



ABBREVIATIONS

ACOUS.	Acoustical	M.C.	Medicine Cabinet
A.D.	Area Drain	MECH.	Mechanical
ADJ.	Adjustable	MIN.	Minimum
A.F.F.	Above Finish Floor	MIR.	Mirror
AGGR.	Aggregate	MTL.	Metal
ARCH.	Architectural	M.P.R.	Multi-Purpose Room
ASPH.	Asphalt	(N)	New
AWN.	Awning	N.I.C.	Not In Contract
BI-FO. DR.	Bi-Fold Door	N.T.S.	Not To Scale
BLDG.	Building	NO.	Number
BLK.	Block		
BLKG.	Blocking	OBS.	Obscure
BM.	Beam	O.C.	On Center
B.O.	Bottom Of	O.D.	Outside Diameter
B.W.	Bottom Of Wall	OPNG.	Opening
BYND.	Beyond	P.LAM.	Plastic Laminated
		P.L.	Property Line
CPT.	Carpet	PL.	Street Plate
CAB.	Cabinet	PLAS.	Plaster
C.B.	Catch Basin	PLYWD.	Plywood
CEM.	Cement	PT.	Point
C.J.	Construction Joint		
CL.	Closet	QTY.	Quantity
CLG.	Ceiling	R.	Riser
CLR.	Clear	r.	Radius
C.O.	Clean Out	RET.	Retaining
COL.	Column	RET.AIR	Return Air
CONC.	Concrete	RD.	Round
CONT.	Continuous	R.D.	Roof Drain
CSMT.	Casement	REF.	Refrigerator
C.T.	Ceramic Tile	REG.	Register
C.L.	Centerline	REINF.	Reinforced
C.S.	Counter Sink	REQ'D	Required
		R.O.	Rough Opening
DEMO.	Demolition	RWD.	Redwood
DET.	Detail	R.W.L.	Rain Water Leader
D.H.	Double Hung		
D.F.	Douglas Fir	S.A.G.	Supply Air Grill
DIAG.	Diagonal	s.f.	Square Foot
DIM.	Dimension	S.V.	Sheet Vinyl
DWGS.	Drawings	S.H.	Single Hung
DN.	Down	SHT.	Sheet
		SHWR.	Shower
(E)	Existing	SIM.	Similar
E.J.	Expansion Joint	S.M.	Sheet Metal
EL.	Elevation	SKY.	Skylight
ELEC.	Electric	SL.	Slider
EQ.	Equal	SL.GL.DR.	Sliding Glass Door
EXT.	Exterior	SQ.	Square
		S.C.D.	See Civil Drawings
F.B.T.	Furnished By Tenant	S.S.D.	See Structural Drawings
F.D.	Floor Drain	S.S.	Stainless Steel
F.F.	Finish Floor	STD.	Standard
FIN.	Finish	STL.	Steel
F.O.C.	Face Of Concrete	STG.	Storage
F.O.S.	Face Of Stud	STRUC.	Structural
F.O.W.	Face Of Wall		
FR. DR.	French Door	T.	Tread
FT.	Footing	TEMP.GL.	Tempered Glass
FX.	Fixed	TJ.	Truss Joist
		T.O.	Top Of
GA.	Gauge	T.O.C.	Top Of Concrete
GALV.	Galvanized	T.C.	Top Of Curb
G.B. or G.W.	Gypsum Board	T.F.	Top Of Fence
GL.	Glass	T.O.F.	Top Of Floor
GLU. LAM.	Glue Laminated	T.O.R.	Top Of Roof
G.L.	Ground Level	T.P.D.	Toilet Paper Dispenser
G.S.F.	Gross Square Footage	TYP.	Typical
G.S.M.	Galvanized Sheet Metal	T.W.	Top Of Wall
		T.S.	Tube Steel
H.B.	Hose Bib	U.O.N.	Unless Otherwise Noted
h.	Height		
H.M.	Hollowed Metal	VERT.	Vertical
HOR.	Horizontal	V.I.F.	Verify In Field
H.P.	High Point		
H.W.H.	Hot Water Heater	W/	With
		W.C.	Water Closet
I.D.	Inside Diameter	WD.	Wood
INSUL.	Insulation	WDW.	Window
INT.	Interior	WP.	Waterproof
J.BOX	Junction Box	W.P.	Work Point
JT.	Joint	YD.	Yard
LAM.	Laminated		
LAV.	Lavatory		
LVR.	Louver		
L.P.	Low Point		

PROJECT DESCRIPTION

Scope of work is limited to a 1,756 net sf winery and 790 sf covered crush & circulation expansion to an existing 2,834 net sf winery building and a new 10,000 net sf winery cave.

All work shall comply with 2019 versions of California Building Code (CBC), California Residential Code (CRC), California Plumbing Code (CPC), California Mechanical Code (CMC), California Electrical Code (CEC), California Energy Code, California Green Building Standards Code (CGBS), California Fire Code (CFC, if applicable), 2013 California Energy Efficiency Standards (CEES), Napa County and all applicable local codes.

PARCEL INFORMATION

Site Address:	3130 Old Lawley Toll Road, Calistoga, Ca 94515
APN #:	017-140-035-000
Lot Size:	11.97 acres
Zoning Group:	AW
FEMA Flood Zone:	N/A
Fire Jurisdiction for Structures:	Napa County Fire
Fire Jurisdiction for Wildfire:	CalFire
School District:	Calistoga Jt. Unified
Supervisor District:	District 3 - Diane Dillon
Township & Range:	T09N-R07W
USGS Topography Quadrant:	Calistoga

BUILDING CODE INFORMATION

EXISTING BUILDING

Use Group/ Occupancy:	F-2
Building Type:	Type V-B

ADDITION/EXPANSION

Use Group/ Occupancy:	B & F-2
Building Type:	Type V-B

CAVE

Use Group/ Occupancy:	F-2
Building Type:	

Type II Cave, natural manmade caves used solely for storage and/or processing of wine at a winery facility. Type 2 caves are accessible by the public on guided tours only. All Type 2 caves require a minimum of an approved manual fire alarm system. Public tours for the public shall be continuously guided by staff knowledgeable in the location of exits and the use of emergency notification devices, per NAPA County Fire Marshal Development Guidelines XIV Subterranean Caves.

NET FLOOR AREA

Below Ground Cave Expansion:	Existing	Expansion/Reno
Proposed Cave:		10,000 s.f.
Above Ground Covered Area:		
Existing Conditioned Area:	2,834 s.f.	2,237 s.f.
Existing Un-Conditioned Area:	0 s.f.	690 s.f.
Proposed Conditioned Area:	1716 s.f.	
Proposed Un-Conditioned Area:	1,644 s.f.	
Total Project Area:	19,121 net s.f.	
Total New Construction Area:	16, 287 net s.f. (85.1% Increase)	

PROJECT TEAM

OWNER
Amici Cellars
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SHEET INDEX

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CIVIL ENGINEERING SHEETS

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UP1.12	Driveway Plan View & Profile
UP2.0	Grading Plan
UP2.1	Winery Cross Sections
UP2.2	Cross Sections
UP2.3	Cross Sections
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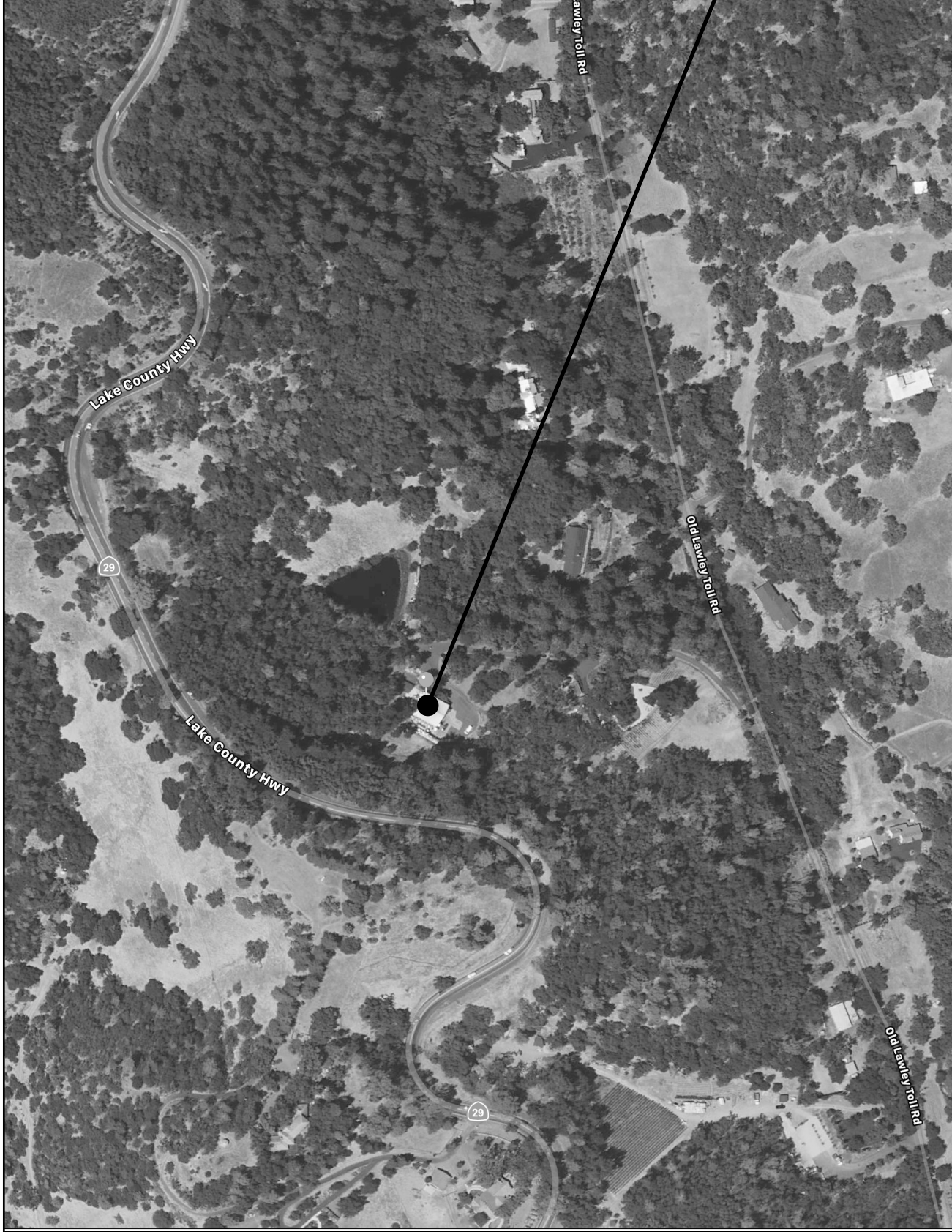
SYMBOL LEGEND

