ¹	47
Medium Density Residential (MDR)	2	15.4	2-5 du/ac	4.7 du/ac	72
Medium Density Residential (MDR)	3	14.4	2-5 du/ac	4.1 du/ac	59
Medium High Density Residential (MHDR)	4	14.1	5-8 du/ac	5.4 du/ac	76
Medium Density Residential (MDR)	5	20.8	2-5 du/ac	4.8du/ac	99
High Density Residential (HDR)	6	7.3	8-14 du/ac	11.0 du/ac	80
Community Development - Very Low Density Residential (CD-VLDR) ²	12	1.0	--	--	--
RESIDENTIAL SUBTOTAL		83.6	--	5.2 du/ac	433
NON-RESIDENTIAL					
LAND USE	PLANNING AREA	ACRES	MAXIMUM FLOOR AREA RATIO	MAXIMUM SQUARE FOOTAGE	--
Commercial Retail (CR)	7	13.3	0.35 ³	176,000 ³	--
Open Space – Recreation (OS-R) - Park	8	6.4	--	--	--
Open Space – Recreation (OS-R)	9	4.1	--	--	--
Open Space – Conservation Habitat (OS-CH)	10	61.4	--	--	--
Open Space – Water (OS-W)	11A	4.3	--	--	--
Open Space – Water (OS-W)	11B	6.9	--	--	--
Circulation	--	16.0	--	--	--
NON-RESIDENTIAL SUBTOTAL		112.4	--	--	--
SPECIFIC PLAN TOTAL		196.0	--	5.2 du/ac	433

Notes:

1. du/ac = dwelling units per acre
2. No dwelling units are permitted or allocated in Planning Area 12.
3. Commercial uses may be developed at a maximum FAR of 0.35, or up to 176,000 square feet, whichever is less.



Source: RCTLMA (2022), Nearmap (2022), Composite: K&A Engineering (03-30-2022)

FIGURE 2-1



2. LAND USE PLAN DESIGNATIONS

a. Residential

The KELLER CROSSING community features 353 single-family homes with three (3) lot sizes and four (4) architectural styles for homeowners seeking variety. SP 380-A1 also establishes 80 Age-Qualified (55+) for-rent apartment homes with four (4) architectural styles. Overall, SP 380-A1 provides for a maximum of 433 homes designated Medium Density Residential, Medium High Density Residential, and High Density Residential, on approximately 83.6 acres, at an overall residential density of 5.2 dwelling units per acres (du/ac). Neighborhoods within Planning Areas 1 through 5 accommodate single-family homes on minimum 5,000, 6,000, and 7,000 square foot lots, while Planning Area 6 will accommodate one- to three-story apartment homes.

- (1) Medium Density Residential (2.0 - 5.0 du/ac): This use will provide a total of 277 single-family detached homes on a total of 61.2 gross acres in Planning Areas 1, 2, 3 and 5.
- (2) Medium High Density Residential (5.0 - 8.0 du/ac): This use will provide a total of 76 single-family detached homes on a total of 14.1 gross acres in Planning Area 4.
- (3) High Density Residential (8.0 - 14.0 du/ac): This use will provide a total of 80 Age-Qualified (55+) apartment homes on a total of 7.3 gross acres in Planning Area 6.

There are no dwelling units permitted or allocated in Planning Area 12 because a portion of PA 12 will be vacated to adjacent landowners along this segment of Old Keller Road; a portion will be utilized by the Riverside County Flood Control and Water Conservation District for storm drain easement purposes; and a portion will serve as a landscaped slope to be maintained by Valley-Wide Recreation and Park District or the Riverside County Transportation.

Residential neighborhoods are discussed in detail in Chapter 3, *Development Standards*, and Chapter 4, *Design Guidelines*.

b. Commercial Retail

A 13.3-acre Commercial Retail component is located in the southeastern portion of the KELLER CROSSING community, immediately west of Winchester Road and north of Keller Road, within Planning Area 7. The commercial component provides residents of the KELLER CROSSING community with nearby local shopping and public spaces, and allows for a wide range of businesses, such as retail sales, supermarkets, pharmacies, and restaurants (including drive-through). The commercial component also provides employment opportunities for the residents of KELLER CROSSING and surrounding areas, while contributing to the long-term economic vitality of the County by generating sales tax revenue.

The Commercial Retail uses are described in detail in Chapter 3, *Development Standards*, and Chapter 4, *Design Guidelines*.

c. Open Space

A total of 83.1 acres of the KELLER CROSSING community are reserved for Open Space and Recreational land uses, and a brief description is provided below:

- **Conservation Habitat:** A major feature of the KELLER CROSSING community is the conservation of 61.4 acres of Open Space-Conservation Habitat within Planning Area 10, to be dedicated to the RCA pursuant to the MSHCP, serving as the backdrop to the community.
- **Recreation:** Planning Area 8, designated Open-Space Recreation, establishes a 6.4-acre Public Park which provides active and passive recreational uses, and may include sports fields, basketball courts, a playground area, a gazebo, picnic benches, and a paved trail. Planning Area 8 will be maintained by Valley Wide Recreation and Park District, or a similar maintenance entity.
- **Trails:** Planning Area 9, located along the western edge of the KELLER CROSSING community, establishes an 8-foot-wide decomposed granite (DG) recreational trail on 4.1 acres. Planning Area 9 also performs a particularly important purpose by providing a minimum 100-foot-wide, landscaped open space area which creates a visual and noise buffer designed to minimize potential land use conflict between the established large lot neighborhood on the west side of Pourroy Road and the KELLER CROSSING community
- **Water:** A total of 11.2 acres within Planning Areas 11A and 11B are designated as Open Space-Water and provide detention basins to detain and discharge stormwater runoff, in addition to providing storm water management capabilities. The basins in Planning Areas 11A and 11B will be maintained by the Valley Wide Recreation and Park District, Homeowner’s Association, or similar maintenance entity.

Recreational facilities, open space, and associated amenities are discussed in greater detail in Section 2.0., *Open Space and Recreation Plan*, Chapter 3, *Development Standards*, and Chapter 4, *Design Guidelines*.

d. Circulation

The KELLER CROSSING Specific Plan Amendment #1 provides for the construction of approximately 16 acres of roadways, with Keller Road linking the community to Winchester Road to the east, and Pourroy Road to the west. The primary entrance to the community is provided by “Street B”, approximately 0.12 miles west of the intersection of Winchester Road and Keller Road, with the secondary entrance provided approximately 0.10 miles east of the intersection of Pourroy Road and Keller Road. Within the KELLER CROSSING community, local traffic is accommodated by backbone roads (Streets “A”, “B”, and “C” which are 56 feet to 74 feet in width, as well as 56-foot-wide internal neighborhood streets that feature reduced parkways to accommodate fire safety access and provide parking on both sides of the street. Streets “D”, “E”, “F”, and “G” abut the park in Planning Area 8 and are 59 feet to 66 feet in width and feature 11-foot-wide sidewalks along the park. A detailed description of the community’s on-site and off-site circulation improvements are discussed in Chapter 2.B., *Roadway Master Plan*, and Chapter 4, *Design Guidelines*.

2. GENERAL DEVELOPMENT STANDARDS

To ensure the orderly and sensitive development of KELLER CROSSING, the following General Development Criteria apply to the entire Specific Plan area, and augment the Development Standards and Planning Area Standards provided within Chapter 3, *Development Standards*. The Specific Plan-wide General Development Criteria are as follows:

- a. The Specific Plan area shall be developed as a master planned community containing Medium Density Residential, Medium High Density Residential, and High Density Residential land uses, along with Commercial Retail, Open-Space Conservation Habitat, Open Space-Recreation, Open Space-Water, and Circulation land uses on 196 acres, as illustrated on Figure 2-1, *Specific Plan Land Use Plan* and on the individual Planning Area figures (Figure 3-1, *Planning Areas Exhibit #1* and Figure 3-2, *Planning Areas Exhibit #2*). A target number of homes is specified for each residential Planning Area, although the final number of units may be increased or decreased provided that the maximum density for the Planning Area designation is not exceeded. In no case shall the total number of dwelling units within the KELLER CROSSING community exceed 433 units.
- b. The net acreage of any Planning may be expanded or reduced without a Specific Plan Amendment, provided the modification does not increase or decrease the size of any Planning Area by more than 15%.
- c. The maximum lot coverage for a single-story home is sixty-five percent (65%) and sixty percent (60%) for a two-story home.
- d. Residential unit counts may be increased or decreased by up to 15% within any or all of the Planning Areas without a Specific Plan Amendment, provided that neither: 1) the density of any individual Planning Area remains within the range of the existing General Plan Designation of that Planning Area; and 2) the total project residential unit count is not exceeded by any change or combination of changes of the individual Planning Area unit counts.
- e. Commercial building square footage or maximum square footage for each Land Use Designation within this Specific Plan is not exceeded. Commercial building square footage may be decreased, or may be increased, without a Specific Plan Amendment, provided that the maximum building square footage of the commercial uses within Planning Area 7 does not exceed 176,000 sf or a FAR of 0.35, whichever is less.
- f. Whenever the Development Standards contained in this Specific Plan differ from those contained in the Specific Plan Zoning Ordinance, the provisions of the Specific Plan Zoning Ordinance shall take precedence, or as may be interpreted and approved by the Planning Director. Whenever the Development Standards contained herein and Specific Plan Zoning Ordinance differ from those contained in the County Ordinance No. 348, the provisions of this Specific Plan and Specific Plan Zoning Ordinance shall take precedence. Any development standard, condition, or situation not specifically addressed herein shall be subject to the applicable requirements of the County of Riverside.

- g. Standards related to signage, landscaping, parking, and other design elements shall conform to Chapter 4, *Design Guidelines*, of this Specific Plan, or if the Specific Plan is silent, shall conform to the County's Land Use Ordinance, other applicable County of Riverside Ordinances, or as approved by the Director of the Riverside County Planning Department.
- h. All lighting shall incorporate, to the extent feasible and permissible under County standards, measures to aid in reducing light pollution and shall be in accordance with Riverside County Ordinance No. 655, Ordinance No. 915, and other applicable County of Riverside standards, or as approved by the Director of the Riverside County Planning Department.
- i. Development of the property shall be in accordance with the mandatory requirements of all County of Riverside ordinances, except as modified by this Specific Plan or as approved by the Director of the Riverside County Planning Department.
- j. No portion of the Specific Plan which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development, shall be considered to be part of the adopted KELLER CROSSING Specific Plan Amendment #1.
- k. Common private areas identified in the Specific Plan are intended to be owned and maintained pursuant to Table 5-1, *Maintenance Responsibilities*, as described below:
 - i. One or more permanent master maintenance organizations shall be established for the Specific Plan area, such as a Commercial Property Owners Association and/or other similar maintenance agencies, to assume ownership and/or maintenance responsibility for all common private space, private circulation systems, common parking lots, pedestrian paths, and other private landscaped areas. Such a maintenance organization(s) may be public or private, or a combination of public and private.
 - ii. The maintenance organizations shall be established prior to the issuance of building permits. The ownership and maintenance responsibility shall be identified for each common area at the time Tentative Tract Maps, Tentative Parcel Maps, Plot Plans, or Conditional Use Permits are filed or if none of the above are required, at the time any building permit is issued.
- l. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the Riverside County Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
- m. A review in compliance with the California Environmental Quality Act (CEQA) shall be conducted to determine potential environmental impacts resulting from each Parcel Map, Tract Map, Change of Zone, Specific Plan Amendment, or other discretionary land use application required to implement this Specific Plan, unless such proposal is determined by the Community Development

Director to be consistent with the project EIR and to not require subsequent environmental review, or is exempt from the provisions of CEQA. Any required CEQA review shall be prepared as part of the review process for the implementing project.

- n. Lots or parcels created within the Specific Plan area pursuant to any concurrent or subsequent tentative subdivision map(s) shall be in conformance with the Development Standards of the Specific Plan herein applied to the site, or as modified pursuant to Chapter 5, *Implementation Plan*.
- o. Final development densities for each Planning Area shall be determined through the appropriate development application and shall be within the density range shown for each Planning Area in Table 2-1, *Detailed Planning Area Summary*, or as approved by the Director of the Riverside County Planning Department.
- p. Final development unit count for each Planning Area shall be within the range of units calculated using the density range shown for each Planning Area in Table 2-1, *Detailed Planning Area Summary*, or as approved by the Director of the Riverside County Planning Department.
- q. Final development acreages for each Planning Area shall be within 15% range of the acreage shown for each Planning Area in Table 2-1, *Detailed Planning Area Summary*, or as approved by the Director of the Riverside County Planning Department.
- r. For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract map, or as approved by the Director of the Riverside County Planning Department and/or Director of Transportation:
 - i. Circulation for pedestrians, vehicles, and police patrols.
 - ii. Lighting of streets, parking areas, and walkways.
 - iii. Visibility of doors and windows from the street and between buildings, where practical.
 - iv. Fencing heights and materials (which are developer's responsibility).
- s. It is anticipated that maintenance associations, if formed, will be established as follows:
 - i. The Commercial Property Owner's Association and/or other similar maintenance association shall be charged with the unqualified right to assess the commercial units for reasonable maintenance and management costs which shall be established and continuously maintained. The Commercial Property Owner's Association and/or other similar maintenance association shall be responsible for parking, signing, private common areas, outdoor community spaces, landscaping, irrigation, and other responsibilities as necessary.
- t. Construction of certain public facilities and infrastructure requirements (such as sewer and water lines, and roadways, among others) may be financed through an assessment district (AD), or a

community facilities district (CFD). Financing of public facilities through a CFD may substitute for the payment of fees that would have financed those public facilities.

- u. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of the Riverside County Ordinance No. 787, subject to approval by the Riverside County Fire Department.

B. ROADWAY MASTER PLAN

1. VEHICULAR CIRCULATION PLAN

a. Description

As shown on Figure 2-2, *Vehicular Circulation Plan*, the community's roadway network includes 16.0 acres of roadways to meet the vehicular needs of residents and visitors of the KELLER CROSSING community by providing safe, efficient, and direct access to the residential neighborhoods, public park, and commercial area. Keller Road provides primary access to the KELLER CROSSING community and links the community to regional roadway networks, such as Winchester Road. Smaller local roads provide access to neighborhoods and link the community to the commercial area.

Access to the KELLER CROSSING community is provided via Keller Road, along the southern portion of the community, Winchester Road, located along the eastern boundary of the community, and Leon Road, located approximately one mile west of the western boundary of the community. Direct access into the KELLER CROSSING community is provided via Street "A" and Street "B" from Keller Road.

The Vehicular Circulation Plan includes the roadway sizes and classification described below and illustrated on Figures 2-3A and 2-3B, *Roadway Cross-Sections*.

1. **Winchester Road/Highway 79 – Modified Expressway (184'-220' R.O.W.):** Winchester Road/Highway 79, designated an Expressway by the County General Plan, has an ultimate right-of-way width of 220 feet that provides connectivity between Keller Road and the regional transportation network. As depicted on Figure 2-3A, the KELLER CROSSING Specific Plan Amendment #1 is responsible for the following improvements to Winchester Road:
 - **Winchester Road Section #1 (184' R.O.W)** includes half-width improvements (92') of the ultimate right-of-way for the westerly half of Winchester Road, from Keller Road to a half-mile north of Keller Road. Improvements to this section of Winchester Road includes up to 55 feet of paving with a 14-foot painted median, and 8-foot sidewalk, in conformance with County Standard No. 83. The KELLER CROSSING Specific Plan Amendment #1 dedicates 0.3 acres of project acreage to the County of Riverside and/or Caltrans for Winchester Road improvements.
 - **Winchester Road Section #2 (220' R.O.W.)** includes half-width improvements (110') of the ultimate right-of-way for the westerly half of Winchester Road, from a ½ mile north

of Keller Road to the northern project boundary. Improvements to this section of Winchester Road include up to 76 feet of paving with a 40-foot striped center median, in conformance with County Standard No. 82.

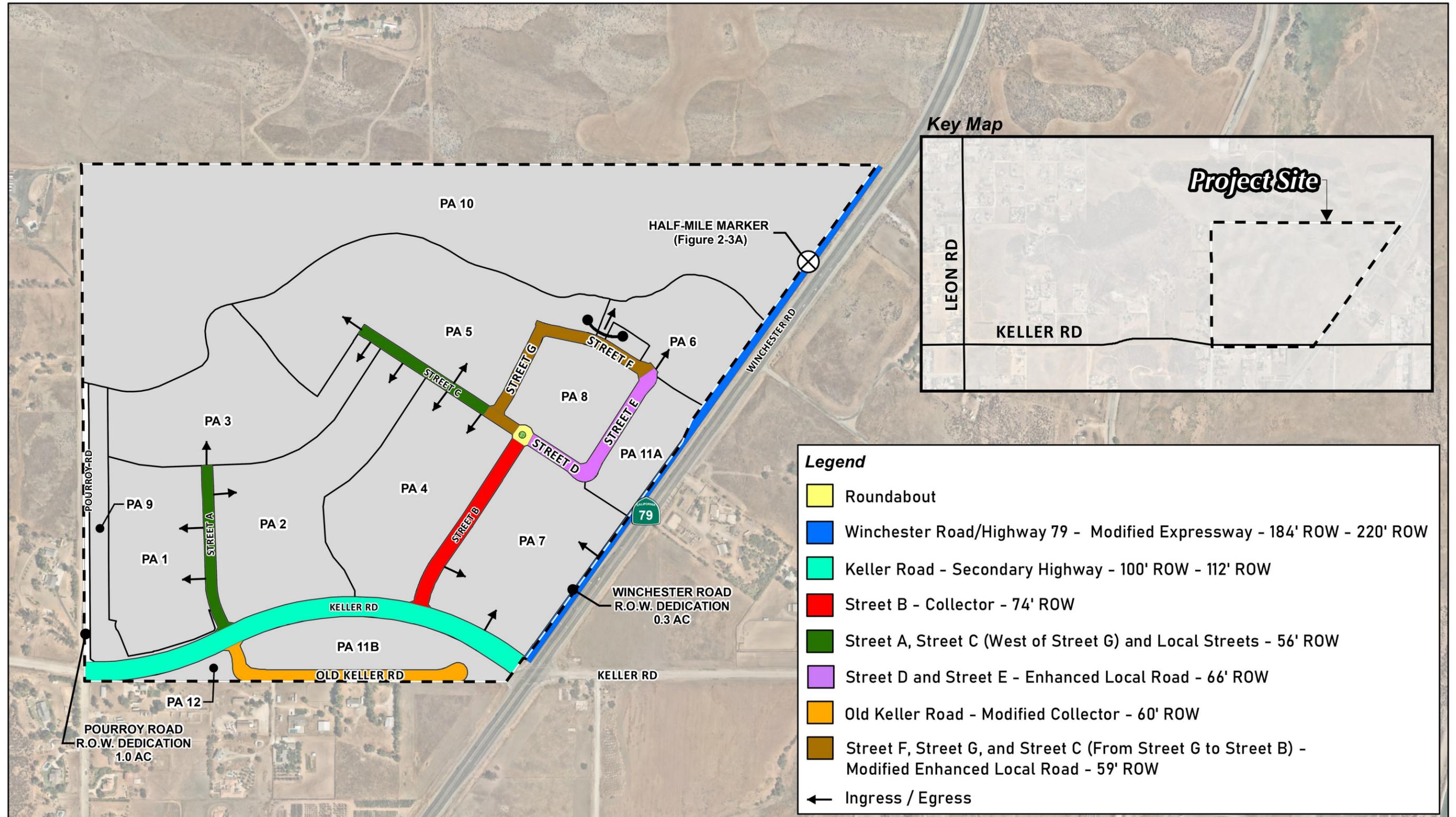
2. ***Keller Road – Modified Secondary Highway (100’ – 112’ R.O.W.):*** Keller Road, designated a Secondary Highway by the County General Plan, provides primary access to the KELLER CROSSING community from Winchester Road to the east and Leon Road to the west. As depicted on Figure 2-3A, the KELLER CROSSING Specific Plan Amendment #1 is responsible for the full-width improvements of Keller Road along its frontage. Keller Road has a 100-foot-wide right-of-way and consists of 64 feet of paving (curb to curb), a 12-foot-wide painted median, a 9-foot-wide curb-adjacent landscaped parkway on the southerly right-of-way, a 5-foot-wide sidewalk on the southerly right-of-way, a 4-foot-wide landscaped parkway at the edge of the southerly right-of-way, and a 10-foot-wide meandering decomposed granite (DG) trail on the northerly right-of-way, in conformance with County Standard No. 94. The right-of-way may increase to 112 feet and consist of 76 feet of paving (curb to curb) at the intersection of Keller Road and Winchester Road to accommodate turn lanes.
3. ***Street “B” – Collector Road (74’ R.O.W.):*** Street “B” is a public road, designated as a Collector Road, and serves as the primary entry and provides internal connectivity to the residential homes, public park, and the commercial area of the community. As depicted on Figure 2-3A, the KELLER CROSSING Specific Plan Amendment #1 is responsible for the full-width improvements of Street “B”. Street “B” includes a 74-foot-wide right-of-way, which consists of 44 feet of paving (curb to curb), a 7-foot curb-adjacent landscaped parkway, a 5-foot-wide sidewalk, and a 3-foot landscaped parkway at the edge of the right-of-way on both sides of the street, in conformance with County Standard No. 103. Parking is permitted on both sides of Street “B”.
4. ***Street “D” and Street “E”- Enhanced Local Street (66’ R.O.W):*** Street “D” and Street “E” are designated as Enhanced Local Streets because they provide an 11-foot-wide sidewalk where they abut the Park in Planning Area 8. As depicted on Figure 2-3B, the KELLER CROSSING Specific Plan Amendment #1 is responsible for the full-width improvements of Street “D” and Street “E”. Streets “D” and “E” include 44 feet of paving (curb to curb), an 11-foot-wide sidewalk abutting the park in PA 8, and a 5-foot curb-adjacent landscaped parkway and 5-foot-wide sidewalk abutting commercial and basin uses, in conformance with County Standard No. 104. Parking is permitted on both sides of Streets “D” and “E”.
5. ***Street “F”, Street “G”, and Street “C” (from Street “G” to Street “B”)- Modified Local Street (59’ R.O.W):*** Street “F”, Street “G”, and Street “C” (from Street “G” to Street “B”) are designated as Modified Local Streets because they provide an 11-foot-wide sidewalk where they abut the Park in Planning Area 8. As depicted on Figure 2-3B, the KELLER CROSSING Specific Plan Amendment #1 is responsible for the full-width improvements of Street “F”, Street “G”, and Street “C” which includes 40 feet of paving (curb to curb), an 11-foot-wide sidewalk abutting the park in PA 8, and a 5-foot-wide sidewalk and a 3-foot landscaped parkway abutting residential uses, in

conformance with County Standard No. 105. Parking is permitted on both sides of Streets “F”, “C”, and “G”.

6. **Old Keller Road – Modified Collector Road (60’ R.O.W.):** Old Keller Road will be provided for access purposes to existing property owners south of the KELLER CROSSING community. As depicted on Figure 2-3A, the northerly portion of the Old Keller Road right-of-way (44-feet) will be vacated and reduced to 30-feet, which includes 22-feet of paving (curb to curb) north of the centerline. The southerly half of the right-of-way (44 feet) will be reduced to 30-feet, which includes 12-feet of paving (curb to curb) south of the centerline, and is provided at existing grade to the adjacent property owners located immediately south of the Specific Plan. Old Keller Road will be maintained by the County of Riverside.
7. **Street “A”, Street “C” (West of Street “G”), and Internal Streets – Local Streets (56’ R.O.W.):** Street “A”, Street “C” (west of Street “G”), and all other internal streets are public Local Streets that provide internal connectivity between the residential neighborhoods and other uses of KELLER CROSSING. As depicted on Figure 2-3B, the KELLER CROSSING Specific Plan Amendment #1 is responsible for the full-width improvements of Street “A”, Street “C”, and internal streets within the Specific Plan boundary. Local Streets include 40 feet of paving (curb-to-curb), a 5-foot-wide curb-adjacent sidewalk, and a 3-foot-wide landscaped parkway on both sides of the street, in conformance with County Standard No. 105, Section A. Parking is permitted on both sides of Street “A”, Street “C”, and internal streets.
8. **Roundabout:** A roundabout, designed to calm traffic before it enters the residential neighborhoods, is provided at the terminus of Street “B” and connection to Street “C”. As depicted on Figure 2-3B, the roundabout includes 42 feet of paving, a 34-foot landscaped island, and 11-foot to 18-foot sidewalks along the edge of the right-of-way. A traditional intersection may be utilized in lieu of a roundabout.
9. **Pourroy Road:** Pourroy Road consists of an existing 16-foot dirt road within the 60-foot-wide dedicated right-of-way. It is important to note that the segment of Pourroy Road, north of Keller Road, is a dead-end street (due to the MSHCP dedication to the north), which serves a small number of homes in the established large lot neighborhood west of Pourroy, and no access is proposed as part of the KELLER CROSSING Specific Plan. As a result, project construction of the eastern 30-foot half-width section along the existing right-of-way dedication is not necessary. Therefore, as depicted on Figure 2-3B, the project will construct and pave a 24-foot-wide portion of the westerly 30-foot half-width section of Pourroy Road to create all-weather access and improve fire safety access for the established neighborhood to the west. No other improvements aside from the 24-foot-wide paved road portion are proposed. The easterly unimproved 30-foot half-width section of the right-of-way provides an additional buffer between KELLER CROSSING and the established neighborhood to the west.

b. Vehicular Circulation Plan Development Standards

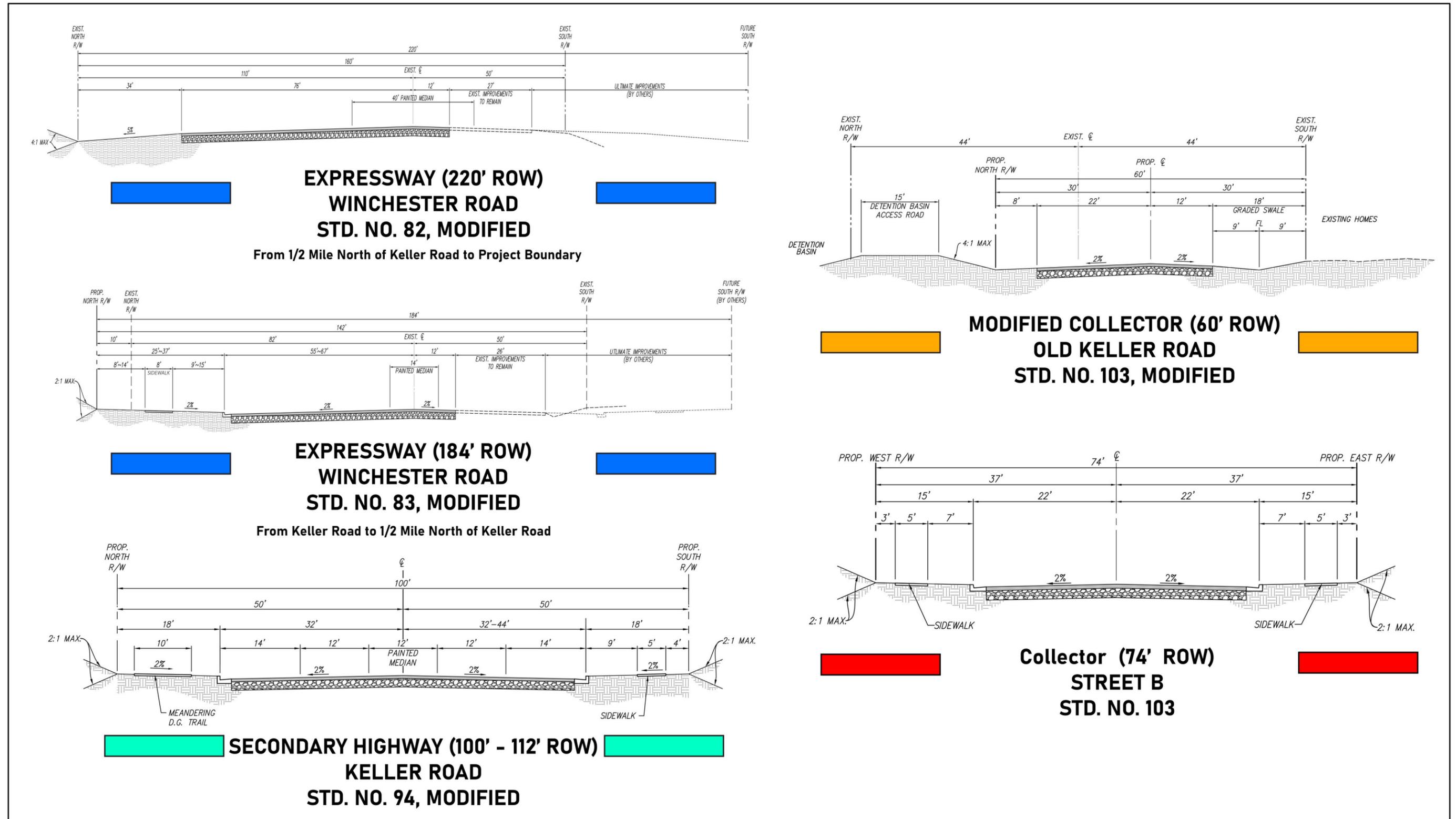
1. The on-site circulation system depicted on Figure 2-2, *Vehicular Circulation Plan*, shall serve as the preliminary roadway plan for implementing development. The illustrated, on-site roadway improvements and sidewalk improvements may be phased in accordance with this plan.
2. Roadways within the Specific Plan boundary may be modified from the County's standards. As a requirement of the implementing subdivisions for the Specific Plan, the roadways are subject to approval and modification by the County Transportation Department.
3. Major public roadway improvements may be financed through an assessment district, community facilities district, or similar financing mechanism.
4. Intersection spacing and/or access openings are designed as modifications to the County's Road Standards in Ordinance No. 461, or as approved by the County Transportation Department.
5. Landscape requirements for roadways within the Specific Plan Amendment shall be in accordance with the streetscape treatments as depicted in Chapter 4, *Design Guidelines*.
6. Any landscaping within public road rights-of-way will be maintained by the County of Riverside, Valley-Wide Recreation and Park District, Homeowner's Association, or other similar maintenance entity.
7. Mid-block crosswalks and textured pavement accents within the County right-of-way are prohibited. Entry monuments and/or identification signs are not permitted within public rights-of-way.
8. Bus turnouts shall be created within the County rights-of-way at locations specified by the Riverside Transit Agency (RTA), if requested.
9. Pourroy Road may not need to be constructed as a part of the Keller Crossing Specific Plan Amendment #1, as approved by the Director of Transportation and Fire Department. If construction isn't warranted, right-of-way will be dedicated for future construction. The project will construct a 24-foot-wide paved fire access road within the western 30-foot half-width section of Pourroy Road.
10. Open ended cul-de-sacs are encouraged in residential Planning Areas, where they are used to provide more direct pedestrian pathways from neighborhoods to walkable community destinations such as the park, commercial area or public transportation.
11. Pavement accents are encouraged in areas of high pedestrian activity.



Source: ESRI, Nearmap (2022), K&A Engineering (03-23-2022)

FIGURE 2-2

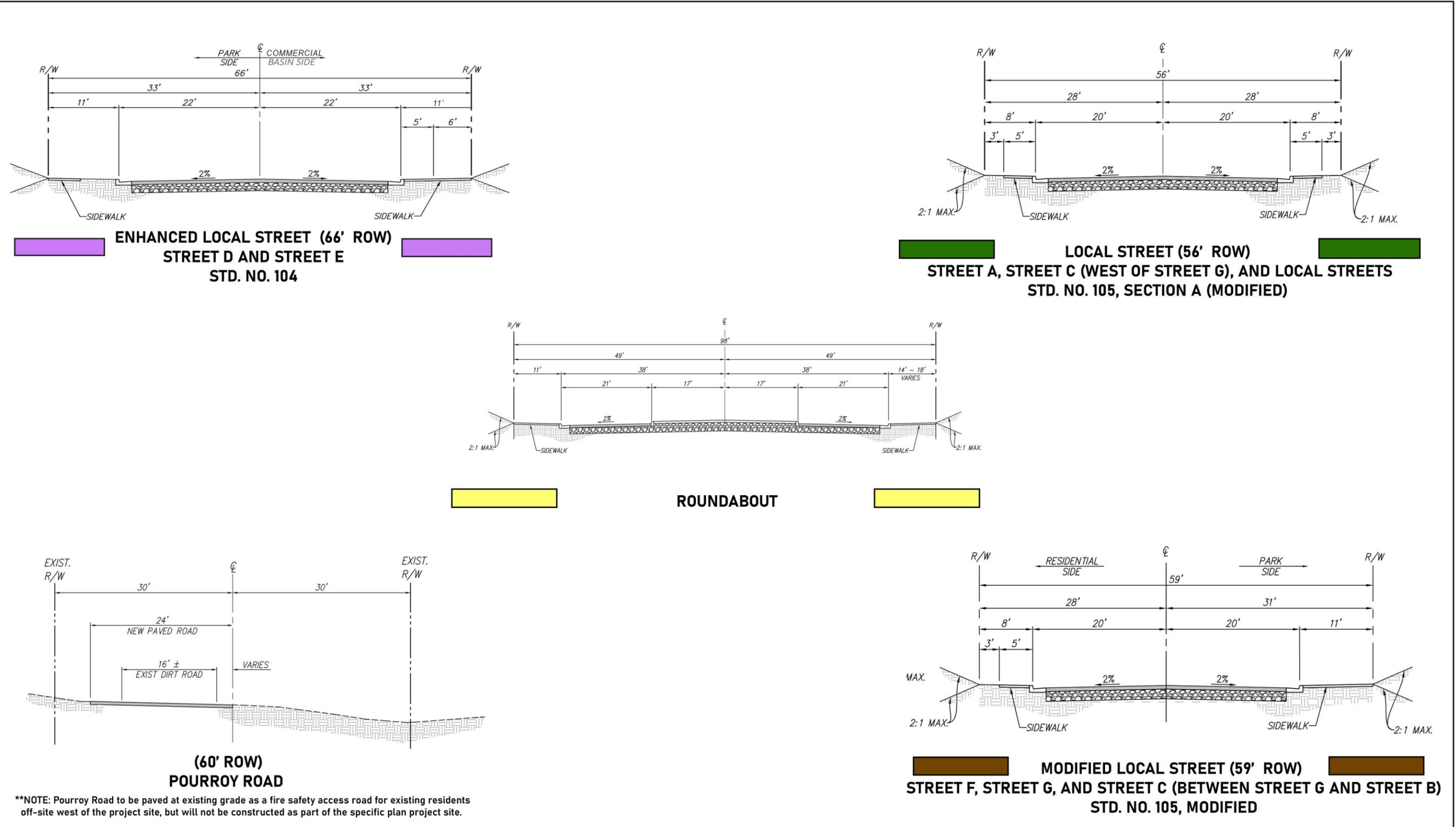




Source: K&A Engineering (06-2022)

FIGURE 2-3A





Source: K&A Engineering (03-22-2022)

FIGURE 2-3B



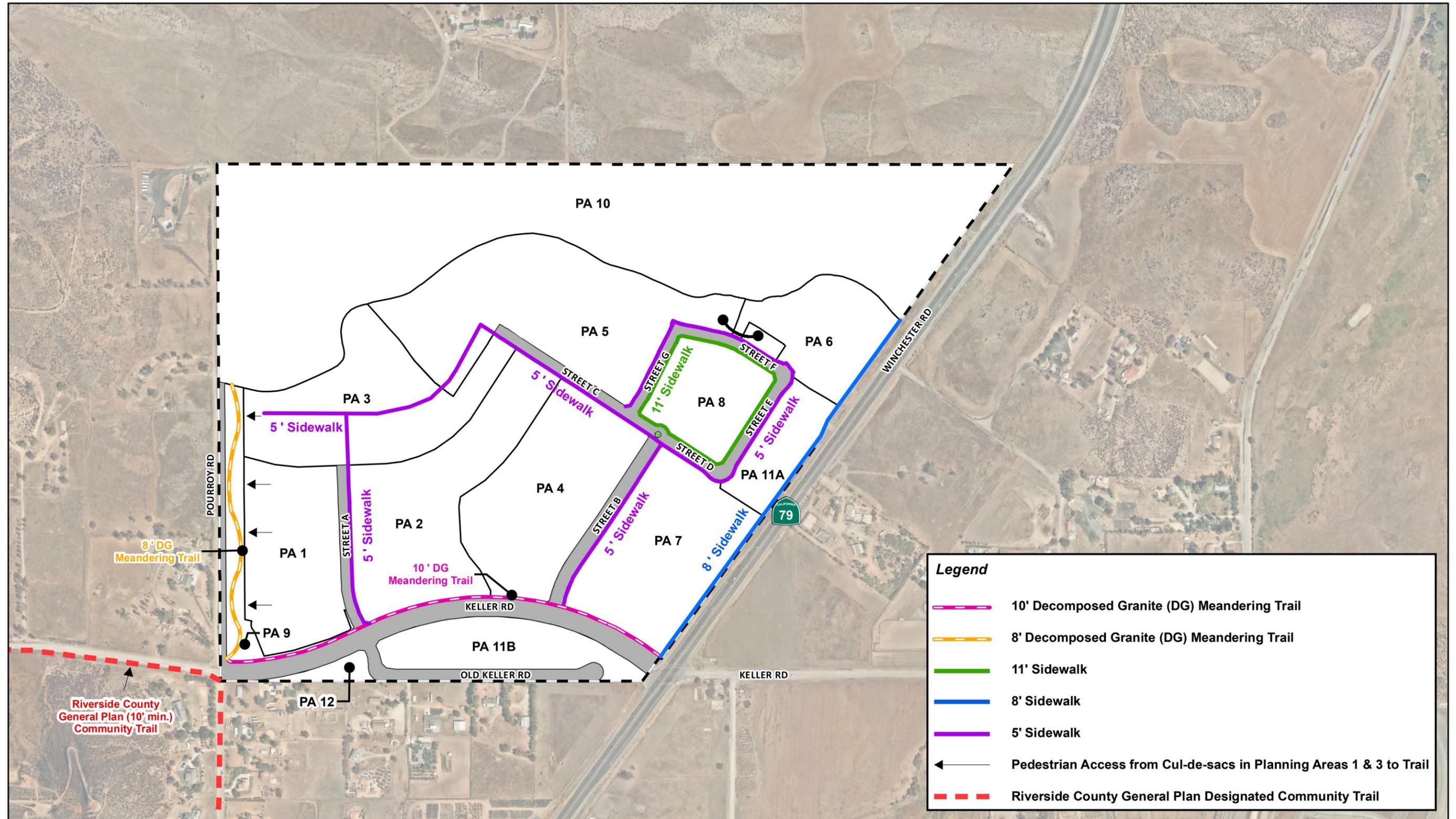
2. CONCEPTUAL PEDESTRIAN CIRCULATION PLAN

a. Description

As shown on Figure 2-4, *Conceptual Pedestrian Circulation Plan*, the KELLER CROSSING community contains a comprehensive internal trail and sidewalk system, which connects each of the residential neighborhoods, including the Age-Qualified neighborhood to the park, open space trails, commercial center, and County General Plan Community Trail. The pedestrian trail system includes an 8-foot Decomposed Granite (DG) trail in Planning Area 9 and a 10-foot meandering DG trail along the north side of Keller Road. The KELLER CROSSING trails connect to a comprehensive sidewalk system, which include 11-foot-wide sidewalks along Streets “D”, “E”, “F”, and “G” (surrounding the park), an 8-foot-wide sidewalk on Winchester Road, and 5-foot-wide sidewalks on Streets “A”, “B”, “C”, “D”, “E”, “F”, and internal streets (standard). The trails connect to the County Trail System at the intersection of Keller Road and Pourroy Road. The pedestrian circulation system encourages residents to walk anywhere within the community thereby reducing the need to use vehicles.

b. Conceptual Pedestrian Circulation Plan Development Standards

1. All recreational facilities will be landscaped and, where necessary, irrigated in a manner that is conducive to the type of plan materials and landscape setting.



