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MATHEWS RESIDENCE

1725 Sunset Drive
Pacific Grove, California 93950

PROJECT DATA SHEET

PROJECT DATA SHEET				
1725 SUNSET DRIVE Project Address: PACIFIC GROVE, CA 93950		Submittal Date: August 10, 2020		
Applicant(s): Marie Mathews		Permit Type(s) & No(s): Planning Application		
Zone District	REQUIRED/ Permitted R-1-B-4(CZ)	Existing Condition R-1-B-4(CZ)	Proposed Condition R-1-B-4(CZ)	Notes
Building Site Area		33,811 S.F.	33,811 S.F.	
Density (multi-family projects only)		N/A	N/A	
Building Coverage	15% (5,072 S.F.)	5.3% (1,785 S.F.)	5.28% (1,785 S.F.)	
Site Coverage		2,852 S.F.	9.63% (3,259 S.F.)	
Gross Floor Area	6,000 S.F.	2,518 S.F.	2,518 S.F.	Lower 1,086 sf. Upper 1,432 s.f.
Square Footage not counted towards Gross Floor Area		282 S.F.	515 S.F.	WOOD DECKS
Impervious Surface Area Created and/or Replaced		357 S.F.	648 S.F.	357 s.f. (E) patio area replaced 648 s.f. (N) patio area created
Exterior Lateral Wall Length to be demolished in feet & % of total*	N/A	277.75 L.F.	89.3 L.F. 32.1%	
Exterior Lateral Wall Length to be built	N/A	N/A	89.3 L.F. 32.1%	
Building Height	25'-0"	23'-5"	23'-5"	
Number of stories	2	1	1	One story with a basement
Front Setback	75'-0"	76'-4"	76'-4"	
NORTH Side Setback	10'-0"	44'-3"	44'-3"	
(specify side)				
SOUTH Side Setback	10'-0"	13'-3"	13'-3"	
(specify side)				
Rear Setback	20'-0"	182'-6"	182'-6"	
Garage Door Setback	20'-0"	56'-0"	56'-0"	
Covered Parking Spaces	2	2	2	
Uncovered Parking Spaces	2	2	2	
Parking Space Size (Interior measurement)	9' x 20'	22' x 20'	22' x 20'	
Number of Driveways	1	1	1	
Driveway Width(s)		11'	11'	
Back-up Distance		156'	156'	
Eave Projection (Into Setback)	3' maximum	3'-0"	3'-0" (existing)	South-West Side Eave
Distances Between Eaves & Property Lines	3' minimum	6'-9"	6'-9" (existing)	South-West Side Eave
Open Porch/Deck Projections		9'-3"	5'-0"	Proposed deck projection 5'-0"
Architectural Feature Projections				
Number & Category of Accessory Buildings		0	0	
Accessory Building Setbacks		N/A	N/A	
Distance between Buildings		12'-7"	12'-7"	
Accessory Building Heights		N/A	N/A	
Fence Heights		6'-0"	6'-0"	

**If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.*

[Rev. 01/14/14]

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PROJECT DATA

EXISTING SITE COVERAGE

LOT AREA: 33,811 S.F.

LEGEND

HATCH TYPE	DESCRIPTION	AREA
EXISTING SITE COVERAGE		
	BUILDING FOOTPRINT (HOUSE & GARAGE)	1,785 S.F. (5.28 %)
NON BUILDING FOOTPRINT		
	CONCRETE PATIO	891 S.F. (1.05 %)
	CONCRETE WALKWAY	244 S.F. (0.87 %)
	CONCRETE DRIVEWAY	1,717 S.F. (5.08 %)
	WOOD DECK	262 S.F. (0.77 %)
	WOOD FENCE & DECK WOOD POST	22 S.F. (0.06 %)
TOTAL BUILDING & NON BUILDING COVERAGE =		4,497 S.F. (13.12 %)
ALLOWED =		5,072 S.F. (15.00 %)

PROPOSED SITE COVERAGE

LOT AREA: 33,811 S.F.