	Elevation Reference
	Section Reference
	Vantage Point Reference
	Grid Line
	Detail Reference
	Elevation or Section Datum Symbol
	Room Number or Space Allocation ID
	Door Symbol
	Window Symbol
	Louver Symbol
	Wall Tag

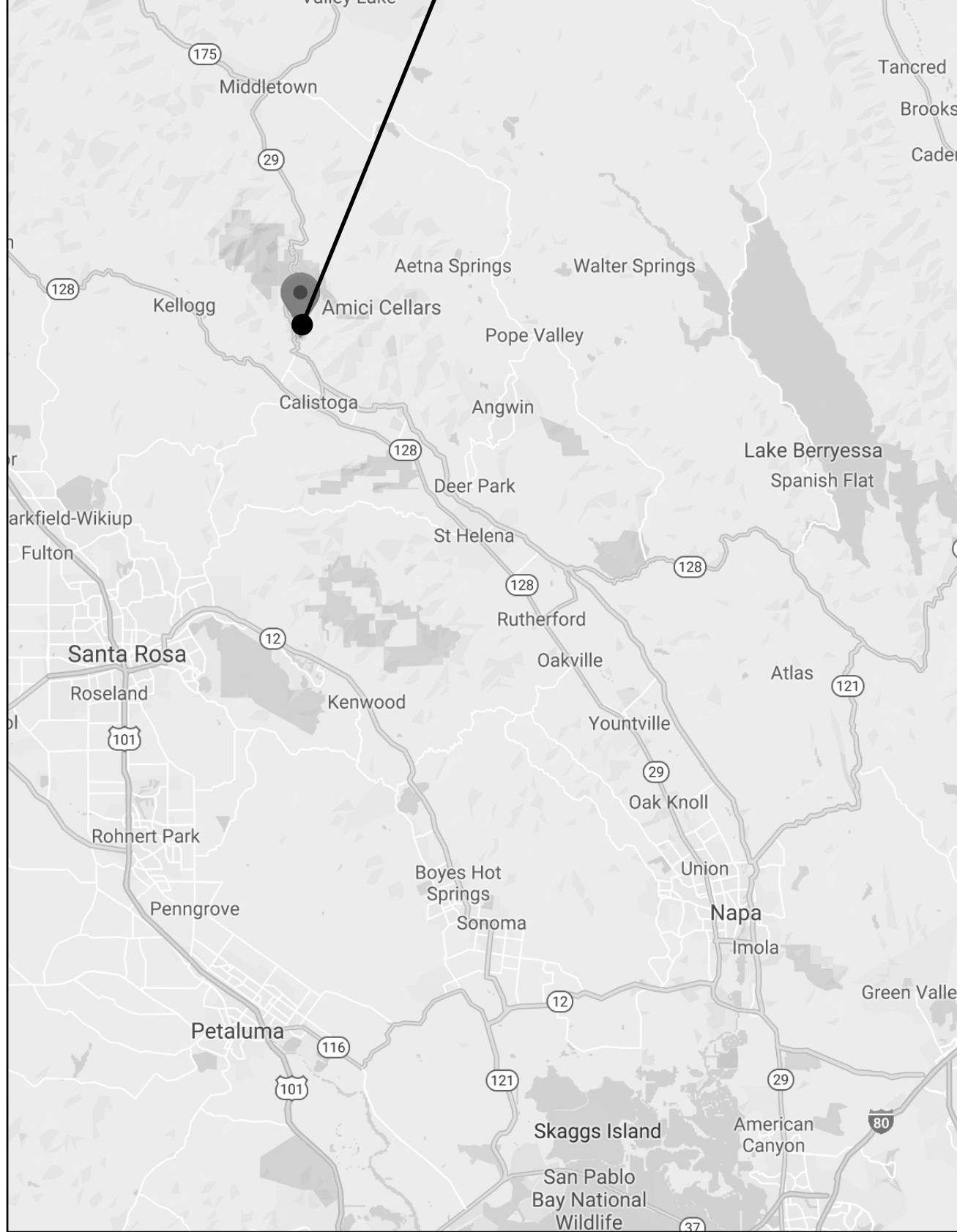
PARCEL MAP



LOCATION MAP



VICINITY MAP



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UP Revisions 2	6/01/20
UP Revisions 3	7/29/20

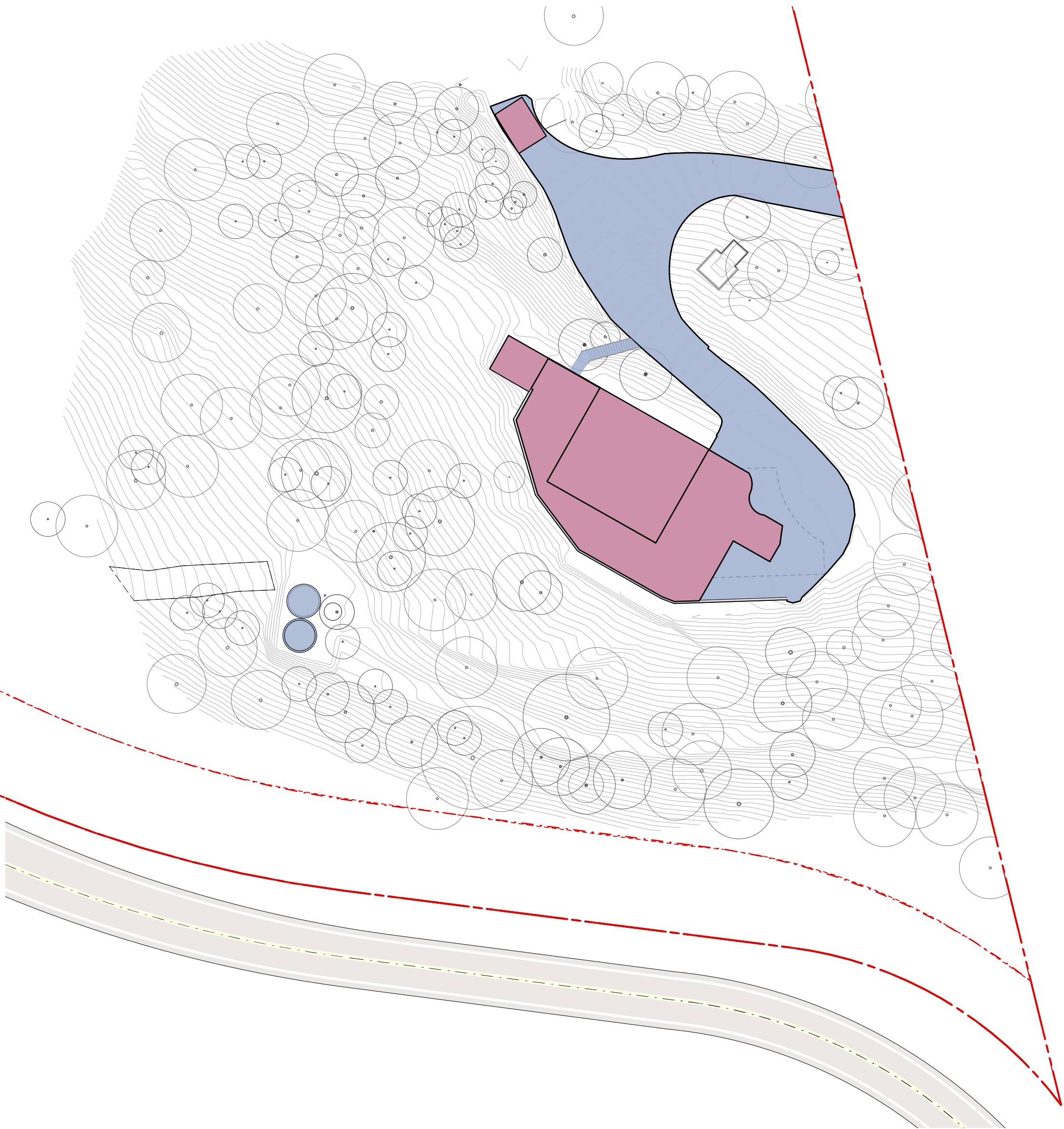
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Cover Sheet

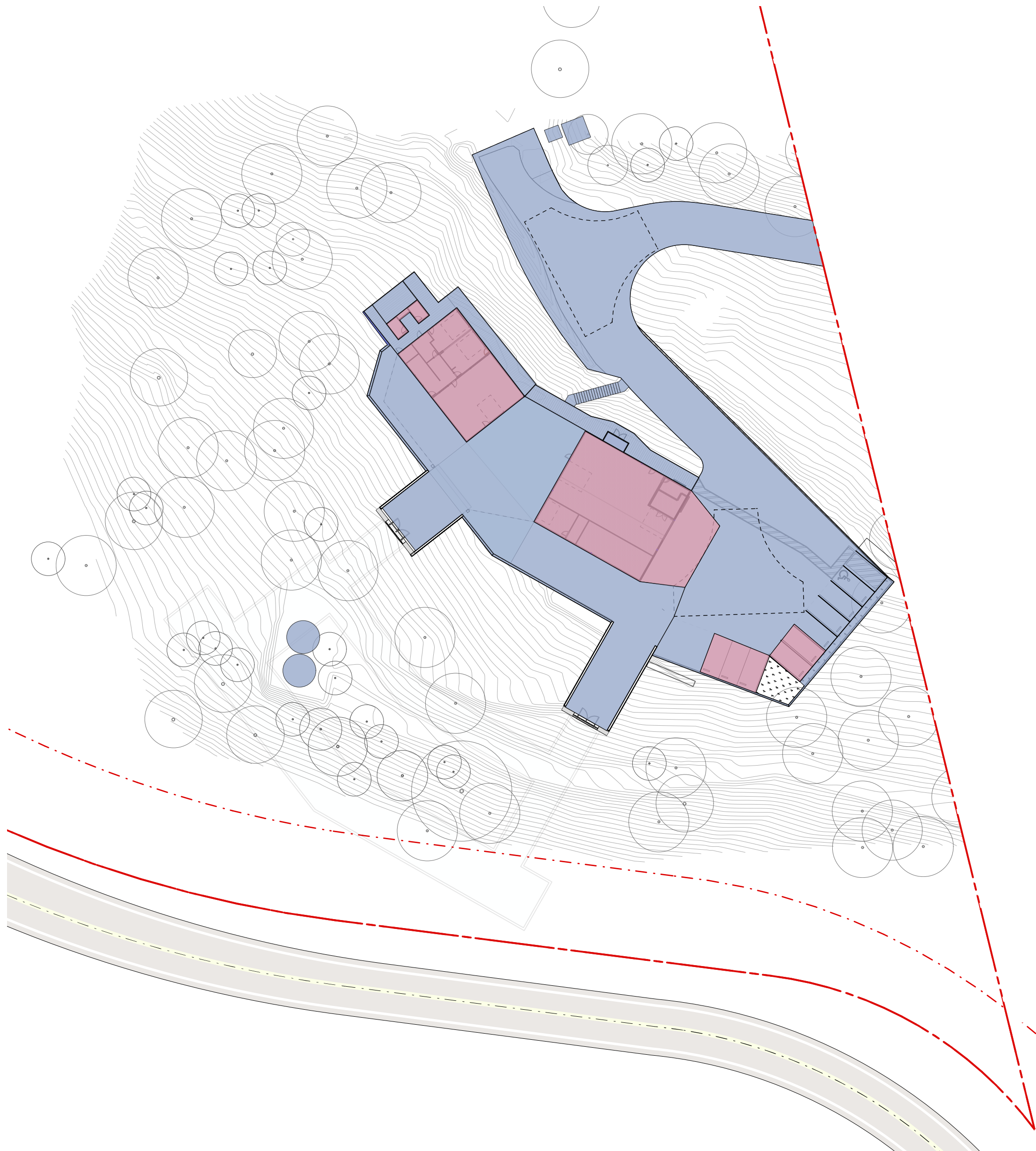
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EXISTING		
WINERY DEVELOPMENT		
001 Winery		2371.00
002 Laboratory		124.00
003 Employee W.C.		77.00
004 Storage Shed		340.00
006 Mezzanine Stair		54.00
005 Uncovered Production		4308.00
008 Employee Parking		297.00
	Net Area	7,571.0
	Gross Area	7,664.0
WINERY COVERAGE		
127 Driveway & Curb		21233.00
129 Water Tanks		349.00
	Sub Total	21,582.0
	Total	29,153.0