Source: Nearthmap (2022) K & A Engineering (06-2022)

FIGURE 2-4



C. OPEN SPACE AND RECREATION PLAN

1. DESCRIPTION

An important element of the KELLER CROSSING community is the *Open Space and Recreation Plan*. The community features a total of 83.1 acres of Open Space use, including a 6.4-acre public park in Planning Area 8, an 8-foot-wide pedestrian trail in Planning Area 9, 61.4 acres of conservation habitat in Planning Area 10, a 4.3-acre WQMP basin in Planning Area 11A, and a 6.9-acre WQMP basin in Planning Area 11B. As depicted on Figure 2-5, *Open Space and Recreation Plan*, the community features a 6.4-acre public park which provides recreational opportunities for the residents of the KELLER CROSSING community and surrounding neighborhoods, and may include sports fields, basketball courts, a playground area, a gazebo, picnic benches, and a paved trail. KELLER CROSSING Specific Plan Amendment #1 designates 61.4 acres as Open Space-Conservation Habitat (Planning Area 10), pursuant to the MSHCP, to preserve the hillsides for dedication to the RCA. The community includes approximately 4.1 acres of Open Space-Recreation uses in Planning Area 9 that provides a recreational trail and connects to a community-wide trail system. The community also provides a 4.3-acre detention basin within Planning Area 11A and a 6.9-acre detention basin within Planning Area 11B to provide for water flow detention and storm water management. An overview of the land uses and acreages are summarized in Table 2-2, *Open Space and Recreation Plan Summary*.

Table 2-2 OPEN SPACE AND RECREATION PLAN SUMMARY

PLANNING AREA	LAND USE	ACRES
8	Open Space - Recreation (Public Park)	6.4
9	Open Space – Recreation	4.1
10	Open Space - Conservation Habitat	61.4
11A	Open Space - Water (WQMP Basin)	4.3
11B	Open Space - Water (WQMP Basin)	6.9
OPEN SPACE TOTAL		78.6

A detailed description of the Open Space and Recreational amenities provided in the KELLER CROSSING Specific Plan Amendment #1 is provided below:

a. Public Park

A 6.4-acre Public Park located within Planning Area 8, provides KELLER CROSSING residents with recreational amenities, which may include, but are not limited to, sports fields, a basketball court, a playground area, picnic benches, and a pickleball court, as depicted on Figure 4-22, *Conceptual Park Plan*. The Public Park will be owned and maintained by the Valley-Wide Recreation and Park District (VWRPD), or similar maintenance entity.

b. Open Space-Conservation Habitat

Planning Area 10 is comprised of 61.4 acres designated Open Space-Conservation Habitat. Preservation of this open space, consisting of natural upland habitats and hillsides, shall occur in conjunction with

project compliance for the Western Riverside County Multi-Species Habitat Conservation Preservation Plan (MSHCP) by dedication to the RCA. The KELLER CROSSING Specific Plan Amendment #1 lies within Cell Group “U”, Cell Number “5067” in the MSHCP. Prior to the approval of Specific Plan 380, the Project Site was granted approval by the Western Riverside County Regional Conservation Authority (RCA) for the dedicated acreage and defined development envelope for the KELLER CROSSING community (documented as HANS No. 1995).

To be consistent with the MSHCP, all residential lots adjacent to the Conservation Habitat are protected by fire fuel modification zones in Planning Areas 3, 5, and 6, and have walls or fencing along the edges of development in Planning Areas 3 and 5 (as described in Section 2.H., *Fuel Modification Plan*, and Chapter 4.F.5, *Walls and Fencing*), to discourage human and pet entry into the Conservation Habitat area, as well as provide defensible wildfire barriers. There are no existing or proposed trails within Planning Area 10 that provide for hiking or biking opportunities.

c. Recreational Trail

Planning Area 9 consists of 4.1 acres and provides a minimum 100-foot-wide landscaped land use buffer, which includes an 8-foot-wide decomposed granite (DG) recreational trail, between the residential uses within KELLER CROSSING and the established large lot residential neighborhood on the west side of Pourroy Road.

d. Water Quality Management Plan and Detention Basins

The KELLER CROSSING community contains a 4.3-acre WQMP basin in Planning Area 11A and 6.9-acre WQMP basin in Planning Area 11B which detain and discharge stormwater runoff. The detention basins also provide storm water management, as appropriate, within the community.

2. PARK LAND DEDICATION

Table 2-3 PARKLAND DEDICATION SUMMARY

PLANNING AREA	LAND USE	ACRES
8	Open Space - Recreation (Public Park)	6.4
<i>USABLE PARKLAND</i>		<i>6.4</i>

In accordance with the Riverside County’s General Plan and the State Quimby Act, residential development projects must provide 5.0 acres of usable park land per 1,000 residents. As described in Table 2-1, *Detailed Planning Area Summary*, the KELLER CROSSING Specific Plan provides for the development of 353 detached single-family homes and 80 attached age-qualified (55+) apartment homes. Using the “Average Number of Persons Per Household” rate of 3.09 persons per household (pph) for single-family residential use from the Valley Wide Recreation and Park District and the age-qualified (55+) rate of 2.11 pph from the National Association of Home Builders (NAHB), KELLER CROSSING may be home for up to 1,260 residents $([353 \text{ homes} \times 3.09 \text{ persons per household}] + [80 \text{ homes} \times 2.11 \text{ persons per household} = 1,259.6])$, which corresponds to a park land requirement of 6.3 acres $([1,260 \text{ residents}/1,000 \text{ residents}] \times 5.0 \text{ acres} = 6.3 \text{ acres})$. The KELLER CROSSING community provides a total of at least 6.4 acres of

usable parkland, which exceeds the park land dedication requirements of Riverside County and the State Quimby Act by 0.1 acres.

3. OPEN SPACE AND RECREATION DEVELOPMENT STANDARDS

- a. The public park within Planning Area 8 will be owned and maintained by Valley-Wide Recreation and Park District, or similar entity.
- b. The pedestrian trail within Planning Area 9 will be owned and maintained by the Homeowner's Association, Valley-Wide Recreation and Park District, or similar entity. Planning Area 9 also serves as a fuel modification zone and provides a minimum 100-foot-wide landscaped visual and noise buffer between the residential uses within Planning Areas 1 and 3 and the established large lot residential neighborhood on the west side of Pourroy Road. This zone shall be landscaped and maintained in accordance with the standards established in Section 2.H., *Fuel Modification Plan*, and Chapter 4.F.6., *Design Guidelines*, and Riverside County Fire Department fuel modification requirements.
- c. Planning Area 10 shall be designated as Open Space-Conservation Habitat and dedicated to the RCA as a part of the MSHCP. The RCA will be responsible for maintenance required within Planning Area 10.
- d. All recreational facilities will be landscaped, and where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting, in accordance with Table 4-1, *Community Plant Palette*.
- e. Landscaping within open space and recreational areas shall be further governed by Chapter 4, *Design Guidelines*, of this Specific Plan.
- f. Landscaping within open space and recreational areas shall conform to the standards set forth by the Riverside County Ordinance No. 859 (Water Efficient Landscape Requirements).



Source: ESRI, Nearmap (2022), RCTLMA (2022), Composite: K&A Engineering (03-23-2022)

FIGURE 2-5



D. DRAINAGE AND WATER QUALITY PLAN

1. DRAINAGE AND WATER QUALITY PLAN DESCRIPTION

KELLER CROSSING lies within the Santa Margarita Watershed, and storm water from the site ultimately discharges into the Santa Margarita River in Temecula. Therefore, the KELLER CROSSING community falls under the jurisdiction of the Riverside County Flood Control & Water Conversation District (RCFC&WCD) and the Riverside County Transportation Department. The natural topography of the KELLER CROSSING Specific Plan area drains from the northwest to southeast, with several natural drainage courses traversing the community within Planning Area 10, which flow off-site towards the southwest and southeast.

The existing drainage water courses include off-site areas west of Pourroy Road, south of (Old) Keller Road, and along Winchester Road. A major drainage course, west of Pourroy Road, conveys a significant tributary area runoff from the northern and western hillside elevations, and continues southeast into Winchester Road via several Caltrans RCP culverts. Existing drainage water courses also flow offsite from the northern and eastern hillside elevations through several existing Caltrans reinforced concrete pipe (RCP) culvert-under-crossings along Winchester Road (Highway 79).

The water quality management facilities within KELLER CROSSING are designed to improve the quality of stormwater runoff prior to leaving the developed portions of the site by providing design features for removal of sediment and other water borne pollutants. Drainage facilities are designed and installed in accordance with the requirements of the County of Riverside and Valley-Wide Recreation and Park District (where Valley-Wide Recreation and Park District is the maintenance entity). Water quality measures comply with the Santa Margarita Region NPDES Permits and with the requirements of the County of Riverside. Water quality during construction of the Specific Plan implementing projects is managed through the preparation and execution of a Storm Water Pollution Prevention Plan (SWPPP). Post-construction water quality is managed through a Final Water Quality Management Plan (FWQMP), which includes five (5) detention basins consisting of water quality structural components.

As shown on Figure 2-6, *Drainage Plan*, the KELLER CROSSING Specific Plan Amendment #1 provides for off-site and on-site runoff conveyance southerly through storm drains ranging in size from 18 inches to 54 inches and into water quality management and detention basins in Planning Areas 6, 7, 8, 11A and 11B, which ultimately discharge flows into their respective existing pre-development water courses.

In the northeastern portion of the KELLER CROSSING community, drainage flows from Planning Area 6 are treated and detained in a required future basin within PA 6. Directly south of PA 6, a basin in PA 11A treats and detains storm flows and run-off from portions of PA5. Additionally, flows from the park in Planning Area 8 are treated by a required future basin within PA 8 (not shown) and then conveyed into the basin in PA 11A. Lastly, hillside storm flows from the open space in PA 10 are intercepted and conveyed through a bypass storm drain line directly into the basin in PA 11A. Outflows from the basins in PA 6 and PA 11A are conveyed through 24-inch storm drain lines to three points of connection with the existing Caltrans 24-inch Reinforced Concrete Pipe (RCP) culverts under Winchester Road and ultimately discharged off-site to a major natural drainage course southeast of KELLER CROSSING.

The basin within PA11B located at the southern edge of KELLER CROSSING, captures flows from PAs 1 through 5, with PA 7 flows bypassing this basin. Flows from PAs 1-5 are conveyed into the PA 11B basin, and then conveyed south via a 24-inch storm drain line under Old Keller Road, where this 24-inch line transitions to a 30-inch line, which discharges into existing natural drainage course outside of the project limits. Flows from PA 7 may be treated by the PA 11B basin or separately by a future basin within PA 7, then conveyed southerly under Keller Road in a 24-inch storm drain line, and then westerly under Old Keller Road, where it connects to the 30-inch storm drain line south of Old Keller Road.

The drainage solutions for the flows from the open space in PA 9 consists of a low flow option and two storm management options, Option A and Option B.

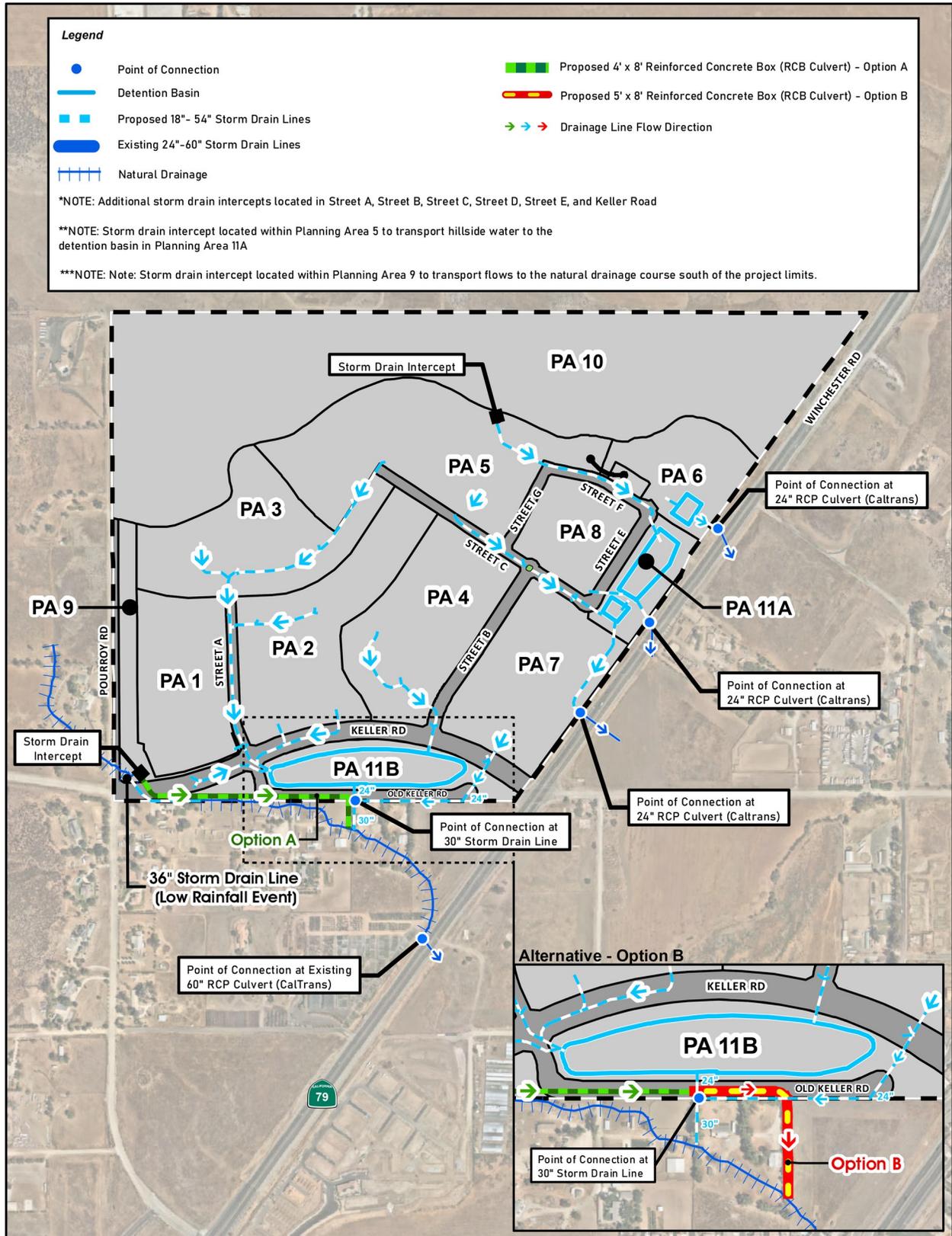
- a. Low Flow Option: During low rainfall events, a 36-inch storm drain captures the flows within the natural drainage course at the southern boundary of PA 9 and conveys these flows under Old Keller Road, and then back into the natural drainage course south the project limits. When flow volume from storm events overwhelms the low flow 36-inch storm drain, the flows will be captured by a 4'x8' reinforced box culvert (RCB) at the southern end of PA 9, where one of two options may occur.
- b. Option A: The 4' x 8' RCB extends east under Old Keller Road, and then south within an easement along the private property's western property line, which conveys flows into the natural drainage course south of the project limits.
- c. Option B: The 4' x 8' RCB transitions to a 5' x 8' RCB, which then extends south within an easement along the private property's eastern property line, and conveys flows to the natural drainage course south of the project limits.

Lastly, the natural drainage course receiving flows from PA 9 and PA 11B is preserved in its predevelopment alignment until the drainage course discharges into the existing 60-inch RCP under Winchester Road, which then conveys flows into a major natural drainage course southeast of KELLER CROSSING.

2. DRAINAGE AND WATER QUALITY DEVELOPMENT STANDARDS

- a. All local on-site storm drain facilities within the public right of way, or public easements, shall be maintained by the County of Riverside and shall be designed in accordance with the standards and requirements of the County.
- b. The WQMP basins in Planning Areas 6, 7, 8, 11A, and 11B shall be designed to provide required stormwater treatment.
- c. The WQMP basins within Planning Areas 8, 11A, and 11B will be owned and maintained by Valley-Wide Recreation and Park District, the Homeowner's Association, or similar entity.
- d. The WQMP basin within Planning Area 7 will be owned and maintained by a Commercial Property Owner's Association or similar entity.

- e. All pipes, inlet and outlet structures within the basins will be maintained by RCFC&WCD or Riverside County Transportation Department.
- f. KELLER CROSSING is responsible for complying with the Santa Margarita Region NPDES Permits in effect at the time of discretionary review as warranted based on the nature of development and/or activity. These Permits include:
 - i. General Permit-Construction
 - ii. MS4 Permit
 - iii. DeMinimus Discharge Permit
- g. Grading and drainage improvements shall conform to the California Building Code. Grading of the site shall be designed so as to protect all building pads from the 100-year storm event and to convey off-site runoff safely through the site.
- h. Phasing of the Specific Plan Amendment's infrastructure facilities shall conform to Chapter 5.C. *Phasing Plan* and Figure 5-1, *Conceptual Phasing Plan*. Specifically, construction of drainage infrastructure facilities shall be timed to adequately service the Planning Areas in each state of development.



Source: ESRI, Nearmap (2022), K&A Engineering (04-04-2022)

FIGURE 2-6



E. MASTER WATER PLAN

1. DOMESTIC WATER PLAN

Domestic water services for the KELLER CROSSING Specific Plan area are provided by the Eastern Municipal Water District (EMWD) and is served by the EMWD 1627 Pressure Zone water system. As shown on Figure 2-7, *Domestic Water Plan*, the surrounding area is served by an existing EMWD water system consisting of an 18-inch water transmission line located at the intersection of Pourroy Road and Ruft Road. This line connects to an existing 12-inch water main in Pourroy Road which runs southeasterly in Pourroy Road to a connection Washington Street, and then north in Washington Street.

KELLER CROSSING will construct a 24-inch water main in Pourroy Road from a point of connection at the existing 18-inch line at Ruft Road to Keller Road at Pourroy Road. The proposed 24-inch line will then transition into a 30-inch line, which will split into a proposed 30-inch line and a 12-inch line at Street A. The 30-inch line will continue within Keller Road, off-site to a point of connection within the existing 12-inch line in Keller Road and future Elmcrest Street. The 12-inch line will create the on-site water system, looping through Street “A”, Planning Area 3, Street “C”, Planning Area 5, and Street “B”, to serve the site. The on-site domestic water system consists of 8-inch and 12-inch domestic water lines to distribute water for domestic use, landscape irrigation for individual homeowners, and fire protection.

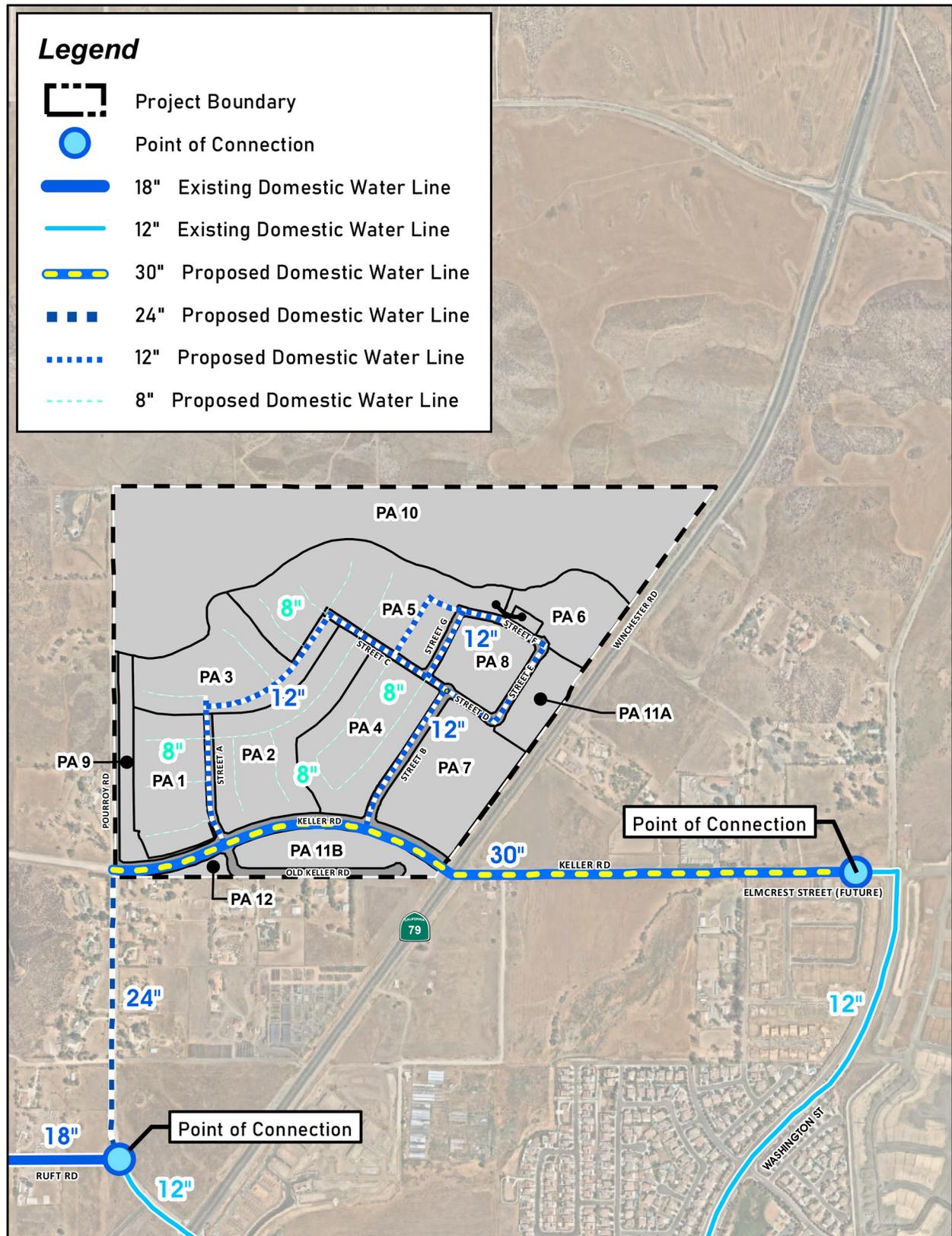
2. RECYCLED WATER PLAN

KELLER CROSSING will provide recycled water for park irrigation, common area landscaping, and manufactured slope and detention basin maintenance through existing and proposed recycled water lines. Recycled water will be provided by EMWD from an existing 24-inch recycled water line in Leon Road.

As shown on Figure 2-8, *Recycled Water Plan*, the on-site recycled water system consists of an 8-inch looped system with recycled water lines terminations in Planning Areas 5 and 8 for irrigation purposes. The 8-inch recycled water lines within Street “A”, Street “B”, Street “C”, and Street “D” connect to a proposed 12-inch recycled water line which will be constructed within Keller Road at Street B and continue westerly to a point of connection to an existing 24-inch recycled water line in Leon Road.

3. DOMESTIC AND RECYCLED WATER DEVELOPMENT STANDARDS

- a. All domestic and recycled water lines shall be placed underground.
- b. All domestic and recycled water facilities will be designed and installed in accordance with the requirements of EMWD.
- c. The water distribution systems shall provide adequate flows for fire protection in accordance with the requirements of the County of Riverside Fire Department
- d. Phasing of the Specific Plan infrastructure facilities shall conform to Chapter 5.C. *Phasing Plan* and Figure 5-1, *Conceptual Phasing Plan*.

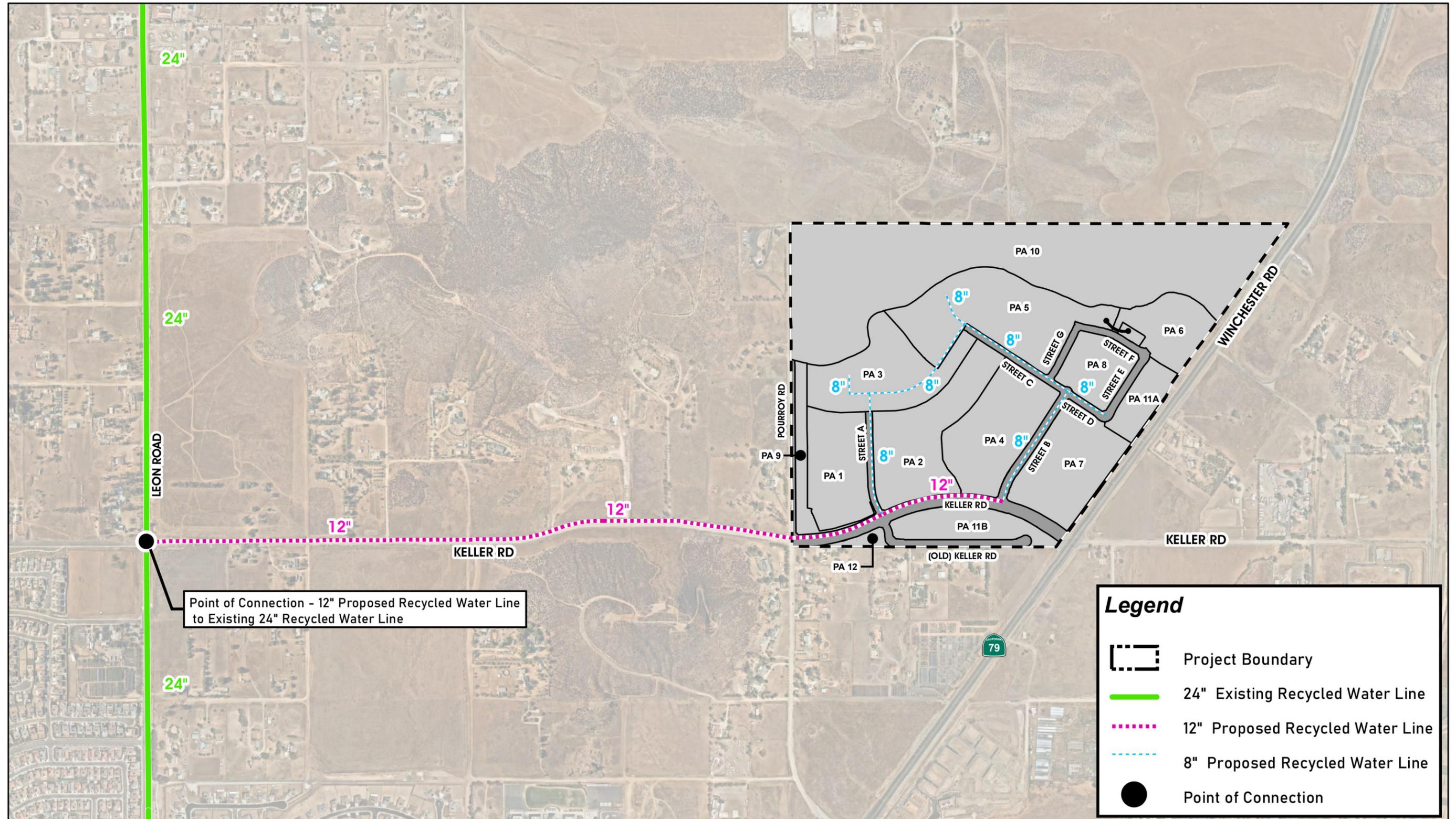


Source: ESRI, Nearmap (2022), K&A Engineering (09-15-2021)

FIGURE 2-7

CONCEPTUAL DOMESTIC WATER PLAN





Source: ESRI, Nearmap (2022), K&A Engineering (09-15-2021)

FIGURE 2-8



F. MASTER SEWER PLAN

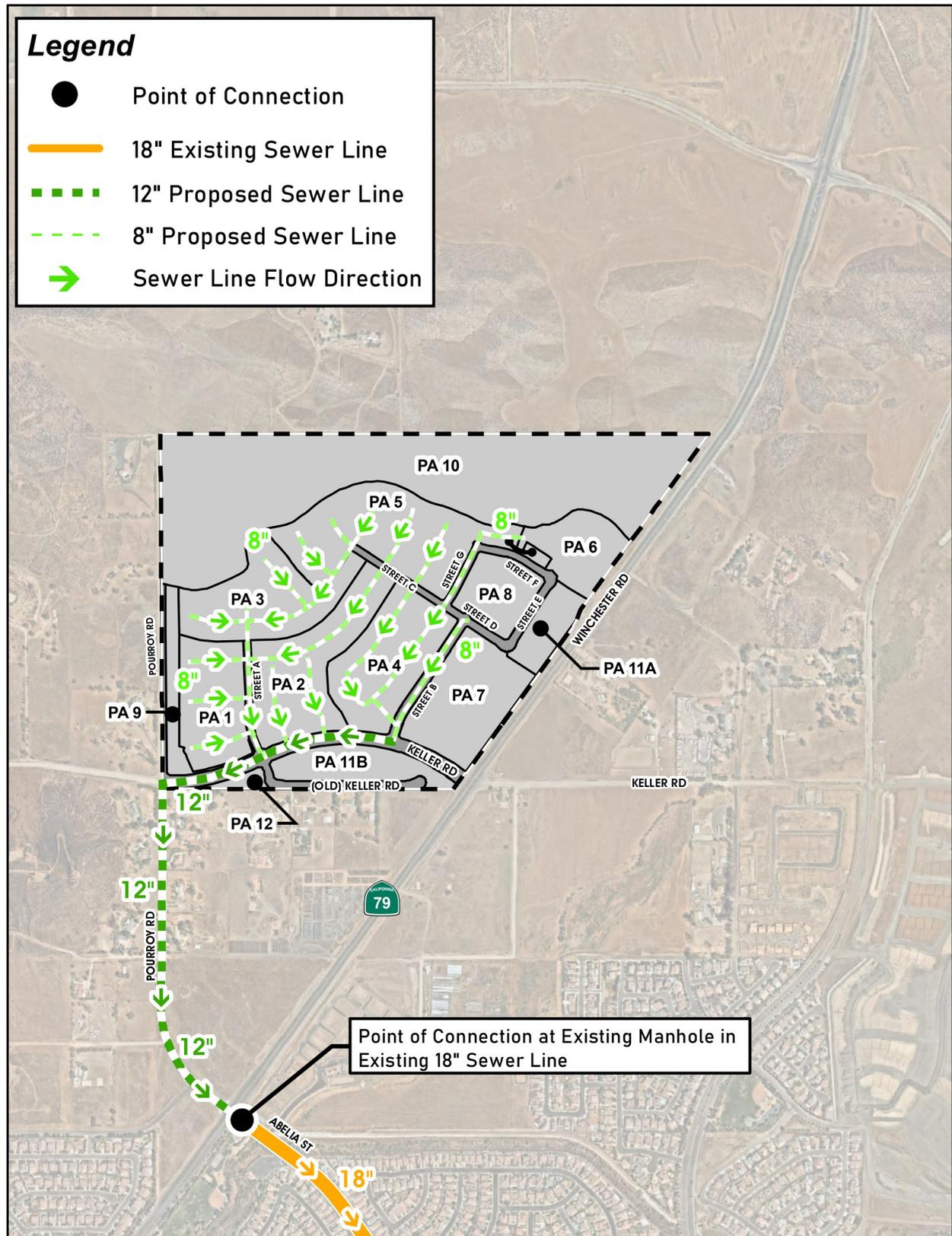
1. SEWER PLAN DESCRIPTION

Sewer services for the KELLER CROSSING Specific Plan area are provided by the Eastern Municipal Water District (EMWD). As shown on Figure 2-9, *Sewer Plan*, an existing 18-inch gravity sewer main and existing manhole located southeast of Winchester Road in Abelia Street, serves as the Specific Plan's point of connection with the regional sewer system. The on-site sewer system consists of 8-inch gravity sewer lines connecting to a proposed 12-inch gravity sewer line within Keller Road, which extends southwest in Pourroy Road to the point of connection at the intersection of Winchester Road and Abelia Road.

The Morningstar Village development project, located southeast of Pourroy Road and Koon Street, proposes a 15-inch gravity sewer main in Pourroy Road that connects to the existing 18-inch gravity sewer main in Abelia Street and is currently under review by EMWD. In the event that the Morningstar Village's sewer infrastructure is constructed prior to the KELLER CROSSING Specific Plan Amendment #1 final engineering design, then the 15-inch sewer main in Pourroy Road will serve as the point of connection for the proposed 12-inch gravity sewer main within Keller Road.

2. SEWER DEVELOPMENT STANDARDS

- a. All sewer lines and facilities shall be placed underground.
- b. All sewer facilities will be designed and installed in accordance with the requirements of EMWD.
- c. Phasing of the Specific Plan's infrastructure facilities shall conform to Chapter 5.C. *Phasing Plan* and Figure 5-1, *Conceptual Phasing Plan*.



Source: ESRI, Nearmap (2022), K&A Engineering (09-15-2021)

FIGURE 2-9



G. CONCEPTUAL GRADING PLAN

1. DESCRIPTION

The KELLER CROSSING Specific Plan property is currently undeveloped and consists of rolling hills with a sloped rise in elevation from (Old) Keller Road to the northern boundary of KELLER CROSSING. Development in KELLER CROSSING will re-contour the pre-development terrain of the Specific Plan area to create pads and roads, sloping from the higher northerly elevations to lower southerly elevations. Planning Area 10, designated as Open Space-Conservation Habitat, will remain undisturbed.

As shown on Figure 2-10, *Conceptual Grading Plan*, the grading of the KELLER CROSSING development consists of standard residential grading for the single-family and multi-family residential lots and adjacent streets, along with a mass grading for the commercial area anticipated for Planning Area 7, and minimal localized grading for the development of the park within Planning Area 8. The grading generally follows the existing drainage patterns and the grading design boundaries for a nearly balanced rough graded condition with raw cut and fill quantities of approximately 1.2 million cubic yards (cy).

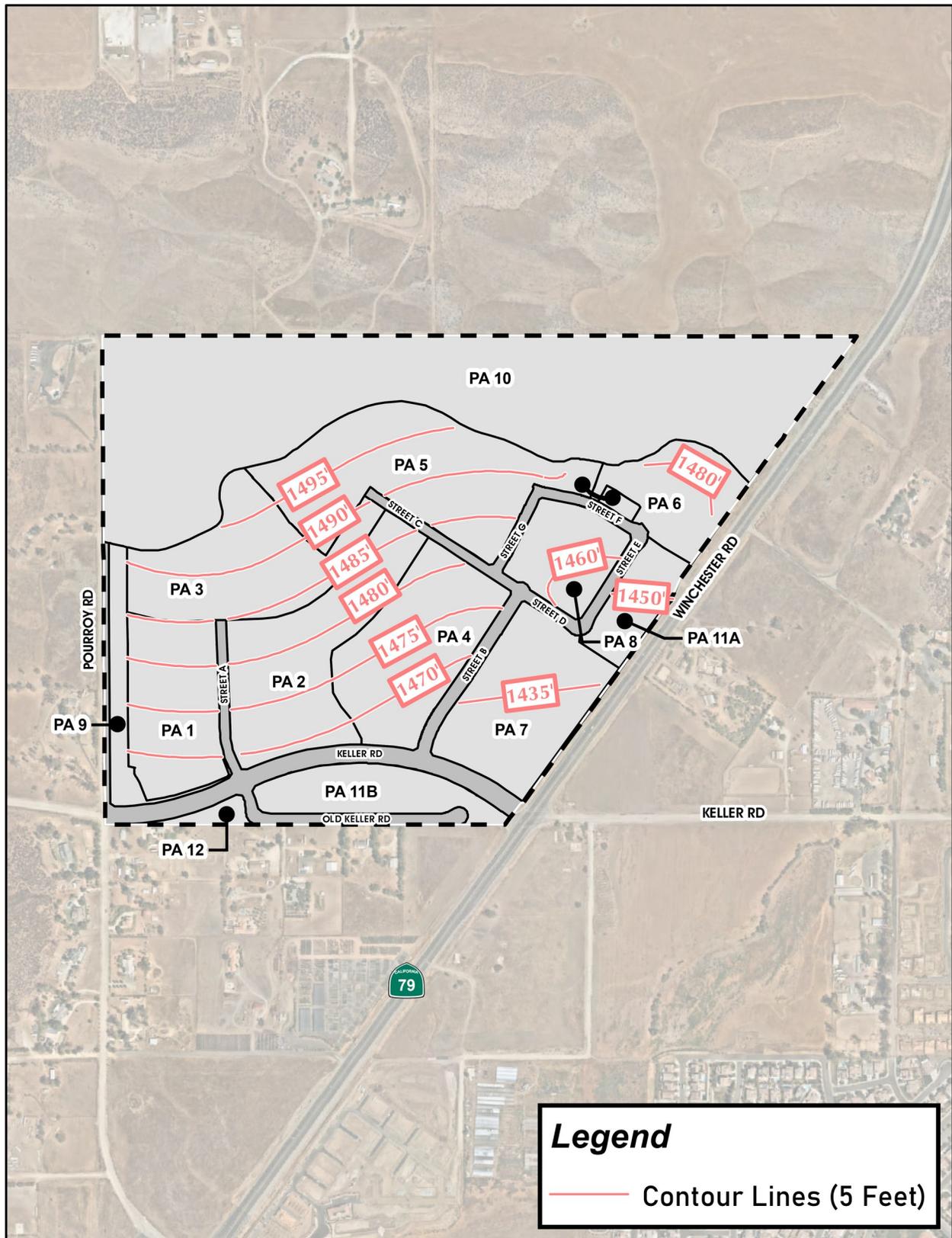
Site grading follows the recommendations of the geotechnical engineer and shall be conducted in accordance with the requirements of the County of Riverside. All grading plans and activities shall be conducted in accordance with the NPDES requirements and will conform to the County's grading ordinance and dust and erosion control requirements. A Storm Water Pollution Prevention Plan (SWPPP) will be prepared prior to grading of the project to ensure that erosion control mitigation complies with Riverside County and California State Water Resources Control Board requirements.