LEGEND

HATCH TYPE	DESCRIPTION	AREA
PROPOSED SITE COVERAGE		
	BUILDING FOOTPRINT (HOUSE & GARAGE)	1,785 S.F. (5.28 %)
NON BUILDING FOOTPRINT		
	STONE COURT YARD, PATIO & WALKWAY (IMPERMEABLE STONE PAVERS)	1,005 S.F. (2.97 %)
	CONCRETE PAVERS DRIVEWAY (PERMEABLE INTERLOCKING PAVERS)	1,717 S.F. (5.08 %)
	WOOD DECK w/ GLASS RAILING	315 S.F. (1.92 %)
	WOOD FENCE & DECK WOOD POST	22 S.F. (0.06 %)
TOTAL BUILDING & NON BUILDING COVERAGE =		5,044 S.F. (14.91 %)
ALLOWED =		5,072 S.F. (15.00 %)
PROPOSED IMMEDIATE OUTDOOR LIVING SPACE		
	IMMEDIATE OUTDOOR COURTYARD LANDSCAPE	250 S.F. (0.74 %)
	PERMEABLE INTERLOCKING PAVERS OUTDOOR PARKING	342 S.F. (1.01 %)
TOTAL IMMEDIATE OUTDOOR LIVING SPACE =		592 S.F. (1.75 %)
ALLOWED IMMEDIATE OUTDOOR LIVING SPACE =		1,640 S.F. (5.00 %)
TOTAL PROPOSED COVERAGE OF BUILDING & NON BUILDING AND IMMEDIATE OUTDOOR LIVING SPACE =		5,636 S.F. (16.66 %)
ALLOWED =		6,762 S.F. (20.00 %)

PROJECT DATA

ADDRESS: 1725 SUNSET DRIVE
PACIFIC GROVE, CA 93950

APN: 007-011-061 -036

OWNER: MARIE MATHEWS
11879 SOUTH HIGHWAY 99
MANTECA, CA 95336

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
211 HOFFMAN AVENUE
MONTEREY, CA 93940
PH: 831-372-0410

SURVEY: RASMUSSEN LAND SURVEYING, INC.
2150 GARDEN ROAD, SUITE A-3
MONTEREY, CA 93942
PH: 831-375-7240

BIOLOGIST: COASTAL BIOLOGIST
508 CROCKER AVENUE
PACIFIC GROVE, CA 93950
PH: 831-594-0948
CONTACT: TOM MOSS

HISTORIAN: SUSAN MORLEY
3054 BOSTICK AVENUE
MARINA, CA 93953
PH: 831-262-2300

PROJECT DESCRIPTION:

REMODEL (E) 3 BEDROOM 2 BATH SINGLE FAMILY RESIDENCE WITH ATTACHED 2 GARAGE.

ZONING: CZ R-1B4
LOT SIZE 33,811 S.F. = 0.78 ACS.
BUILDING HEIGHT: 25 FEET
ALLOWED GROSS FLOOR AREA = 6,000 S.F.

FLOOR AREA

EXISTING 2,518 S.F.
PROPOSED 2,518 S.F.

BUILDING SETBACK

FRONT YARD = 75 FEET
SIDE YARDS = 10 FEET
REAR YARD = 20 FEET

MAXIMUM SITE COVERAGE

BUILDING & NON BUILDING COVERAGE = 15 % 5,072 S.F.
IMMEDIATE OUTDOOR LIVING SPACE = 5 % 1,640 S.F.
MAXIMUM TOTAL SITE COVERAGE = 20 % 6,762 S.F.

SHEET INDEX

ARCHITECTURAL

- A-0.1 COVER SHEET
- A-1.0 EXISTING BASEMENT LEVEL SITE PLAN
A-1.1 PROPOSED BASEMENT LEVEL SITE PLAN
A-1.2 PROPOSED FIRST FLOOR SITE PLAN
A-1.3 SITE SECTION 'A - A'
A-1.4 SITE SECTION 'B - B'
- A-2.0 EXISTING BASEMENT FLOOR PLAN
A-2.1 EXISTING FIRST FLOOR PLAN
A-2.2 PROPOSED BASEMENT FLOOR PLAN
A-2.3 PROPOSED FIRST FLOOR PLAN
A-2.4 EXISTING ROOF PLAN
A-2.5 PROPOSED ROOF PLAN
A-2.6 DEMOLITION BASEMENT FLOOR PLAN
A-2.7 DEMOLITION FIRST FLOOR PLAN
- A-3.0 EXISTING & PROPOSED NORTHWEST ELEVATION
A-3.1 EXISTING & PROPOSED SOUTHWEST ELEVATION
A-3.2 EXISTING & PROPOSED NORTHEAST ELEVATION
A-3.3 EXISTING & PROPOSED SOUTHEAST ELEVATION
A-3.4 PROPOSED BUILDING SECTIONS
- A-4.0 PHOTOS OF EXISTING HOUSE
- A-7.1 MATERIAL COLOR SAMPLE