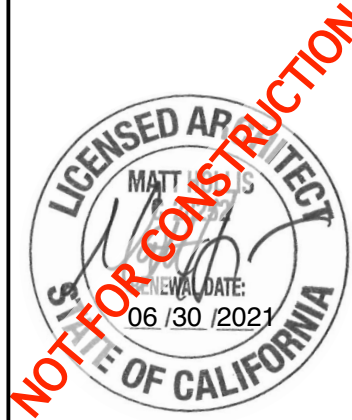
PROPOSED		
WINERY DEVELOPMENT		
101 Covered Receiving		790.00
102 Fermentation Room		1649.00
103 Employee W.C.		77.00
104 Winemaker's Lab		124.00
105 Mechanical Storage		427.00
106 Chemical Storage		63.00
107 Extra Storage		200.00
109 Warm Room		843.00
110 Workstation		240.00
111 Case Goods Storage		85.00
112 Mechanical Storage		40.00
113 Tasting Room		459.00
114 Unisex Restroom		45.00
115 Unisex Restroom		44.00
125 Mezzanine Stair		54.00
126 Employee Parking		874.00
	Net Area	6,014.0
	Gross Area	13,931.0
WINERY COVERAGE		
127 Driveway & Curb		31060.00
117 Covered Circulation		1740.00
128 Access Stair		142.00
129 Fire Pump House		180.00
130 Guest Parking		2146.00
129 Water Tanks		349.00
	Sub Total	35,966.0
	Total	49,897.0
	COVERAGE (ACRES)	0.95
	PARCEL (ACRES)	12.05
	%	7.8



2 Existing
Scale: 1:500



1 Proposed
Scale: 1:500



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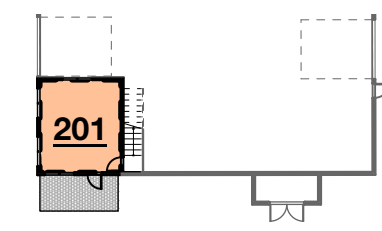
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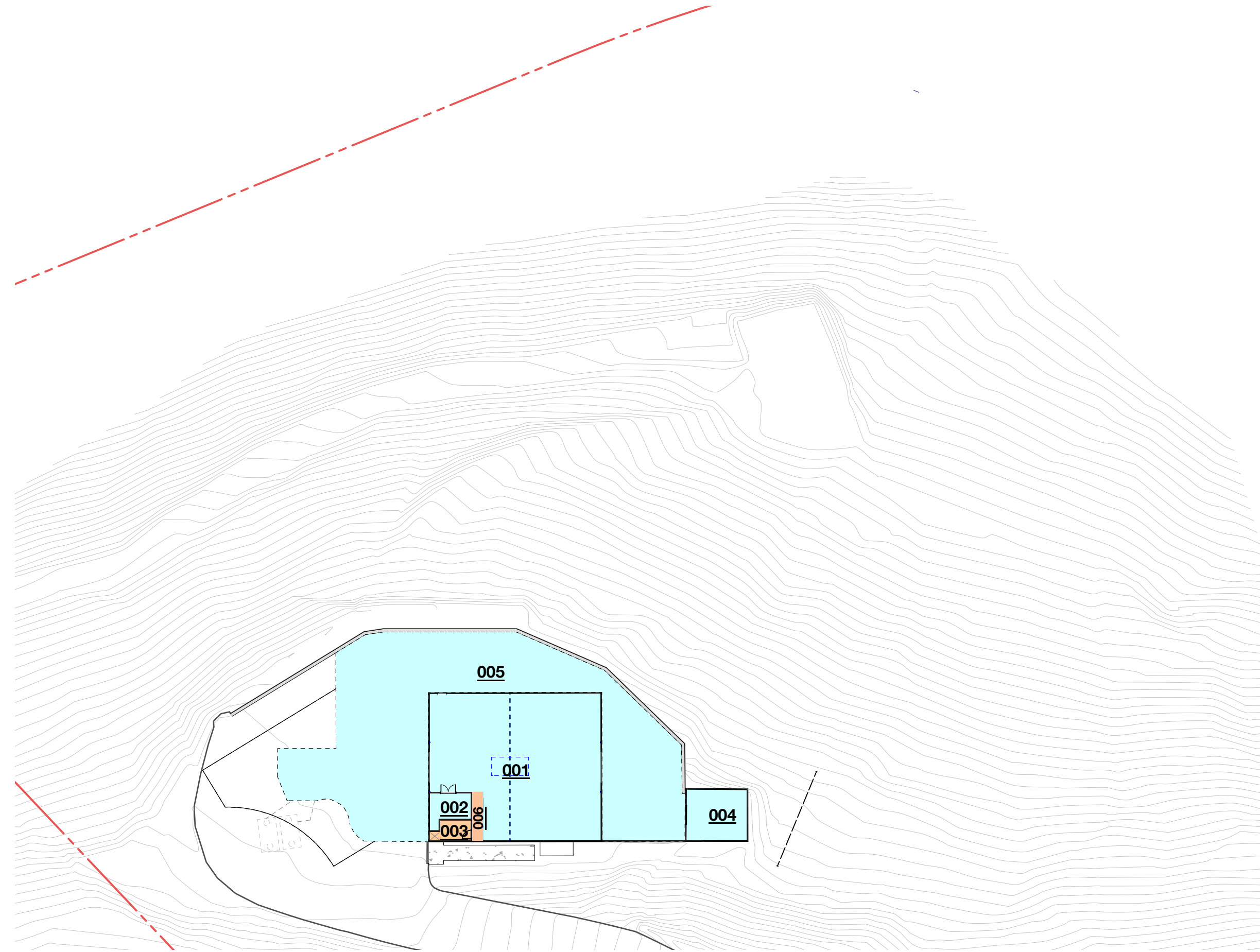
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Production Facility & Accessory Use