As depicted on Figure 5-1, *Conceptual Phasing Plan*, it is anticipated that the proposed grading operations shall be conducted in two phases. These phases would include:

- a. Phase 1: Grading for the southern portion of KELLER CROSSING, including:
 - i. Residential Planning Areas 1, 2, and 4;
 - ii. Commercial area in Planning Area 7;
 - iii. Recreational uses in Planning Area 9;
 - iv. WQMP basins in Planning Area 11A and Planning Area 11B;
 - v. Planning Area 12; and
 - vi. Old Keller Road, Keller Road, Street "A", Street "B", Street "C", Street "D", Street "E", and internal neighborhood roads.
- b. Phase 2: Grading for the northern portion of KELLER CROSSING, including:
 - i. Residential Planning Areas 3, 5, and 6;
 - ii. Public Park in Planning Area 8; and
 - iii. A segment of Street "C", Street "F", Street "G", and internal neighborhood roads.

2. GRADING DEVELOPMENT STANDARDS

- a. All grading activities shall conform to the requirements of the County of Riverside; the Grading Plan and shall implement any grading related mitigation measures.
- b. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared to analyze on site soils conditions and slope stability and will include appropriate measures for erosion and dust.
- c. All grading plans shall include an erosion control plan that shall address the techniques and measures to prevent erosion and sedimentation as well as eliminate source pollutants during and after the grading process. In accordance with NPDES requirements a Stormwater Pollution Prevention Plan (SWPPP) shall be prepared for the project and implemented during the construction process.
- d. No development or grading is permitted in Planning Area 10 (Open Space-Conservation Habitat).
- e. Daylight slopes along the northerly edge adjacent to the Open Space-Conservation Habitat area will vary with maximum slope height of 30 feet.
- f. Where cut and/or fill slopes are created higher than five (5) feet in height, detailed landscaping and irrigation plans shall be approved by the County of Riverside, in accordance with Ordinance No. 457.
- g. Retaining walls required to implement the grading shall be reviewed and approved by the County of Riverside and shall be permitted separately from the grading plans.



Source: ESRI, Nemap (2022), K&A Engineering (09-15-2021)

FIGURE 2-10



H. FUEL MODIFICATION PLAN

Pursuant to the County of Riverside General Plan (Figure S-11, *Wildfire Susceptibility Map*), the Specific Plan Area is located within the “Very High” Fire Hazard Severity Zone. Therefore, a Fuel Modification Plan (FMP) is needed to ensure the protection of the community’s homes and other structures from fire hazards. The FMP creates a plan that provides this protection while at the same time creating a smooth visual transition from the natural vegetation which may be located to the homeowner’s front, side, and/or rear landscapes.

Fuel modification zones within KELLER CROSSING exist within all residential Planning Areas, as well as in Planning Areas 11A and 11B, where they abut residential and commercial development areas. Fuel modification area planting shall be in accordance with the Riverside County Fire Department standards and requirements, and utilize appropriate plant materials and irrigation treatments. Lots that are within Planning Areas adjacent to open space will be developed in accordance with the FMP to provide adequate buffering and fuel modification zones consistent with Riverside County Fire Department standards. Fuel modification zones will be provided where the conditions outlined below exist, as per Riverside County Fire Department standards.

1. URBAN-WILDLAND INTERFACE

In order to adequately protect structures adjacent to open space areas and the MSHCP-dedicated hillsides, there must be sufficient “defensible space” between the dwelling and the fuel associated with the open land. A total of one-hundred (100) feet of fuel modification treatment shall be required on all lots abutting native vegetation. In those areas where 100 feet of fuel modification zones cannot be achieved due to open space protection issues or property boundary limitations, alternative protection measures will be implemented to help protect the homes from wildfire. These protection measures will be based on worst case scenarios (slope, wind, native vegetation, fuel moisture, humidity, etc.) and fire fuel modeling. The affected lots may include measures consisting of, but not limited to, non-combustible fire deflection walls, increased width of required irrigated landscaping, or additional ignition resistant construction requirements greater than the required building codes.

2. FUEL MODIFICATION ZONES

Below are the descriptions and required treatments for the three Fuel Modification Zones (FMZ) within KELLER CROSSING. All FMZ distances are measured horizontally and are depicted on Figure 2-11, *Fuel Modification Plan*. Fuel Modification Zones 1A, 1B, and 2 together, are sufficient to mitigate direct flame contact and the radiant heat effects of a worst-case wildland fire with 5.3-foot to 8.5-foot flame lengths.

a. Fuel Modification Zone 1A (Homeowner Maintained)

Fuel Modification Zone 1A is homeowner maintained within individual lots and shall be free of all combustible construction and materials. Zone 1A is generally located within the rear yard and side yards of the homes within all residential Planning Areas. It is an irrigated zone surrounding the building pad and

is measured from the exterior walls of the building or from the most distal point of a combustible projection or an accessory structure within 10 feet of the main building to the lot boundary. This distance area provides the best protection against the high radiant heat produced by a wildfire and also provides a generally open area in which fire suppression forces can operate during wildfire events. This zone includes a level or level-graded area around the structure and minimum 10-foot setbacks between buildings and trees. Landscaping in this zone shall be in accordance with Table 4-1, *Community Plant Palette*, and Table 4-2, *Prohibited Plant List*, in Chapter 4, *Design Guidelines*.

b. Fuel Modification Zone 1B (Valley-Wide Recreation and Park District Maintained)

Fuel Modification Zone 1B may be maintained by the Valley-Wide Recreation and Park District or other similar entity, and consists of irrigated and fire-resistant landscaping and manufactured slopes that extend from residential property lines. Zone 1B is generally located in landscaping areas outside of homeowner lots, including in Planning Areas 1, 3, 5, and 6, starting from the lot parcel line extending 30 feet outwards, within parks, roadway landscaping, and manufactured slopes. This zone shall be planted with fire resistant shrubs, trees, and groundcovers and shall be irrigated year-round. Landscaping in this zone shall be in accordance with Table 4-1, *Community Plant Palette*, and Table 4-2, *Prohibited Plant List*, in Chapter 4, *Design Guidelines*.

c. Fuel Modification Zone 2 (Valley-Wide Recreation and Park District Maintained)

Fuel Modification Zone 2 may be maintained by the Valley-Wide Recreation and Park District or other similar entity, and consists of thinning treatment to ensure that areas in this zone contain 50% open space and are free of any dead and dying combustible vegetation. Zone 2 generally begins at the outer edge of Zone 1A and Zone 1B landscaping and includes Planning Areas 1, 3, 5, 6, and 11A. This zone is a non-irrigated area and must be maintained yearly prior to fire season to clear out any dead, dying, and invasive material. Landscaping in this zone shall be in accordance with Table 4-1, *Community Plant Palette*, and Table 4-2, *Prohibited Plant List*, in Chapter 4, *Design Guidelines*.

d. Roadside Fuel Treatment (Valley-Wide Recreation and Park District Maintained)

Roadside fuel treatment may be managed by the Valley-Wide Recreation and Park District or other similar entity, and includes all public roads, which shall have a minimum of 20 feet of combustible vegetation clearance on each side of the roadway. Temporary roadside fuel treatment maintenance will be applied to public roads until adjoining properties are developed. Sidewalks and related non-combustible improvements are encouraged in fuel treatment areas to enhance the level of protection. Landscaping for roadside fuel treatment shall be in accordance with Table 4-1, *Community Plant Palette*, and Table 4-2, *Prohibited Plant List*, in Chapter 4, *Design Guidelines*.

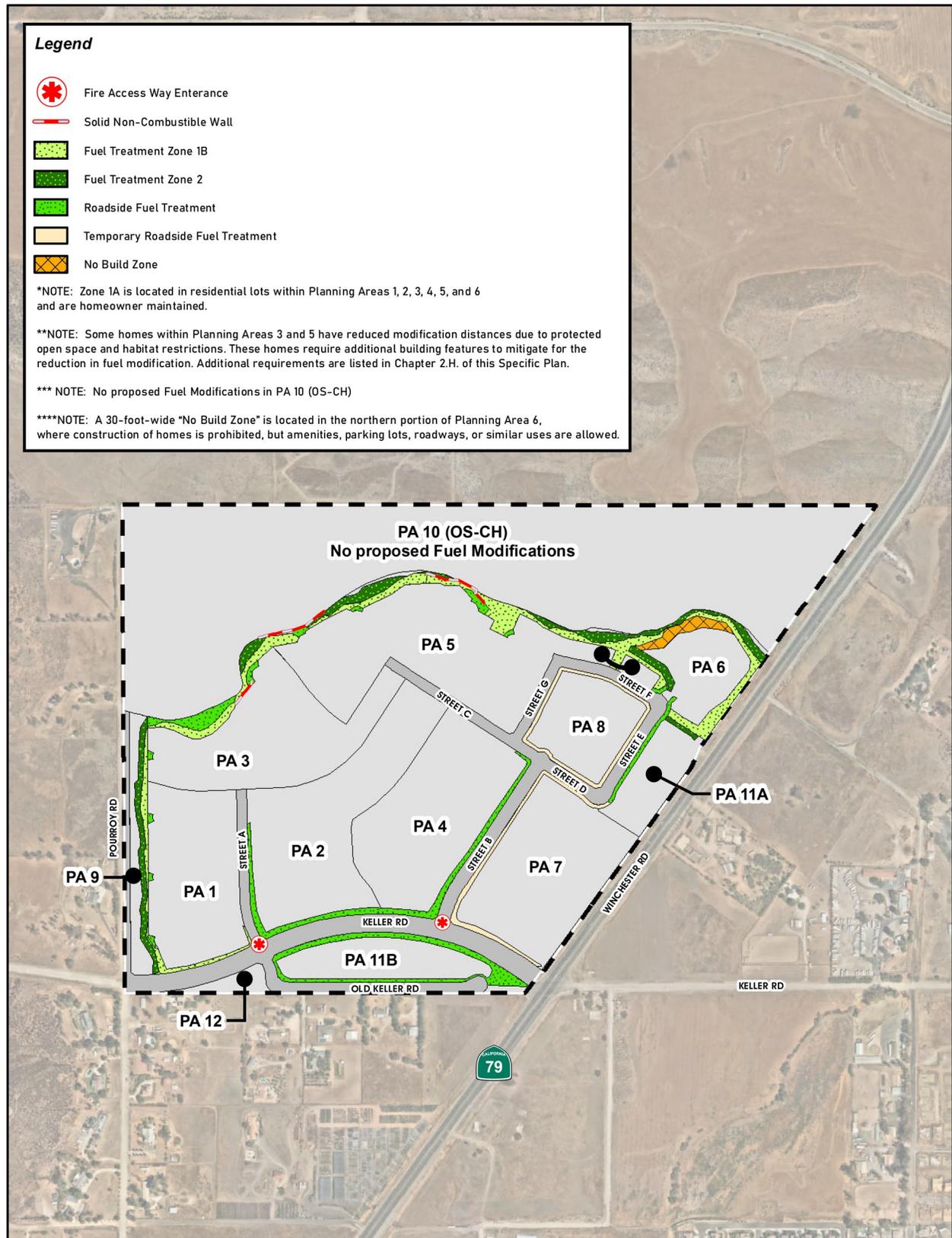
e. Additional Building Features

Additional building features are required for a few homes within residential Planning Areas 3 and 5 because they do not meet the minimum 100-foot fuel treatment setback. For any home or building that

has reduced fuel modification distances, 6-foot Solid Non-Combustible Walls are required to limit any actual radiant fire that may start in the conservation habitat area. Homes on these lots shall be single-story, any swinging exterior doors shall be self-closing, and require copper piping in attics. Fire sprinklers must extend outside under the eaves and interior fire sprinklers must be installed in attics and garages. Landscaping in this zone shall be in accordance with Table 4-1, *Community Plant Palette*, and Table 4-2, *Prohibited Plant List*, in Chapter 4, *Design Guidelines*.

3. FUEL MODIFICATION PLAN STANDARDS

- a. The Riverside County Fire Department shall review and approve the final Fuel Modification Plan.
- b. Once the Fuel Modification Plan is implemented, the Fuel Modification Zones shall be maintained in a manner consistent with the Plan.
- c. No grading or FMZ shall extend outside Specific Plan property boundaries. No off-site grading or fuel modification shall occur on private property without written consent of the offsite property owner.
- d. A 30-foot-wide “No Build Zone” is located in the northern portion of Planning Area 6, adjacent to the protected hillsides in Planning Area 10, where construction of homes is prohibited, but amenities, parking lots, roadways, or similar uses are allowed.
- e. Where necessary, interim (temporary) FMZs will be established onsite between early or intermediate-phase homes and the adjacent undeveloped (either undisturbed or mass-graded) areas within the development footprint onsite
- f. Any landscaping introduced into parkways and slopes adjacent to native habitat within open space areas shall conform to the landscaping prohibitions outlined in Table 4-1, *Community Plant Palette*.



Source: ESRI, Nearmap (2022), K&A Engineering (04-04-2022), Firewise 2000 LLC (04-04-2022)

FIGURE 2-11

CONCEPTUAL FUEL MODIFICATION PLAN



CHAPTER 3 | DEVELOPMENT STANDARDS

This section establishes the Development Standards for each Planning Area in the KELLER CROSSING Specific Plan. The standards provided herein work in concert with the architecture and landscape design guidelines set forth in Chapter 4, *Design Guidelines*, to achieve the desired vision for the KELLER CROSSING Specific Plan. The Development Standards presented in this section provide the development criteria for each Planning Area within the Specific Plan and are intended to be consistent with the zoning provisions provided in the Specific Plan Zoning Ordinance.

Planning Areas within the KELLER CROSSING Specific Plan were formed on the basis of logical separate areas of land use and development. Planning Area Standards have been established for each individual Planning Area to ensure that development of the KELLER CROSSING Specific Plan is consistent with the quality of development and vision of Riverside County.

The Planning Area Figures presented in this section (Figure 3-1 and Figure 3-2) are derived from the Specific Land Use Plan for the KELLER CROSSING Specific Plan (Figure 2-1). The Planning Standards for each Planning Area reference the relevant Figures, including Figures that depict desired architecture and landscaping elements contained throughout this Specific Plan.

A Specific Plan Zoning Ordinance has been prepared and contains the zoning provisions which formally establish land-use restrictions and Development Standards for each Planning Area. The zoning provisions should be used in conjunction with the Planning Area Standards for each respective Planning Area. The regulations set forth in this chapter shall apply to all Parcel Maps, Tract Maps, Site Plans, Plot Plans, Conditional Use Permits, and any other action requiring administrative or discretionary approval within the KELLER CROSSING Specific Plan.

Whenever the Development Standards contained in this Specific Plan differ from those contained in the Specific Plan Zoning Ordinance, the provisions of the Specific Plan Zoning Ordinance shall take precedence, or as interpreted and approved by the County Planning Director. Whenever the Development Standards contained herein and Specific Plan Zoning Ordinance differ from those contained in the County Ordinance No. 348, the provisions of this Specific Plan and Specific Plan Zoning Ordinance shall take precedence. Any development standard, condition, or situation not specifically addressed herein shall be subject to the applicable requirements of the County of Riverside.

For additional information and specifications on the implementation and regulation of development within the KELLER CROSSING Specific Plan, pursuant to the Development Standards of the Specific Plan and Specific Plan Zoning Ordinance, see Chapter 5, *Implementation Plan*.

A. PLANNING AREA STANDARDS

1. PLANNING AREA 1: MEDIUM DENSITY RESIDENTIAL

a. Description

Planning Area 1 (Figure 3-1, *Planning Areas Exhibit #1*) is 10.6 acres in size and consists of a maximum of 47 homes on minimum 7,000 square foot lots. Planning Area 1 is designated Medium Density Residential (2.0-5.0 du/ac) with a target density of 4.4 dwelling units per acre (du/ac). Vehicular access to Planning Area 1 is provided via Street “A” and internal local neighborhood roads. Pedestrian access is provided via curb-separated sidewalks on Street “A” and on local neighborhood roads. The homes in Planning Area 1 are within a half-mile of the commercial area in Planning Area 7 and the Public Park in Planning Area 8.

Additional standards relating to architecture and landscaping are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Area 1 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaping shall occur as depicted in Figure 4-10, *Conceptual Master Landscape Plan*.
2. Roadway landscape treatments shall be provided along Keller Road, Street “A”, and local streets, as illustrated on Figure 4-17, *Keller Road Streetscape*, and Figure 4-20B, *Street A, Street C, and Local Street Streetscape*.
3. Primary entry monuments will be provided at the southeastern portion of Planning Area 1 abutting Keller Road as illustrated on Figure 4-12, *Conceptual Primary Entry Monumentation*.
4. Landscaped transitions shall be provided along the western edge of Planning Area 1, adjacent to Pourroy Road, as illustrated on Figure 4-25, *Interface #1 –Residential to Trail to Off-Site Residential*.
5. Access to the recreational trail in Planning Area 9 shall be provided via a cul-de-sac pedestrian connection.
6. Curb-separated sidewalks within KELLER CROSSING shall be constructed as described in Chapter 2.B, *Roadway Master Plan*.
7. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan*, and Figure 4-24, *Wall and Fence Details*.
8. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.
9. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan



Source: ESRI, Nearmap (2022), RCTLMA (2022), Composite: K&A Engineering (03-30-2022)

FIGURE 3-1



2. PLANNING AREA 2: MEDIUM DENSITY RESIDENTIAL

a. Description

Planning Area 2 (Figure 3-1, *Planning Areas Exhibit #1*) is 15.4 acres in size and consists of a maximum of 72 homes on minimum 6,000 square foot lots. Planning Area 2 is designated Medium Density Residential (2.0-5.0 du/ac) with a target density of 4.7dwelling units per acre (du/ac). Vehicular access to Planning Area 2 is provided via Street “A”, Street “C”, and internal local neighborhood roads. Pedestrian access is provided via curb-separated sidewalks on Street “A”, Street “C” and on local neighborhood roads. The homes in Planning Area 2 are within a half-mile of the commercial area in Planning Area 7 and the Public Park in Planning Area 8.

Additional standards relating to architecture and landscaping are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Area 2 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaping shall occur as depicted in Figure 4-10, *Conceptual Master Landscape Plan*.
2. Roadway landscape treatments shall be provided along Street “A”, Street “C”, and local streets, as illustrated on Figure 4-20B, *Street A, Street C, and Local Street Streetscape*.
3. Primary entry monuments will be provided at the southwest corner of Planning Area 2, as illustrated on Figure 4-12, *Conceptual Primary Entry Monumentation*.
4. Curb-separated sidewalks within KELLER CROSSING shall be constructed as described in Chapter 2.B, *Roadway Master Plan*.
5. Fuel modification zones will be provided around the perimeters of this neighborhood, as described in Chapter 2.H., *Fuel Modification Plan*
6. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan*, and Figure 4-24, *Wall and Fence Details*.
7. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.
8. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

3. PLANNING AREA 3: MEDIUM DENSITY RESIDENTIAL

a. Description

Planning Area 3 (Figure 3-1, *Planning Areas Exhibit #1*) is 14.4 acres in size and consists of a maximum of 59 homes on minimum 6,000 square foot lots. Planning Area 3 is designated Medium Density Residential (2.0-5.0 du/ac) with a target density of 4.1 dwelling units per acre (du/ac). Vehicular access to Planning Area 3 is provided via Street “A”, Street “C”, and internal local neighborhood roads. Pedestrian access is provided via curb-separated sidewalks on Street “A” and on local neighborhood roads. The homes in Planning Area 3 are within a half-mile of the commercial area in Planning Area 7 and the Public Park in Planning Area 8.

Additional standards relating to architecture and landscaping are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Area 3 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaping shall occur as depicted in Figure 4-10, *Conceptual Master Landscape Plan*.
2. Roadway landscape treatments shall be provided along Street “A”, Street “C” and local roads, as illustrated on Figure 4-20B, *Street A, Street C, and Local Street Streetscape*.
3. Curb-separated sidewalks within KELLER CROSSING shall be constructed as described in Chapter 2.B, *Roadway Master Plan*.
4. Access to the recreational trail in Planning Area 9 shall be provided via a cul-de-sac pedestrian connection.
5. Landscaped transitions shall be provided between the Planning Area 3 neighborhood and the Open Space-Conservation Habitat to the north, as illustrated on Figure 4-26, *Interface #2 – SF Residential to Open Space-CH*.
6. Additional building features are required for homes within Planning Area 3 that do not meet the minimum 100-foot fuel treatment setback, as described in Chapter 2.H., *Fuel Modification Plan*.
7. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan*, and Figure 4-24, *Wall and Fence Details*.
8. The homes along the northern perimeter of Planning Area 3 will require a 6-foot Solid Non-Combustible Wall to protect these homes from fire hazards related to the open space in Planning Area 10. The location of these walls is delineated on Figure 2-11, *Conceptual Fuel Modification Plan*.
9. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.
10. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

4. PLANNING AREA 4: MEDIUM HIGH DENSITY RESIDENTIAL

a. Description

Planning Area 4 (Figure 3-1, *Planning Areas Exhibit #1*) is 14.1 acres in size and consists of a maximum of 76 homes on minimum 5,000 square foot lots. Planning Area 4 is designated Medium High Density Residential (5.0-8.0 du/ac) with a target density of 5.4 dwelling units per acre (du/ac). Vehicular access to Planning Area 4 is provided via Street “C” and internal local neighborhood roads. Pedestrian access is provided via curb-separated sidewalks on Street “C” and on local neighborhood roads. The homes in Planning Area 4 are within a quarter-mile of the commercial area in Planning Area 7 and the Public Park in Planning Area 8.

Additional standards relating to architecture and landscaping are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Area 4 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaping shall occur as depicted in Figure 4-10, *Conceptual Master Landscape Plan*.
2. Roadway landscape treatments shall be provided along Street “C” and local roads, as illustrated on Figure 4-20, *Street A, Street C, and Local Street Streetscape*.
3. Primary entry monuments will be provided at the northeast and southeast corner of Planning Area 4, as illustrated on Figure 4-12, *Conceptual Primary Entry Monumentation*.
4. Curb-separated sidewalks within KELLER CROSSING shall be constructed as described in Chapter 2.B, *Roadway Master Plan*.
5. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan*, and Figure 4-24, *Wall and Fence Details*.
6. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.
7. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

5. PLANNING AREA 5: MEDIUM DENSITY RESIDENTIAL

a. Description

Planning Area 5 (Figure 3-1, *Planning Areas Exhibit #1* and Figure 3-2, *Planning Areas Exhibit #2*) is 20.8 acres in size and consists of a maximum of 99 homes on minimum 5,000 square foot lots. Planning Area 5 is designated Medium Density Residential (2.0-5.0 du/ac) with a target density of 4.8 dwelling units per acre (du/ac). Vehicular and pedestrian access to Planning Area 5 is provided via Street “C”, Street “F”, Street “G” and internal local neighborhood roads. Pedestrian access is provided via curb-separated sidewalks on Street “C”, Street “F”, Street “G”, and on local neighborhood roads. The homes in Planning Area 5 are within a quarter-mile of the commercial area in Planning Area 7 and the Public Park in Planning Area 8. Additional standards relating to architecture and landscaping are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Area 5 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaping shall occur as depicted in Figure 4-10, *Conceptual Master Landscape Plan*.
2. Roadway landscape treatments shall be provided along Street “C” and local streets, as illustrated on Figure 4-20B, *Street A, Street C, and Local Street Streetscape* and along Street “F” and Street “G”, as illustrated on Figure 4-20A, *Street F and Street G – Modified Local Streetscape*.
3. Primary entry monuments will be provided at the entrance of Planning Area 5 along Street “C”, as illustrated on Figure 4-12, *Conceptual Primary Entry Monumentation*.
4. Curb-separated sidewalks within KELLER CROSSING shall be constructed as described in Chapter 2.B, *Roadway Master Plan*.
5. Additional building features are required for homes within Planning Area 5 that do not meet the minimum 100-foot fuel treatment setback, as described in Chapter 2.H., *Fuel Modification Plan*.
6. Landscaped transitions shall be provided between the Planning Area 5 neighborhood and the Conservation Habitat to the north, as illustrated on Figure 4-26, *Interface #2 – SF Residential to Open Space-CH*.
7. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan*, and Figure 4-24, *Wall and Fence Details*.
8. The homes along the northern perimeter of Planning Area 5 will require a 6-foot Solid Non-Combustible Wall to protect these homes from fire hazards related to the open space in Planning Area 10. The location of these walls is delineated on Figure 2-11, *Conceptual Fuel Modification Plan*.
9. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.

10. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

6. PLANNING AREA 6: HIGH DENSITY RESIDENTIAL

a. Description

Planning Area 6 (Figure 3-2, *Planning Areas Exhibit #2*) is 7.3 acres in size and consists of a maximum of 80 Age-Qualified (55+) apartment home. Planning Area 6 is designated High Density Residential (8.0-14.0 du/ac) with a target density of 11.0 dwelling units per acre (du/ac). Vehicular access to Planning Area 6 is provided via Street “E”, Street “F” and internal local neighborhood roads. Pedestrian access is provided via curb-separated sidewalks on local neighborhood roads. The apartment homes in Planning Area 6 are within a quarter-mile of the commercial area in Planning Area 7 and the Public Park in Planning Area 8.

Additional standards relating to architecture and landscaping are provided below and in Chapter 4, Design Guidelines.

b. Land Use and Development Standards

Planning Area 6 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaping shall occur as depicted in Figure 4-10, *Conceptual Master Landscape Plan*.
2. Roadway landscape treatments shall be provided along Street “E”, Street “F”, and local streets, as illustrated on Figure 4-19, *Street D and Street E - Enhanced Local Streetscape*, Figure 4-20A, *Street F and Street G – Modified Local Street Streetscape*, and Figure 4-20A, *Street A, Street C, and Local Street Streetscape*.
3. Master entry monumentation will be provided at the southeast corner of Planning Area 6, as illustrated on Figure 4-11, *Conceptual Master Entry Monumentation*.
4. Neighborhood entry monuments will be provided at the southeast entrance of Planning Area 6, as illustrated on Figure 4-15, *Conceptual Neighborhood Entry Monumentation*.
5. Curb-separated sidewalks within KELLER CROSSING shall be constructed as described in Chapter 2.B, *Roadway Master Plan*.
6. A 30-foot-wide “No Build Zone” is located in the northern portion of Planning Area 6, as depicted on Figure 2-11, *Conceptual Fuel Modification Plan*, where construction of homes is prohibited, but amenities, parking lots, roadways, or similar uses are allowed.
6. Landscaped transitions shall be provided along the portion of Planning Area 6 that abuts the Open Space-Conservation Habitat to the north, as illustrated on Figure 4-28, *Interface #4 – High Density Residential to Open Space-CH*, and along the portion of PA 6 adjacent to Winchester Road, as illustrated on Figure 4-27, *Interface #3 – High Density Residential to Winchester Road/Highway 79*.
7. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan*, and Figure 4-24, *Wall and Fence Details*.
8. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.

9. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

7. PLANNING AREA 7: COMMERCIAL RETAIL

a. Description

Planning Area 7 (Figure 3-2-*Planning Areas Exhibit #2*) accommodates 13.3 acres designated Commercial Retail to serve the residents of KELLER CROSSING and the surrounding communities. PA 7 would accommodate a maximum Floor Area Ratio of 0.35 or a maximum of 176,000 square feet of commercial retail buildings, whichever is less. A variety of commercial retail uses are permitted and anticipated, such as, but not limited to: retail sales, supermarkets, restaurants (including drive-through), and pharmacies. Water quality treatment would be provided by a future WQMP basin in PA 7. The commercial uses would contribute to the long-term economic base of the County by generating sales tax revenue and provide opportunities for local employment.

The commercial area shall include outdoor public spaces to encourage and enhance community interaction, and such spaces could include, but not be limited to: a combination of “village green” combined with hard surface public performance area, farmer’s market area, shaded public seating, tables for outdoor dining or working, trails, public art work, and water features. Such outdoor spaces shall be located to be visible from Street “B” or Street “D” and integral to the design of the commercial area, with pedestrian connectivity to commercial uses and the park in Planning Area 8. Parking required for any activities conducted in the required outdoor space is expected to be accommodated by the parking required for the commercial uses and no additional parking is required.

Vehicular access to Planning Area 7 is provided from Keller Road, Winchester Road, and Street “B” and pedestrian access is provided via curb-separated sidewalks throughout the community which allow Keller Crossing residents to walk to the commercial site. Driveway connections to private driveways and drive aisles within Planning Area 7 will be designed and provided, as needed, in conjunction with development of this Planning Area’s implementation project(s).

Additional standards related to architecture and landscaping are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Area 7 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaping shall occur as depicted in Figure 4-10, *Conceptual Master Landscape Plan*.
2. Roadway landscape treatments shall be provided along Keller Road, Street “B” and Street “D”, as illustrated on Figure 4-17, *Keller Road Streetscape*, Figure 4-18, *Street B Streetscape* and Figure 4-19, *Street D and Street E - Enhanced Local Streetscape*.
3. Master entry monumentation will be provided at the southeast corner of Planning Area 7, as illustrated on Figure 4-11, *Conceptual Master Entry Monumentation*.

4. Primary Entry Monuments will be provided at the southwest corner of Planning Area 7, as illustrated on Figure 4-12, *Conceptual Primary Entry Monumentation*.
5. A Commercial Entry Monument will be provided at the southern edge of Planning Area 7 and at the Street “B” entrance, as illustrated on Figure 4-13, *Conceptual Commercial Entry Monumentation*. A Commercial Tower Sign will be provided along the northeastern boundary at Winchester Road, as illustrated on Figure 4-14, *Conceptual Commercial Tower Sign*.
6. Curb-separated sidewalks within KELLER CROSSING shall be constructed as described in Chapter 2.B, *Roadway Master Plan*.
7. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan*, and Figure 4-24, *Wall and Fence Details*.
8. No additional parking is required for outdoor public spaces.
9. The future WQMP basin located within Planning Area 7 shall be owned and maintained by RCFC&WCD, the Commercial Property Owners Association, or other public or quasi-public entities.
10. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.
11. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

8. PLANNING AREA 8: OPEN SPACE-RECREATION (PARK)

a. Description

Planning Area 8 (Figure 3-2-*Planning Areas Exhibit #2*) within the KELLER CROSSING community is designated Open Space-Recreation and provides for the development of a 6.4-acre Public Park, which will be owned and operated by the Valley-Wide Recreation and Park District, or other similar entity. The park is anticipated to include, but is not be limited to: sports fields, basketball courts, a playground area, a gazebo, picnic benches, and a pickleball court; however, final park programming will be determined during implementation phase. Vehicular access to Planning Area 8 is provided via Street “G”. Pedestrian access is provided via sidewalks on Streets “D”, “E”, “F”, and “G”.

Additional standards related to architecture and landscaping are provided below and in Chapter 4.

b. Land Use and Development Standards

Planning Area 8 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaping shall occur as depicted in Figure 4-10, *Conceptual Master Landscape Plan*.
2. Roadway landscape treatments shall be provided along Streets “D”, “E”, “F”, “G” and the roundabout that intersects Street “C” and Street “D”, as illustrated on Figure 4-19, *Street D and Street E - Enhanced Local Streetscape*, Figure 4-20A, *Street F and Street G – Modified Local Street Streetscape*, and Figure 4-21, *Roundabout Streetscape*.
3. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan* and Figure 4-24, *Wall and Fence Details*.
4. The future WQMP basin located within Planning Area 8 shall be owned and maintained by Valley Wide Recreation and Park District or other public or quasi-public entities.
5. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.
6. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

9. PLANNING AREA 9: OPEN SPACE-RECREATION

a. Description

Planning Area 9 (Figure 3-1, *Planning Areas Exhibit #1* and Figure 3-2, *Planning Areas Exhibit #2*) within the KELLER CROSSING community is designated Open Space-Recreation and provides a 4.1-acre landscaped land use buffer with an 8-foot-wide recreational decomposed granite (DG) trail. The primary purpose of the Planning Area 9 is to provide a minimum 100-foot-wide, visual and noise buffer that minimizes land use conflict between the established large-lot neighborhood to the west side of Pourroy Road and the more suburban KELLER CROSSING community. The pedestrian trail will function as a multi-purpose, recreational trail, connecting to a pedestrian-travel network throughout the community. Furthermore, the trail provides access to the Riverside County General Plan “Community Trail” southwest of the KELLER CROSSING community.

Planning Area 9 is in Fuel Modification Zones 1B, and may be maintained by the Homeowner’s Association, Valley-Wide Recreation and Park District, or other similar entity.

Additional standards related to the manufacture slopes are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Area 9 shall comply with Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Primary access to Planning Area 9 is restricted to pedestrian connections via Planning Area 1, Planning Area 3, and the trail on Keller Road.
2. Landscaped transitions shall be provided along the western edge of Planning Area 1, adjacent to Pourroy Road, as illustrated on Figure 4-25, *Interface #1 –Residential to Trail to Off-Site Residential*.
3. Fuel modification zones will be provided around the perimeters of neighborhoods adjacent to fuel modification zones, as described in Chapter 2.H., *Fuel Modification Plan*.
4. Fencing and walls within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Fence and Wall Plan*, and Figure 4-24, *Wall and Fence Details*.
5. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

10. PLANNING AREA 10: OPEN SPACE-CONSERVATION HABITAT

a. Description

Planning Area 10 (Figure 3-1, *Planning Areas Exhibit #1* and Figure 3-2, *Planning Areas Exhibit #2*) designates a total of 61.4 acres as Open Space-Conservation Habitat, and is intended to be dedicated to the Western Riverside County Regional Conservation Authority (RCA) contributing to the Western Riverside County Multi-Species Habitat Conservation Preservation Plan (MSHCP). This area consists of rolling hills, chapparal habitat, and existing natural drainages along with the associated habitats of these landforms. Planning Area 10 is bounded by manufactured slopes within Planning Areas 3, 5, and 6, intended to protect the area from noise and light pollution, as well as resident and pet intrusion. No development, grading, or fuel modification is permitted within Planning Area 10.

Additional standards related to landscaping are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Area 10 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Residential and street lighting shall be designed to avoid light spillage into the natural open space of Planning Area 10.
2. Where required, solid perimeter walls shall be placed between residential uses and the open space within Planning Area 10 to prevent human and pet encroachments into the conservation habitat. View fencing may also be used where permissible. Walls and fencing within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan* and Figure 4-24, *Wall and Fence Details*.
3. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

11. PLANNING AREAS 11A AND 11B: OPEN SPACE-WATER

a. Description

Planning Areas 11A and 11B (Figure 3-1, *Planning Areas Exhibit #1* and Figure 3-2, *Planning Areas Exhibit #2*) within the KELLER CROSSING Specific Plan are designated Open Space-Water and provide for the development of a 4.3-acre Water Quality Management Plan (WQMP) basin in PA 11A and a 6.9-acre WQMP basin in PA 11B. The detention basin in PA 11A will detain and discharge flows from Planning Areas 5, 8, and 10. The detention basin in PA 11B will detain and discharge flows from Planning Areas 1, 2, 3, 4, 5. Flows from Planning Area 7 may be treated by the PA 11B basin or separately by a future basin within PA 7.

Additional standards related to landscaping are provided below and in Chapter 4, *Design Guidelines*.

b. Land Use and Development Standards

Planning Areas 11A and 11B shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

c. Planning Area Standards

1. Landscaped transitions shall be provided along the portions of Planning Area 11B that abut Keller Road and Old Keller Road to off-site residential homes as illustrated on Figure 4-29, *Interface #5 – WQMP Basin to Off-Site Properties*.
2. Roadway landscape treatments shall be provided along Keller Road as illustrated on Figure 4-17, *Keller Road Streetscape*.
3. The basins in PAs 11A and 11B will be maintained by the Valley-Wide Recreation and Park District, Homeowner’s Association, or other similar entity.
4. Outlet structures for the commercial flows from PA 7 may be maintained by the Valley-Wide Recreation and Park District, Homeowner’s Association, or other similar entity.
5. Walls and fencing within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan* and Figure 4-24, *Wall and Fence Details*.
6. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.
7. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

12. PLANNING AREA 12: COMMUNITY DEVELOPMENT – VERY LOW DENSITY RESIDENTIAL

d. Description

Planning Area 12 (Figure 3-1, *Planning Areas Exhibit #1*) within the KELLER CROSSING Specific Plan is designated Community Development – Very Low Density Residential and no dwelling units are allocated to this planning area.