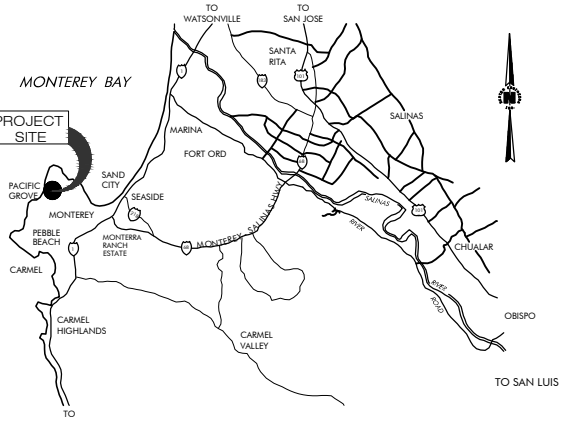
TOPO SURVEY

- 1 TOPOGRAPHIC MAP

LOCATION MAP



VICINITY MAP



REVISION	No.

CONSULTANT:

ARCHITECT

TITLE SHEET

JOB NAME:	Mathews Residence 1725 Sunset Drive Pacific Grove CA 93950 A.P.N. 007-061-036
DATE:	8/10/20
SCALE:	N.T.S.
DRAWN:	DM
JOB NUMBER:	18.09
A-0.1	
SHEET OF	

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE
MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

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EXISTING SITE PLAN

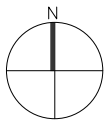
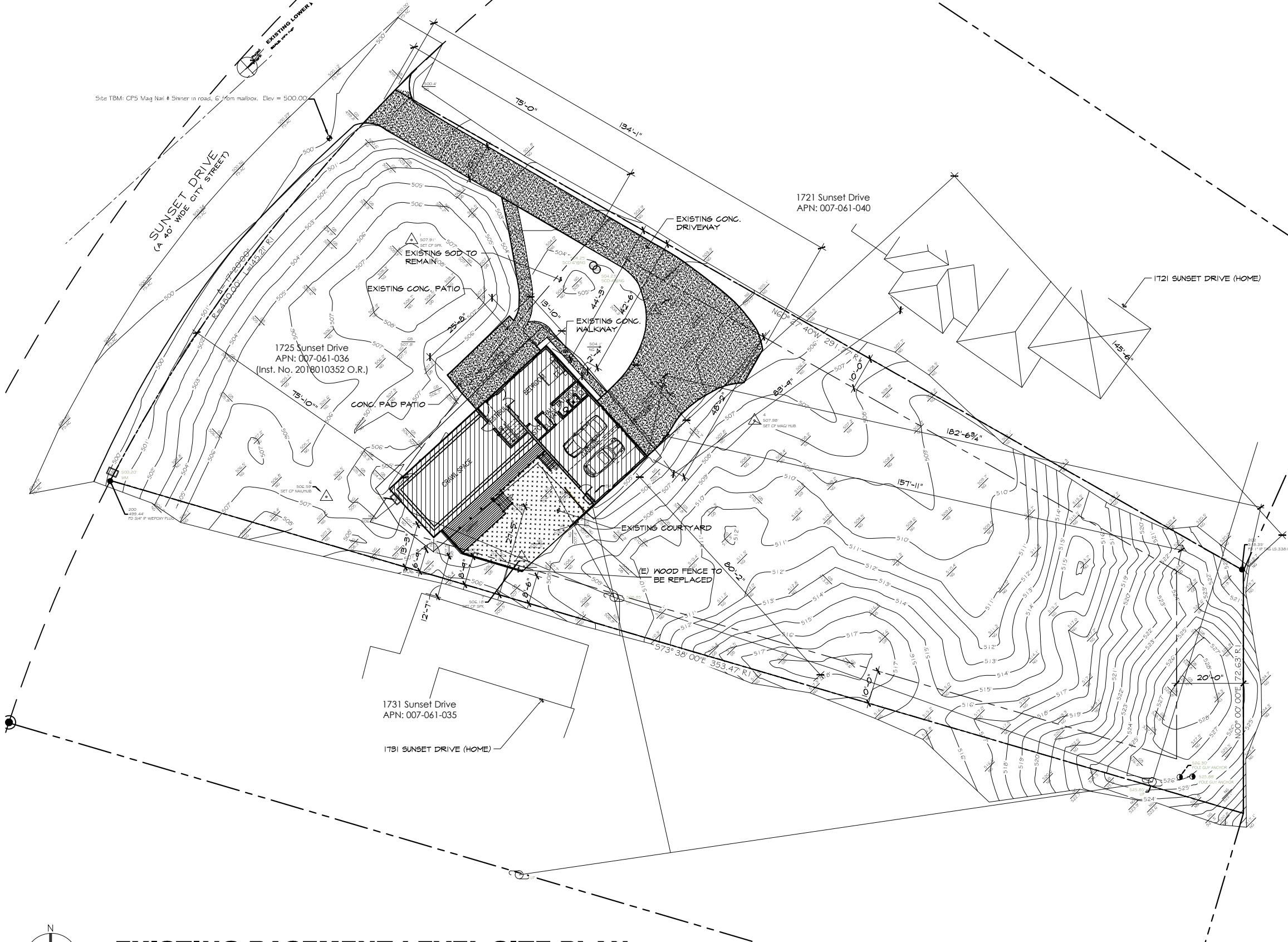
PROJECT ADDRESS: 1725 SUNSET DRIVE
PACIFIC GROVE, CA 93950