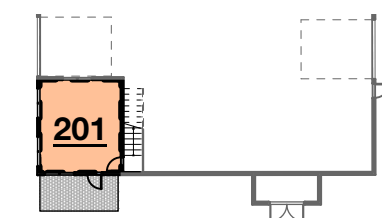
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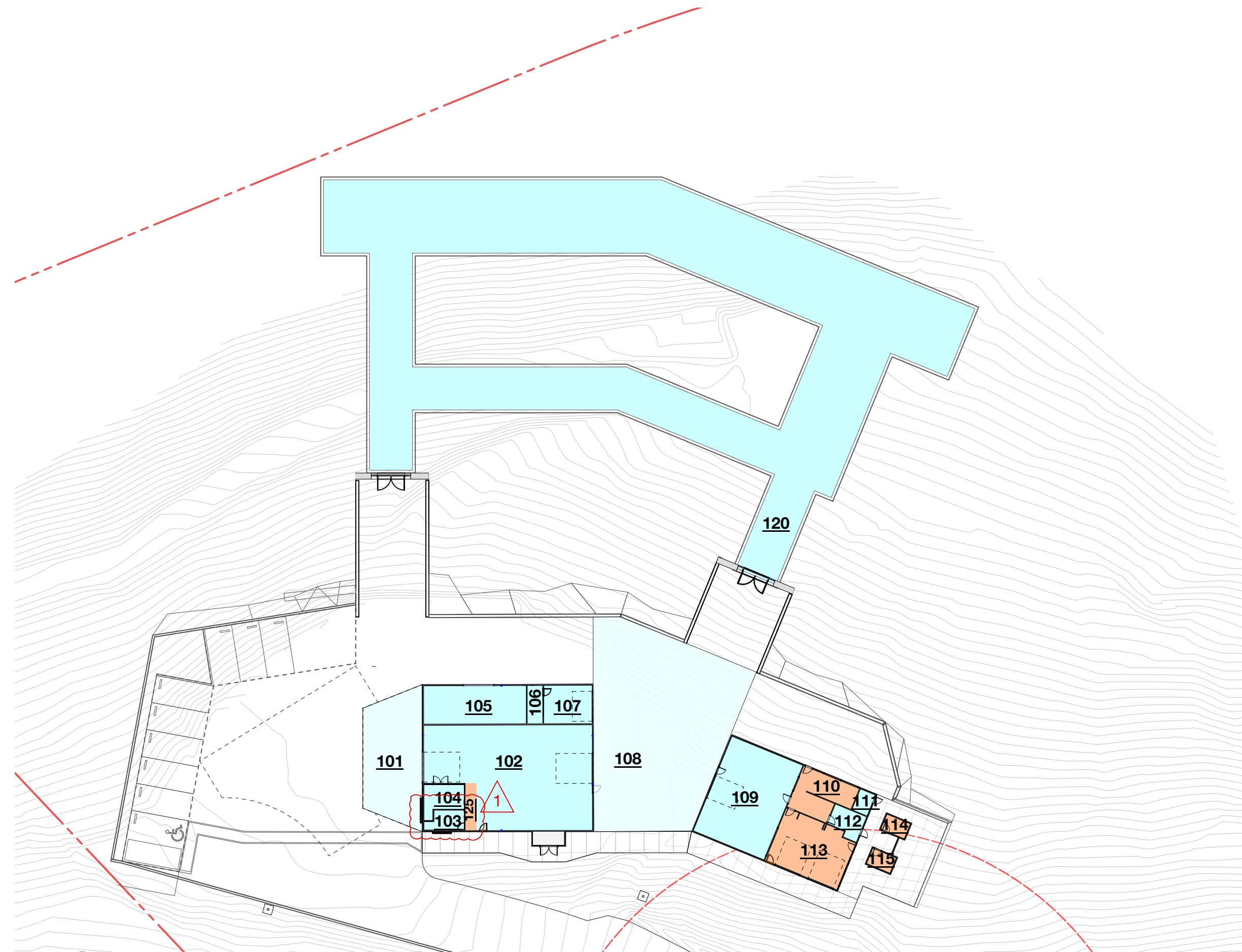
4 Existing Mezzanine
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3 Existing Ground & Cave Level
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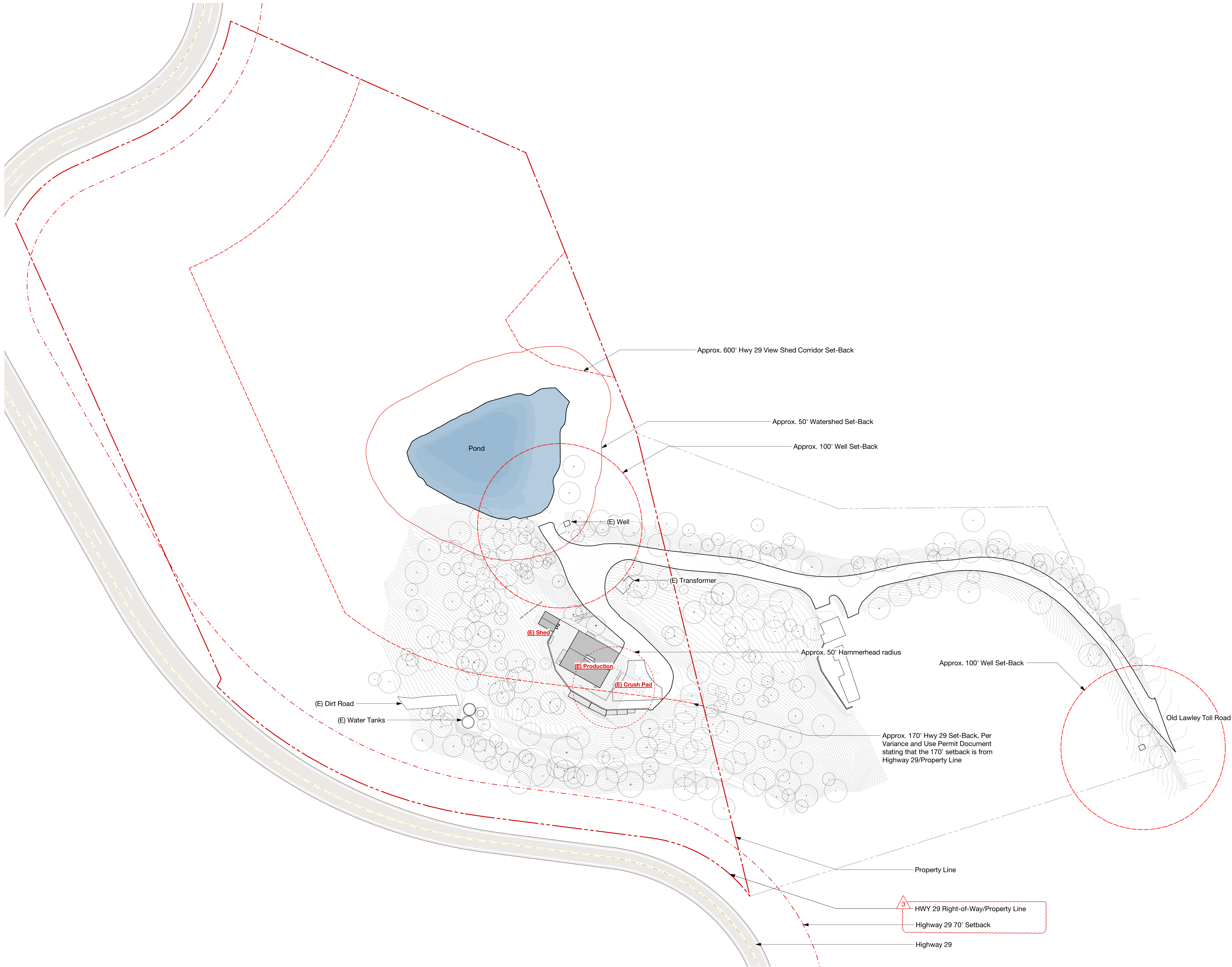
2 Proposed Mezzanine
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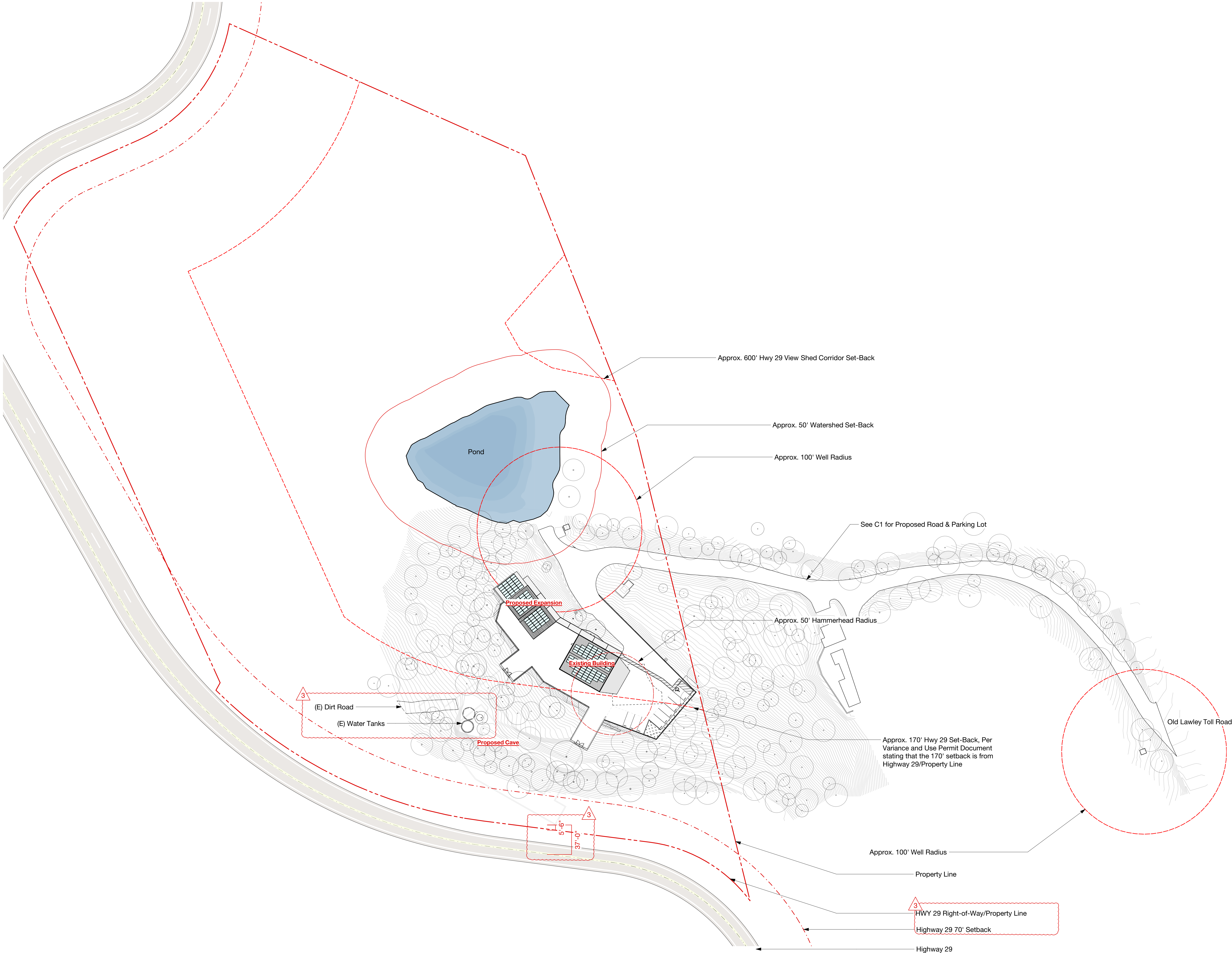


1 Proposed Ground & Cave Level
Scale: 1/32" = 1'-0"

*All square footages from interior dimensions

EXISTING					
PRODUCTION FACILITY					
001 Winery	Manufacturing Area	Conditioned	F-2	2371.00	
002 Laboratory	Business	Conditioned	B	124.00	
004 Storage Shed	Storage	Unconditioned	F-2	340.00	
005 Uncovered Production	Manufacturing Area	Unconditioned	F-2	4308.00	
Total				7,143.0	
ACCESSORY USE					
003 Employee W.C.	Restroom	Conditioned	—	77.00	
006 Mezzanine Stair	Circulation	Conditioned	—	54.00	
201 Office	Business	Conditioned	B	208.00	
Total				339.0	
PROPOSED					
PRODUCTION FACILITY					
101 Covered Receiving	Manufacturing Area	Unconditioned	F-2	790.00	
102 Fermentation Room	Manufacturing Area	Conditioned	F-2	1649.00	
103 Employee W.C.	Restroom	Conditioned	—	77.00	
104 Winemaker's Lab	Business	Conditioned	B	124.00	
105 Mechanical Storage	Storage	Unconditioned	S-2	427.00	
106 Chemical Storage	Storage	Unconditioned	S-2	63.00	
107 Extra Storage	Storage	Unconditioned	S-2	200.00	
108 Uncovered Receiving	Manufacturing Area	Unconditioned	F-2	2807.00	
109 Warm Room	Manufacturing Area	Conditioned	F-2	843.00	
111 Case Goods Storage	Storage	Conditioned	S-2	85.00	
112 Mechanical Storage	Storage	Unconditioned	S-2	40.00	
120 Wine Cave	Manufacturing Area	Unconditioned	F-2	1000.00	
Total				17,105.0	
ACCESSORY USE					
201 Office	Business	Conditioned	B	208.00	
110 Workstation	Business	Conditioned	B	240.00	
114 Unisex Restroom	Restroom	Conditioned	—	45.00	
115 Unisex Restroom	Restroom	Conditioned	—	44.00	
113 Tasting Room	Assembly - Unconcentrated	Conditioned	B	459.00	
125 Mezzanine Stair	Circulation	Conditioned	—	54.00	
Total				1,050.0	
Summary					
		Sq. ft.		% of production	
PRODUCTION FACILITY		EXISTING	7,143.0		
		PROPOSED	17,105.0		
ACCESSORY USE		EXISTING	339.0	4.746	
		PROPOSED	1,050.0	6.139	