A portion of PA 12 will be vacated to adjacent landowners along Old Keller Road; a portion will be transferred to the Riverside County Flood Control and Water Conservation District for storm drain easement purposes; and a portion will serve as a landscaped slope maintained by Valley-Wide Recreation and Park District.

Additional standards related to landscaping are provided below and in Chapter 4, *Design Guidelines*.

e. Land Use and Development Standards

Planning Area 12 shall comply with the Development Standards provided in the Specific Plan Zoning Ordinance.

f. Planning Area Standards

1. Roadway landscape treatments shall be provided along Keller Road as illustrated on Figure 4-17, *Keller Road Streetscape*.
2. Walls and fencing within KELLER CROSSING shall be constructed as delineated on Figure 4-23, *Conceptual Wall and Fence Plan* and Figure 4-24, *Wall and Fence Details*.
3. Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.
4. Please refer to Chapter 2, *Development Plan*, for the following standards that apply community-wide:

2.A. Specific Land Use Plan	2.E. Master Water Plan
2.B. Roadway Master Plan	2.F. Master Sewer Plan
2.C. Open Space and Recreation Plan	2.G. Grading Plan
2.D. Drainage and Water Quality Plan	2.H. Fuel Modification Plan

CHAPTER 4 | DESIGN GUIDELINES

A. PURPOSE AND INTENT

The KELLER CROSSING Design Guidelines establish both principles and standards for the design and development of a diverse, highly livable master planned community that complements the character and physical landscape of the French Valley area. The Design Guidelines address site planning, architecture, and landscaping to provide for a high-quality, thematically cohesive, and aesthetically pleasing environment for the KELLER CROSSING community and help guide developers, builders, engineers, architects, landscape architects, and other design professionals.

More specifically, these Design Guidelines:

1. Provide clear direction to decision makers, builders, engineers, landscape architects and other professionals regarding the design theme and intent of this Specific Plan, thereby reducing the potential for misinterpretation during Specific Plan implementation;
2. Establish a consistent design expression among site planning, architectural and landscape architectural components, while allowing reasonable flexibility in design;
3. Address commercial and residential architectural design thematic elements, landscape design thematic elements and materials, and community elements such as walls, fencing, and parks;
4. Provide continuity and compatibility with surrounding uses through site planning, building design, street design, landscaping and other design elements that will endure for the life of the community;
5. Create diverse, attractive and livable neighborhoods that are responsive to local needs;
6. Reinforce the community's theme with consistent architectural styles and appropriate landscaping; and
7. Establish a strong sense of community with shared community spaces, parks, monumentation, and quality architectural designs.

The Design Guidelines provided within this Specific Plan are a living document and are intended to be flexible. As such, they are subject to modification over time so as to allow for creative and innovative responses to unanticipated conditions, such as changes in housing design trends, community desires and the marketplace, as well as significant changes on the properties adjacent to KELLER CROSSING. However, it is critical to the community's long-term design integrity that these guidelines are followed in a manner consistent with the stated design theme in order to create a unified concept and provide opportunities for diversity and visual interest, which are key components in successful communities throughout Southern California.

The photographs, sketches, and other graphic representations provided in these Design Guidelines are offered as general visual aids in understanding the basic intent of the design theme and its key implementing elements. The design components presented in this document are provided for informational purposes and are to be used as a guide in identifying the desired design composition for

KELLER CROSSING. These design components are provided as a palette of character, materials and colors defining elements that should be reflected in future design proposals, and, therefore, the community's design character can be maintained without necessarily providing an exact re-creation of the graphic representations included in this document.

B. SUMMARY

These guidelines are comprised of elements that define the design concept, physical character, and visual theme of the KELLER CROSSING community. The principal components of this section include *Residential Design Guidelines*, *Commercial Design Guidelines*, and *Landscaping Design Guidelines*.

The *Residential Design Guidelines* address architectural styles and elements of the residential product types in the residential neighborhoods to provide a basis for decisions regarding the community's built environment. Each residential neighborhood provides diversity in design through considerate attention to architectural character and floor plan livability. Specific elements and considerations of the built environment addressed within the *Residential Design Guidelines* include: architectural styles, design criteria, and architectural features. By defining these elements, assurance is provided that the homes constructed in KELLER CROSSING will have a distinctive identity and be consistent with the overall community theme.

The *Commercial Design Guidelines* address site planning and design elements of the community's commercial component to provide guidelines that are responsive to the practical needs of commercial development, as well as sensitive to commercial area's surrounding uses. Specific elements and considerations of the built environment addressed within the *Commercial Design Guidelines* include: site planning, building orientation, building mass and scale, and architectural styles. The development of a vibrant and distinct commercial area consistent with the overall community theme is facilitated by establishing key commercial design elements.

The *Landscape Design Guidelines* provide landscape principles and standards to ensure that plant materials, streetscapes, monumentation, community walls and fences, parks, and other amenities establish, communicate, and enhance the community's overall design theme. Furthermore, the *Landscape Design Guidelines* provides KELLER CROSSING with environmentally sensitive design by establishing a water-efficient plant palette and includes principles for the design of an efficient irrigation system. The *Landscape Design Guidelines* unite the community's residential, commercial, recreational, open space, and WQMP basin land uses under a common design vocabulary.

C. COMMUNITY THEME

The community design theme for KELLER CROSSING is used to create a consistent, comprehensive overall community theme, which reinforces the historic architectural styles, which have a relaxed rustic community character, emphasized with harmonizing, natural colors. The KELLER CROSSING community offers its residents a living environment in which portions of the site are devoted to the preservation of hillsides, natural open space, and recreational space. The landscape concept is characterized by colorful

plantings of native and water-efficient vegetation interspersed with decorative natural hardscape materials.

Utilizing four (4) residential architectural styles for the single-family neighborhoods, the KELLER CROSSING community draws its overall thematic and aesthetic inspiration from two sources: a contemporary interpretation of rustic Southern California architectural prototypes and the relaxed landscape elements that evoke the form and feel of hillside communities. Similarly, the Age-Qualified (55+) apartment neighborhood combines a selection of four (4) architectural styles to distinguish this portion of the community. The commercial area of the KELLER CROSSING community incorporates two (2) complementary architectural styles to accentuate the community's natural architectural elements. Moreover, the entire community is linked through the landscape architecture with consistent application of the landscape palette of softscape and hardscape components. These Design Guidelines create a community theme that embraces, reflects, and enhances the character of the French Valley area.

D. RESIDENTIAL DESIGN GUIDELINES

The architectural styles of the single-family residential homes and Age-Qualified (55+) apartment homes within KELLER CROSSING reinforce the community's theme and reflect the architectural styles (and their modern interpretations) prevalent in historically rural areas of Southern California. The selected architectural styles for KELLER CROSSING single-family homes include Spanish, Traditional, Craftsman, and Tuscan, which provide a range of architectural variation, appealing to a variety of potential homeowners and creating visually interesting street scenes. The selected architectural styles for KELLER CROSSING apartment homes include Spanish, Prairie, Farmhouse, and Contemporary. These architectural styles represent a range of architectural variation, while establishing a harmonious distinction from the single-family residential neighborhoods. Architectural design creativity, attention to detail, and respect of the building's scale and massing along residential streets are to be at a level equal to or exceeding the homes and neighborhoods in the surrounding areas.

The design goal of KELLER CROSSING is to achieve authentic adaptations of historical styles, rather than exact recreations. As such, these Design Guidelines are intended to present images of key features and details representative of the selected architectural styles that should be incorporated into the homes within KELLER CROSSING. The building and detail materials historically used for each of the architectural styles can be replaced by modern materials designed to represent the historic material types. Use of natural materials and textures as architectural accents is encouraged; however, high-quality and visually complementary manufactured materials can also be used. Each residential planning area should provide a minimum of three different elevations and three different color schemes to encourage diversity within neighborhoods.

1. SINGLE-FAMILY RESIDENTIAL ARCHITECTURAL STYLES

a. Spanish

Inspired by architecture from the coastal regions of Spain where intense sunlight bathes everything and from the low-slung haciendas of the interior plains, the Spanish style attained wide-spread popularity after

the Panama-California exposition of 1914 in San Diego. The Spanish style features the use of “S” or barrel tile roofs, stucco walls, clay or ceramic tile gable end detail, and plank shutters (see Figure 4-1, *Single-Family Architecture – Spanish*). Other defining characteristics include recessed windows and gable end tile detailing. The charm of this style lies in the directness, adaptability, and contrast of materials and textures.

b. Craftsman

The Craftsman style is inspired by the earlier Mission aesthetic of the latter part of the 19th century that emphasized natural materials and attention to detail. The Craftsman style is expressed through simple house tradition, combining concrete flat tile roofs, stone veneer accents, batten gable end detailing, tapered columns, and broad overhanging eaves (see Figure 4-2, *Single-Family Architecture - Craftsman*). Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature of the Craftsman design is emphasized by stucco walls and paired windows. The overall effect is the creation of a natural, warm, and livable home of artful and expressive character.

c. Traditional

The Traditional style is inspired by early English and Dutch houses found on the Atlantic coast, which incorporated loose adaptations of classical styles. The modern interpretation of the Traditional style maintains the simple elegance of the early adaptations with added refinements and new design details. The style features concrete flat tile, stucco covered square columns or wood posts, stucco walls with horizontal siding accents, and board and batten shutters (see Figure 4-3, *Single-Family Architecture – Traditional*). Other exterior elements include porches with square columns or posts and pot shelves.

d. Tuscan

Tuscan-style homes reflect the character of Italian hill towns in the primarily agricultural Tuscan region. Fully integrated designs, inspired by authentic historic forms, create compositions that emphasize home as retreat and sanctuary. The Tuscan style is most commonly depicted as a simple two-story form with concrete ‘S’ tile roofs, stone veneer accents, louvered shutter, and earth tone colors (see Figure 4-4, *Single-Family Architecture - Tuscan*). The resulting building has a flexible and timeless style.



STYLE DESCRIPTION

Inspired by the architecture of Spain and the Spanish missions, the Spanish style consists of simple one to two story massing with mostly gable end roofs of concrete "S" tile. Shallow roof pitches vary from 3:12 to 5:12 with minimal overhangs. Exterior walls consist of light-colored smooth stucco with sand finish. Other elements include recessed windows, gable end tile detailing and plank shutters.

KEY ELEMENTS

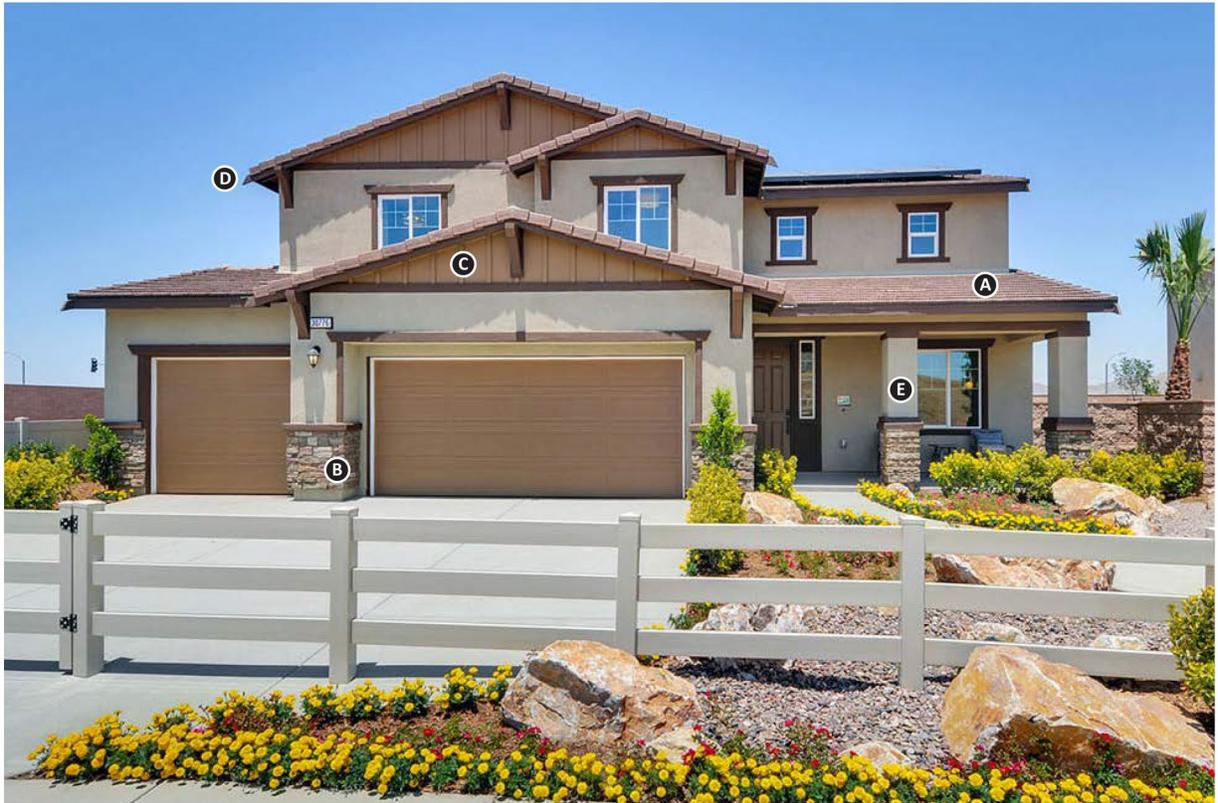
- Ⓐ Concrete "S" tile roof
- Ⓑ Stucco finish with light colors.
- Ⓒ Clay or ceramic tile gable end detail.
- Ⓓ Round arches at entrances and/or porches
- Ⓔ Plank Shutters

SPANISH STYLE

Source: WHA (09-29-2021)

FIGURE 4-1





STYLE DESCRIPTION

Influenced by the earlier Mission aesthetic, the Craftsman style emphasizes natural materials and attention to detail. Shallow roof pitches vary from 3:12 to 4:12 with deep overhangs. Porches supported by square or tapered columns of either stucco or wood with stone veneer bases. Additional elements include stucco walls, gable end treatments of board and battens with wood brackets, and paired windows.

KEY ELEMENTS

- A Concrete flat tile roof.
- B Stone veneer accents.
- C Board and batten gable end detailing.
- D Deep overhangs at eaves.
- E Square or tapered columns.

CRAFTSMAN STYLE

Source: WHA (09-29-2021)

FIGURE 4-2



SINGLE FAMILY ARCHITECTURE - CRAFTSMAN



STYLE DESCRIPTION

Derived from the Bungalow and Ranch styles, the Traditional style consists of one to two story volumes with gable and hip roofs. Exterior walls comprised of stucco and horizontal siding. The roof pitches vary between 4:12 to 6:12 with average overhangs, and concrete flat tile. Other exterior elements include; porches with square columns or posts, board and batten shutters and pot shelves.

KEY ELEMENTS

- A Concrete flat tile.
- B Square columns with stucco over, or wood posts.
- C Stucco walls with horizontal siding accents.
- D Board and batten shutters

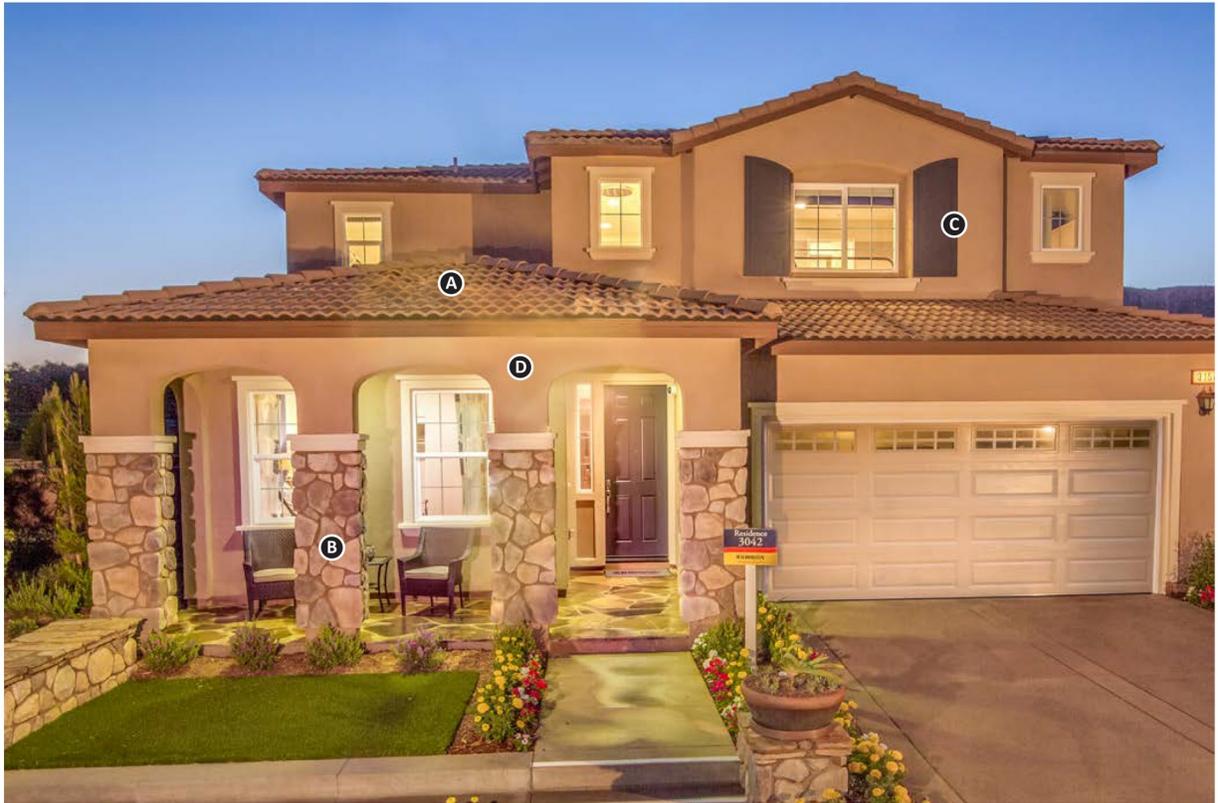
TRADITIONAL STYLE

Source: WHA (09-29-2021)

FIGURE 4-3



SINGLE-FAMILY ARCHITECTURE - TRADITIONAL



STYLE DESCRIPTION

Inspired by the hill towns of Tuscany, the Tuscan style consists of simple, formal massing with a mixture of gable and hip roofs. The roof material consists of concrete "S" tile with a shallow roof pitch of 4:12 to 5:12 with minimal overhangs. The exterior walls are a smooth stucco with earth toned coloring and use of stone veneer. Additional elements include vertically proportioned windows and louvered shutters.

KEY ELEMENTS

- Ⓐ Concrete "S" tile roof.
- Ⓑ Stone veneer accents.
- Ⓒ Louvered shutters.
- Ⓓ Earth tone colors.

TUSCAN STYLE

Source: WHA (09-29-2021)

FIGURE 4-4



2. HIGH DENSITY RESIDENTIAL ARCHITECTURAL STYLES

a. Spanish

Inspired by architecture of Spain and Spanish missions, the Spanish style features simple one- to two-story massing with concrete “S” or barrel tile roofs, light sand stucco finish, clay or ceramic tile gable end detail, round-arched entrances and porches, and plank shutters (see Figure 4-5, *High Density Residential – Spanish*). Other defining characteristics include recessed windows and gable end tile detailing.

b. Prairie

The Prairie style emerged out of the Arts and Crafts movement and rose in popularity during the early twentieth century. The Prairie style prioritizes functionality, while exuding character, spirit, and beauty through craftsmanship and simplicity. This style is defined by key elements of concrete flat tiles, stucco finish with horizontal wood siding, hip roofs, grouped windows, and metal awnings (see Figure 4-6, *High Density Residential – Prairie*). Other exterior elements include wide, square porch columns and boxed stucco soffits. The resulting portrayal of this style embraces the low landscape of Midwest prairie fields with modern expressions of key elements.

c. Farmhouse

The Farmhouse style is derived from rural settings based on agricultural farm lands representative of a practical and picturesque country house. The predominant features of the Farmhouse style include single hung windows, horizontal and vertical siding, porch wood columns and railings, stucco in secondary areas, and front facing gables (see Figure 4-7, *High Density Residential – Farmhouse*).

d. Contemporary

The Contemporary style is representative of current expressions in design and is defined by simple, geometric forms, and features flat roofs, predominantly stucco materials, large windows, contrasting or traditional trim, and accents of brick, tile, or siding (see Figure 4-8, *High Density Residential – Contemporary*). Other exterior elements include bold use of materials and colors and balcony railings or canopies.



STYLE DESCRIPTION

Inspired by the architecture of Spain and the Spanish missions, the Spanish style consists of simple one to two story massing with mostly gable end roofs of concrete "S" tile. Shallow roof pitches vary from 3:12 to 5:12 with minimal overhangs. Exterior walls consist of light-colored smooth stucco with sand finish. Other elements include recessed windows, gable end tile detailing and plank shutters.

KEY ELEMENTS

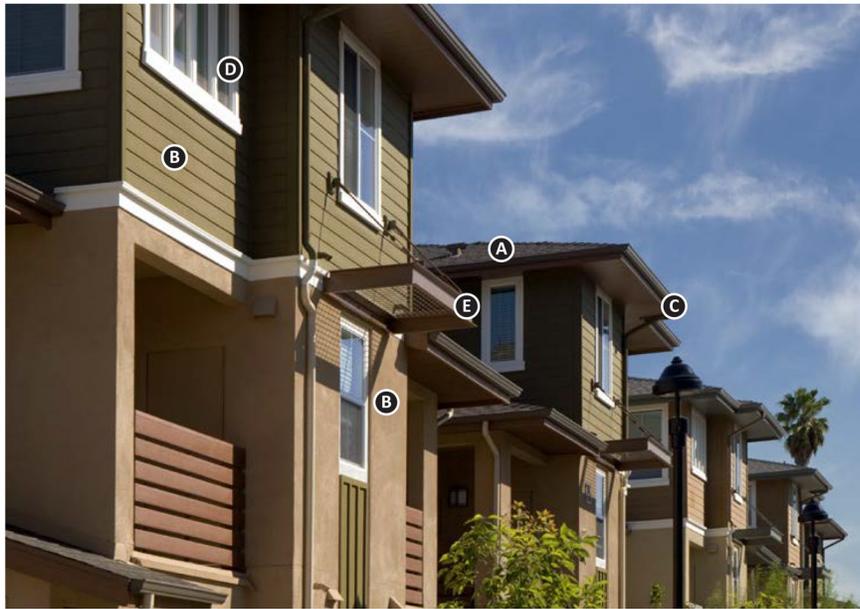
- A** Concrete "S" tile roof
- B** Light sand stucco finish
- C** Clay or ceramic tile gable end detail
- D** Round arches at entrances and/or porches
- E** Plank Shutters

SPANISH STYLE

Source: WHA (06-04-2021)

FIGURE 4-5





STYLE DESCRIPTION

A style that grew in popularity during the first decade of the twentieth century. A style that believes a building should fulfill its primary function while also exuding character, life, spirit, and beauty. Exterior walls comprised of stucco and horizontal siding. The roof pitches vary between 3:12 to 5:12 with average overhangs, and concrete flat tiles. Additional details include wide square porch columns and boxed stucco soffits.

KEY ELEMENTS

- A** Concrete flat tile
- B** Stucco finish with horizontal wood siding
- C** Hip roof where feasible
- D** Grouped windows
- E** Metal awnings

PRAIRIE STYLE

Source: WHA (06-04-2021)

FIGURE 4-6





STYLE DESCRIPTION

Representative of a practical and picturesque country house. Its predominant features of the style are front porches with a variety of wood columns and railings. The roof pitch vary between 4:12 to 6:12 with a minimum 6" overhang. Primary elements include horizontal siding at primary exposed areas and stucco at secondary areas. Simple wood columns and railings at porches if applicable.

KEY ELEMENTS

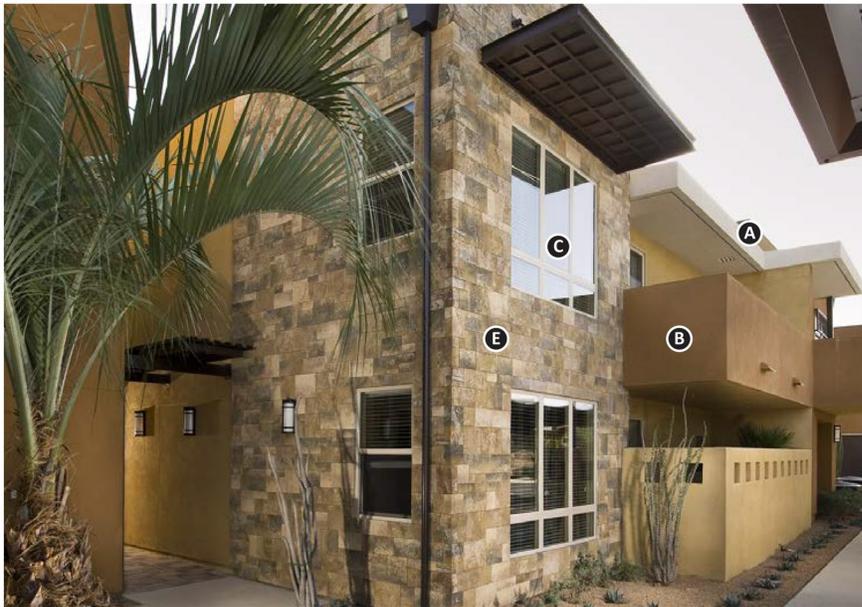
- A** Vertically oriented windows, often single hung
- B** Combination of horizontal and vertical siding
- C** Wood columns and railings at porches
- D** Stucco in secondary areas
- E** Front facing gables

FARMHOUSE STYLE

Source: WHA (06-04-2021)

FIGURE 4-7





STYLE DESCRIPTION

Representative of the current thinking in design. The style is composed of simple, rectangular geometric forms with generous windows areas, accented by bold use of materials and colors and detailed by interesting balcony railings and canopies. Generally flat roofs with simple roofline accents. Exterior walls are predominately stucco with large windows.

KEY ELEMENTS

- A** Flat roof
- B** Predominantly stucco
- C** Large windows
- D** Contrasting or traditional trim and accent colors
- E** Accents of brick, tile, or siding

CONTEMPORARY STYLE

Source: WHA (06-04-2021)

FIGURE 4-8



HIGH DENSITY RESIDENTIAL - CONTEMPORARY

3. RESIDENTIAL ARCHITECTURAL DESIGN CRITERIA

All residential buildings and accessory structures contain exterior features and accents that help define their architectural style. Such exterior features may include building entries, courtyards, porches, awnings, staircases, columns, archways, trellises, mechanical equipment, and lighting fixtures. The complexity, size, and application of these architectural elements vary depending on the home type as well as the architectural style, therefore residential architectural design criteria are organized into two categories, detached residential (single-family homes) and attached residential (multi-family homes). When unified by landscape elements, this variety results in quality neighborhoods. No plan should be plotted side by side or directly across from each other with the same elevation. Additionally, no more than two plans can be plotted adjacent with different elevations. Sufficient color schemes should be provided within the neighborhood to make sure that no home of the same plan and elevation on a single street should be the same. Streets should vary in their architectural character and utilize landscaping to create a sense of individual ownership, neighborhood personality and walkability.

a. Detached Residential (Single-Family Homes)

Architectural features and accents for detached homes within KELLER CROSSING should be consistent with the building's chosen architectural style. Features and accents should support the authenticity of the style, making the style easily recognizable to the general buyer. Additionally, the following criteria should be incorporated into the design of single-family homes within the community:

1. *Entries* - The entry of a home should be emphasized through the appropriate use of roof elements, columns, porticos, recesses or projections, window or other architectural features, consistent with the architectural style of the home.
2. *Driveways* - Driveway design and placement in relation to drive locations on adjacent lots plays an important role in creating a quality street scene. The following criteria are noted:
 - a. Driveway length shall be a minimum of 12 feet, but 20 feet is preferred to avoid risk of vehicle-blocking sidewalks.
 - b. Driveway widths shall be consistent with the width of the garage doors to minimize expanses of concrete along the street scene.
 - c. Driveways, for three-car front-on garages that are greater than 30 feet in length, shall have a width of 18 feet at curb and taper appropriately to proper width at garage.
3. *Courtyards* - Courtyards provide a transition from the public space of the street to the entrance of the home. Additionally, courtyard walls should comply with the following requirements:
 - i. Courtyard walls, when provided, should be finished to match the house and may be embellished with stone, stone veneer, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the residence.
 - ii. The height of courtyard walls should not exceed 4 feet, if located outside the normal setback line; otherwise, courtyard wall heights should not exceed 32 inches (common height of a "knee wall").

- iii. Design and construction of courtyard walls should comply with the KELLER CROSSING Zoning Ordinance.
 - iv. Enhanced landscaping along the base of the wall should be provided to complement courtyard walls.
4. *Porches* - Porches, when provided, should be designed as an integral component of the building's architecture, and should comply with the following requirements:
 - i. Minimum of 8 feet deep and 10 feet wide where the design allows.
 - ii. Front porches, or those on perimeter edges, should have railings and be fully covered with roof element and material matching the residence or covered with a trellis structure.
5. *Patios* - The use of fully covered rear patios, screened-in patios, California Rooms, and patio covers, are optional, but are encouraged as they provide an excellent opportunity for the articulation of rear facades, particularly along visible perimeter conditions. Patio elements should be designed as an integral component of the architecture. Columns used in conjunction with patio covers should convey a sense of strength and support. Patios should conform to the residential lot's setback criteria as these elements are considered part of the building envelope.
6. *Private Open Space* – 400 square feet of private open space required with a minimum dimension of 8 feet.
7. *Columns and Archways* - The use of columns and archways adds articulation to the character of the residence and is encouraged where appropriate to the architectural style. Columns and archways should be scaled appropriately to provide a sense of strength and support that is compatible with the architectural style of the dwelling.
8. *Trellises and Arbors* - Trellises and arbors, when used, should be designed to maintain their appearance considering the climatic conditions of the area.
9. *Design Features* - Design features such as shutters, exposed rafter ends or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and/or other similar features may be used to provide visual interest to the residential architecture consistent with the architectural style and should comply with the following requirements:
 - i. Exposed gutters and downspouts should be colored to match or complement the surface to which they are attached.
 - ii. Elevations that are seen from public view are encouraged to provide enhanced elevations with design features.
 - iii. All sides of the home must include design features.
 - iv. Blank walls or facades are not encouraged.
10. *Exterior Lighting* - The level of on-site lighting as well as lighting fixtures, should comply with all applicable requirements and policies of the County of Riverside. Energy conservation, safety, and

security should be emphasized when designing any lighting system. The style of exterior lighting fixtures should also be consistent with the architectural style of the residence.

11. *Mechanical Equipment* - Mechanical equipment and devices, such as solar panels, exhaust fans, vents and pipes, and air conditioners, should comply with the following requirements:
 - i. Mechanical devices, such as exhaust fans, vents and pipes, should be painted to match adjacent roof surfaces.
 - ii. Ground-mounted air conditioning units should be located behind rear or side yard privacy return walls or adjacent to fireplace pop-outs where they will cause the least visual impact.
 - iii. Mechanical equipment such as heaters, evaporative coolers, and other such devices (excluding solar panels and air conditioners) are prohibited on any roof.
12. *Accessory Structures* - Accessory structures, including dwelling units, guesthouses, detached garages, greenhouses, and other similar accessory structures should comply with the following requirements:
 - i. Structures should be compatible in design, materials, and color as the main residence.
 - ii. Structures should be visually related to the main residence through the use of courtyards, garden walls, or other landscape elements.
 - iii. All residential accessory structures should conform to the KELLER CROSSING Specific Plan Design Guidelines.

b. Attached Residential (Multi-Family/Apartment Homes)

All architectural features and accents for attached homes within KELLER CROSSING should be consistent with the building's chosen architectural style. The following criteria should be incorporated into the design of attached residential structures within the community:

1. *Entries* - Front entry doors and entryways should provide a focal point for each residential unit and should be sun protected with overhangs, recesses, porches, or trellises.
2. *Courtyards* - Courtyards are encouraged on all attached residential products where appropriate to the style, and when used, should appear as an extension of the architecture of the main building. Courtyard walls should comply with the following requirements:
 - i. Courtyard walls should be finished to match the building and should be embellished with stone, stone veneer, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the building.
 - ii. Enhanced landscaping should also be utilized at courtyard entries.
3. *Balconies* - Balconies, when provided, should be designed to be in scale and proportion with the architecture of the adjoining building and are considered as part of the building envelope. Balconies should comply with the following requirements:
 - i. Covered or trellised balconies are preferred

- ii. Balconies may have solid or open rails.
 - iii. 50 square feet of private open space per unit is required. This may occur on multiple levels of the home.
4. *Awnings* - Awnings, when provided, should be designed as an integral part of the architecture. Unacceptable awning treatments include metal louvers (except for Bermuda style shutters), untreated fabric, and project names, texts, or logos.
5. *Exterior Stairs* - Exterior stairs should be designed as an integral part of the architecture and stair guardrail design should be consistent with the architecture of the building. Stairs should be included in the setback calculation and should remain within the building envelope, as defined by an outermost wall and/or roof.
6. *External Equipment* - No mechanical equipment (i.e., air conditioning/heating units) excluding solar equipment, should be mounted on, or attached to, any sloped roof. Mechanical equipment, when mounted on flat roofs, should be completely screened by parapet walls of equal height to the equipment being screened. Additionally, all external equipment should comply with the following requirements:
- i. Ground-mounted air conditioning units should have increased vegetation to help shield units.
 - ii. Mechanical devices such as exhaust fans, vents, and pipes should be painted to match adjacent roof surfaces.
 - iii. Natural gas meters should be grouped. Builders should contact the gas company for minimum clearances. Meter locations are subject to utility company requirements.
 - iv. Electrical meters should be ganged and located behind doors. Screen walls and electrical enclosures should be designed integral to the project's architecture.
 - v. All antenna and satellite dishes visible from any public or private street, sidewalk, open space or adjacent lot should be submitted for review and are subject to the CC&Rs and all federal regulations.
 - vi. Solar panels, when used, should be mounted directly to a sloped roof plane and be integral to the roof design.
 - vii. Non-camouflaged solar panel equipment should be located behind parapet walls of equal height to the equipment.
7. *Community Amenities* – Community amenities may include a swimming pool, changing rooms, restrooms, fitness center, spa, and shaded barbeque area with tables and seating.
8. *Community Facilities and Related Accessory Structures*
Community facilities, including clubhouses, recreation buildings, other support buildings, and related accessory structures should match the architectural style and detailing of the residential buildings. Community facilities be submitted for a Site Development Permit prior to the issuance of the firsts building permit for any unit or community structure, whichever occurs first. It must

be reviewed and approved by the Planning Director. Additionally, all community facilities and related accessory structures should comply with the following requirements:

- i. Storage buildings should have the same level of architectural detailing as main product type.
- ii. Trash enclosures should be constructed of concrete masonry units with similar finish to buildings in the development.
- iii. Trash enclosures should be screened with landscaping or with trellis or arbor elements.
- iv. All trash enclosures should have opaque metal gates that are designed consistent with the development.
- v. Each trash enclosure should have a lighted access that meets federal accessibility standards.
- vi. All accessory structures should conform to the requirements of the Specific Plan.

4. RESIDENTIAL ARCHITECTURAL FEATURES

Architectural variety is created by combining building materials, colors, and textures in conjunction with architectural features (e.g., roofs, windows, doors, façades, trim) rather than by designing buildings that vary greatly in architectural style. It is not the intent of these Design Guidelines to require that all of the identified architectural features be incorporated into the final building designs. Rather, these features serve as a “palette” of character defining elements that can be used in home designs. Builders, and their architects and planners, are encouraged to utilize creativity and imagination when developing exciting design proposals for KELLER CROSSING.

a. Building Mass and Scale

Massing and scale are fundamental principles that ensure individual elevation elements relate to one another in a balanced and aesthetically pleasing way. They are also critical when trying to understand building to building spatial relationships and how best to form spaces between buildings for the comfort and enjoyment of homeowners and their guests.

1. Massing

- i. Building wall planes, particularly on the front elevation, should be staggered to avoid visual monotony along the street scene.
- ii. The use of porches, courtyards, and varied front setbacks along the front elevation are encouraged to provide visual interest.
- iii. The front elevation of homes with side-entry garages are encouraged to provide design features, such as shutters, exposed rafter ends or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and/or other similar features characteristic of the building’s architectural style.
- iv. Side elevations on single family homes can be particularly troublesome as they are ordinarily long, flat, and high. Varied floor plans can be designed to minimize the “canyon” affect between units. Neighboring homes having different elevation styles will also help mitigate this issue.

- v. Minimizing the visual impact of similar building silhouettes can be achieved by using a variety of front-to-rear, side-to-side, gables and hipped roofs. The inclusion of hip roof forms will further improve both the variety along the street and the spatial concerns between buildings.
- vi. Each single-family neighborhood is encouraged to plot a minimum of 25% single story homes.
- vii. Projections and recesses to provide shadow and depth.