APN: 007-061-036

LOT AREA: 33,811 S.F.

LEGEND

HATCH TYPE	DESCRIPTION	AREA
EXISTING SITE COVERAGE		
	BUILDING FOOTPRINT (HOUSE & GARAGE)	1,785 S.F. (5.28 %)
	NON BUILDING FOOTPRINT	
	CONCRETE PATIO	357 S.F. (1.05 %)
	CONCRETE WALKWAY	244 S.F. (0.87 %)
	CONCRETE DRIVEWAY	1,717 S.F. (5.08 %)
	WOOD DECK	262 S.F. (0.77 %)
	WOOD FENCE & DECK WOOD POST	22 S.F. (0.06 %)
TOTAL BUILDING & NON BUILDING COVERAGE = 4,437 S.F. (13.12 %)		
ALLOWED = 5,072 S.F. (15.00 %)		



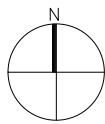
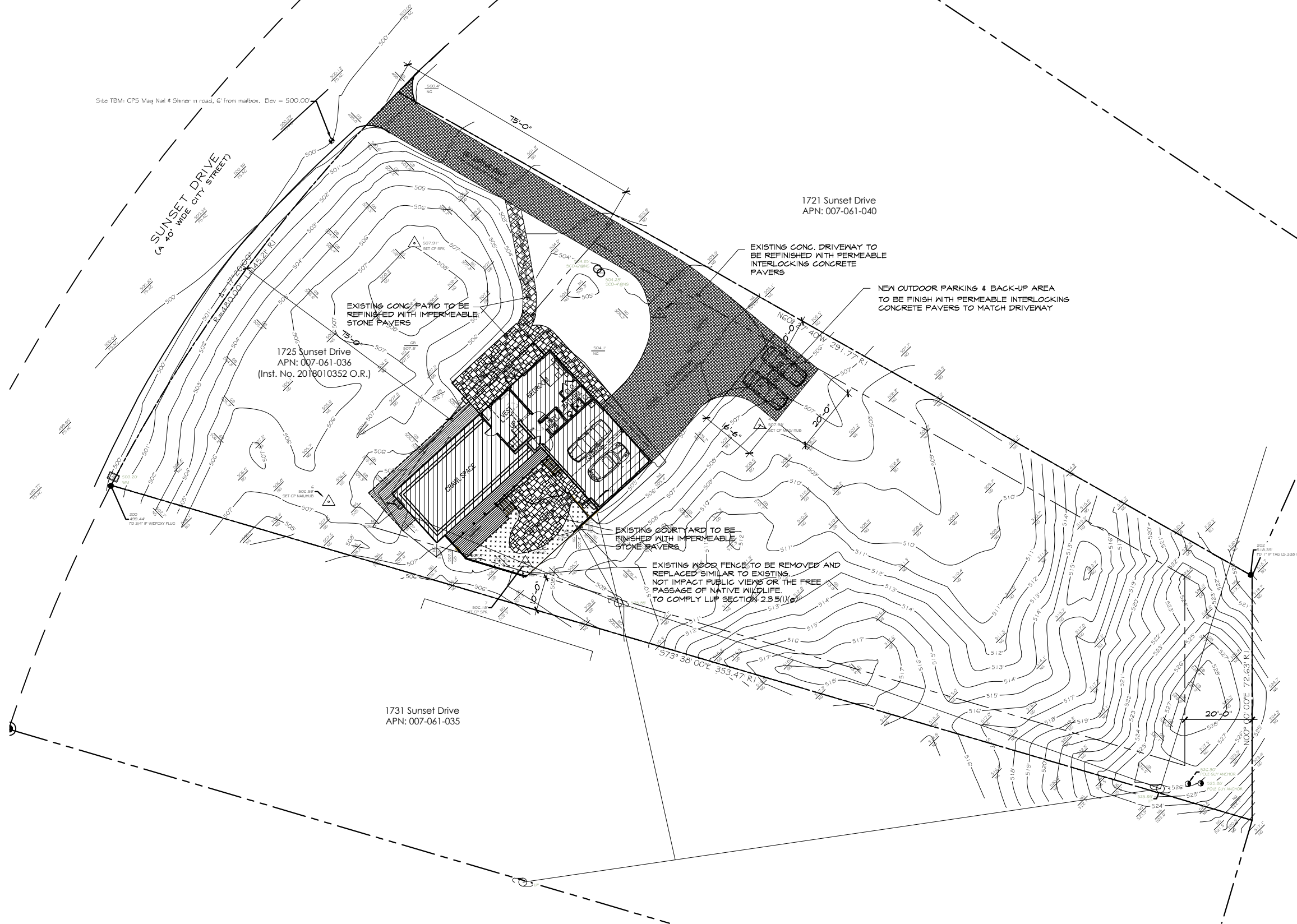
EXISTING BASEMENT LEVEL SITE PLAN