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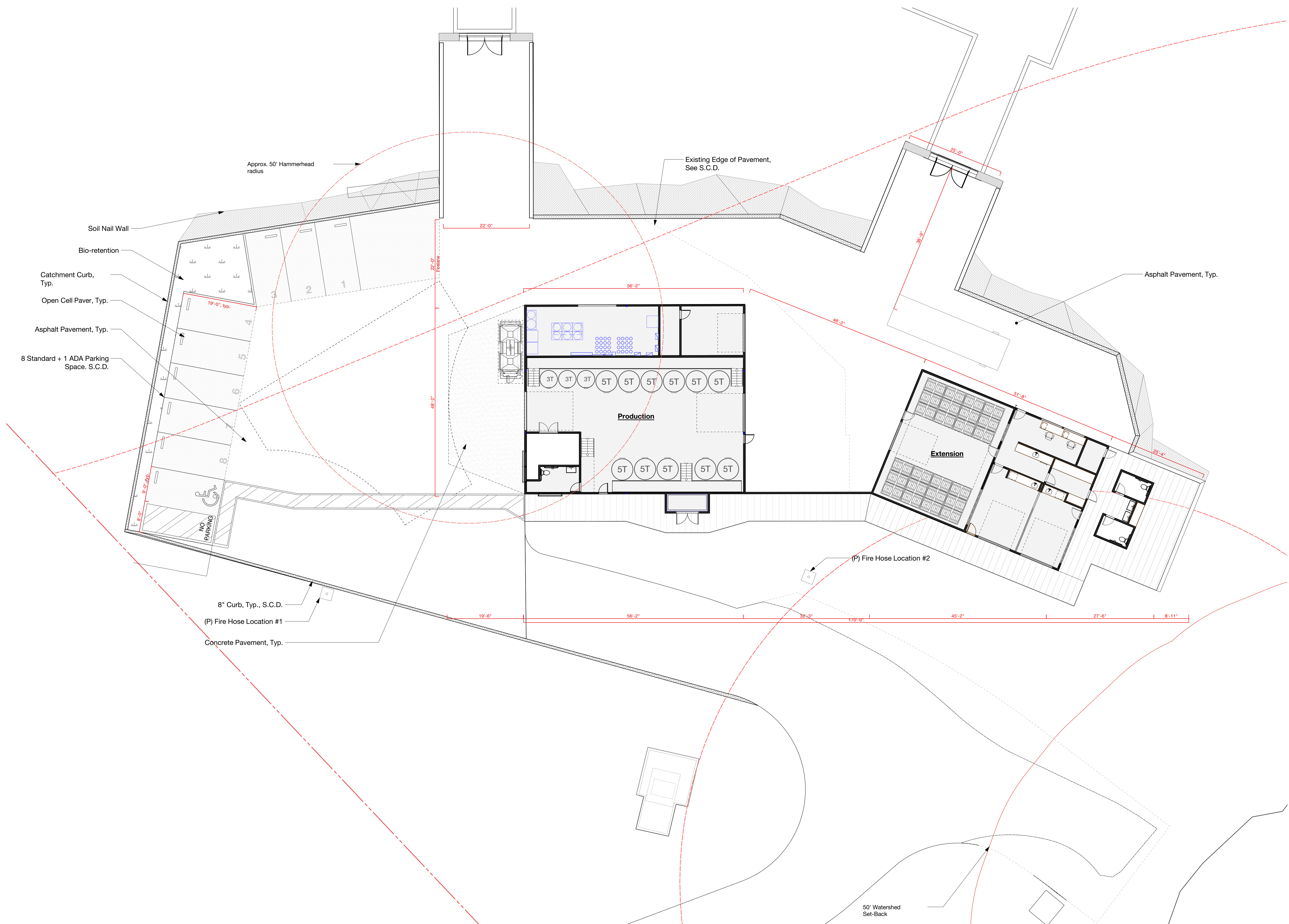
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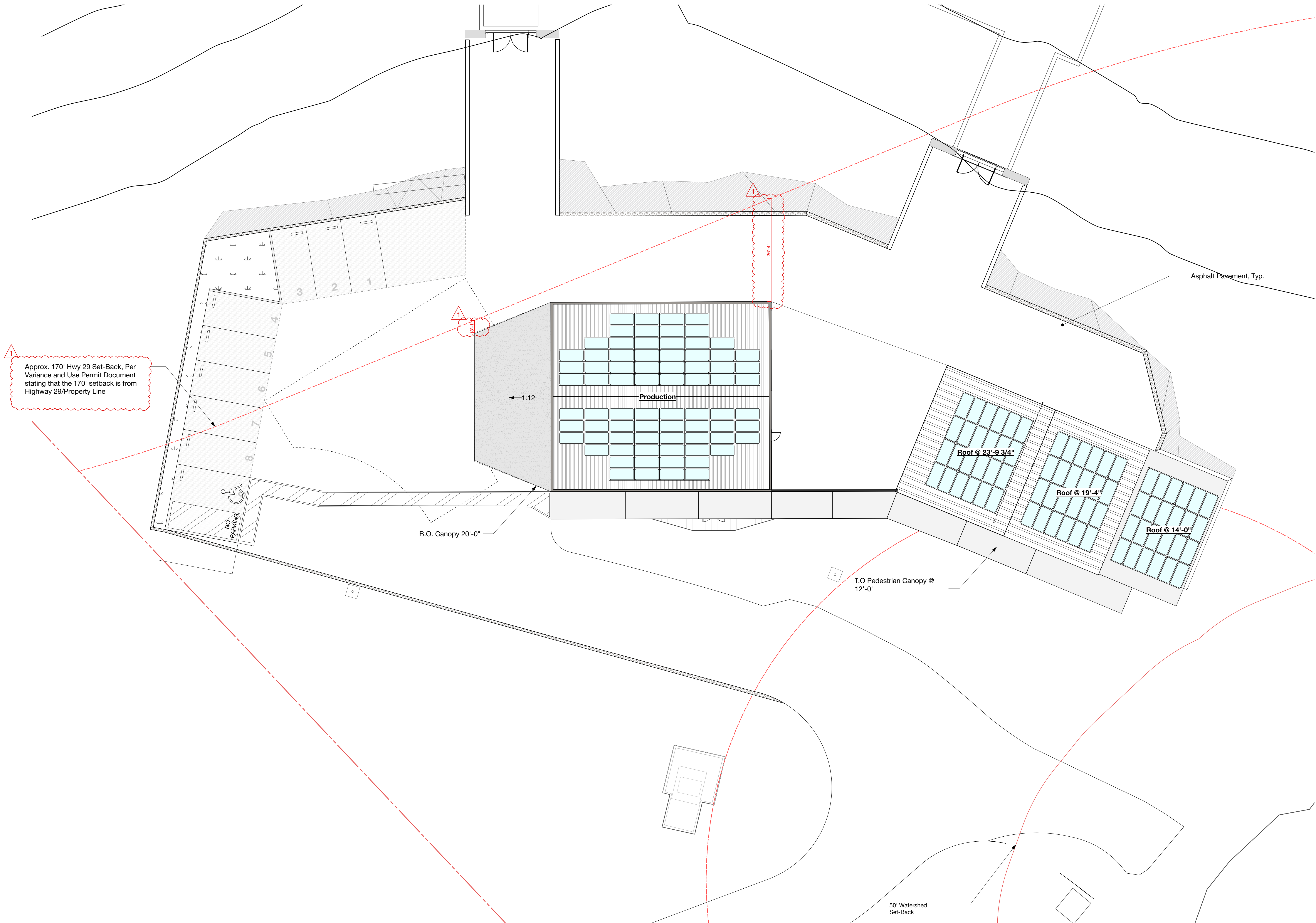
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Enlarged Site
Plan -
Proposed

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A1.03 





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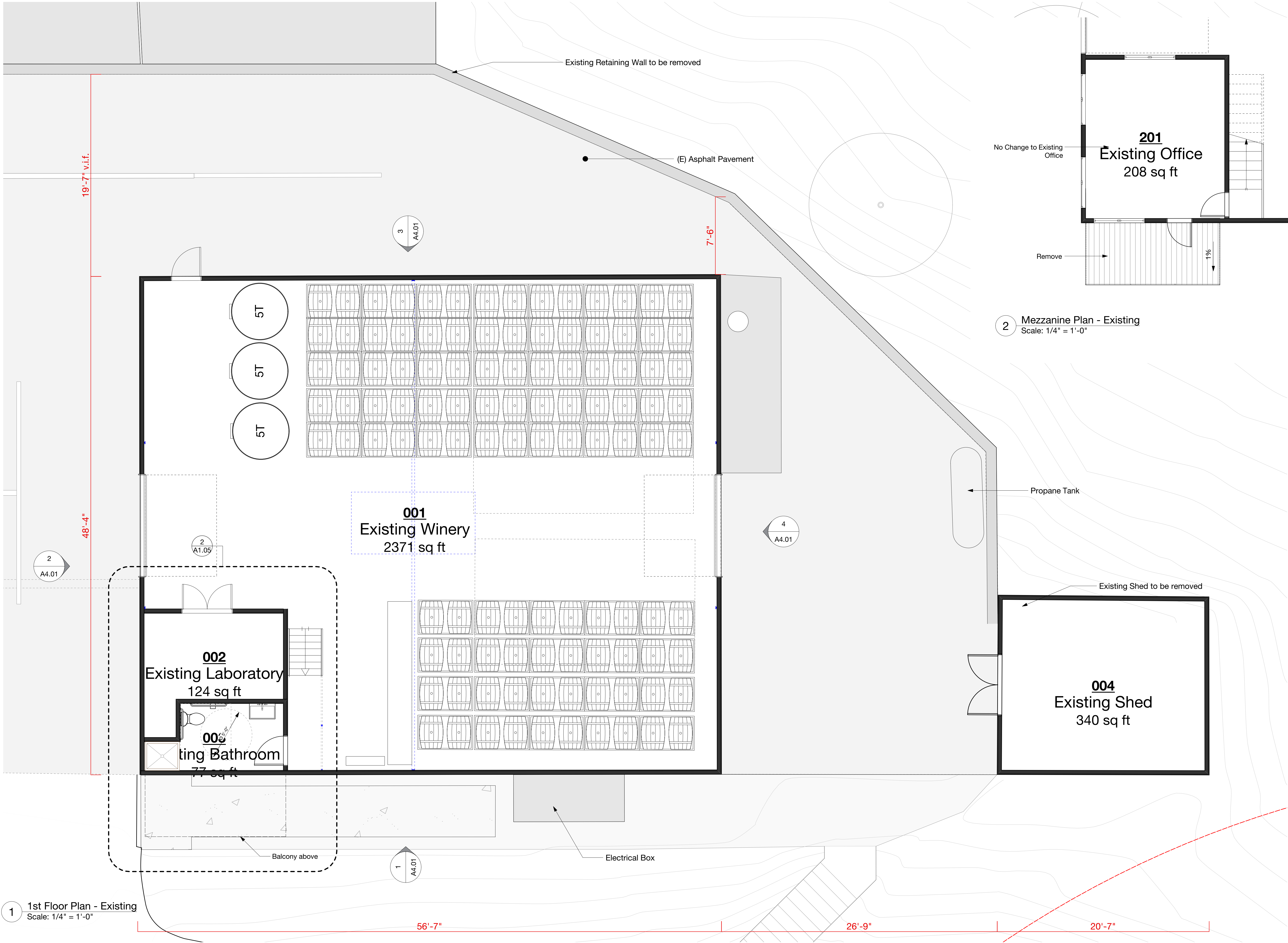
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Roof Plan