2. *Scale*

Scale is important in balancing the elements of a building's composition; therefore, one element of a building should not be so dominant as to "out-weigh" other elements in a building's makeup. Likewise, a building on one site should not dominate a building on an adjacent lot.

b. Building Materials and Colors

The design of residences should use building materials and colors that are consistent with the architectural styles as identified in Section 4.D. of Chapter 4, *Design Guidelines*. A summary of the acceptable exterior surface, masonry surface, and siding surface materials are described below:

1. Stucco surfaces should be light lace or smoother finishes.
2. Stucco trim, stucco eaves, and banding should be light lace or dash finish, as architecturally appropriate.
3. Materials other than stucco (as appropriate for the architectural style) should comprise a minimum of 25% of each elevation.
4. Masonry elements should be integral to the building's architecture. Masonry columns, when used, should wrap the column in its entirety. Masonry columns at garage corners should have a return dimension equal to or greater than the width of the material on the garage plane elevation.
5. All other masonry returns should end at a logical termination point related to rooflines or building massing, where feasible, or should be a minimum of 3 feet.
6. If siding is used, it should be used consistent with the architectural style of the residence and should terminate at inside corners and be properly trimmed at corners.
7. Material changes should occur at inside corners (including window and door recesses, where provided). Materials applied to any elevation should turn the outside corner of the building a minimum of 2 feet before terminating.

c. Roof Materials, Forms, and Styles

A variety of roof materials is encouraged throughout the neighborhoods of KELLER CROSSING in order to avoid a monotonous roof appearance. Roof materials may include flat or barrel-shaped clay, concrete tiles or shake, and slate. Additionally, the following requirements apply to roof materials used in residential structures:

1. Roof materials should be compatible with the architectural style of the residence.

2. Roof materials should have a matte finish to minimize glare.
3. Standing seam metal roofs are permitted as an architectural accent element, but its use is subject to the sole discretion and approval of the Developer.
4. Facias may be either stucco, wood/wood-like, or tile. If wood/wood-like is used, it should be stained or painted.
5. Skylights are permitted, but should be designed as an integral part of the roof. Skylight framing material should be bronze anodized or colored to match the adjacent roof. White “bubble” skylights are not permitted.
6. Clay or concrete barrel tiles, clay or concrete flat tiles, or clay or concrete shake slate should be used. Low profile S-tiles are allowed on single-family lots on a maximum of 50% of the elevations. Wood shake, and metal rolled roofing material are prohibited.
7. Solar panels, if used, should be integrated into the roof design as an unobtrusive element. Panels are to be parallel to the roof plane.

Similarly, a variety of roof forms and styles is encouraged throughout the neighborhoods of KELLER CROSSING, as described below:

1. Roof treatments should be consistent with the architectural style of the dwelling.
2. Side elevations exposed to public streets are encouraged to have architectural treatments.
3. Rooflines of adjoining residences are required to vary ridge heights, roof forms, and direction of gables to avoid a common roof line along neighborhood streets.
4. Repetitious gable ends framed side to side on rear elevations are not permitted along perimeter edges of residential neighborhoods. No more than three adjacent residences may have primary gable end roof forms facing the visible perimeter edges of the Planning Area.
5. Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style
6. Gambrel and mansard roof forms are prohibited.

d. Windows and Doors

Windows and doors are important architectural features that complement and reinforce the selected architectural style. In addition to the criteria identified in Section 4.D. of Chapter 4, *Design Guidelines*, pertaining to each respective architectural style, the following requirements apply to the use of windows and doors in residential structures:

1. Recessed door and wall openings on front façade are encouraged.
2. Protrusions such as window boxes may be implemented, depending on the architectural style.
3. Divided window lights are suggested where architecturally appropriate to provide visual interest.
4. Gold window and door frames are not permitted.

E. COMMERCIAL DESIGN GUIDELINES

1. SITE PLANNING GUIDELINES

The design and relationship between structures and the pedestrian environment plays an important role in creating vibrant common spaces with a welcoming, positive atmosphere. The layout of the commercial component not only influences the shopping, dining, and/or social experience of users of the area, but also how nearby onlookers view the community. As such, the design and orientation of building sites within the commercial area is an essential component of the KELLER CROSSING land use plan.

Buildings within the commercial area should be oriented in a manner that is complementary to the community's overall layout (including streets) the architectural composition as well as compatible with nearby development. In addition, the commercial area should be designed in a manner that is considerate of its visibility from public viewing areas and Winchester Road. The commercial area is visible to vehicles traveling on Winchester Road, which is highly beneficial to the businesses located within the commercial area; however, the public prominence of these structures as viewed from this roadway requires that special care be taken to ensure these buildings are visually appealing and sited in a manner that reduces the perceived mass of structures. Additionally, structures for outdoor public spaces shall be located to be visible from Street "B" or Street "D" and shall be integral to the commercial building orientation to enhance pedestrian connectivity to the park in Planning Area 8. Structures along the eastern portion of the commercial area should be oriented toward Winchester Road. Alternatively, building facades should include articulation and detailing that creates visual interest when viewed from Winchester Road. Buildings shall be clustered together to create common areas or public spaces with site amenities, and to facilitate efficient vehicular and pedestrian access.

These principles and guidelines are not intended to restrict taste or preference, but are designed to avoid harsh contrasts and to foster harmonious development throughout the KELLER CROSSING community. Commercial buildings should be designed as a complementary addition to the overall theme established throughout the community and should acknowledge and respect existing nearby structures and public spaces. Dramatic departures in form, scale, and architectural style are not permitted.

a. Connectivity

Planning Area 7 should be designed to allow for the safe and convenient movement of pedestrians, bicycles and vehicles:

1. Provide clearly delineated pedestrian paths from perimeter sidewalks to the building's main entrance;
2. Require individual parcels to make internal connections to adjoining commercial parcels to encourage walking instead of driving to the same destination; and
3. Locate accessible bicycle parking near the building's main entrance.

b. Building Placement/Orientation

Special attention should be paid to the impacts of visibility, massing, and the height of the building.

1. Buildings should be oriented to best establish positive highway and adjacent street visibility;
2. Locate buildings to frame and enclose interesting outdoor gathering spaces;
3. Hide service and loading areas from view of the street where practical;
4. Face primary entrances to off-street parking areas;
5. Make building entrances clearly visible and easily identifiable as visitors access the site; and
6. Provide well-defined pedestrian connections from the parking areas to building entrances.

c. Public Spaces

Well-designed public spaces which are integral to the overall design of the commercial site create a vibrant environment for community interaction. Public spaces may include, but are not limited to, grassy commons, hard surface shaded plazas, shaded outdoor eating areas, outdoor performance areas, public art, building entry forecourts, and courtyards, which provide opportunities for activities such as, outdoor eating, casual meetings, and small group gatherings. The following guidelines will apply:

1. Arrange buildings to create and enclose a variety of outdoor common areas;
2. Design common areas large enough to be usable, however not so large as to appear empty or barren;
3. Common areas and plazas shall be designed for multi-use, such as farmer’s markets, community theatre, musical performances, or children’s activities.
4. Furnish common areas with appropriate site amenities and multiple seating options, such as benches, low walls, shade trees, shade structures, tables, and bollards to facilitate pedestrian uses;
5. Accommodate solar orientation for common areas to allow sunny outdoor spaces in winter and shade in the summer;
6. Provide focal points, such as public art and murals;
7. Activate the pedestrian environment through interactive architecture and landscape elements, such as vibrant storefronts, benches and planter walls, enhanced paving accents, water elements, and accent lighting.

d. Access and Site Circulation

Driveway access to parcels should provide safe vehicular movement and prevent traffic congestion as follows:

1. Design driveways and parking areas to provide sufficient vehicular stacking during peak times; and
2. Provide adequate queuing distances.

e. Parking

Sufficient employee and visitor parking shall be provided. However, individual developments are encouraged to seek opportunities, incorporate design features, or utilize transportation management strategies that include shared parking to reduce automobile use. The following guidelines will apply:

1. Provide convenient locations for carpool and bicycle parking;
2. Screen parking areas from view of public streets by either walls, berms and/or planting materials;
3. Encourage electric vehicle charging stations; and
4. Reduce the heat island effect by providing shade canopies and shade trees.

f. Buffers

Incorporate visual buffers, including landscaping, to screen equipment, storage areas, loading docks, service areas, and roof treatments.

g. Signage

Signage within the Specific Plan area serves a variety of purposes. Signs will identify the commercial area and its building occupants and ensure the efficient circulation of vehicle traffic within the site by identifying vehicular entry points and directing vehicles to their on-site destinations. Also, signage will enhance the pedestrian experience through the design of way finding components: directories, directional signage and destination identifiers.

As such, clear, concise, and easy-to-understand signage that is also visually appealing is vitally important for positive worker and visitor experiences at KELLER CROSSING. General design requirements for signage are as follows:

1. Master Sign Program
 - i. A Master Sign Program for Planning Area 7 shall be prepared and approved by the County of Riverside prior to, or concurrent with, the first occupancy permit.
 - ii. Subsequent changes to the Master Sign Program following approval of the Specific Plan are deemed “Administrative Changes to the Specific Plan” and shall be reviewed and approved by the Planning Director.
 - iii. The Master Sign Program shall, at a minimum, address the following issues related to sign construction: illumination, location, and mounting methods. Further, the Master Sign Program should provide adequate and appropriate project, street, building, commercial tenant identification, trail, path, and wayfinding signage for the anticipated variety of building sizes, designs, and uses to ensure that all project signage is designed with a single vision and theme, generally outlined below in Items (2) through (14).
2. All building signage should be in scale with and in proportion to the primary building facades so that the signage is not ‘overpowering’ and does not dominate the overall appearance.
3. The design of the signage shall reflect the type of business and/or uses through its design, material, shape and graphic form.
4. All signs shall be contained within the parcel to which applicable and shall be so oriented as to preclude hazardous obstructions to person and/or vision of pedestrians and/or vehicle operators.
5. Building occupant identification signage shall be in keeping with the character established for the commercial area with variations allowed to accommodate individual user identities/corporate branding standards.

6. Direction signs may be located at any vehicular or pedestrian decision point.
7. Vehicular direction signs shall clearly direct to destination anchors within the commercial area and on-site parking areas.
8. Vehicular direction signs shall be consistent in size, shape, and design throughout the commercial center.
9. Typography on vehicular direction signs should be legible and have enough contrast to be read from an appropriate windshield viewing distance.
10. Vehicular direction signs shall incorporate reflective vinyl copy for night-time illumination.
11. Lighting should be incorporated into signage design when appropriate in order to minimize glare and light spillage while accentuating the design of the signage.
12. All conductors, transformers, cabinets, housing and other equipment for the illumination of signs shall be concealed and/or incorporated into the building architecture.
13. Signs should not cover up windows or important architectural features.
14. The use of flashing, moving or audible signs is discouraged.

h. Utilities, Services, and Refuse Collections

Utilities, services, and loading areas should be provided to service the businesses and activities conducted in Planning Area 7:

1. Locate above ground utility facilities so they are screened from the street or pedestrian routes;
2. Screen utility cabinets and pedestals with landscape or other structures, such as trellises or metal screens where possible;
3. Cluster the utility infrastructure where possible, and screen with landscape materials, berms, walls and/or other architectural elements;
4. Screen all rooftop equipment and communication equipment from abutting roadways and residential properties by parapet walls or roof structures;
5. Locate service and refuse collection areas within interior, side or rear yards oriented away from public view; and
6. Screen service loading area and refuse enclosures by a solid wall with materials of appropriate color and texture compatible to the adjoining building.

2. ARCHITECTURAL STYLES

The intent of this Specific Plan is to provide a framework which can integrate construction over time, while maintaining maximum flexibility to accommodate a wide variety of uses. For inspiration, KELLER CROSSING has embraced compatible architectural styles that have historical precedence in Southern California and are capable of contemporary interpretation and variation in a modern semi-rural environment (see Figure 4-9, *Conceptual Commercial Architecture*). The intent is to present a unified development character, while encouraging the flexible application of detail and materials authentic to the spirit and character of the style. The concepts for the commercial architectural styles, Mediterranean and Contemporary, are intended to complement the residential architectural themes that are proposed for the single-family and

apartment homes in the community of KELLER CROSSING. A minimum of two key elements shall be incorporated into each building that utilizes these architectural styles.

a. Mediterranean

Popular during the early 20th century in coastal resort areas of California, this transplanted architectural style originates from the coastal villas of Spain and France along the Mediterranean. The Mediterranean style is distinguished with symmetrical massing with shallow pitched hipped roofs and red terra cotta tiles and decorative brackets (see Figure 4-9, *Conceptual Commercial Architecture*). Key elements of this style include medallion and decorative vents, brick or stone accents, awnings or projecting features, and lightly textured walls with light-earth colored stucco.

b. Contemporary

The Contemporary style promotes innovative and flexible architectural design appropriate to commercial uses by integrating key elements such as intersecting linear planes, flat roofs, cubic forms, wide overhangs, stacked stones, color blocking, and incorporating landscape with the building (see Figure 4-9, *Conceptual Commercial Architecture*). Exterior building materials may include stucco, concrete horizontal or vertical siding, brick or stone veneers, and metal accents.

3. COMMERCIAL ARCHITECTURE GUIDELINES

The goal of the Commercial Design Guidelines is to promote visual compatibility and individuality within the KELLER CROSSING community. These guidelines do not promote rigid adherence to style descriptions, but assist in the design direction and quality of the end product. Achieving variety and diversity in commercial architecture is a key objective for KELLER CROSSING. Commercial areas are to be visually attractive and cohesive with the surrounding residential and natural environment. The successful creation of pedestrian-friendly, non-intrusive development can be achieved by implementing the following:

a. Building Details

Articulate forms with layered wall planes, banding, architectural details and/or materials. At least *four* of the following techniques should be used to enhance building architecture and reduce overall mass:

1. Color variation;
2. At least two different materials;
3. Change in texture;
4. Vertical/horizontal wall plane projections/recesses (minimum 2-foot offset);
5. Variation of roofline (height or form);
6. Revealed pilasters;
7. Architectural elements significantly different from main building in mass or height;
8. Trellis or awning element (proportional to massing of building); or
9. Aesthetic window groupings or treatments.

b. Roof Considerations

Roofs should be designed for functionality and complement the overall architectural design of the building. The following design elements should be considered:

1. Encourage vertical roof plane breaks, changes in building/ridge height or other accent roof forms;
2. Integrate form and materials with the overall design vocabulary of the development;
3. Use fascia and/or cornice elements that are consistent with the primary design; and
4. Parapets, when used, should incorporate side/rear elevation returns to eliminate false front/unfinished appearance.

c. Façade Treatments

Building should have articulation along auto and pedestrian corridors to create pedestrian scaling and visual interest along the street scene, including:

1. Avoid blank walls, especially along the primary pedestrian sidewalks and street frontages;
2. Detail buildings that use only one building material with banding, architectural details, textures, color variation and/or offset massing;
3. Provide shadow articulation and scale to building elevation through projections, overhangs and recesses; and
4. Unify architectural design for all pedestrian or major roadway elevations.



COMMERCIAL: CONTEMPORARY STYLE

The Contemporary style guidelines promote cutting edge architectural design appropriate to commercial uses by using intersecting linear planes, flat roofs, cubic forms, wide overhangs, stacked stones, and the integration of landscape with the buildings. Exterior building materials may include stucco, concrete horizontal or vertical siding, brick or stone veneers, and metal accents.

KEY ELEMENTS

- A Flat roof with or without ledges
- B Color Blocking
- C Accents of brick, stone or metal
- D Signature towers OR vertical projections can extend above roof line
- E Large Window modules
- F Simple clean forms
- G Stucco, metal, concrete, or cementitious siding

Note: A minimum of two key elements shall be incorporated into each home that utilizes this architectural style



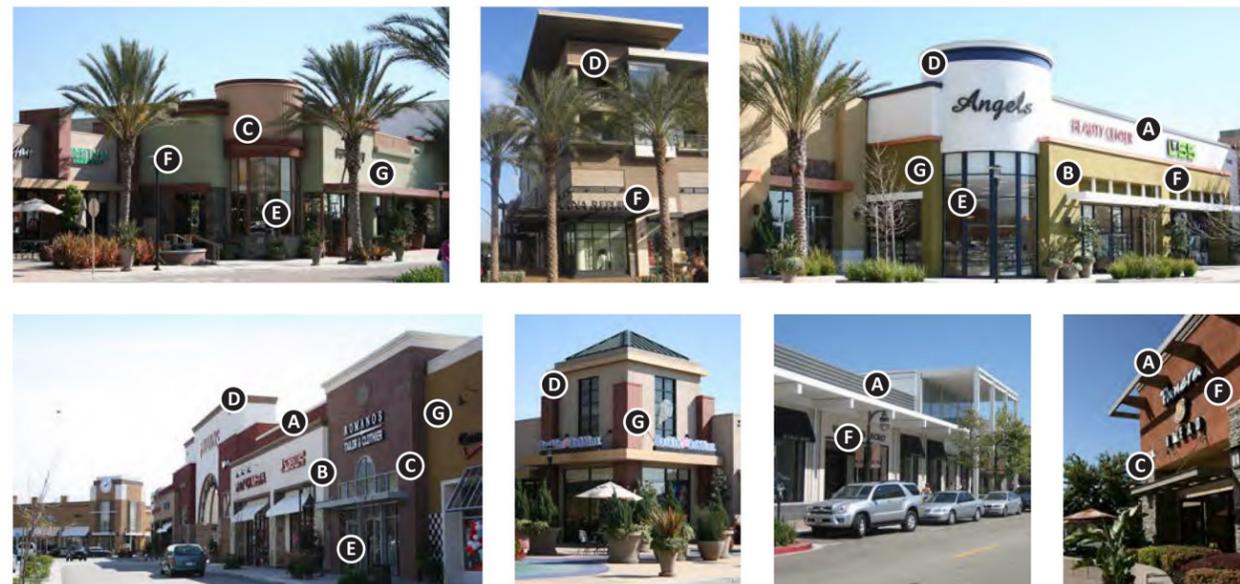
COMMERCIAL: MEDITERRANEAN STYLE

The Mediterranean style is a good example of a transplanted style developed in a climate zone similar to the Southern California climate. This old world prototype has been refined, adapted and embellished into a truly eclectic classic style. The shallow pitched hipped roof, often with decorative brackets, identifies this style.

KEY ELEMENTS

- A Simple box, multi-story 'storefront' form with accent elements at entries
- B Medallions, Niches and decorative vents
- C Brick or stone accents
- D Awning or projecting feature
- E Stucco finish
- F Closed/shaped eave with corbels at accent elements
- G Horizontal belt course, Cast stone surrounds, precast trim, Base trim, or Wrought iron grilles

Note: A minimum of two key elements shall be incorporated into each home that utilizes this architectural style



Source: WHA (06-04-2021)

FIGURE 4-9



F. LANDSCAPE DESIGN GUIDELINES

These *Landscape Design Guidelines* articulate the various landscape design components of KELLER CROSSING’s thematic identity. The community’s semi-rural, natural landscape theme complements the rustic character and physical setting of the French Valley area through the use of lush, colorful, water-efficient plants and trees planted at focal points throughout the community. In addition, careful thought and attention has been given to integrating structural and aesthetic elements, such as monumentation, streetscapes, walls, and fencing to reinforce the landscape theme and help create a balanced community that evokes the feel of a rural and relaxed lifestyle.

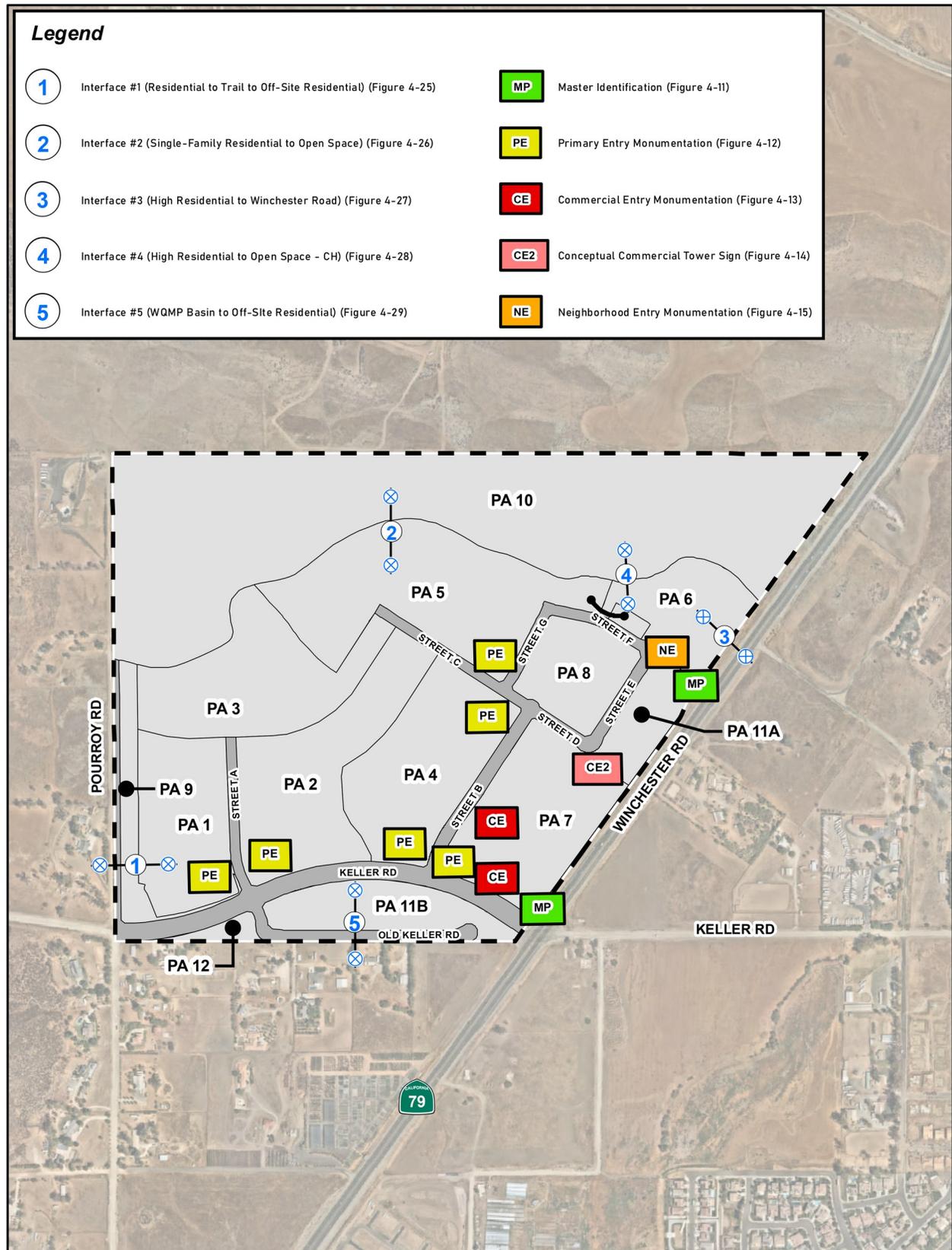
The landscape concept components create a sense of community identity that links the residential neighborhoods with the commercial area and the recreational components of KELLER CROSSING. As identified on Figure 4-10, *Conceptual Master Landscape Plan*, the community’s thematic identity is reinforced by the landscape design of interfaces, monumentation, and streetscapes. Furthermore, the recommended plant palette, community elements, and hardscape materials work in concert to reinforce and emphasize the community landscape theme at major community focal points and gathering places, such as the commercial area and park. Irrigation, root barriers, and pruning within the KELLER CROSSING community shall adhere to the applicable standards of the County of Riverside Code of Ordinances and the Riverside County Fire Department.

The landscape concept is implemented through major thematic community elements listed below and discussed in more detail on the following pages.

- | | |
|------------------|---------------------------|
| 1. PLANT PALETTE | 2. RECREATIONAL AMENITIES |
| 3. MONUMENTATION | 4. WALL AND FENCES |
| 5. STREETSCAPES | 6. LANDSCAPE INTERFACES |

These *Landscape Design Guidelines*, when taken with the companion *Residential and Commercial Architectural Design Guidelines*, establish a community identity that acknowledges the history of the French Valley area with visually appealing contemporary interpretations along with sensitivity to the environment.

Although a great deal of detailed design information is provided in these *Landscape Design Guidelines*, there will at times be a need for interpretation of the intent of the guidelines in keeping with the spirit of the overall community theme. When interpreting these guidelines to meet certain parcel-specific or user-identity requirements, opportunities for creativity and visual interest are encouraged. However, it is critical that such opportunities be implemented in manners consistent with the core elements of the overall theme described in this Specific Plan in order to ensure a cohesive and unified community-wide landscape concept.



Source: ESRI, Nemap (2022)

FIGURE 4-10

CONCEPTUAL MASTER
LANDSCAPE PLAN



1. PLANT PALETTE

The Plant Palette for KELLER CROSSING was selected to complement and enhance the setting of the community, while ensuring the conservation of water resources and the preservation of the MSCHP-protected hillsides. The Plant Palette complements the community's relaxed, rustic setting and accentuates the community's architectural styles and design elements (hardscape, monumentation, walls and fences, etc.).

To ensure the conservation of water resources and to alleviate long-term maintenance concerns, the Plant Palette for KELLER CROSSING is comprised of water-efficient species native to southern California or naturalized to the arid southern California climate.

Table 4-1, *Community Plant Palette*, provides a base plant palette which includes a list of examples for the KELLER CROSSING community's landscape design. Other similar plant materials may be substituted provided the selected plant materials are water-efficient and complement the KELLER CROSSING community theme. Plant selection for specific areas of the community shall have similar watering requirements so that irrigation systems can be designed to minimize water use and plant materials can thrive under optimal conditions.

Table 4-2, *Fuel Modification Plant Palette*, identifies plants for use within designated KELLER CROSSING Fuel Modification Zones, delineated in Chapter 2.H., *Fuel Modification Plan*. Fuel Modification Zones are encouraged to be landscaped with these "fire resistant" plants in order to protect the native habitats within and surrounding the KELLER CROSSING community from fire hazards.

Table 4-3, *Prohibited Plant List*, identifies plants strictly prohibited from use within the KELLER CROSSING community. These plants are prohibited in order to protect the native habitats within and surrounding the KELLER CROSSING community from these invasive non-native species and for fire protection. These plants are highly flammable and should be avoided when planting within the first 50 feet adjacent to a structure.

Table 4-1 COMMUNITY PLANT PALETTE

BOTANICAL NAME	COMMON NAME
TREES	
<i>Arbutus unedo</i>	Strawberry Tree
<i>Cercidium</i> ‘Desert Museum’	Thornless Palo verde
<i>Cercis canadensis</i> ‘Forest Pansy’	Purple Leaf Redbud
<i>Cinnamom camphora</i>	Camphor Tree
<i>Cupaniopsis anacardioides</i>	Carrot Wood
<i>Fraxinus udhei</i>	Evergreen Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Gleditsia triacanthos</i>	Honey Locust
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Koelreuteria paniculata</i>	Golden Rain Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Laurus nobilis</i>	Sweet Bay
<i>Olea europea</i> ‘Swan Hill’	Fruitless Olive
<i>Platanus acerifolia</i>	London Plane
<i>Platanus racemosa</i>	California Sycamore
<i>Podocarpus gracilior</i>	Fern Pine
<i>Pyrus calleryana</i> ‘Bradford’	Bradford Pear
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Rhus lancea</i>	African Sumac
<i>Tristania conferta</i>	Brisbane box
<i>Ulmus parvifolia</i>	Chinese Evergreen Elm
SHRUBS	
<i>Arctostaphylos</i> spp.	Manzanita
<i>Baccharis pilularis</i>	Coyote Brush
<i>Ceanothus</i> spp.	California Wild Lilac
<i>Convolvulus cneorum</i>	Bush Morning Glory
<i>Echium fastuosum</i>	Pride of Madeira
<i>Escallonia</i> ‘Compacta’	Compact Escallonia
<i>Escallonia fradesii</i>	Escallonia
<i>Euonymus japonicus</i> spp.	Euonymus
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Grewia occidentalis</i>	Lavender star flower
<i>Heteromeles arbutifolia</i>	Toyon
<i>Ilex cornuta</i> ‘Burfordii’	Burford Holly
<i>Lantana camara</i>	Bush Lantana

BOTANICAL NAME	COMMON NAME
Lavendula stoechas	Spanish Lavender
Lavatera assurgentiflora	Tree Mallow
Leptospermum laevigatum	Australian Tea Tree
Melaleuca nesophila	Pink Melaleuca
Photinia x fraseri	Fraser's Photinia
Pittosporum tobira cvs.	Tobira / Japanese Mock Orange
Plumbago auriculata	Cape Plumbago
Podocarpus elongatus cvs.	Breede River Yellow wood
Prunus caroliniana 'Bright n Tight'	Dwarf Caroliana Laurel Cherry
Prunus lyonina	Catalina Cherry
Pyracantha species	Firethorn
Raphiolepis indica species	Indian Hawthorne
Rhus laurina	Laurel Sumac
Tagetes lemmoni	Copper Canyon Daisy
Viburnum japonicum	Viburnum
ACCENTS/GRASSES	
Agave species	Agave
Aloe species	Aloe
Anigozanthos cultivars	Kangaroo Paw
Aristida purpurea	Purple Three-awn
Bouteloua gracilis 'Blonde Ambition'	Blue Grama Grass
Carex tumulicola	European Gray Sedge
Dianella tasmaica	Tasred
Dietes bicolor	Fortnight Lily
Festuca (ovina) glauca	Blue Fescue
Festuca idahoensis	Fescue
Festuca mairei	Marie's Fescue
Furcraea foetida mediopicata	Mauritius Hemp
Juncus patens	California Gray Rush
Leymus triticoides	Creeping Wild Rye
Miscanthus transmorrisonensis	Evergreen Miscanthus
Muhlenbergia capillaris	Pink Muhly
Muhlenbergia rigens	Deer Grass
Opuntia acicularis	Bristly Prickly Pear
Phormium hybrids	New Zealand Flax Hybrids
Phormium tenax	New Zealand Flax
Scirpus maritimus	Bulrush
Yucca whipplei	Our Lord's Candle
GROUNDCOVERS	

BOTANICAL NAME	COMMON NAME
Baccharis pilularis ‘Twin Peaks’	Dwarf Coyote Bush
Baccharis pilularis ‘Pigeon Point’	Dwarf Coyote Bush
Ceanothus griseus var. horizontalis	Carmel Ceanothus
Convolvulus sabatius	Ground Morning Glory
Lantana montevidensis (gold cultivars)	Trailing Lantana
Pyracantha hybrid ‘Ruby Mound’	Firethorn species
Senecio mandraliscae	Blue Chalk Sticks
VINES	
Distictus buccinatoria	Blood Red Trumpet Vine
Ficus pumila	Creeping Fig
Gelsemium sempervirens	Carolina Jasmine
Pandorea jasminoides	Bower Vine
Parthenocissus tricuspidata	Boston Ivy
Rosa banksiae	Lady Bank’s Rose
TURF	
Paspalum vaginatum	Excalibre-seashore Paspalum
Festuca arundinacea	Dwarf Fescue
Stenotaphrum secundatum	Saint Augustine

Table 4-2 FUEL MODIFICATION ZONE PLANT PALETTE

BOTANICAL NAME	COMMON NAME
TREES	
Arbutus unedo	Strawberry Tree
Platanus racemosa	California Sycamore
Prunus lyoniana	Catalina Cherry
Quercus agrifolia	Coast Live Oak
Quercus virginiana	Southern Live Oak
Sambucus Mexicana	Mexican Elderberry
SHRUBS	
Baccharis pilularis	Coyote Brush
Ceanothus spp	California Wild Lilac
Convolvulus cneorum	Bush Morning Glory
Encelia californica	California Encelia
Escallonia 'Compacta'	Compact Escallonia
Escallonia fradesii	Escallonia
Euonymus fortunei	Winter Creeper Euonymus
Feijoa sellowiana	Pineapple Guava
Fremontodendron californicum	California Flannelbush
Grewia occidentalis	Lavender Star Flower
Heteromeles arbutifolia	Toyon
Lavandula stoechas	Spanish Lavender
Leptospermum laevigatum	Australian Tea Tree
Melaleuca nesophila	Pink Melaleuca
Mimulus aurantiacus	Sticky Monkey Flower
Photinia x fraseri	Fraser's Photinia
Pyracantha species	Firethorn
Rhaphiolepis indica species	Indian Hawthorne
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugar Bush
Romneya coulteri	Matilija Poppy
Tagetes lemmonii	Copper Canyon Daisy
ACCENTS/GRASSES	
Agave species	Agave
Aloe species	Aloe
Anigozanthos cultivars	Kangaroo Paw
Aristida purpurea	Purple Three-awn
Bouteloua gracilis 'Blonde Ambition'	Blue Grama Grass
Carex tumulicola	European Gray Sedge
Furcraea foetida mediopicata	Mauritius Hemp

BOTANICAL NAME	COMMON NAME
<i>Juncus patens</i>	California Gray Rush
<i>Leymus triticoides</i>	Creeping Wild Rye
<i>Opuntia acicularis</i>	Bristly Prickly Pear
<i>Scirpus maritimus</i>	Bulrush
<i>Yucca whipplei</i>	Our Lord’s Candle
GROUND COVER	
<i>Baccharis pilularis</i> ‘Pigeon Point’	Dwarf Coyote Bush
<i>Ceanothus griseus</i> var. <i>horizontalis</i>	Carmel Ceanothus
<i>Iva hayesiana</i>	Poverty Weed
<i>Pyracantha</i> hybrid ‘Ruby Mound’	Firethorn species
MOWED MEADOW GRASS	
<i>Agrostis pallens</i>	San Diego Bentgrass
<i>Eriophyllum confertiflorum</i>	Golden Yarrow
<i>Lupinus bicolor</i>	Pigmy Leaved Lupine
BIOSWALE PLANTS	
<i>Platanus racemosa</i>	California Sycamore
SHRUBS	
<i>Juncus acutus</i>	Spiny Rush
<i>Juncus patens</i>	California Gray Rush
<i>Leymus triticoides</i>	Beardless Wildrye
<i>Muhlenbergia rigens</i>	Deer Grass
DETENTION BASIN PLANTS - TREES	
<i>Platanus racemosa</i>	California Sycamore
<i>Populus fremontii</i>	Western Cottonwood
DETENTION BASIN PLANTS – SIDE SLOPE SHRUBS	
<i>Baccharis pilularis</i> ‘Pigeon Point’	Dwarf Coyote Bush
<i>Iva hayesiana</i>	Poverty Weed
<i>Leymus condensatus</i>	Giant Wild Rye
<i>Leymus triticoides</i>	Creeping Wild Rye
<i>Muhlenbergia rigens</i>	Deer Grass
DETENTION BASIN PLANTS – BASIN FLOOR SHRUBS	
<i>Anemopsis californica</i>	Yerba Mansa
<i>Carex tumulicola</i>	European Gray Sedge
<i>Juncus patens</i>	California Gray Rush
<i>Juncus xiphiodes</i>	Iris-Leaved Rush
<i>Scirpus californicus</i>	California Bulrush

Table 4-3 PROHIBITED PLANT LIST

BOTANICAL NAME	COMMON NAME
Acacia species	Acacia (trees, shrubs, groundcovers)
Adenostoma fasciculatum	Chamise
Adenostoma sparsifolium	Red Shanks
Anthemis cotula***	Mayweed, Stinking Chamolile
Artemesia californica	California Sagebrush
Arundo donax	Giant Cane
Bambusa species	Bamboo
Brassica nigra	Black Mustard
Brassica ropa	Yellow Mustard
Cedrus species	Cedar
Cirsium vugare	Wild Artichoke
Conyza Canadensis***	Horseweed
Cortaderia selloana	Pampas Grass
Cupressus species	Cypress
Cytisus species	Scotch Broom, French Broom, etc.
Eriogonum fasciculatum	Common Buckwheat
Eucalyptus species	Eucalyptus
Gensita species***	Broom
Heterotheca grandiflora	Telegraph Plant
Juniperus species	Junipers
Lactuca serriola***	Prickly Lettuce
Nicotiana bigelevelil	Indian Tobacco
Nicotiana glauca	Tree Tobbacco
Palmae species	Palms
Pennisetum setaceum	Fountain Grass
Picea species	Spruce Trees
Pinus species	Pines
Rosmarinus species	Rosemary
Retama monosperma	Broom
Salvia species	Sage
Schinus molle	California Pepper
Silybum marianum***	Milk Thistle
Spartium junceum	Spanish Broom
Urtica urens***	Burning Nettle
Washingtonia species	California/Mexican Fan Palm

Note: *** Highly Invasive

2. MONUMENTATION

To identify the KELLER CROSSING Specific Plan area, the commercial area and the individual neighborhoods within the community, a hierarchy of entry statements is provided as described in the following text and exhibits. It is the intent of these entry statements to both identify the community along with its' components, and to establish a theme consistent with the overall design concept for the community. Careful consideration has been given to the design of community entries. The design intent is two-fold: to create distinctive visual gateways into the community announcing that KELLER CROSSING is a special place to live; and to provide an entry statement emphasizing the relaxed, rustic character and unique nature of the site. Monument signage should be compatible with the character of the community but flexible enough to respond to the individual contexts. Logos, type styles, and color schemes should be consistent throughout the area being identified. The monumentation concepts complement and reinforce the general landscape and architectural theme of the community and to provide a prominent reminder of the quality and distinctiveness of KELLER CROSSING. The entry settings are comprised of a blending of natural hardscape materials, signage and landscaping which introduce the theme of the community. The location and maintenance of entry monumentation is depicted on Figure 4-10, *Conceptual Master Landscape Plan* and Table 5-1, *Maintenance Responsibilities*.

a. Master Entry Monumentation

Master entry monumentation is provided at the northeast and southeast corners of the commercial component in Planning Area 7, along Winchester Road. As shown on Figure 4-11, *Conceptual Master Entry Monumentation*, master tower monuments are anchored by a 23-foot-high tower with two steel backlit panels. Two 12-foot-high square stone pilasters are attached to the 10-foot-high limestone clad sign wall. Master monumentation includes veneer accent walls and acrylic backlit sign panels. The trees, shrubs, and groundcovers planted in the background of the master monumentation are in accordance with the plants listed in Table 4-1, *Community Plant Palette*.

b. Primary Entry Monumentation

Primary entry monumentation is provided along primary vehicular entrances at the Keller Road western entry, Street "C" connection from Street "B", and at the intersections of Keller Road and Street "A", and Keller Road and Street "B". As shown on Figure 4-12, *Conceptual Primary Entry Monumentation*, primary entry monuments are anchored by a 5-foot-high square stone pilaster attached to a 6-foot-high limestone clad sign wall. Primary monuments include veneer accent walls and acrylic backlit sign panels. The trees, shrubs, and groundcovers planted in the background of the primary entry monumentation are in accordance with the plants listed in Table 4-1, *Community Plant Palette*.

c. Commercial Entry Monumentation

Commercial entry monumentation is provided within the KELLER CROSSING community to welcome residents and visitors to the commercial area at its' vehicular entry points. As shown on Figure 4-13, *Conceptual Commercial Entry Monumentation*, commercial entry monuments are anchored by an 8-foot-high square stone pilaster attached to a 114-inch-high limestone clad sign wall. Commercial monuments

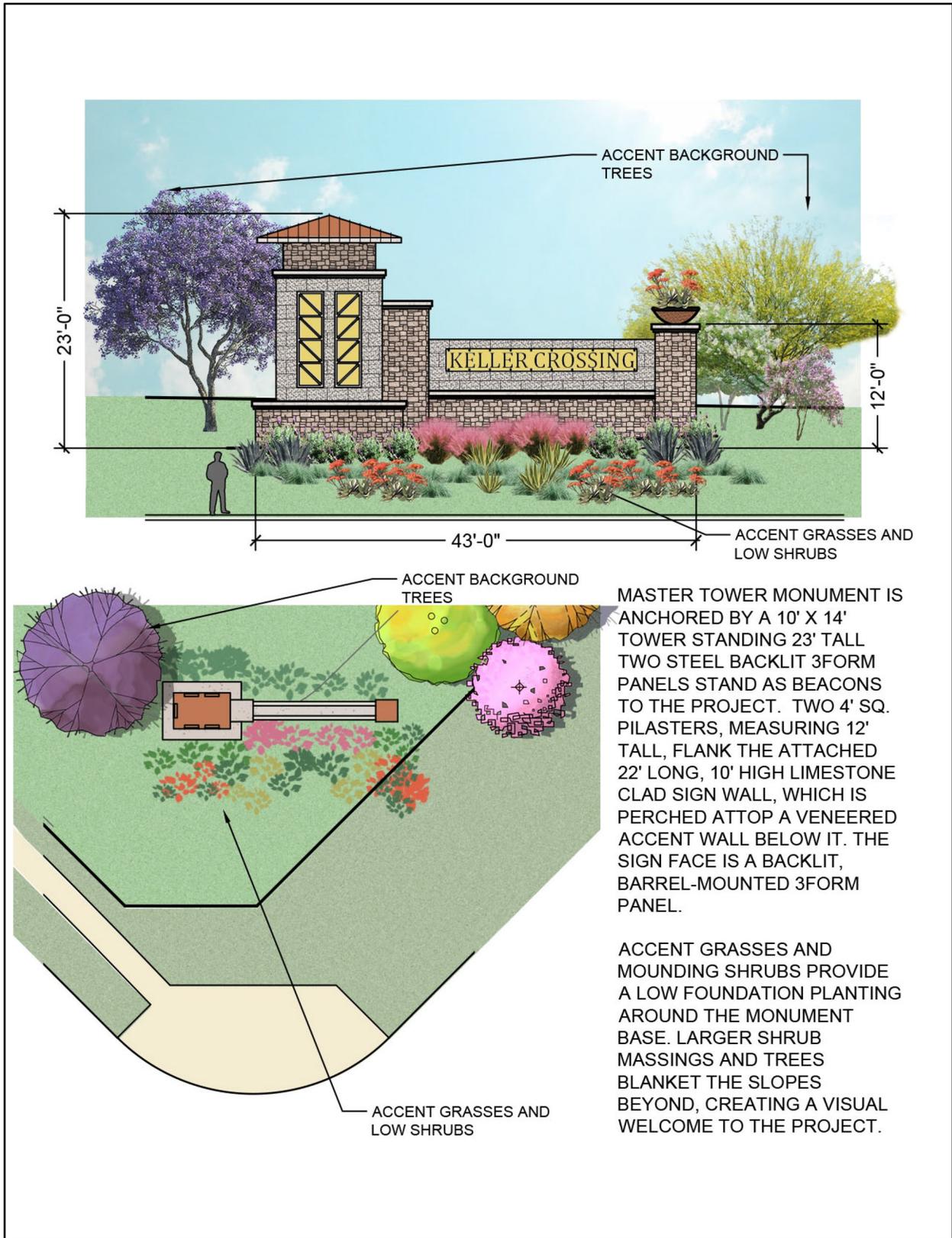
include veneer accent walls and acrylic backlit sign panels. The trees, shrubs, and groundcovers planted in the background of the commercial entry monumentation are in accordance with the plants listed in Table 4-1, *Community Plant Palette*.

d. Conceptual Commercial Tower Sign

The commercial tower sign within KELLER CROSSING is provided at the eastern boundary of the commercial area in Planning Area 7, along Winchester Road. The tower sign serves to advertise and identify the commercial area and associated businesses within KELLER CROSSING and is anchored by a 20-foot-high tower with two steel backlit panels. Two 12-foot-high square stone pilasters are attached to a 10-foot-high limestone clad sign wall. The Commercial Tower Sign includes veneer accent walls and acrylic backlit sign panels, as shown on Figure 4-14, *Conceptual Commercial Tower Sign*. The trees, shrubs, and groundcovers planted in the background of the commercial tower sign are in accordance with the plants listed in Table 4-1, *Community Plant Palette*.

e. Neighborhood Entry Monumentation

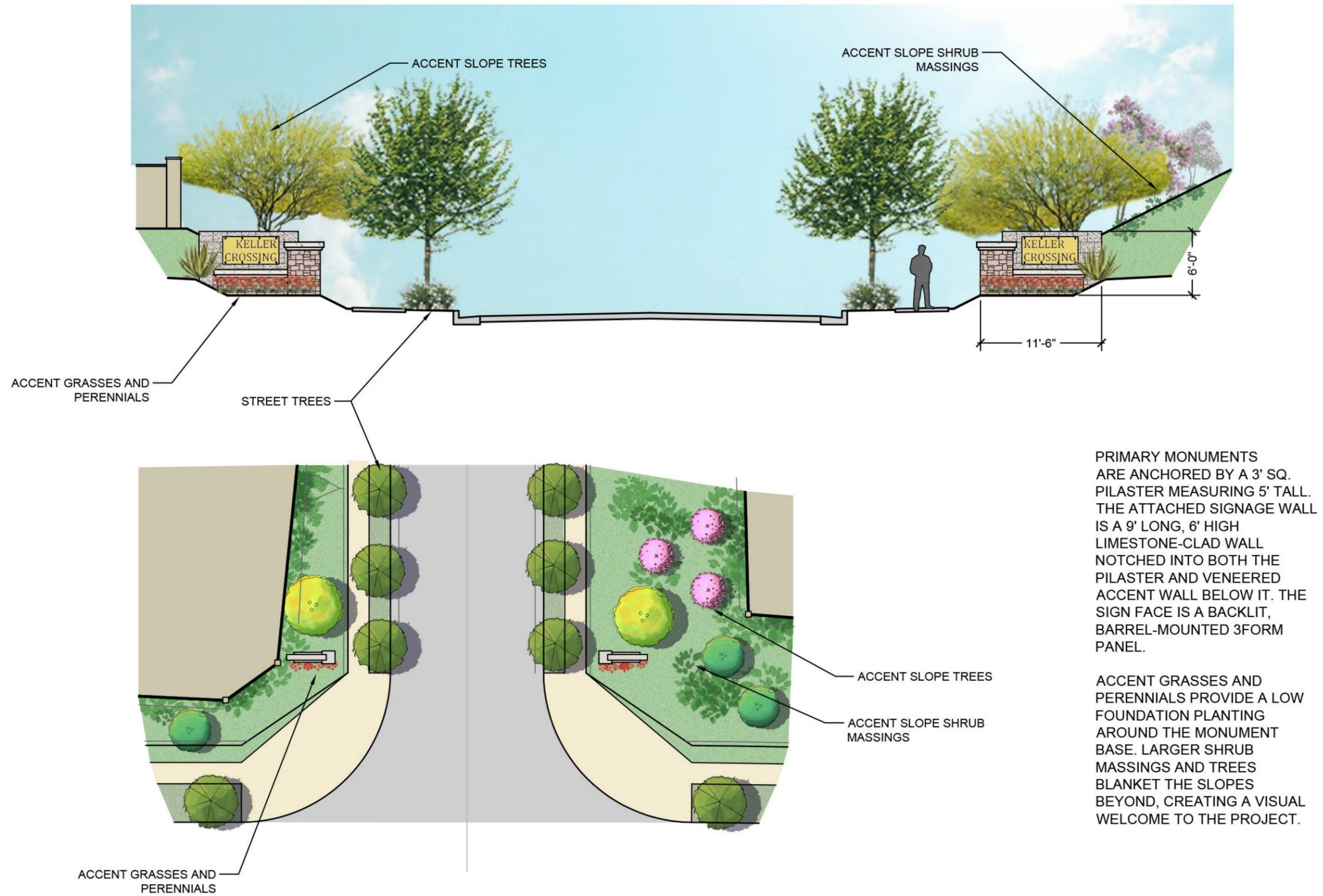
Neighborhood entry monumentation is provided within the KELLER CROSSING community to welcome residents to neighborhoods at the entry points of the Age-Qualified (55+) apartment homes within Planning Area 6. As shown on Figure 4-15, *Conceptual Neighborhood Entry Monumentation*, neighborhood entry monuments are anchored by a 5-foot-high square stone pilaster attached to a 6-foot-high limestone clad sign wall with a tubular steel fence. Neighborhood entry monuments include veneer accent walls and acrylic backlit sign panels. The trees, shrubs, and groundcovers planted in the background of the neighborhood entry monumentation are in accordance with the plants listed in Table 4-1, *Community Plant Palette*.



Source: BMLA (06-25-2021)

FIGURE 4-11

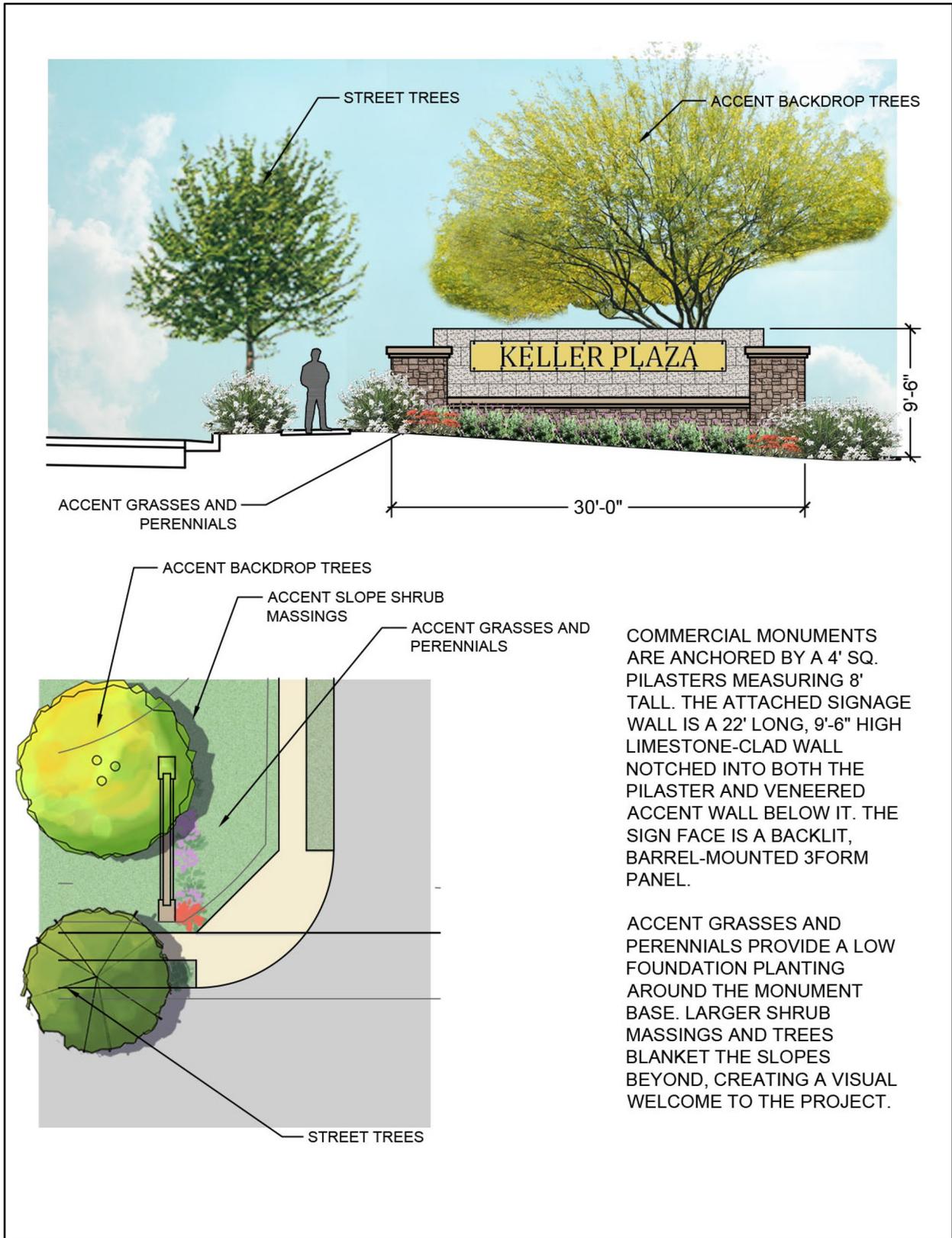




Source: BMLA (06-25-2021)

FIGURE 4-12

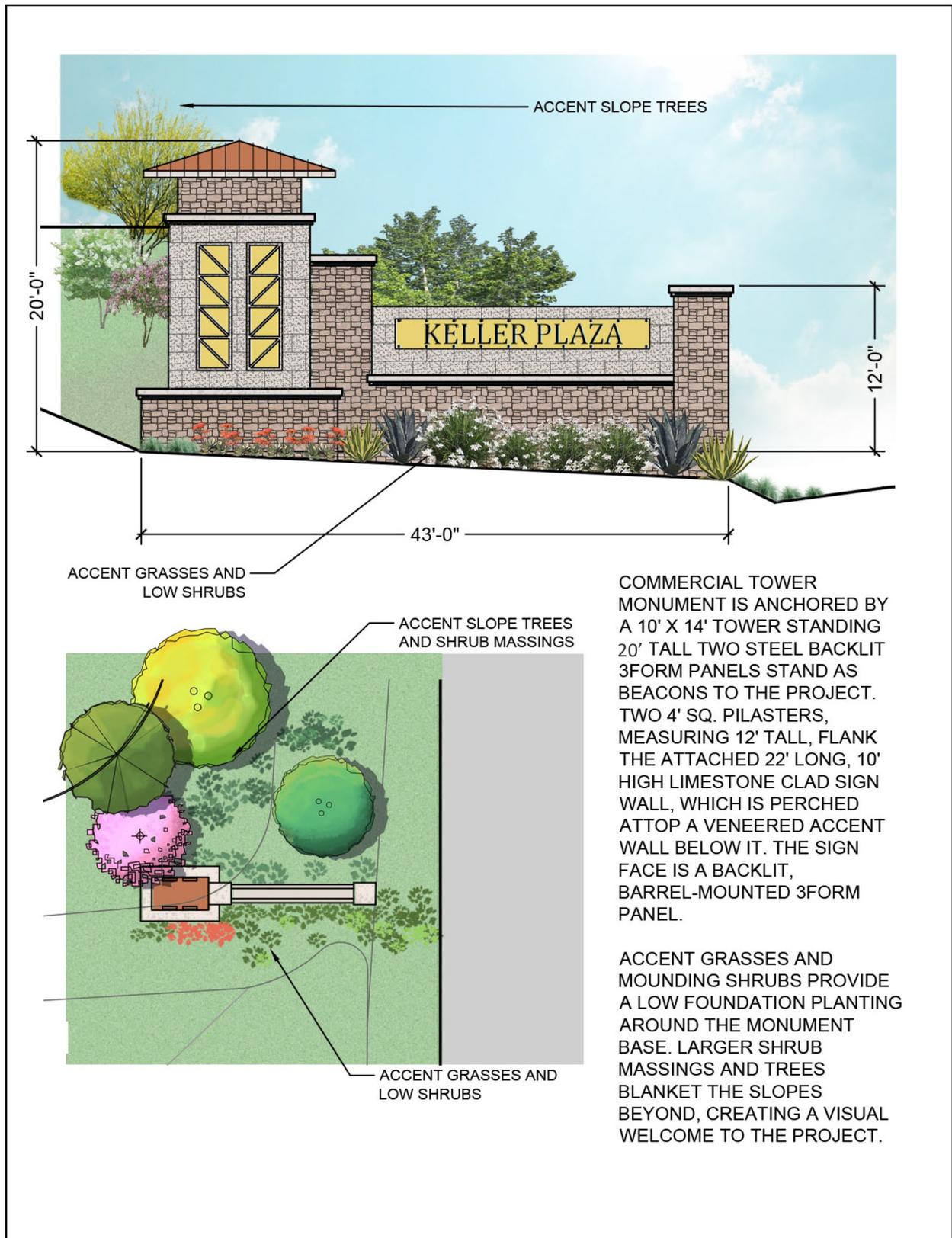




Source: BMLA (06-17-2021)

FIGURE 4-13

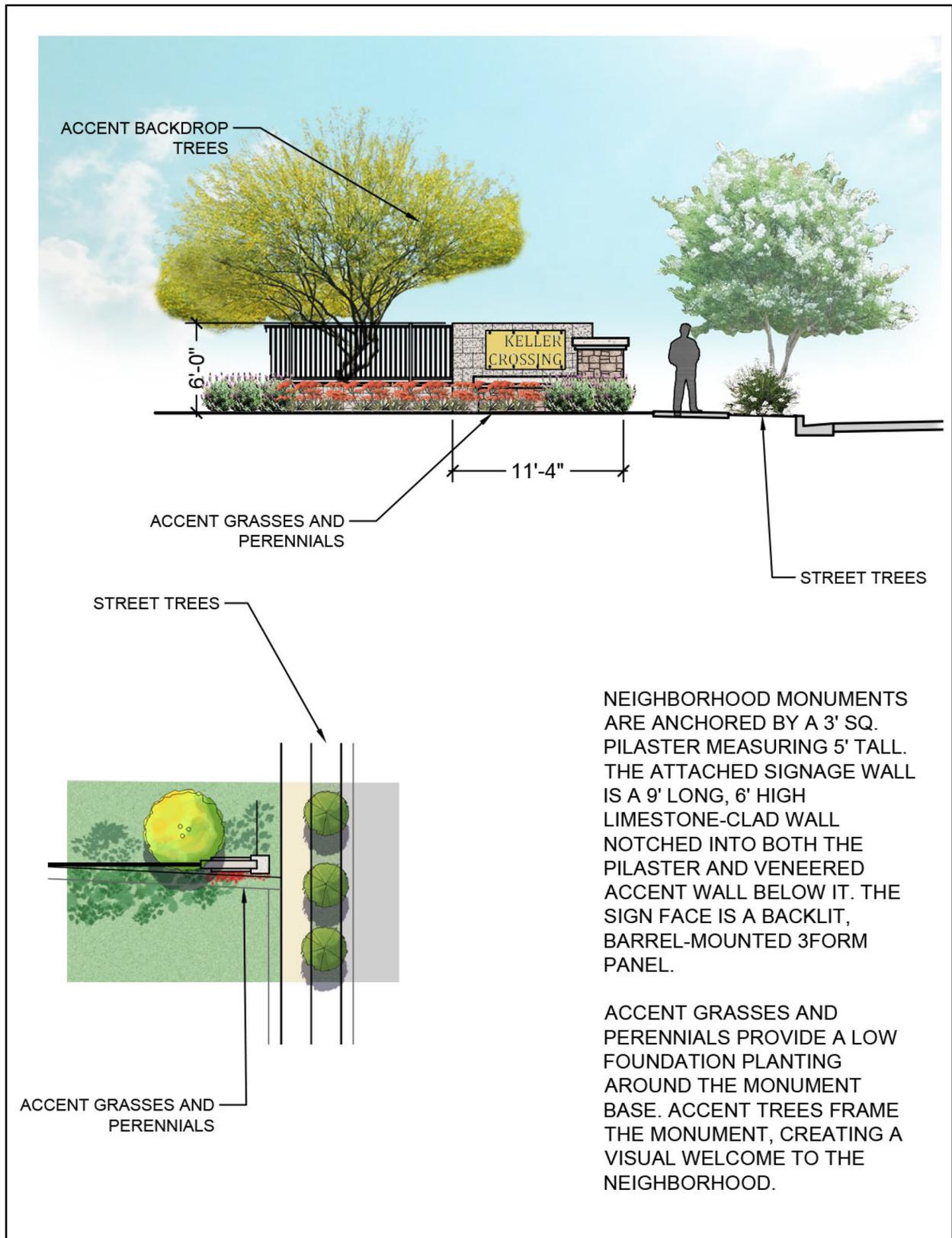




Source: BMLA (06-25-2021)

FIGURE 4-14





NEIGHBORHOOD MONUMENTS ARE ANCHORED BY A 3' SQ. PILASTER MEASURING 5' TALL. THE ATTACHED SIGNAGE WALL IS A 9' LONG, 6' HIGH LIMESTONE-CLAD WALL NOTCHED INTO BOTH THE PILASTER AND VENEERED ACCENT WALL BELOW IT. THE SIGN FACE IS A BACKLIT, BARREL-MOUNTED 3FORM PANEL.

ACCENT GRASSES AND PERENNIALS PROVIDE A LOW FOUNDATION PLANTING AROUND THE MONUMENT BASE. ACCENT TREES FRAME THE MONUMENT, CREATING A VISUAL WELCOME TO THE NEIGHBORHOOD.

Source: BMLA (06-25-2021)

FIGURE 4-15



NEIGHBORHOOD ENTRY MONUMENTATION

3. STREETSAPES

Roadway streetscapes within KELLER CROSSING are critical in establishing the circulation hierarchy, creating a sense of place through consistent landscape architecture, and maintaining a high-quality community theme. Landscaping consists of drought-tolerant plants, colorful shrubs, and street trees in accordance with Table 4-1, *Community Plant Palette*. The streets are visually reinforced by each roadway's parkway landscaping and street tree selection. Landscape treatments used to enhance the roadways include elements such as sidewalks, groundcovers, and parkway trees. The landscaping plant palette for streetscapes links the roadways to the rest of the community by providing continuity throughout the entire community using the Community Plant Palette. Streetscapes throughout the community are planted with a combination of street trees, shrubs, and large masses of groundcovers. In addition, streetscapes serve functional purposes, including screening undesirable views from public view.

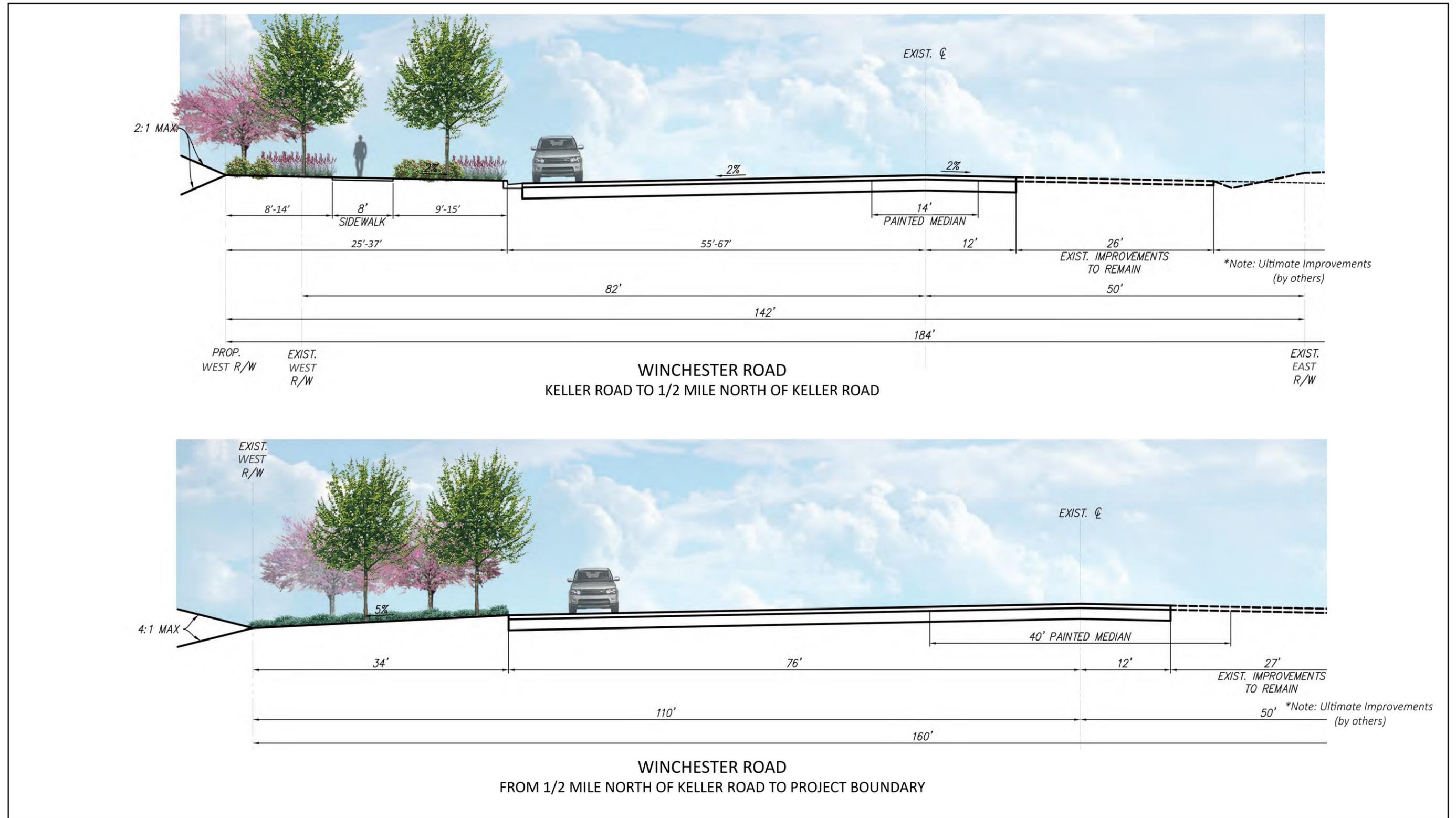
In all instances, a line-of-sight for entering/exiting vehicles shall be maintained at street intersections within the community.

a. Winchester Road/Highway 79 Streetscape (184'-220' R.O.W.)

Winchester Road is a Modified Expressway and provides regional access into the KELLER CROSSING community from Interstate 15. The ultimate half width improvements to Winchester Road are illustrated on Figure 4-16, *Winchester Road/Highway 79 Streetscape*. The KELLER CROSSING Specific Plan is responsible for the 92-foot-wide half-width section from Keller Road to a ½ mile north of Keller Road, including a 15-foot curb-adjacent landscaped parkway, and 8-foot sidewalk, and a 14-foot landscaped parkway at the edge of the right-of-way. The Specific Plan is also responsible for the 110-foot-wide half-width section from a ½ mile north of Keller Road to the northern project boundary, including 34 feet of landscaped parkway. Other partial improvements to Winchester Road are described in Chapter 2.B., *Roadway Master Plan*. The landscaped parkway is planted with evergreen median trees, medium flower shrubs, and ornamental grasses, in accordance with Table 4-1, *Community Plant Palette*.

b. Keller Road Streetscape (100' R.O.W.)

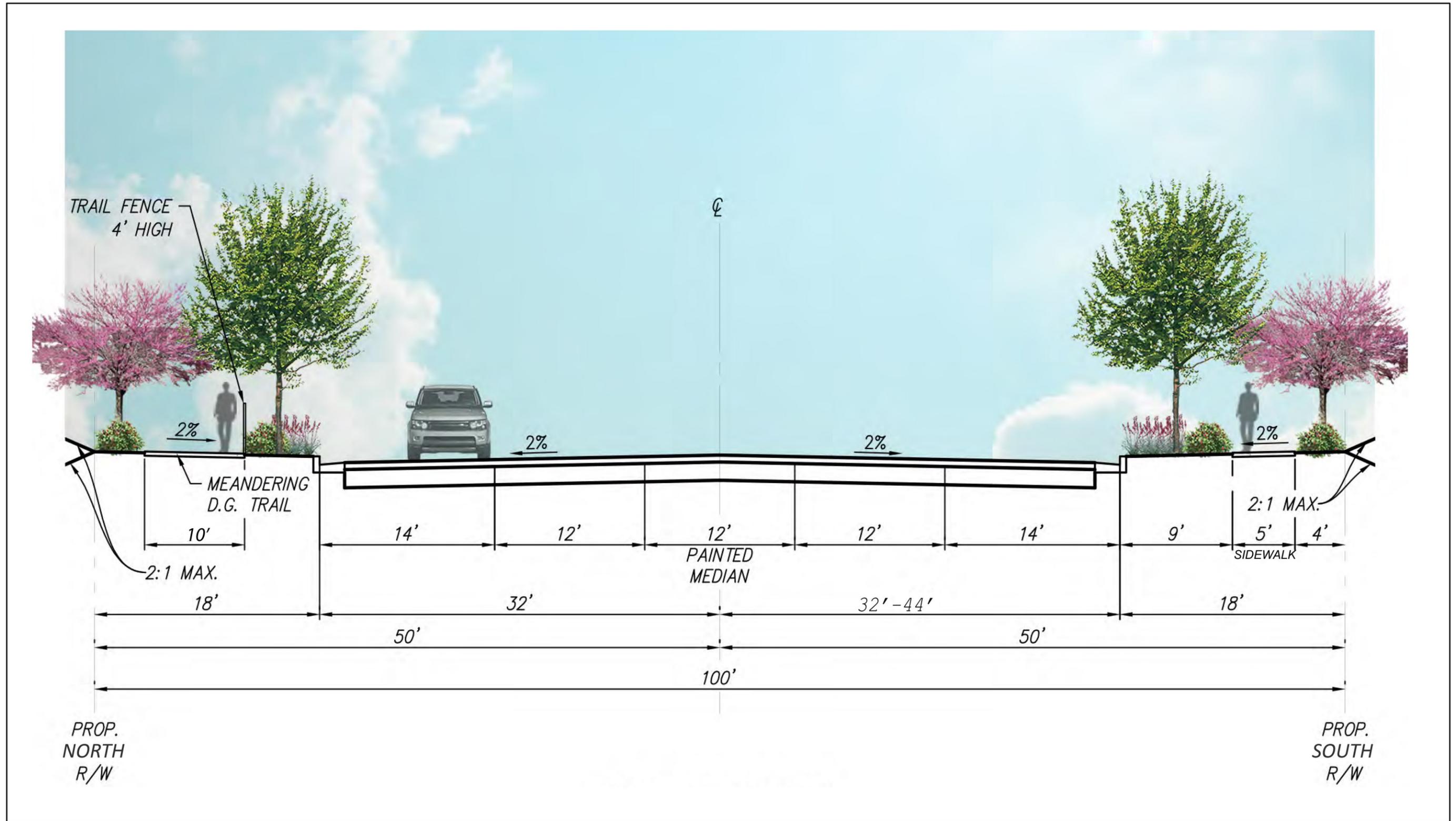
Keller Road is a realigned modified Secondary Highway and provides access to the KELLER CROSSING community from Winchester Road and Leon Road. The KELLER CROSSING Specific Plan is responsible for the full-width improvements to Keller Road as described in Chapter 2.B., *Circulation Plan*, and as illustrated on Figure 4-17, *Keller Road Streetscape*. The ultimate right-of-way width for Keller Road is 100 to 112 feet, and includes a 9-foot-wide curb-adjacent landscaped parkway on the southerly right-of-way, a 5-foot-wide sidewalk on the southerly right-of-way, a 4-foot-wide landscaped parkway at the edge of the right-of-way, and a 10-foot-wide meandering decomposed granite (DG) trail on the northerly right-of-way. The landscaped parkway is planted with evergreen median trees, medium flower shrubs, and ornamental grasses, in accordance with Table 4-1, *Community Plant Palette*.



Source: BMLA (10-04-2021)

FIGURE 4-16





Source: BMLA (10-04-2021)

FIGURE 4-17



c. Street “B” Streetscape (74’ R.O.W.)

Street “B” serves as the primary entry into the KELLER CROSSING community. As shown on Figure 4-18, *Street “B” Streetscape*, the ultimate right-of-way width for Street “B” is 74 feet and includes a 7-foot-wide curb-adjacent landscaped parkway, a 5-foot-wide sidewalk, and a 3-foot landscaped parkway at the edge of the right-of-way on both sides of the street. Street “B” is landscaped with street trees and drought tolerant shrub planting, in accordance with Table 4-1, *Community Plant Palette*.

d. Street “D” and Street “E” Streetscape – (66’ R.O.W.)

Street “D” and Street “E” provide connectivity between the Public Park (Planning Area 8) and the Commercial area (Planning Area 7). As illustrated on Figure 4-19, *Street D and Street E – Enhanced Local Streetscape*, the ultimate right-of-way width for Streets “D” and “E” is 66 feet, and includes an 11-foot sidewalk surrounding the park, and a 6-foot curb adjacent landscaped parkway and standard 5-foot-wide sidewalk adjacent to the commercial side of the street. Streets “D” and “E” are landscaped with street trees and drought tolerant shrub planting, in accordance with Table 4-1, *Community Plant Palette*.

e. Street “F” and Street “G” Streetscape – (59’ R.O.W.)

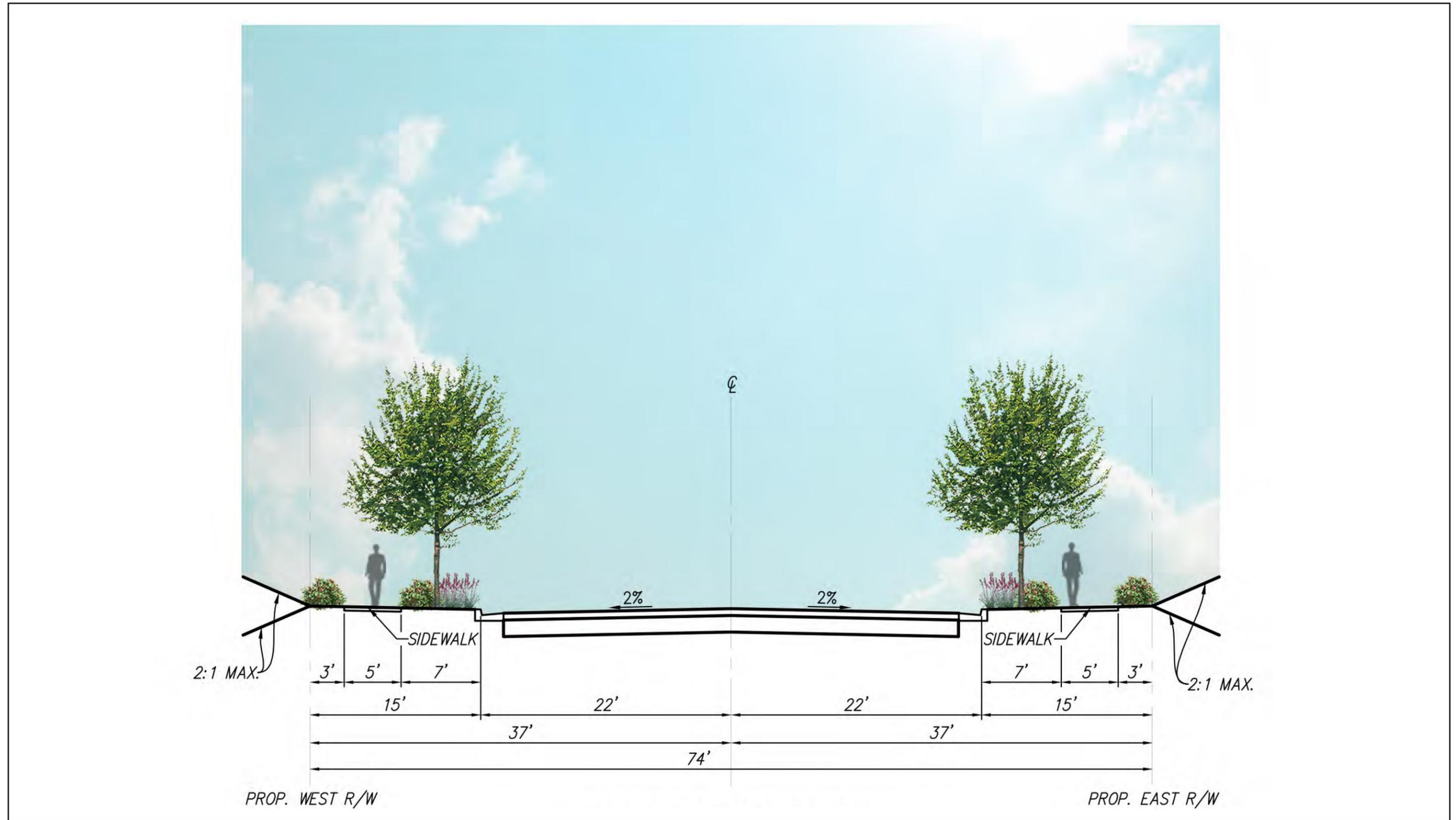
Street “F” and Street “G” provide connectivity between the Public Park (Planning Area 8) and residential Planning Areas 5 and 6. As illustrated on Figure 4-20A, *Street F and Street G – Modified Local Streetscape*, the ultimate right-of-way width for Streets “F” and “G” is 59 feet, and includes an 11-foot sidewalk surrounding the park, and a standard 5-foot curb adjacent sidewalk and 3-foot-wide landscape parkway adjacent to the residential side of the street. Streets “F” and “G” are landscaped with street trees and drought tolerant shrub planting, in accordance with Table 4-1, *Community Plant Palette*.

f. Street “A”, Street “C”, and Local Street Streetscape – (56’ R.O.W.)