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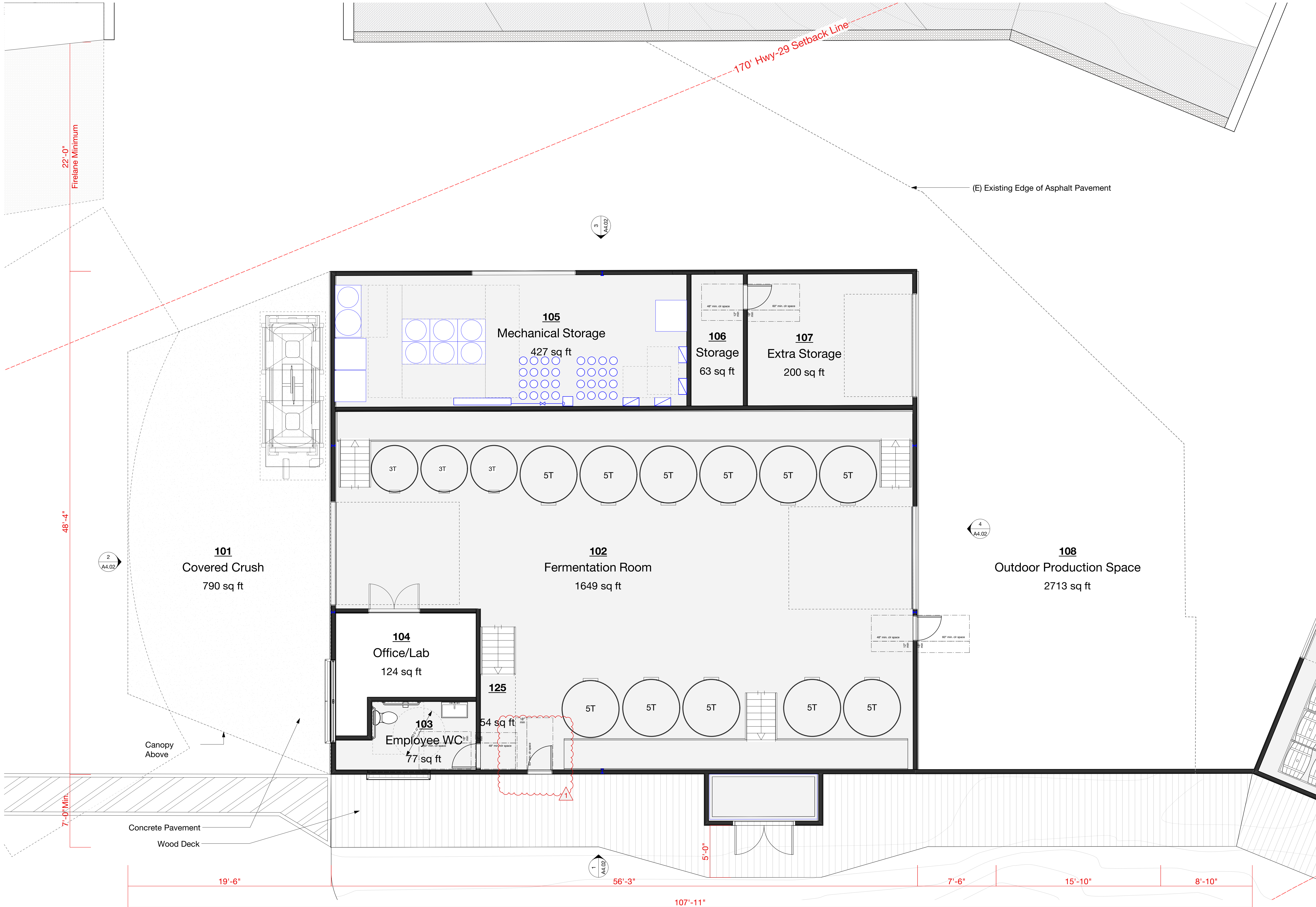
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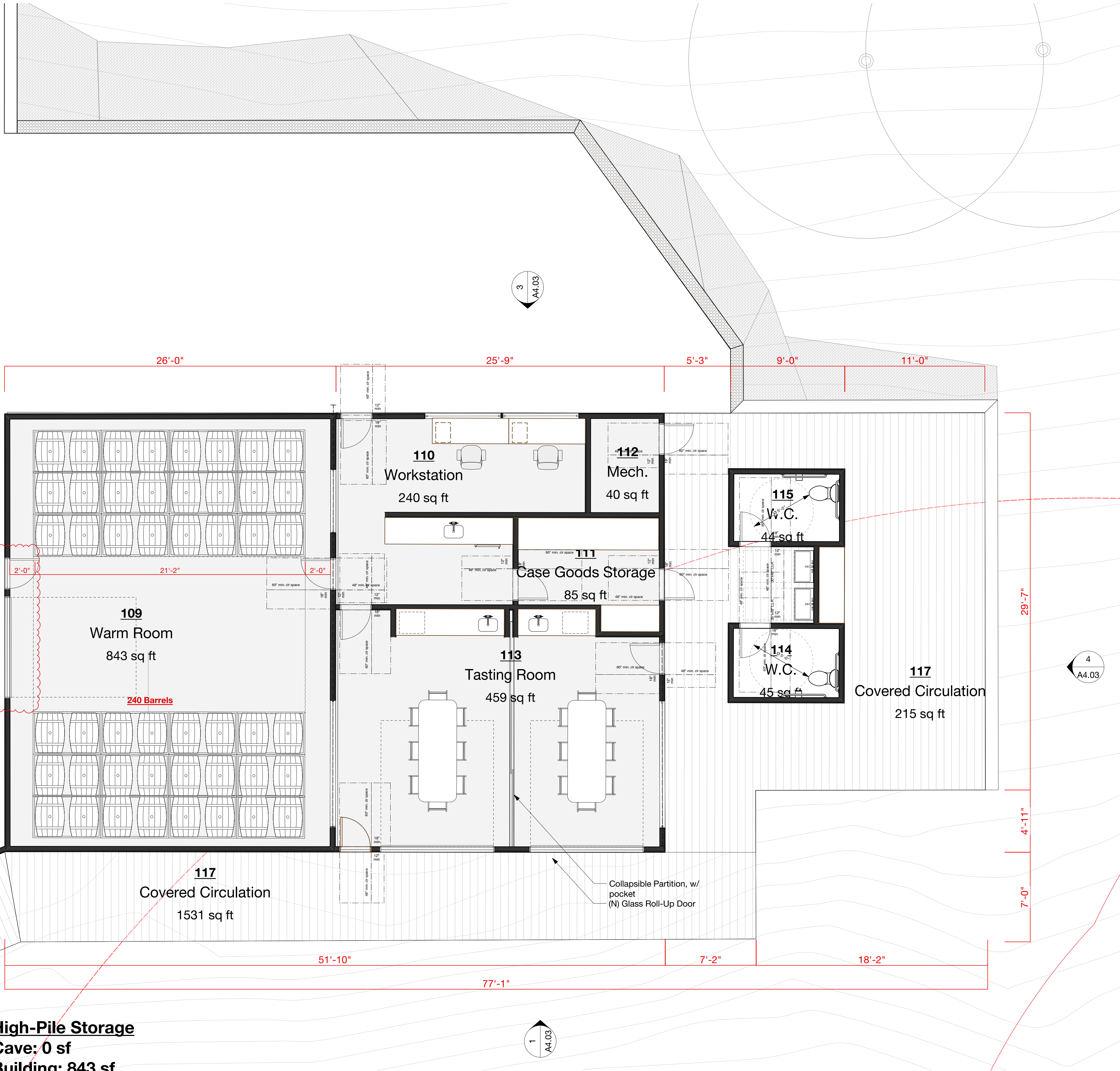
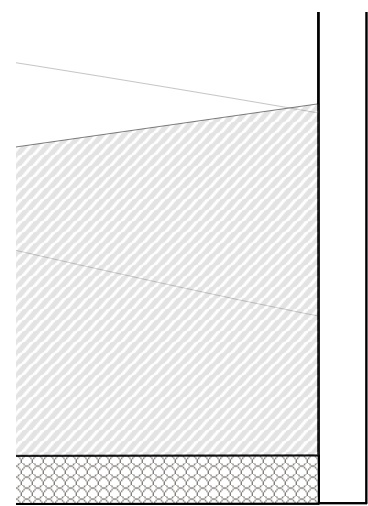
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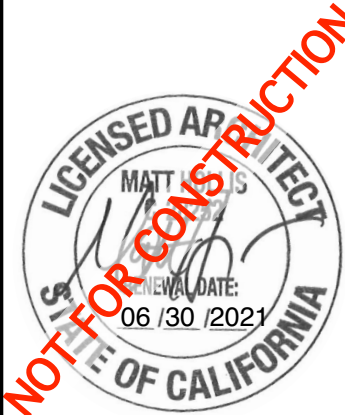
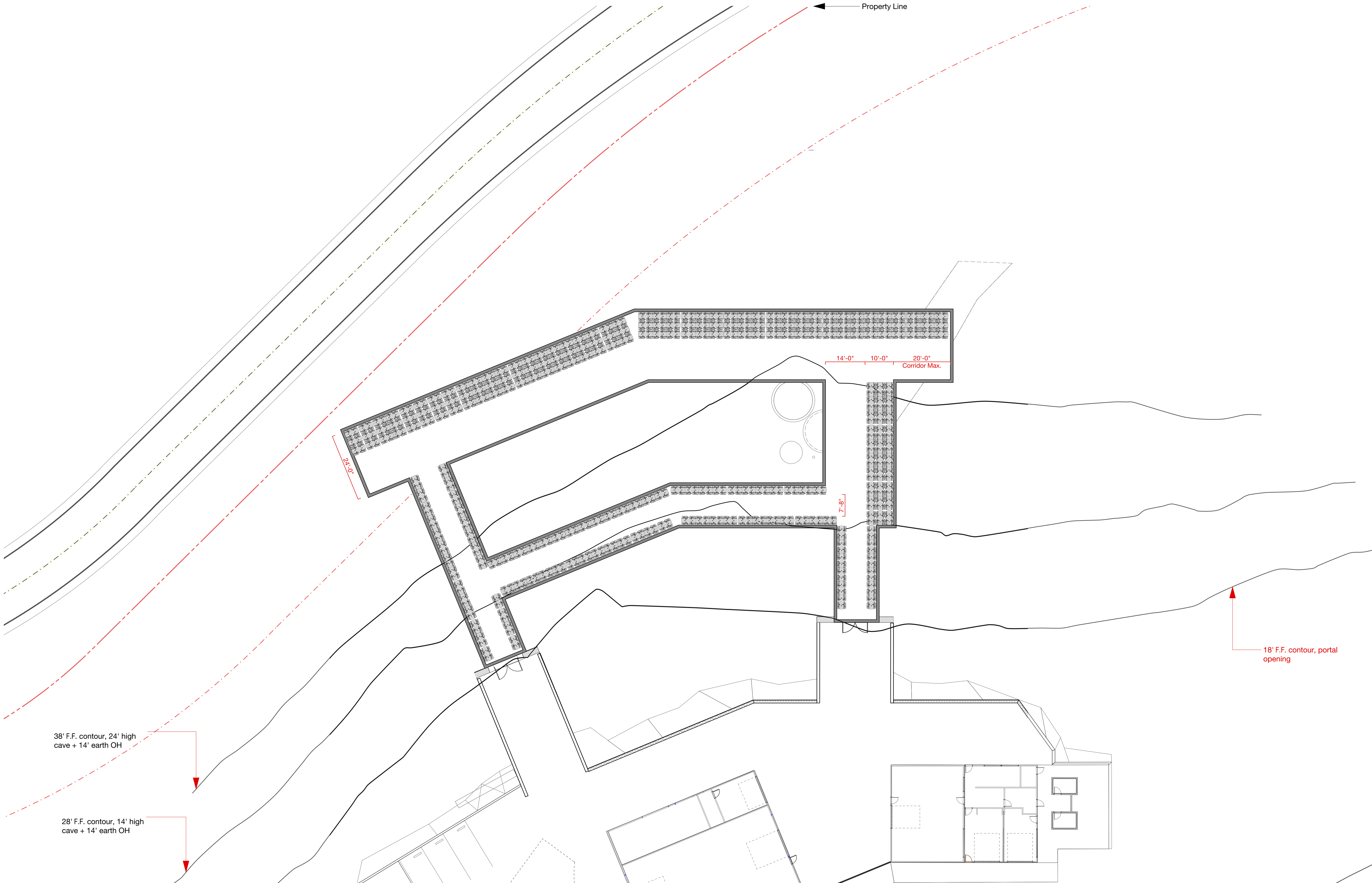
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Production
Floor Plan -
Existing