Street “A”, Street “C”, and local streets provide access to individual neighborhoods and other uses within the KELLER CROSSING community. The right-of-way width for Street “A”, Street “C”, and local streets is 56 feet, and includes a 5-foot-wide curb adjacent sidewalk and a 3-foot-wide landscaped parkway on both sides of the street. As shown on Figure 4-20B, *Street A, Street C, and Local Street Streetscape*, streets are landscaped with street trees and drought tolerant shrub planting, in accordance with Table 4-1, *Community Plant Palette*.

g. Roundabout Streetscape

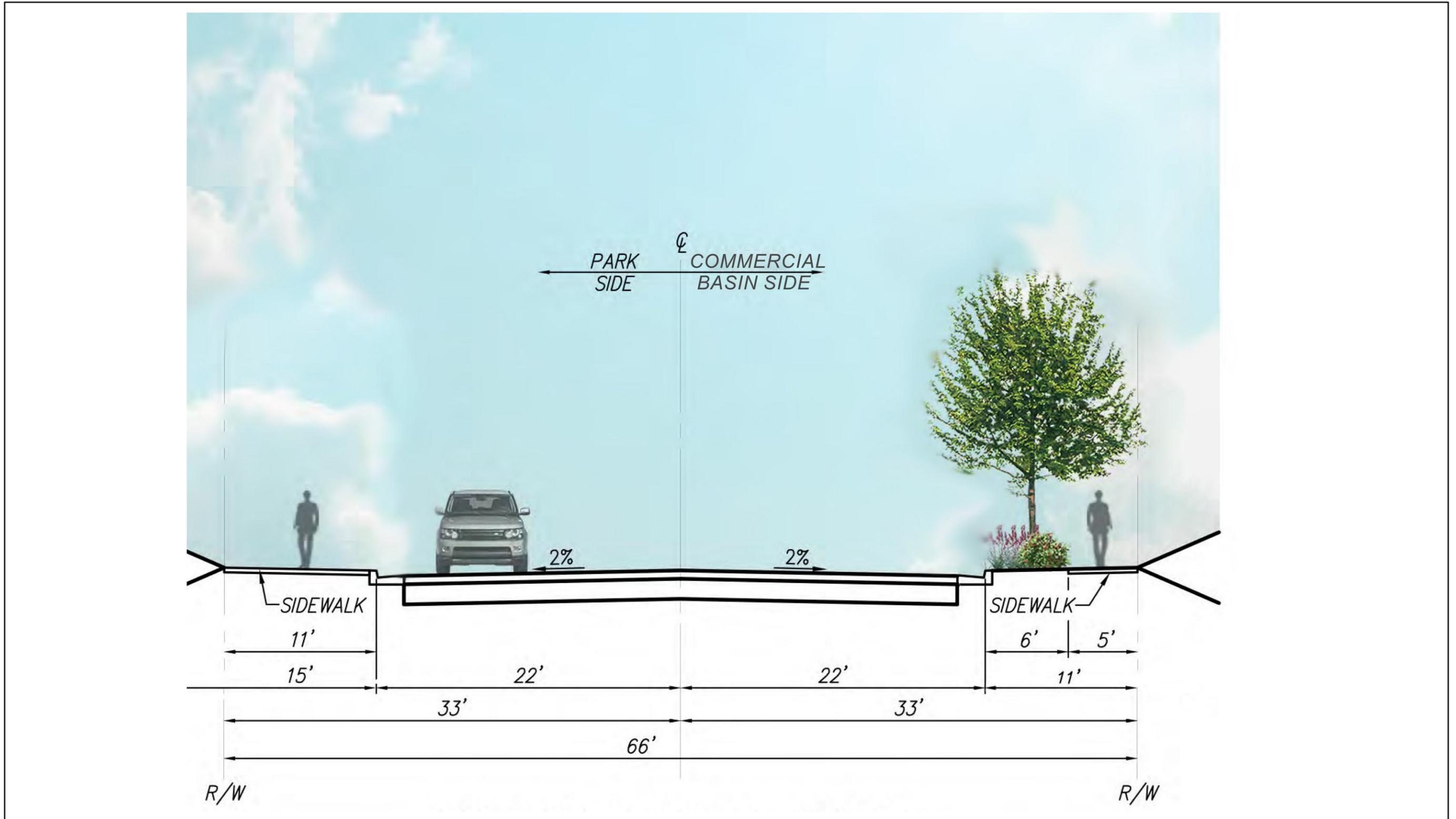
The roundabout serves as a traffic-calming measure for residential neighborhoods along Street “C” and the park adjacent to Street “D”. The ultimate full width improvements to the roundabout are illustrated on Figure 4-21, *Roundabout Streetscape*, and includes a 34-foot landscaped island and 11-foot to 18-foot sidewalks along the edge of the right-of-way; however, a traditional intersection may be utilized in lieu of a roundabout. The landscaped island and parkway are planted with evergreen median trees, medium flower shrubs, and ornamental grasses, in accordance with Table 4-1, *Community Plant Palette*.



Source: BMLA (10-04-2021)

FIGURE 4-18

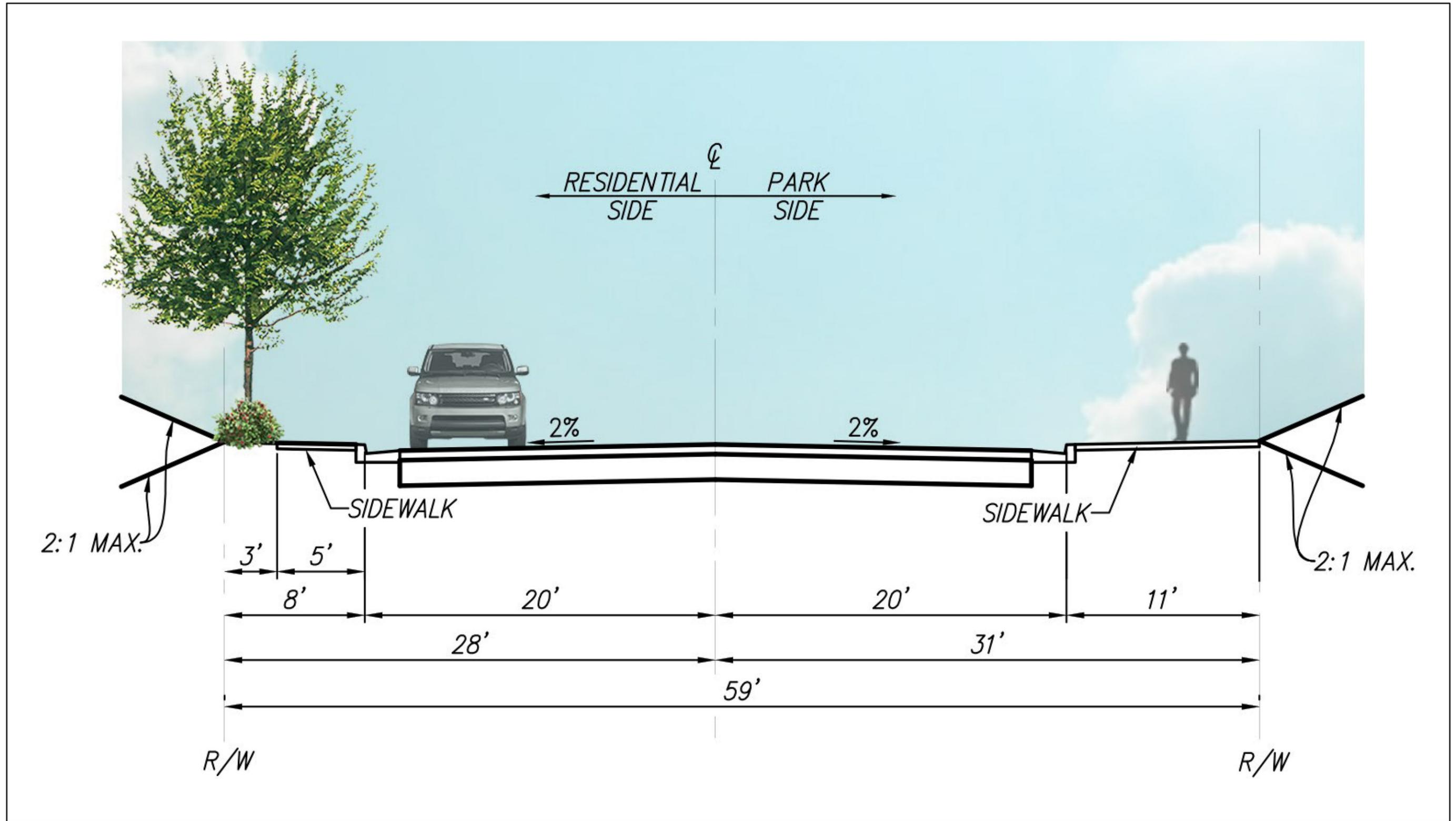




Source: BMLA (10-04-2021)

FIGURE 4-19

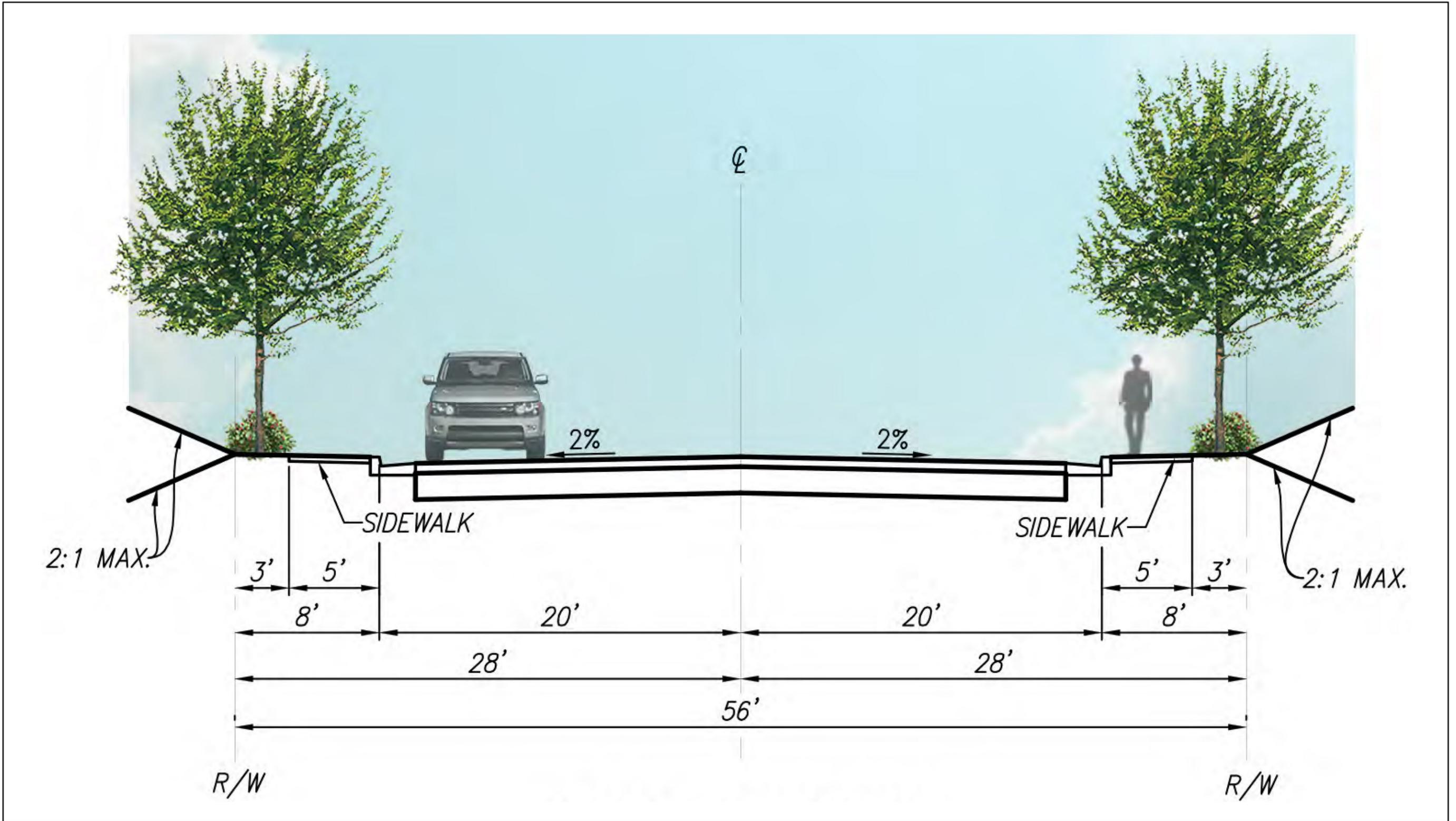




Source: BLMA (04-04-2022)

FIGURE 4-20A

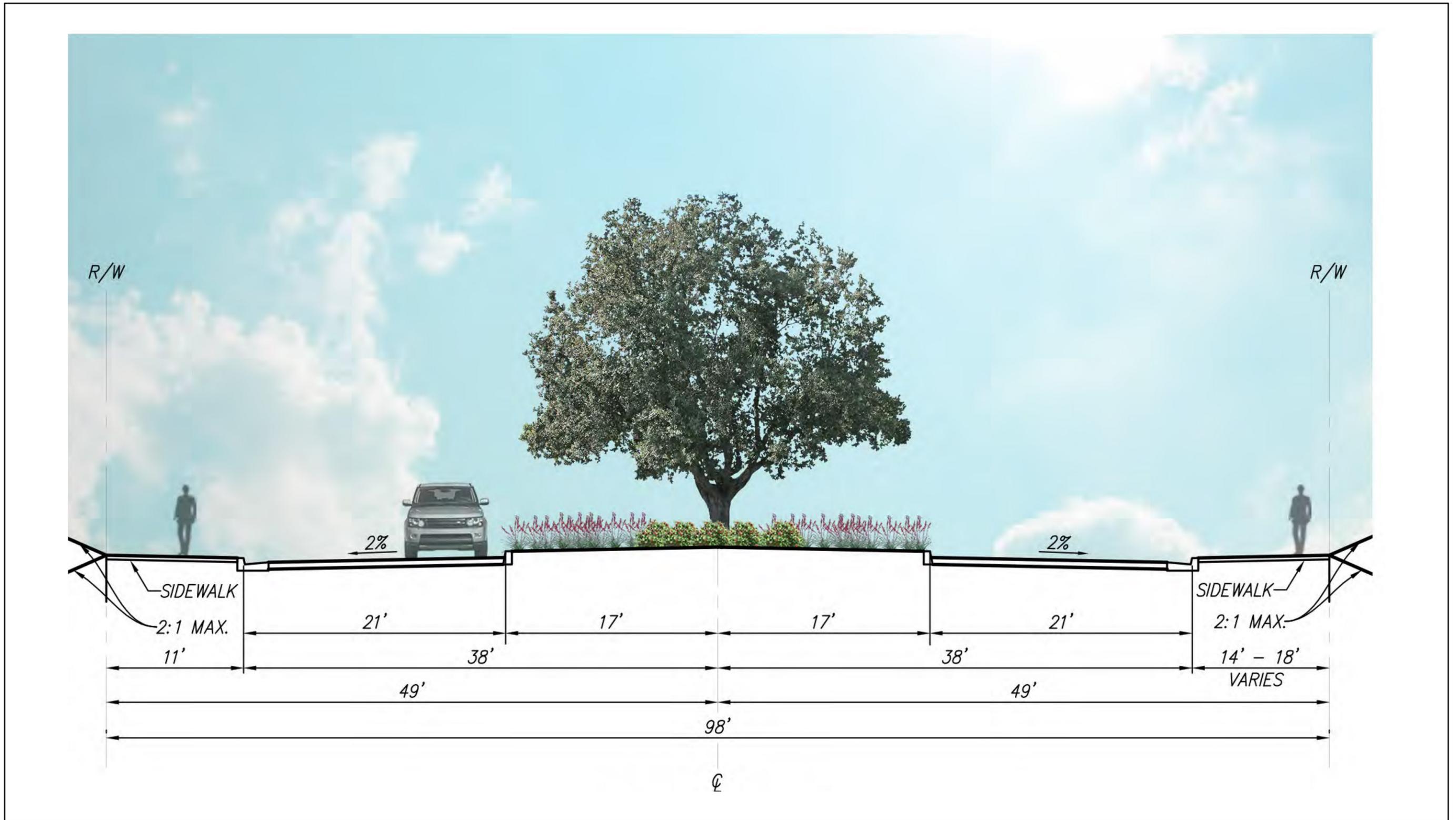




Source: BMLA (10-04-2021)

FIGURE 4-20B





Source: BMLA (10-04-2021)

FIGURE 4-21



4. RECREATIONAL AMENITIES

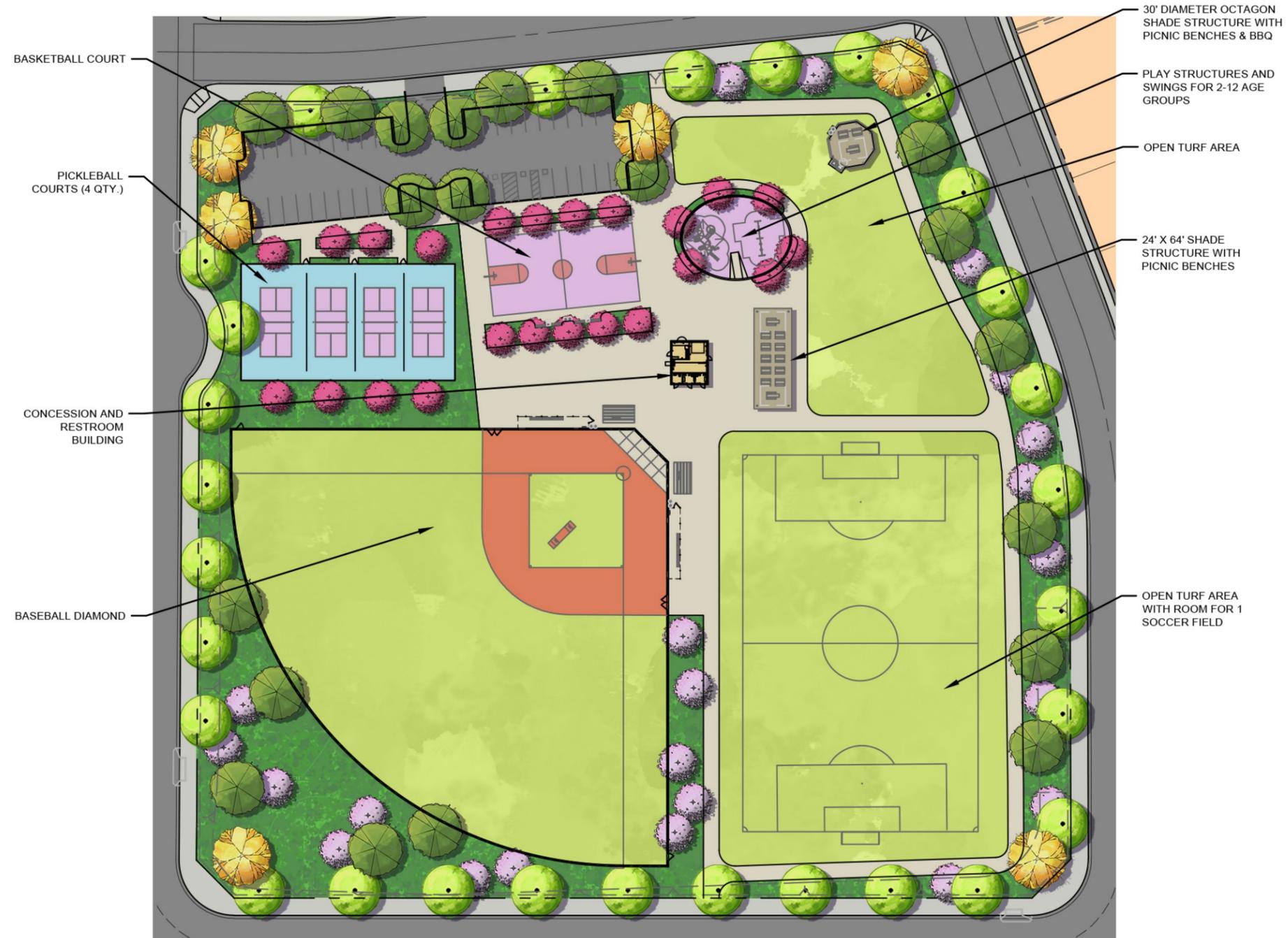
Critical to the image of the KELLER CROSSING community is the quality of the public spaces and their integration into the neighborhood fabric. Recreational and open space amenities increase opportunities for KELLER CROSSING residents to enhance their quality of life through outdoor activities. KELLER CROSSING features an 8-foot-wide recreational trail within Planning Area 9 and a 6.4-acre Public Park in Planning Area 8, which provide outdoor recreation and are fundamental to the appeal and success of the community. The pedestrian trails and sidewalks provided throughout the community connect the residential neighborhoods and commercial area to the park.

a. Public Park (Planning Area 8)

As shown on Figure 4-22, *Conceptual Park Plan*, a 6.4-acre Public Park located within Planning Area 8 provides KELLER CROSSING residents and others with recreational amenities that may include, but are not limited to, sports fields, basketball courts, playground area, gazebo, picnic benches, and paved trail. Other design features may include concrete light bollards, shade structures, a boulder retaining wall, park entry pilasters, and native meadow grasses. Landscaping and a 42-inch tall three rail fence may be provided along the northern boundary of the park to provide park users with safety and separation from other uses. While the Conceptual Park Plan depicts park programming/facilities, the final determination of park design and programming will occur during the implementation phase.

b. Recreational Trail (Planning Area 9) and Community Trail System

As shown on Figure 2-5, *Conceptual Open Space and Recreation Plan*, Planning Area 9 is designated Open Space-Recreation and provides an 8-foot-wide recreational decomposed granite (DG) trail that connects to a pedestrian-oriented and non-vehicular network throughout the community. A pedestrian trail can also be found along a 10-foot meandering DG trail on Keller Road. The KELLER CROSSING trails connect to a comprehensive sidewalk system, including 11-foot-wide sidewalks on Street “D”, “E”, “F”, and “G” (adjacent to the park), an 8-foot-wide sidewalk on Winchester Road, and 5-foot-wide sidewalks on Street “B”, Street “C”, and internal streets. Furthermore, the trail in Planning Area 9 provides access to the Riverside County General Plan “Community Trail” southwest of the KELLER CROSSING community.



Source: BMLA (04-04-2022)

FIGURE 4-22



5. WALLS AND FENCES

Walls and fences for the KELLER CROSSING community are predominantly located around the perimeter of each residential planning area where they interface with roads, parks, detention/water quality basins, other recreational areas, or off-site land uses, as illustrated on Figure 4-23, *Conceptual Wall and Fence Plan*. The walls and fencing within the KELLER CROSSING community are major visual elements and have been carefully designed to complement the overall theme. Where walls and fencing are necessary, they shall be designed to create a sense of community space, increase privacy, and security, provide noise attenuation, fire protection, and act as a buffer between neighborhoods or different land uses.

Walls and fences shall be designed as an integral component and extension of the building design and surrounding landscape. Periphery walls can be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment. Interior fences may use vinyl (PVC) materials.

Walls and fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Variety in materials, design, and height is encouraged. The six (6) types of walls and fencing used within the KELLER CROSSING community are described below and conceptually depicted on Figure 4-24, *Wall and Fence Details*.

a. Community Combo Wall

Community Combo Walls are generally located around the perimeter of residential Planning Area 6 to provide apartment residents with privacy and security from adjacent uses. The Community Combo Wall consists of a maximum 2-foot-high base section of single sided split-face blocks with precision wall caps with a 4-foot tubular steel fence. Caps and should be earth-toned in order to complement the community's landscape theme and fences should be painted black or dark brown. 78-inch square split-face pilasters with precision caps are provided at lot lines or change of fence type. Community Combo Walls increase privacy and security, and screen neighborhoods from public roadways, the commercial area, basins, park, and off-site land uses.

b. Community Wall

Community Walls are generally located around the perimeters of residential Planning Areas to provide homes with privacy and security from roads. These Community Wall have a maximum height of six (6) feet and include single sided split-face blocks with precision wall caps. 78-inch square split-face pilasters with precision caps are provided at lot lines or change of fence type. Community Walls should be earth-toned in order to complement the community's landscape theme.

c. Neighborhood Combo Wall

Neighborhood Combo Walls are generally located in residential Planning Areas 3 and 5 to provide homes with security from the conservation habitat in Planning Area 10. The Neighborhood Combo Wall consists of a maximum 2-foot-high base section of single sided split-face blocks with precision wall caps and a 4-foot tubular steel fence. Caps and should be earth-toned in order to complement the community's

landscape theme and fences should be painted black or dark brown. 78-inch square split-face pilasters with precision caps are provided at lot lines or change of fence type. Neighborhood Combo Walls increase privacy and security, and discourage human and pet intrusion into the protected hillsides.

d. Neighborhood Wall

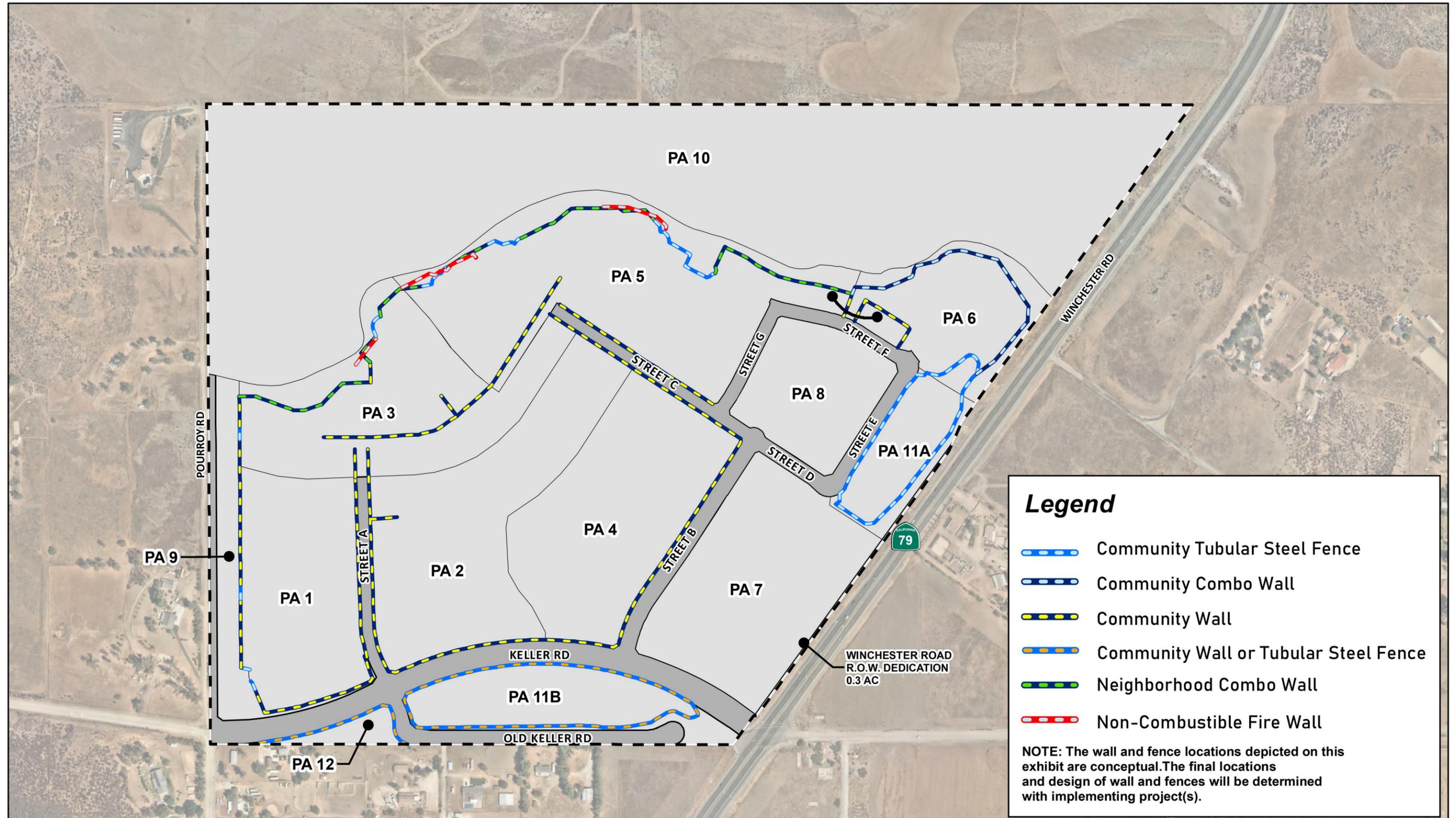
Neighborhood Walls are generally located in residential Planning Areas 2, 4, and 5 to provide homes with privacy and security from roads. Neighborhood Walls have a maximum height of six (6) feet and include single sided split-face blocks with precision wall caps. 78-inch square split-face pilasters with precision caps are provided at lot lines or change of fence type. Neighborhood Walls create a sense of community space, increase privacy and security, and screen neighborhoods from local roads.

e. Tubular Steel Fence

Tubular Steel Fences are generally located where residential and commercial uses abut open spaces areas in Planning Area 10 and the detention basins in Planning Areas 6, 11A, and 11B. Tubular Steel Fences have a maximum height of six (6) feet and include black tubular steel pickets with tubular steel posts.

f. Non-Combustible Wall

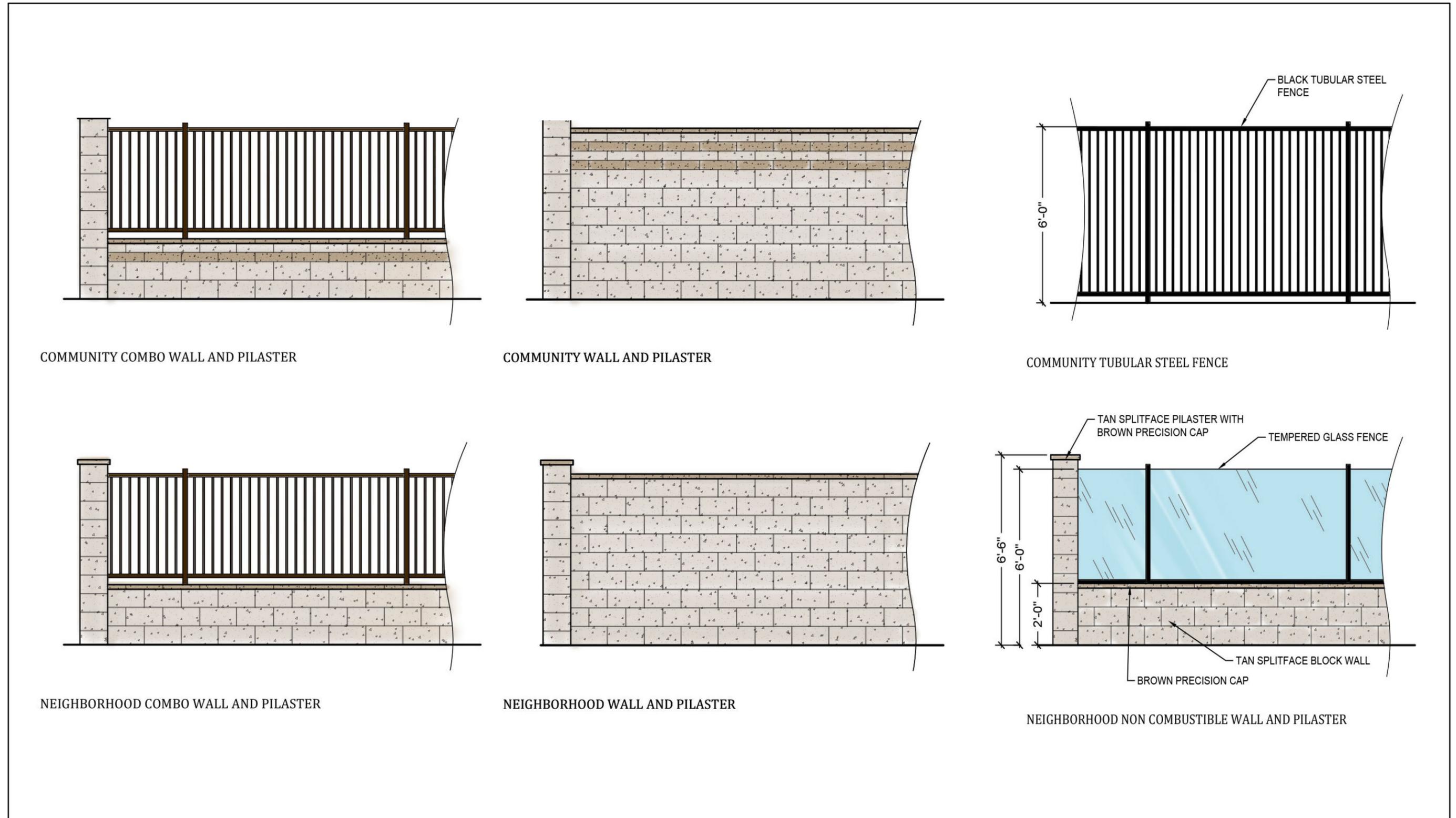
A six (6) foot solid non-combustible radiant heat wall are located on the northern lot boundaries of Planning Areas 3 and 5, to aid in radiant heat deflection and mitigate any reduced fuel treatment widths. The Non-Combustible Wall consists of a 2-foot-high base section of single sided split-face blocks with precision wall caps and 4-foot fire rated tempered glass. Post and glass frame assemblies shall be composed of metal such as steel, and 6063-T5 aluminum alloys or equivalent, which will not melt and allow the glass to fall out. 78-inch square split-face pilasters with precision caps are provided at lot lines or change of fence type.



Source: ESRI, RCTLMA (2022), Nearmap (2022), BMLS (04-2022)

FIGURE 4-23





Source(s): BMLA (06-17-2021) and BMLA (10-12-2021)

FIGURE 4-24



6. LANDSCAPE INTERFACES

KELLER CROSSING contains six (6) distinct landscape interfaces, or edge treatments, which demonstrate the relationship between abutting land uses. The general location of each of these landscape interfaces is depicted on Figure 4-10, *Conceptual Master Landscape Plan*. Each of these landscape interfaces are discussed in detail below.

a. Interface #1 – Single-Family Residential to Trail to Off-Site Residential

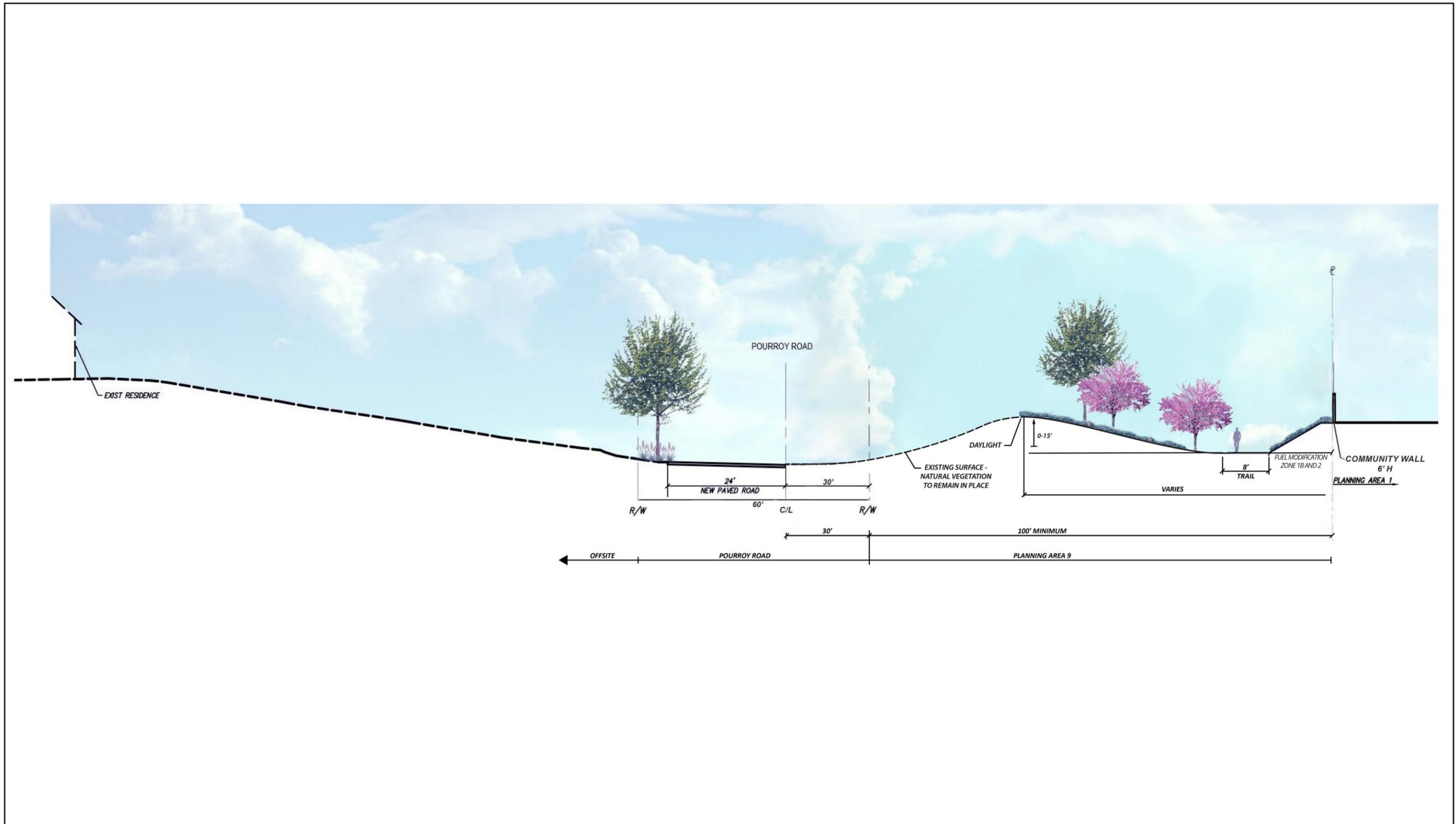
Figure 4-25, *Interface #1– Single-Family Residential to Trail to Off-Site Residential*, illustrates how the community design buffers the existing large lot off-site residential uses from the residential neighborhoods of KELLER CROSSING. This interface condition shows the relationship between residential Planning Area 1, Planning Area 9, and Pourroy Road and the established large lot residential neighborhood west of Pourroy Road, and immediately west of KELLER CROSSING. The community design provides for PA 9, designed as a minimum 100-foot-wide landscaped buffer, which includes a manufactured slope on the western portion of the buffer with natural vegetation remaining as is, a landscaped slope, within Fuel Modification Zones 1B and 2, on the eastern portion of the buffer provided at a 2:1 grade, an 8-foot decomposed granite (DG) recreation trail, and a 6-foot-tall Community Wall or Tabular Steel fence, all of which serve as a visual and physical buffer between the KELLER CROSSING community and the established large lot residential neighborhood west of Pourroy Road. A 24-foot portion of the westerly half of the Pourroy Road right-of-way will be paved to serve as a fire safety access road for the established large lot residential neighborhood west of Pourroy Road. Fuel Modification Zone standards are provided in Chapter 2.H., *Fuel Modification Plan*, of the Development Plan and in Section F.1. of this chapter.

b. Interface #2 – Single-Family Residential to Open Space-Conservation Habitat

Figure 4-26, *Interface #2 – SF Residential to Open Space-CH*, illustrates the condition where single-family homes in Planning Areas 3 and 5 are adjacent to the MSHCP-dedicated Conservation Habitat in Planning Area 10. In this condition, a manufactured slope within Fuel Modification Zones 1B and 2, extends with the existing surface from the MSHCP to a daylight point at a 5-foot-wide v-ditch drainage. The manufactured slope then continues downward at a maximum 2:1 slope (height varies), and terminates at a 5-foot v-ditch drainage channel abutting a 3-foot-tall Retaining Wall at the property line of homes in Planning Areas 3 and 5. As depicted on Figure 2-10, *Conceptual Fuel Modification Plan*, a 6-foot-tall non-combustible radiant heat wall is required for homes within residential Planning Areas 3 and 5 that do not meet the minimum 100-foot fuel treatment setback from the MSHCP-protected hillsides to limit any radiant fire that may start in Planning Area 10. Fuel Modification Zone standards are provided in Chapter 2.H., *Fuel Modification Plan*, of the Development Plan and in Section F.1. of this chapter.

c. Interface #3 – High Density Residential to Winchester Road/Highway 79

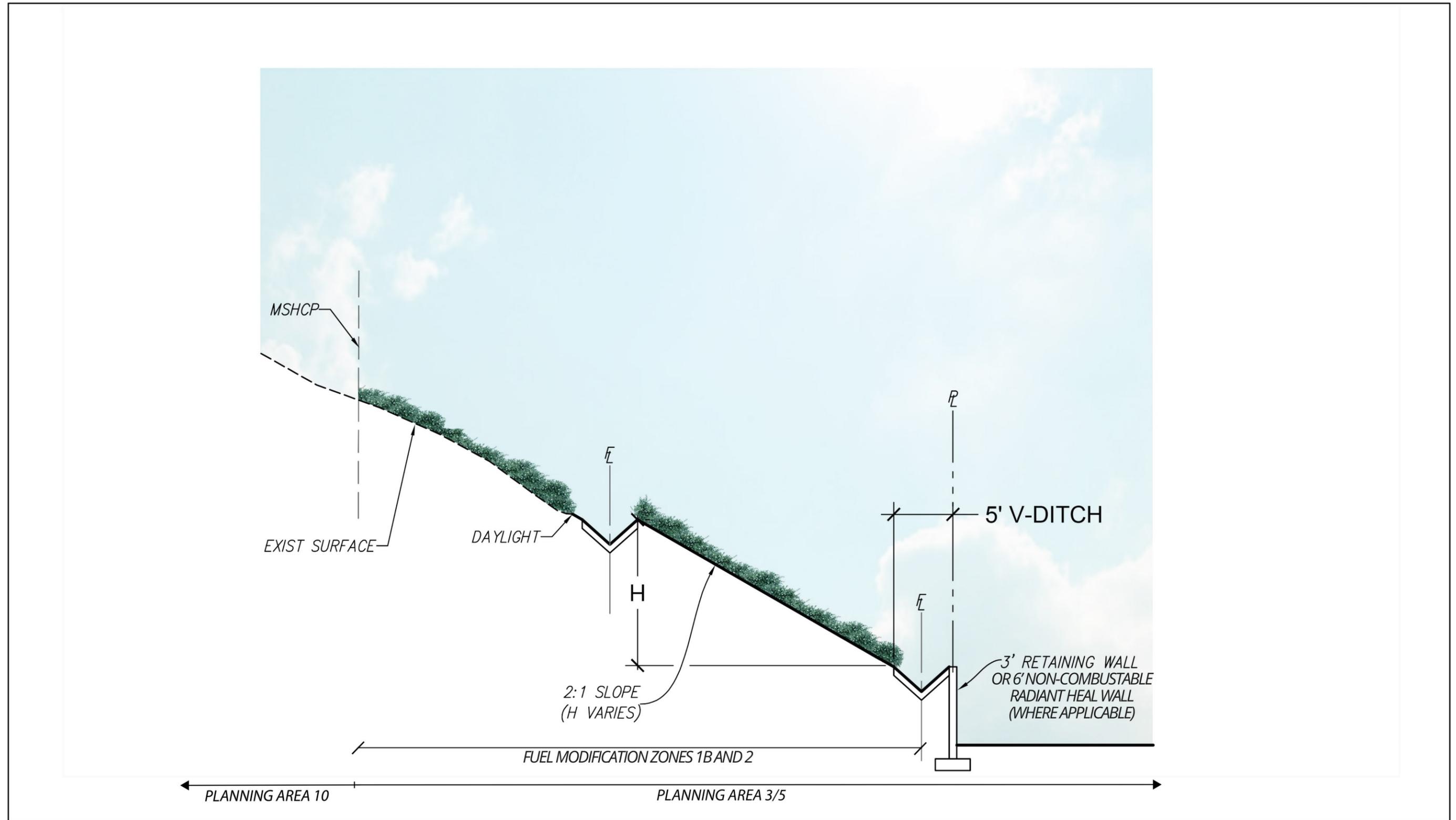
Figure 4-27, *Interface #3 – High Density Residential to Winchester Road/Highway 79*, illustrates the condition where the Age-Qualified (55+) apartment homes within Planning Area 6 abut landscaped manufactured slopes, adjacent to Winchester Road. In this condition, manufactured slopes and a 6-foot-tall Community Combo Wall along the perimeter of Planning Area 6 serves as a visual and physical buffer between the residential area and Winchester Road.



Source: BMLA (09-28-2021)

FIGURE 4-25

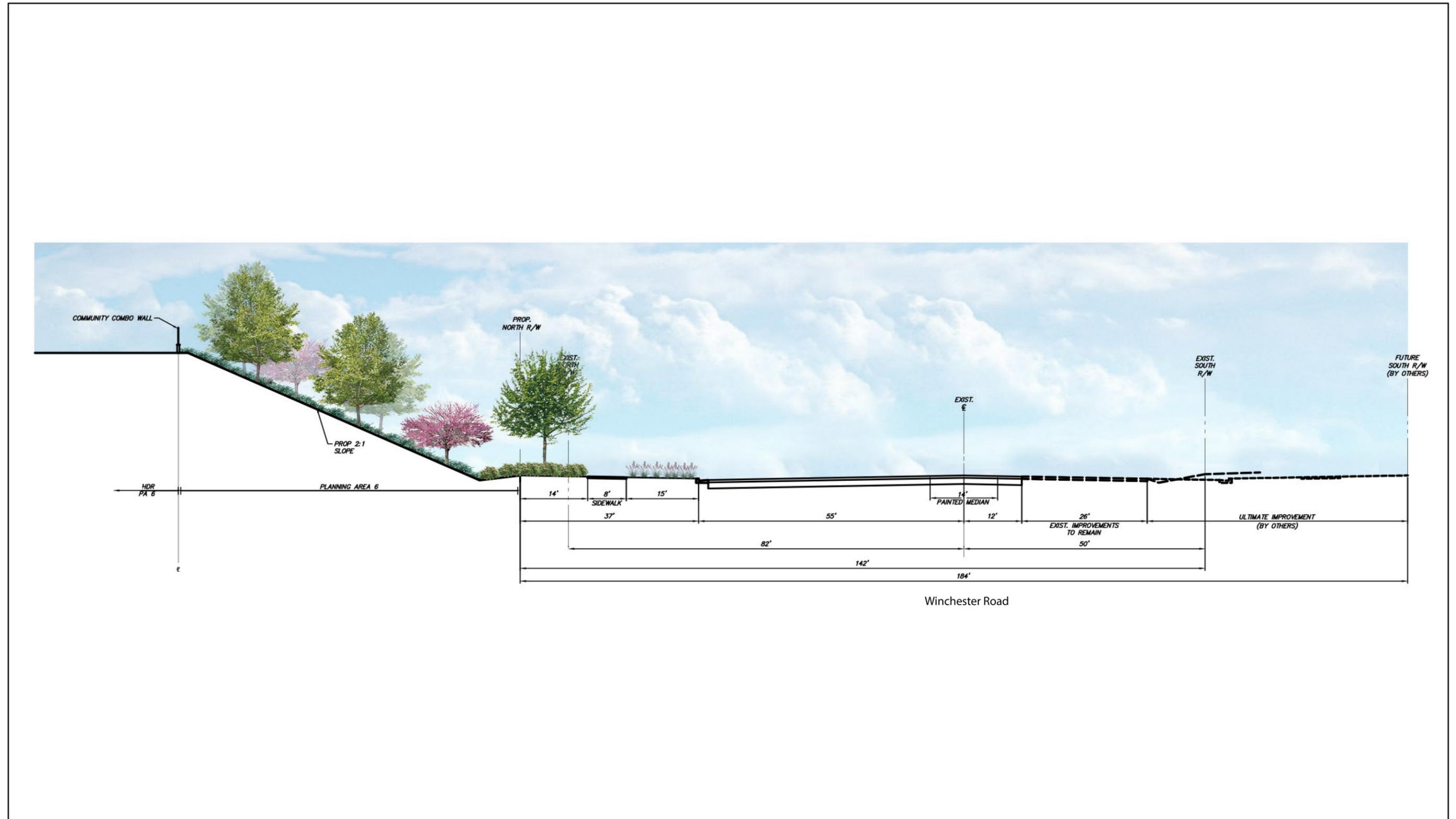




Source: BMLA (09-09-2022)

FIGURE 4-26





Source: BMLA (09-28-2021)

FIGURE 4-27

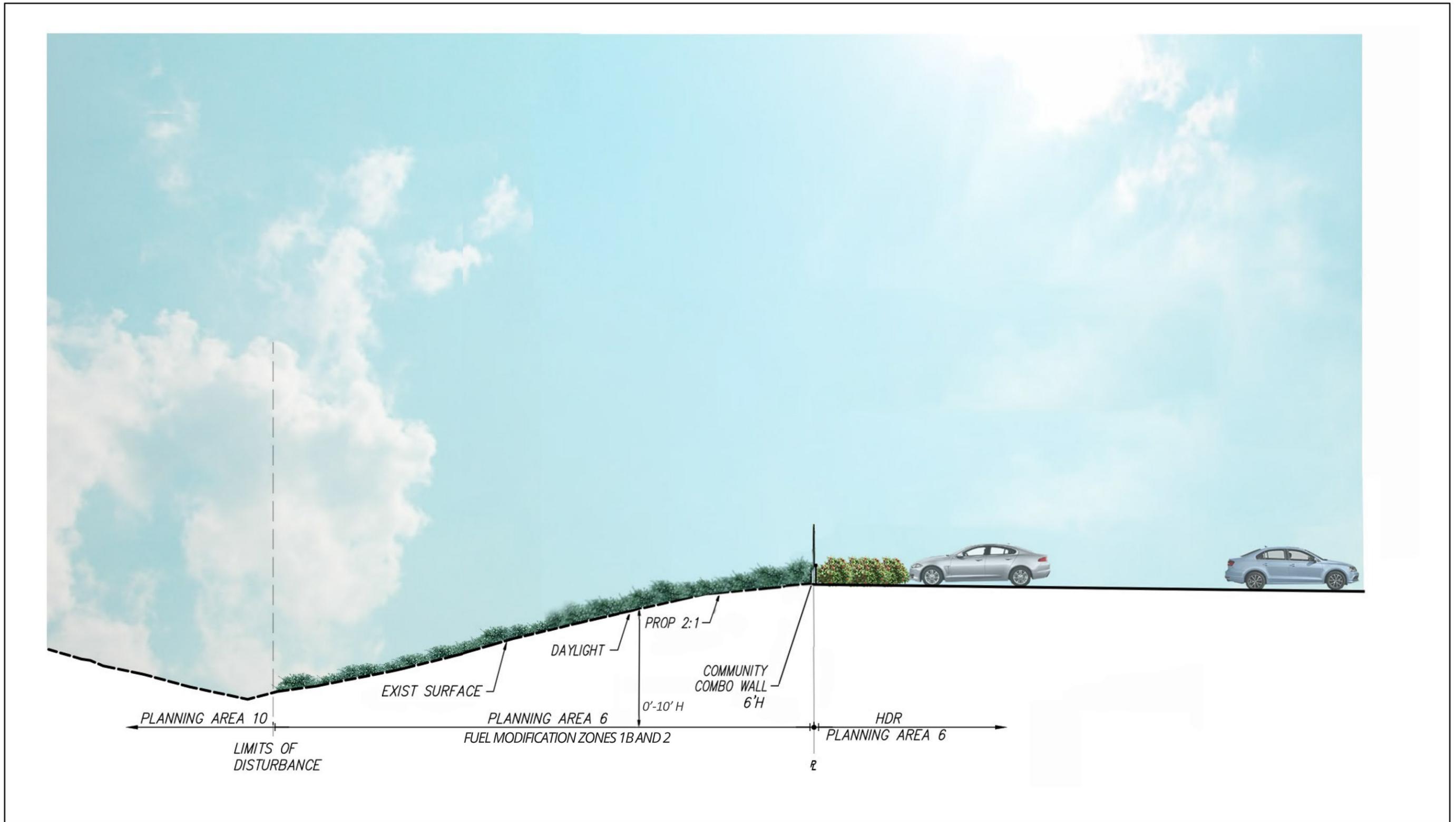


d. Interface #4 –High Density Residential to Open Space-Conservation Habitat

Figure 4-28, *Interface #4 – High Density Residential to Open Space-CH*, illustrates the interface condition where the Age-Qualified apartment (55+) homes within Planning Area 6 abut landscaped manufactured slopes, adjacent to the MSHCP-protected hillsides within Planning Area 10. In this condition, manufactured slopes and a 6-foot-tall Community Combo Wall serve as visual and physical buffers between the Age-Qualified (55+) apartment homes in Planning Area 6 and protected hillsides.

e. Interface #5 –WQMP Basin to Off-Site Properties

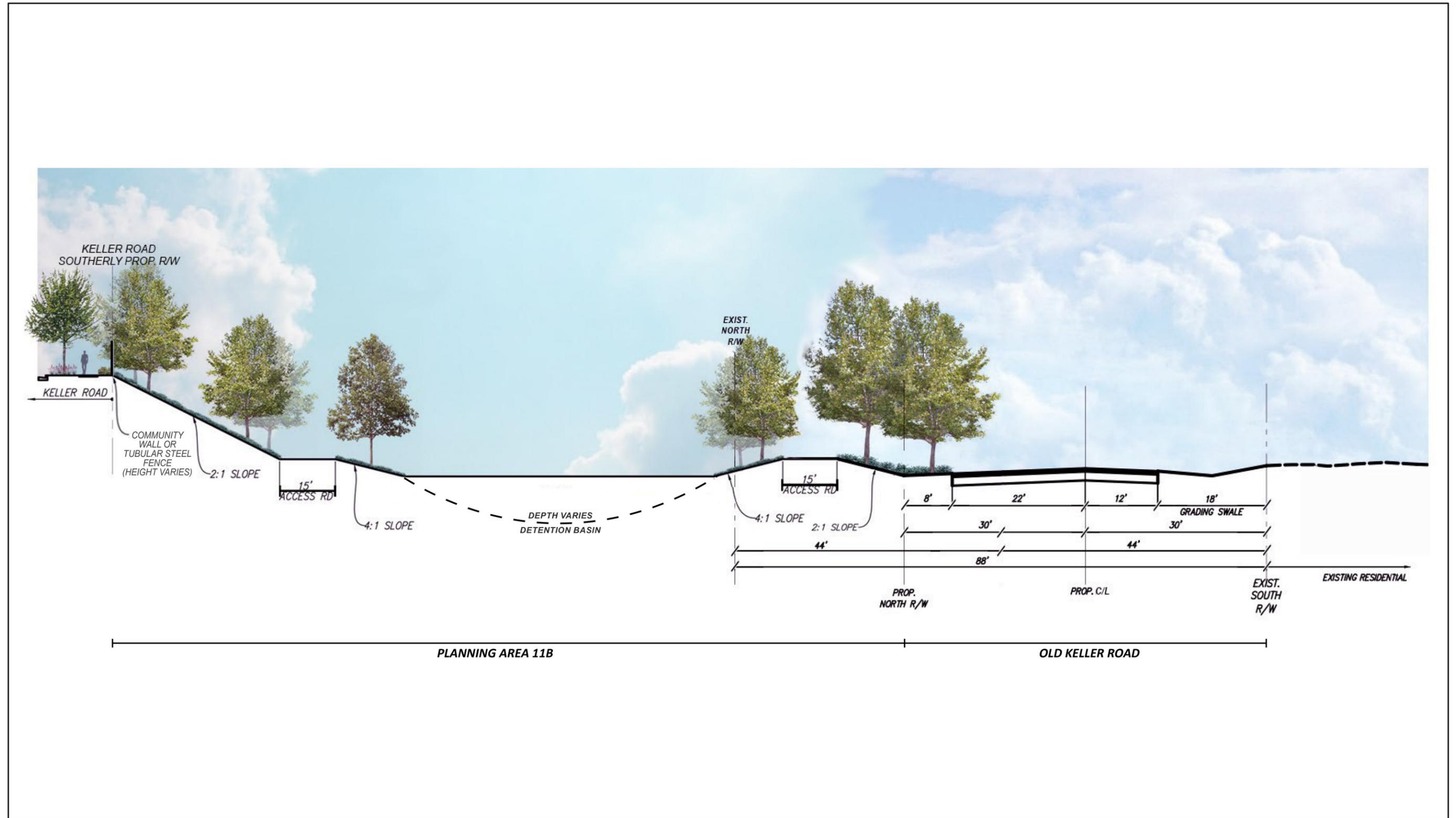
Figure 4-29, *Interface #5– WQMP Basin to Off-Site Properties*, illustrates the relationship between the new alignment of Keller Road, detention basin in Planning Area 11B, Old Keller Road, and the properties located to the south, which will continue to use Old Keller Road for access. A community block wall or tubular steel fence may be provided at the edge of the southerly ROW of Keller Road to provide privacy and noise attenuation for property owners south of the Specific Plan boundary. Planning Area 11B is located at southern edge of Keller Road and consists of a landscaped slope at a 2:1 grade, 15-foot-wide access road, landscaped slope at a 4:1 grade, and detention basin. A portion of the existing Old Keller Road right-of-way (28') will be vacated to provide a 15-foot-wide access road for the southern perimeter of the basin and manufactured slopes, which serve as a physical buffer between Planning Area 11B and adjacent homes south of the Specific Plan area. The remaining portion of Old Keller Road (60' ROW) will provide access for property owners south of the Specific Plan boundary.



Source: BMLA (09-28-2021)

FIGURE 4-28





Source: BMLA (09-28-2021)

FIGURE 4-29



CHAPTER 5 | IMPLEMENTATION PLAN

A. IMPLEMENTATION OF SPECIFIC PLAN NO. 380, AMENDMENT #1

Approval of the KELLER CROSSING Specific Plan 380 Amendment #1 (SP 380, A-1) indicates acceptance by the Riverside County Board of Supervisors of the general framework of development for the 196-acre property described therein. Part of that framework establishes explicit development standards that are reflected in the Zoning Ordinance adopted for the KELLER CROSSING Specific Plan Amendment. It is anticipated that this Specific Plan No. 380, Amendment #1 will be implemented through a series of entitlements, such as Parcel Maps, Tract Maps, Plot Plans, and Conditional Use Permits, which shall be reviewed and approved prior to development, and subject to CEQA review.

2. PARCEL AND TRACT MAPS

Parcel Maps and Tract Maps are employed to implement a Specific Plan by subdividing land into smaller parcels. A parcel map application generally includes the following items:

- a. Lot lines and dimensions of each parcel and/or lot.
- b. Street improvement cross-sections.
- c. Location, dimensions, and heights of existing and proposed structures in the development area.
- d. Preliminary grading plans, including all cut/fill slopes to scale with slope ratios and slope setbacks from structures and property lines, the elevations of all individual building pads, the elevations at the perimeter of the subdivision, conceptual drainage facilities, existing topography and the relationship to adjoining land and development, and any existing grading.
- e. Location, widths, and improvements of existing and proposed public utility easements, transmission lines, power and telephone poles, and underground utilities on or abutting the property.

Consideration of a Parcel and Tract Map is thus a discretionary action, and may be subject to CEQA review. The Riverside County Planning Department's Parcel Map and Tract Map application and check list includes a comprehensive list of required information for Parcel Maps and Tract Maps.

3. PLOT PLANS AND CONDITIONAL USE PERMITS

Plot Plans and Conditional Use Permits are key entitlement mechanisms for implementing development within portions of this Specific Plan. A Plot Plan implements uses "permitted by right" by the Specific Plan (SP) Zoning Ordinance, and provides a detailed description of how a subject parcel is to be developed. A Conditional Use Permit provides the County with the opportunity to consider particular uses that are not "permitted by right" by the Zoning Ordinance because the use requires a higher level of review of the design features and components to assure compatibility with the intent of the Specific Plan. Uses permitted subject to a Conditional Use Permit are listed within the SP Zoning Ordinance, and are reviewed by the County of Riverside to determine if the design and use is in conformance with the intent of the Specific Plan, the Specific Plan Zoning Ordinance, and other County Ordinances.

Consideration of a Plot Plan or Conditional Use Permit is a discretionary action, and are subject to CEQA review. The Plot Plan application and Conditional Use Permit application generally contains the following information:

- a. Location of each existing and proposed structure within the subject site and the use or uses to be contained therein.
- b. Location of all pedestrian walks, outdoor employee break areas, plazas, and recreation areas.
- c. Location and height of all walls, fences and screen planting, including a plan for the landscaping and surfacing of the project.
- d. Plans and elevations of typical structures that indicate architectural type and construction standards.

The Riverside County Planning Department's Plot Plan and Conditional Use Permit applications and check lists include comprehensive descriptions of required information for both of these entitlement actions.

B. MODIFICATIONS TO THE SPECIFIC PLAN AMENDMENT

It is anticipated that certain modifications to the Specific Plan project design and reflected in the text and exhibits, may be necessary during the life-cycle of the implementation activities needed to fully develop KELLER CROSSING, due to changes in market forces, architecture styles, building materials, alternative energy strategies, etc. All modifications to the Specific Plan shall occur in accordance with one of the applications described in this chapter, and its' associated procedures.

Modifications to the Specific Plan may occur through two distinct processes: "Substantial Conformances" and "Specific Plan Amendments". Proposed modifications for a Substantial Conformance must be found to be generally consistent with the goals and standards of the KELLER CROSSING Specific Plan. Specific Plan Amendments are not required to be generally consistent with the KELLER CROSSING Specific Plan. Modifications to the Specific Plan may be requested at any time pursuant to California Government Code §65453(a).

1. SUBSTANTIAL CONFORMANCE

A Substantial Conformance shall be processed in the event that the Riverside County Planning Department determines that the proposed modifications to the Specific Plan text, graphics, and/or project design do not change the character or intent of the project, and therefore do not require a Specific Plan Amendment. Substantial Conformances to the Specific Plan shall be processed in accordance with Section 2.11 (Determination of Project Conformance with Adopted Specific Plan), of the Riverside County Zoning Ordinance (Ordinance No. 348).

- a. Modifications to the Specific Plan text and graphics which do not substantially change the intent of the KELLER CROSSING Specific Plan.
- b. Roadway alignment and final roundabout locations when the changes are warranted within any Planning Area as part of the development of implementing project(s).

- c. The final number of units and/or development intensity (building square footage) may be increased or decreased provided that the Specific Plan total unit count or maximum density for the Planning Area designation is not exceeded.
- d. Expansions or reductions of the net acreage covered by a given Planning Area within the Specific Plan by no more than 15% of that stated within this Specific Plan, which does not result in the maximum density of the Planning Area's Land Use Designation being exceeded.
- e. Modification of design criteria such as paving treatments, architectural details, landscape treatments, fencing, lighting, and entry treatments.
- f. Implementation of landscape treatments, which are in addition to the landscape treatments identified in the Specific Plan.
- g. Final infrastructure facility sizing and precise location of water, recycled water, sewer, and drainage improvements which are approved by the County of Riverside, Eastern Municipal Water District (EMWD), or Riverside County Flood Control and Water Conservation District (RCFC&WCD).
- h. Modifications to public or private roadway right-of-way design, when such modifications are approved by the Riverside County Transportation Department.
- i. Modifications to landscape, wall material, wall alignment, and streetscape which are determined by the Planning Department to be consistent with the Design Guidelines contained in this Specific Plan.
- j. Modifications, deletions, and additions to the list of permitted and conditional uses.
- k. Modifications to Architectural Design Guidelines, such as variation of materials within the particular architectural style and variations in colors.
- l. Modifications to architecture, plotting, and building size that have been previously reviewed and approved through the design review process.
- m. Modification to the Master Sign Program.
- n. Modification to wall heights.
- o. Changes to the Phasing Plan, provided infrastructure is available to serve the phase as determined by the Riverside County Planning Department.
- p. Grading of manufactured slopes in Open Space-Manufactured Slopes Planning Areas.
- q. Modifications of a similar nature to those listed above, which are deemed minor by the Director of the Riverside County Planning Department, because they are consistent with the Goals and intent of this Specific Plan and in conformance with the Riverside County General Plan.

2. SPECIFIC PLAN AMENDMENTS

All Specific Plan modifications which do not meet the criteria of a Substantial Conformance as defined in Chapter 5.B.1 of this Specific Plan or as may be determined by the Director of the Riverside County Planning Department, shall be deemed to require a Specific Plan Amendment. This Amendment #1 to Specific Plan No. 380 was prepared pursuant to California Government Code §65450, *et. seq.* Subsequent Amendments to the Specific Plan shall be processed in accordance with the applicable requirements of the law, which include California Government Code §65450, *et. seq.* and Chapter XVIIa, Section 17.25 (SP Zone - Specific Plan) of the Riverside County Zoning Ordinance (Ordinance No. 348). Depending on the

nature of the proposed Specific Plan Amendment, a supplemental analysis may be required, pursuant to the California Environmental Quality Act (CEQA) §15162.

C. CONCEPTUAL PHASING PLAN

The KELLER CROSSING Specific Plan Amendment is designed for development in response to market demands and according to the logical and orderly extension of roadways, public utilities, and infrastructure.

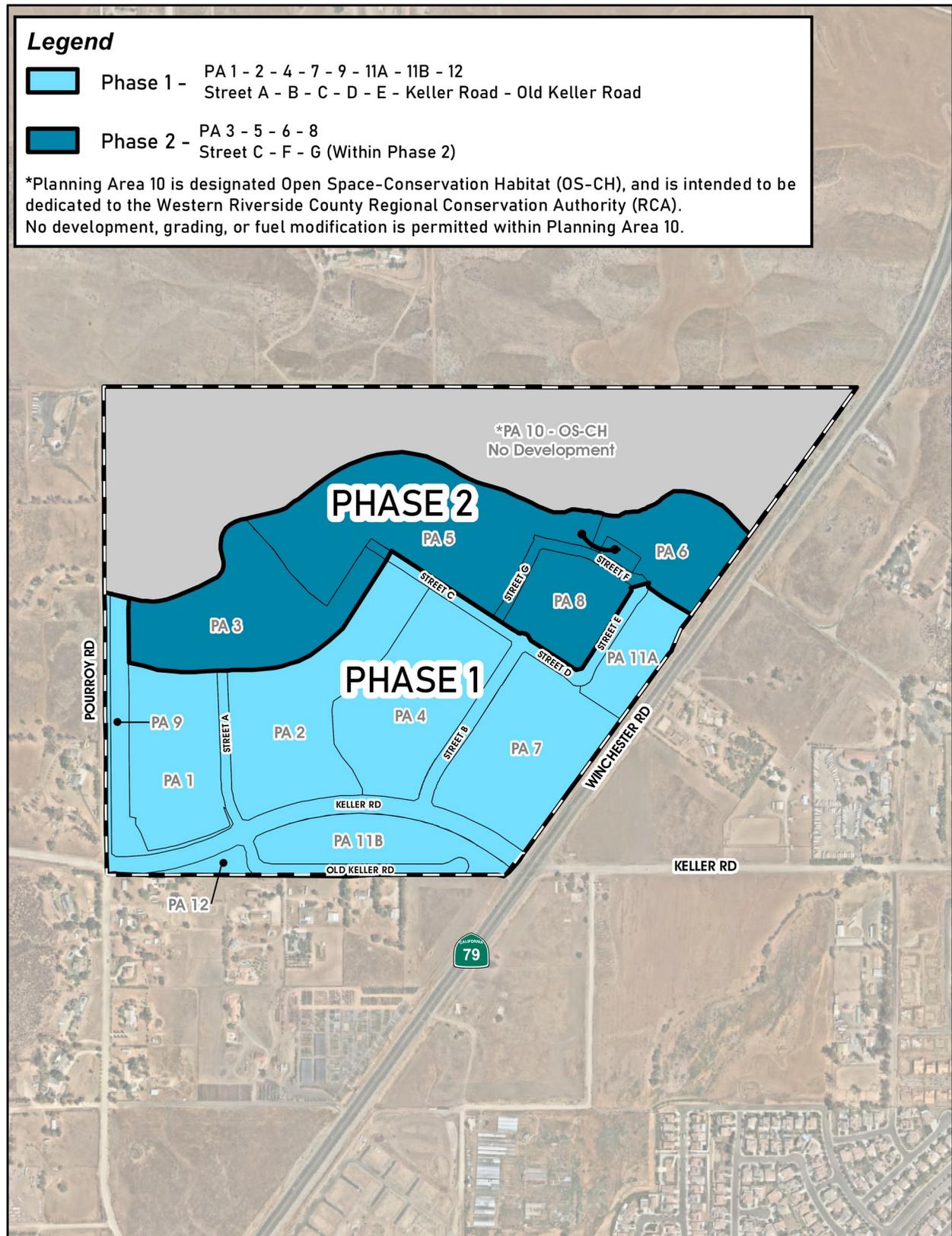
KELLER CROSSING Specific Plan 380 Amendment #1 is designed for development in two (2) phases, as shown on Figure 5-1, *Conceptual Phasing Plan*. Planning Areas may be developed out of the expected sequence, or in smaller increments, provided the required infrastructure and services are available at the time of development to provide adequate access to and from the KELLER CROSSING community and ensure public health. Phasing for the grading may occur in a single phase, which would result in grading of the entire Specific Plan area, or may occur in up to two (2) phases or sub-phases.

A detailed description of the domestic water services, recycled water services, sewer services, drainage and water quality facilities, and vehicular circulation plans is described within the relevant sub-sections of Chapter 2, *Development Plan*, of this Specific Plan.

The exact timing of implementation and phasing for any Planning Area may vary based on a number of factors, including market and economic demands, as well as physical constraints or timing of infrastructure improvements.

1. CONCEPTUAL PHASING PLAN STANDARDS

- a. An agreement with Eastern Municipal Water District (EMWD) or other capable service provider shall be made in writing which states that the provision of services to any implementing project shall be available prior to the recordation of any subdivision maps.
- b. Prior to the issuance of building permits, improvement plans for the development of common open space areas, including planting and irrigation plans, shall be submitted for planning development approval for the stage of development for the area in question. These landscape improvement plans shall be prepared by and reviewed for substantial conformance by a licensed landscape architect.
- c. Planning Areas which are dependent on adjacent Planning Areas for access shall be phased in a manner that demonstrates an ability to provide the necessary infrastructure and access, including secondary and/or emergency access prior to Tentative Map approval.



Legend

- Phase 1 - PA 1 - 2 - 4 - 7 - 9 - 11A - 11B - 12
Street A - B - C - D - E - Keller Road - Old Keller Road
- Phase 2 - PA 3 - 5 - 6 - 8
Street C - F - G (Within Phase 2)

*Planning Area 10 is designated Open Space-Conservation Habitat (OS-CH), and is intended to be dedicated to the Western Riverside County Regional Conservation Authority (RCA). No development, grading, or fuel modification is permitted within Planning Area 10.

Source: ESRI, Nearmap (2022), RCTLMA (2021)

FIGURE 5-1



D. MAINTENANCE PLAN

Successful operation of maintenance entities is important in maintaining quality in a master planned community such as KELLER CROSSING. The County of Riverside is responsible for maintaining public roadways and associated landscaped parkways within the public right-of-way. The maintenance responsibilities for other common community facilities may be divided among the Homeowner's Association (HOA), Valley-Wide Recreation and Park District (VWRPD), the Riverside County Flood Control and Water Conservation District (RCFC&WCD), Eastern Municipal Water District (EMWD), individual homeowners, and/or other similar maintenance entities, not specifically identified herein. Maintenance responsibilities shall be determined with an approved Maintenance Exhibit at the Final Map or Plot Plan stage in concert with appropriate agencies. See Table 5-1, *Maintenance Plan* for a summary of maintenance responsibilities.

1. CIRCULATION AND RELATED FACILITIES

All public roadways and roundabouts will be designed and constructed to standards acceptable to the County of Riverside. All public roads, sidewalks, traffic signals and signs, and street lighting are owned and maintained by the County of Riverside. Other service entities will provide public road services, such as street sweeping. Private drives and sidewalks in residential planning areas will be maintained by the HOA or other similar maintenance entity. The commercial private drives and drive aisles within PA 7 will be owned and maintained by the Commercial Property Owners Association. If no associations are formed, a common maintenance charge will be assessed to cover common area maintenance.

2. LANDSCAPING, OPEN SPACE, AND RELATED FACILITIES

The Conservation Habitat located within PA 10 will be dedicated to the Western Riverside County Regional Conservation Authority (RCA), pursuant to the MSHCP, and will remain undisturbed, unless necessary maintenance by the RCA is required. Maintenance of the public park, recreational trails, manufactured slopes, landscaped parkways within the public right-of-way, and landscaping for the detention/water quality basin in PAs 11A and 11B, will be the responsibility of the VWRPD, HOA, or other similar maintenance entity.

Monumentation and hardscape within the public park in PA 8 will be maintained by the VWRPD, HOA, or other similar entity. Public spaces, monumentation, basins, and hardscape within the commercial area in PA 7 will be maintained by a Commercial Property Owners Association. Monumentation and hardscape within residential neighborhoods will be maintained by the HOA, County of Riverside, or other service entities.

a. Fuel Modification Zones

Fuel Modification Zone 1A is generally located along the rear yards and side yards of homes within residential Planning Areas and are maintained by individual homeowners. Fuel Modification Zones 1B and 2 areas are generally located in landscaping areas outside of homeowner lots, and include parks, roadway landscaping, detention/water quality basins, and manufactured slopes that may be maintained by the VWRPD, HOA, or other similar entity. Roadside Fuel Treatment areas are maintained by the VWRPD, HOA,

or other similar entity, and generally consist of a minimum of 20-foot-wide clearance areas along each side of the roadway and on the uphill of the roadway prism, and a minimum of 30-foot-wide clearance areas on the downhill side of the roadway prism. See Chapter 2.H. for Fuel Modification Zone standards.

3. UTILITY INFRASTRUCTURE

Utility infrastructure facilities are maintained by a variety of maintenance entities. Domestic water services, recycled water services, and sewer facilities will be provided and maintained by EMWD. Stormwater conveyance facilities within on-site public streets and the public park will be maintained by the County of Riverside and the RCFC&WCD. Water quality management facilities and basins will be maintained by the HOA, VWRPD, a Commercial Property Owner's Association, or other service entity. The County of Riverside and the RCFC&WCD will maintain the pipes and inlet and outlet structures within the detention/water quality basins in PAs 11A and 11B for flood control purposes.

Table 5-1 MAINTENANCE RESPONSIBILITIES

	COUNTY OF RIVERSIDE	VALLEY-WIDE RECREATION AND PARK DISTRICT	EMWD	COMMERCIAL PROPERTY OWNERS ASSOCIATION	OTHER SERVICE ENTITY ¹
CIRCULATION AND RELATED FACILITIES					
Streets and Roundabouts (Public)	✓				
Private Drives or Drive Aisles				✓	✓
Sidewalks – Within Public ROW	✓				
Sidewalks – Within Private Drives				✓	✓
Traffic Signals ²	✓				
Traffic Signs	✓			✓	
Street Lighting	✓				
Street Sweeping					✓
LANDSCAPING, OPEN SPACE, & RELATED FACILITIES					
MSHCP Conservation Habitat					✓
Public Park		✓			✓
Manufactured Slopes/Fuel Modification Zones		✓			✓
Landscaped Parkways – Within Public ROW	✓	✓			✓
Landscaped Parkways – Within Private Drives				✓	✓
Monumentation and Hardscape Elements	✓	✓		✓	✓
Public Spaces				✓	
UTILITY INFRASTRUCTURE²					
Domestic Water/Recycled Water/Sewer Facilities			✓		
Storm Drains/Drainage – Within Public ROW	✓				✓
Storm Drains/Drainage – Outside of Public ROW	✓			✓	✓
Water Quality Management Facilities/Detention Basins		✓		✓	✓

Notes:

1. Other Maintenance Entities may include Homeowner’s Association (HOA), utility providers, public conservation agencies, County Service Area (CSA) agency or Community Service District (CSD), Landscape and Lighting Maintenance District (LLMD), Riverside County Flood Control & Water Conservation District (RCFC&WCD), and other public/private entities.
2. Traffic signals and utility facilities/infrastructure may require maintenance easements.