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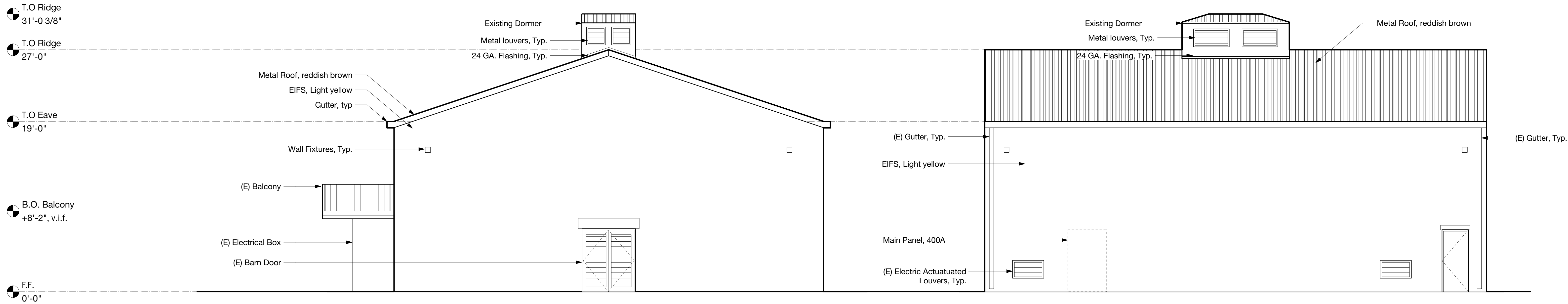
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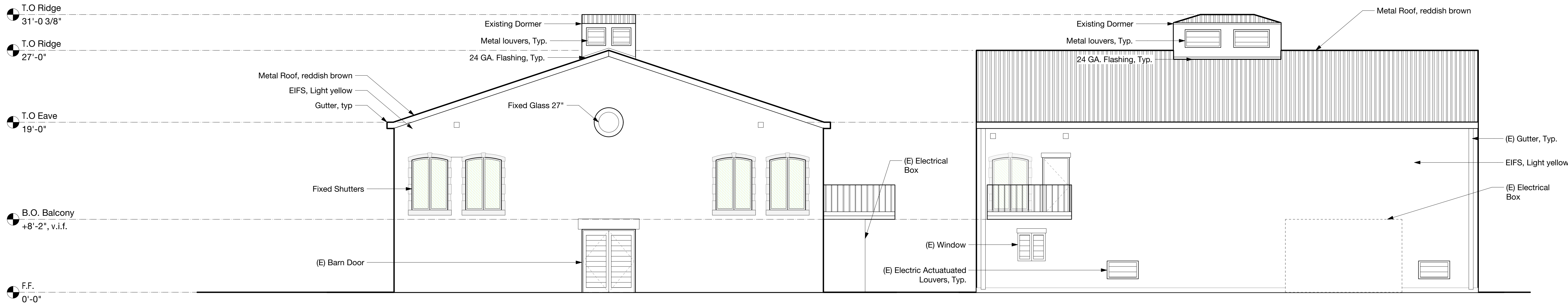
Cave Floor
Plan

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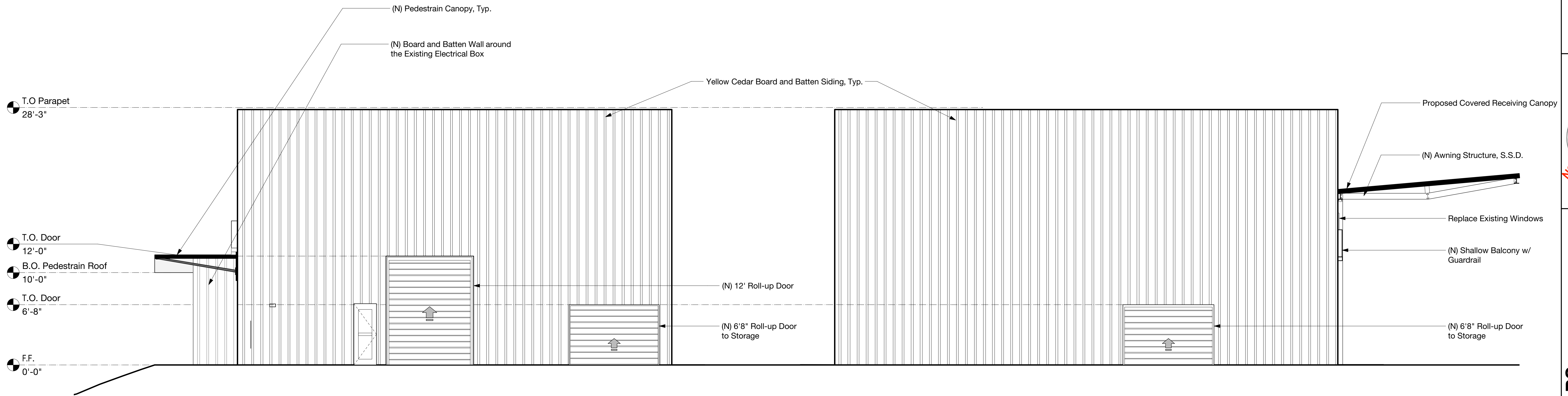
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3 West Elevation
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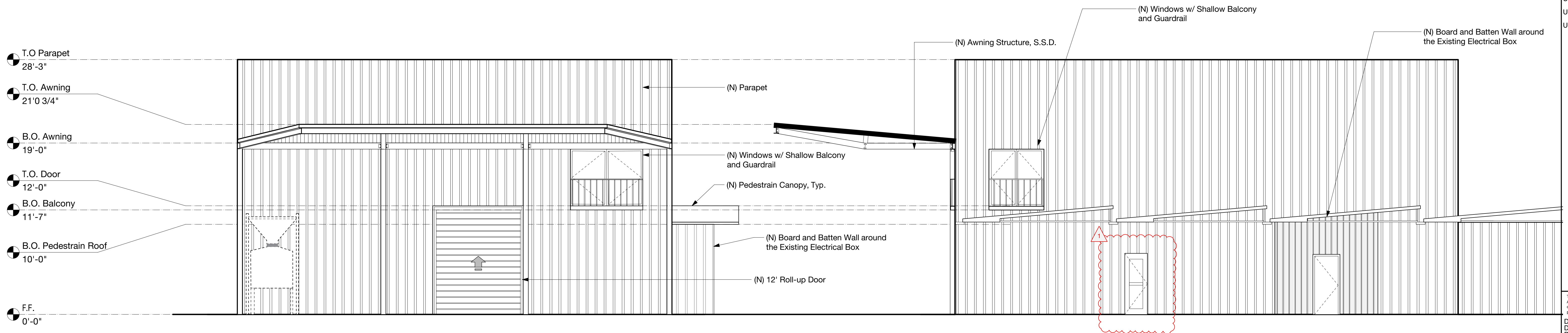
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1 East Elevation
Scale: 3/16" = 1'-0"



4 North Elevation
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3 West Elevation
Scale: 3/16" = 1'-0"



2 South Elevation
Scale: 3/16" = 1'-0"

1 East Elevation
Scale: 3/16" = 1'-0"



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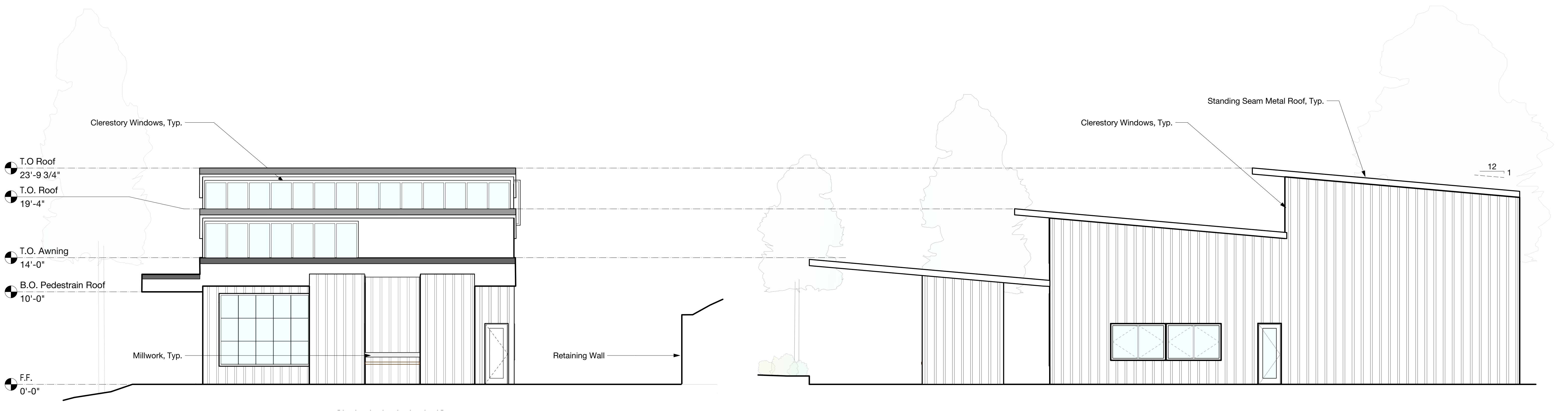
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Extension
Elevations

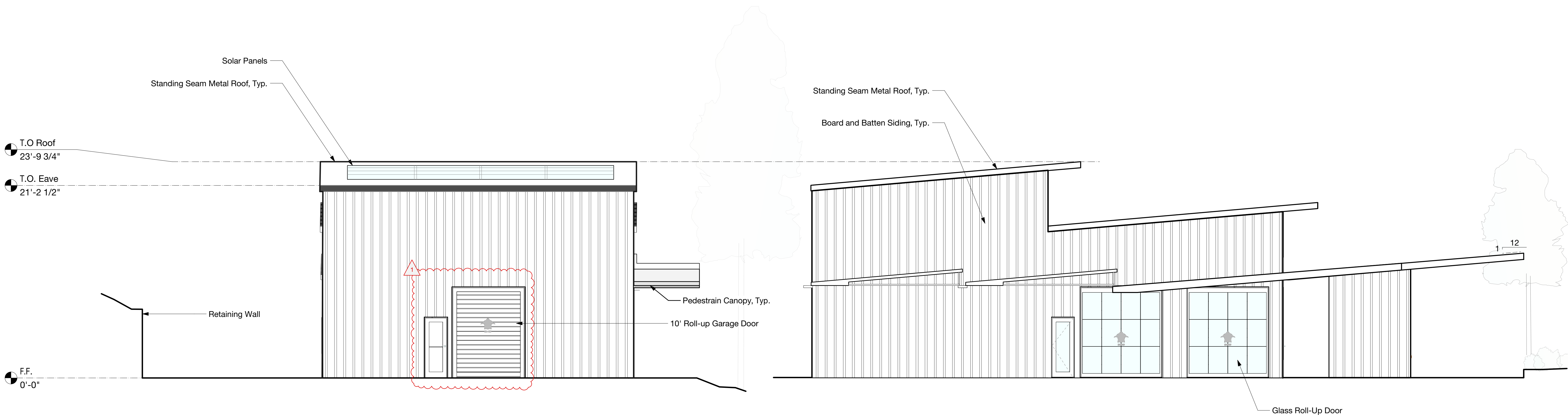
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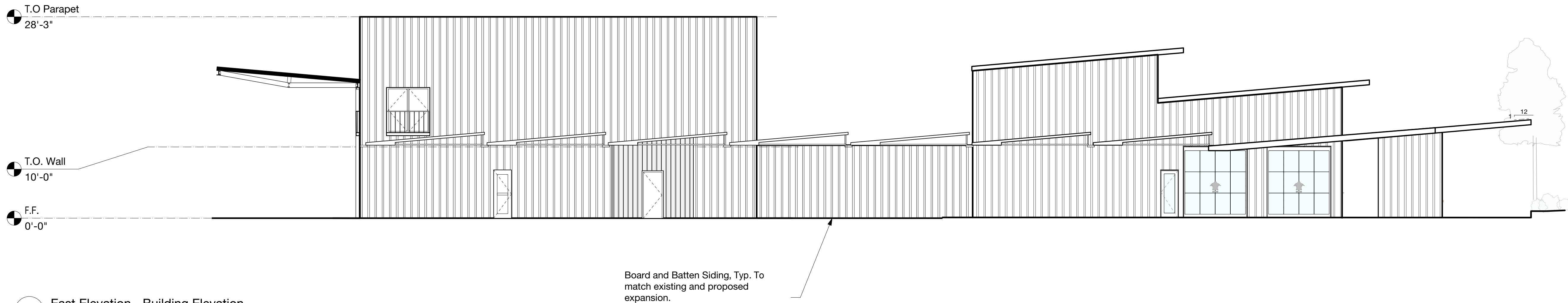
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3 West Elevation
Scale: 3/16" = 1'-0"

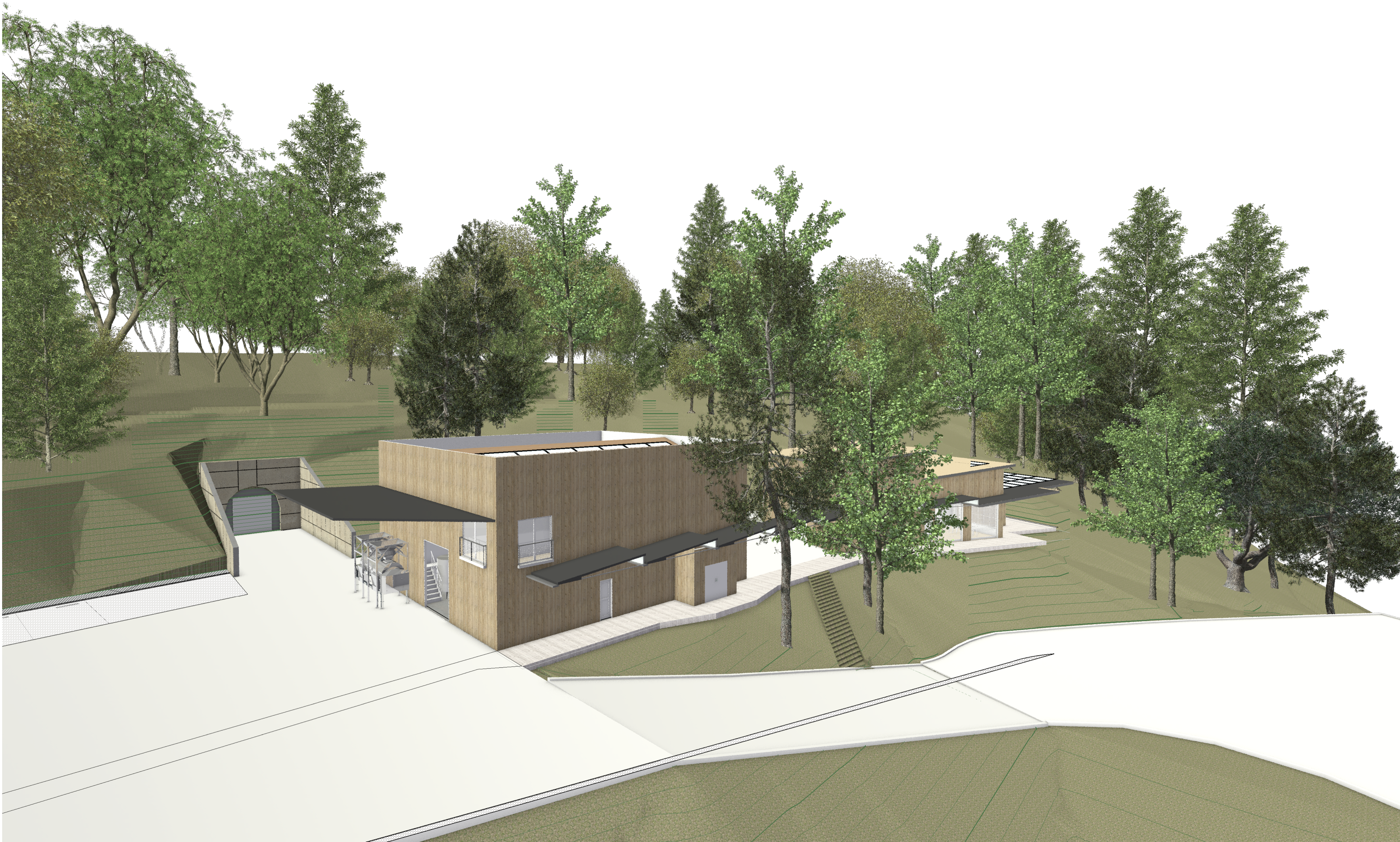


2 South Elevation
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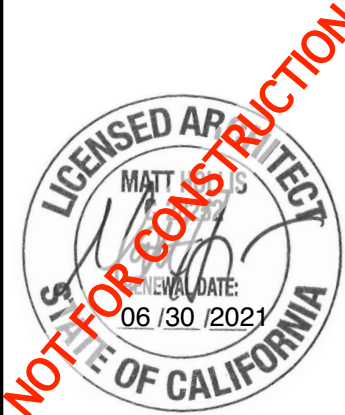
1 East Elevation
Scale: 3/16" = 1'-0"



1 East Elevation - Building Elevation
Scale: 1/8" = 1'-0"



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Scale: 1/8" = 1'-0"

North East
Rendering

SHEET NO:
A9.01



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PUBLISH DATE
Use Permit 9/25/19

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Date: 07.29.20
Drawn by: SS
Project No: 1908
Scale: 1/8" = 1'-0"

South East
Rendering

SHEET NO:
A9.02