SCALE: 1/16" = 1'-0"

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CONSULTANT:	
ARCHITECT	
ERIC MILLER ARCHITECTS, INC.	
211 HOFFMAN AVENUE MONTEREY, CA 93940	
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	
EXISTING BASEMENT LEVEL SITE PLAN	
JOB NAME:	Mathews Residence
1725 Sunset Drive Pacific Grove CA 93950 A.P.N. 007-061-036	
DATE:	8/10/20
SCALE:	1/16"=1'-0"
DRAWN:	CAD
JOB NUMBER:	18.09
A-1.0	
SHEET OF	

LOT AREA: 33,811 S.F.

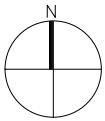
HATCH TYPE	DESCRIPTION	AREA
PROPOSED SITE COVERAGE		
	<u>BUILDING FOOTPRINT</u> (HOUSE & GARAGE)	1,785 S.F. (5.28 %)
	<u>NON BUILDING FOOTPRINT</u> STONE COURT YARD, PATIO & WALKWAY (IMPERMEABLE STONE PAVERS)	1,005 S.F. (2.97 %)
	CONCRETE PAVERS DRIVEWAY (PERMEABLE INTERLOCKING PAVERS)	1,717 S.F. (5.08 %)
	WOOD DECK W/ GLASS RAILING	515 S.F. (1.52 %)
	WOOD FENCE & DECK WOOD POST	22 S.F. (0.06 %)
TOTAL BUILDING & NON BUILDING COVERAGE = 5,044 S.F. (14.91 %) ALLOWED = 5,072 S.F. (15.00 %)		
PROPOSED IMMEDIATE OUTDOOR LIVING SPACE		
	IMMEDIATE OUTDOOR COURTYARD LANDSCAPE	250 S.F. (0.74 %)
	PERMEABLE INTERLOCKING PAVERS OUTDOOR PARKING	342 S.F. (1.01 %)
TOTAL IMMEDIATE OUTDOOR LIVING SPACE = 592 S.F. (1.75 %) ALLOWED IMMEDIATE OUTDOOR LIVING SPACE = 1,690 S.F. (5.00 %)		
TOTAL PROPOSED COVERAGE OF BUILDING & NON BUILDING AND IMMEDIATE OUTDOOR LIVING SPACE = 5,636 S.F. (16.66 %) ALLOWED = 6,763 S.F. (20.00 %)		



- * NO TREE PROPOSED TO BE REMOVED
- * NO GRADING CUT & FILL TO BE PROPOSED
- * LANDSCAPE TO REMAIN NATURAL, REFER TO BIOTIC REPORT.

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PROPOSED BASEMENT LEVEL SITE PLAN JOB NAME: Mathews Residence 1725 Sunset Drive Pacific Grove CA 93950 A.P.N. 007-061-036						
DATE: 8/10/20						
SCALE: 1/16"=1'-0"						
DRAWN: CAD						
JOB NUMBER: 18.09						
A-1.1						
SHEET OF						

PDF



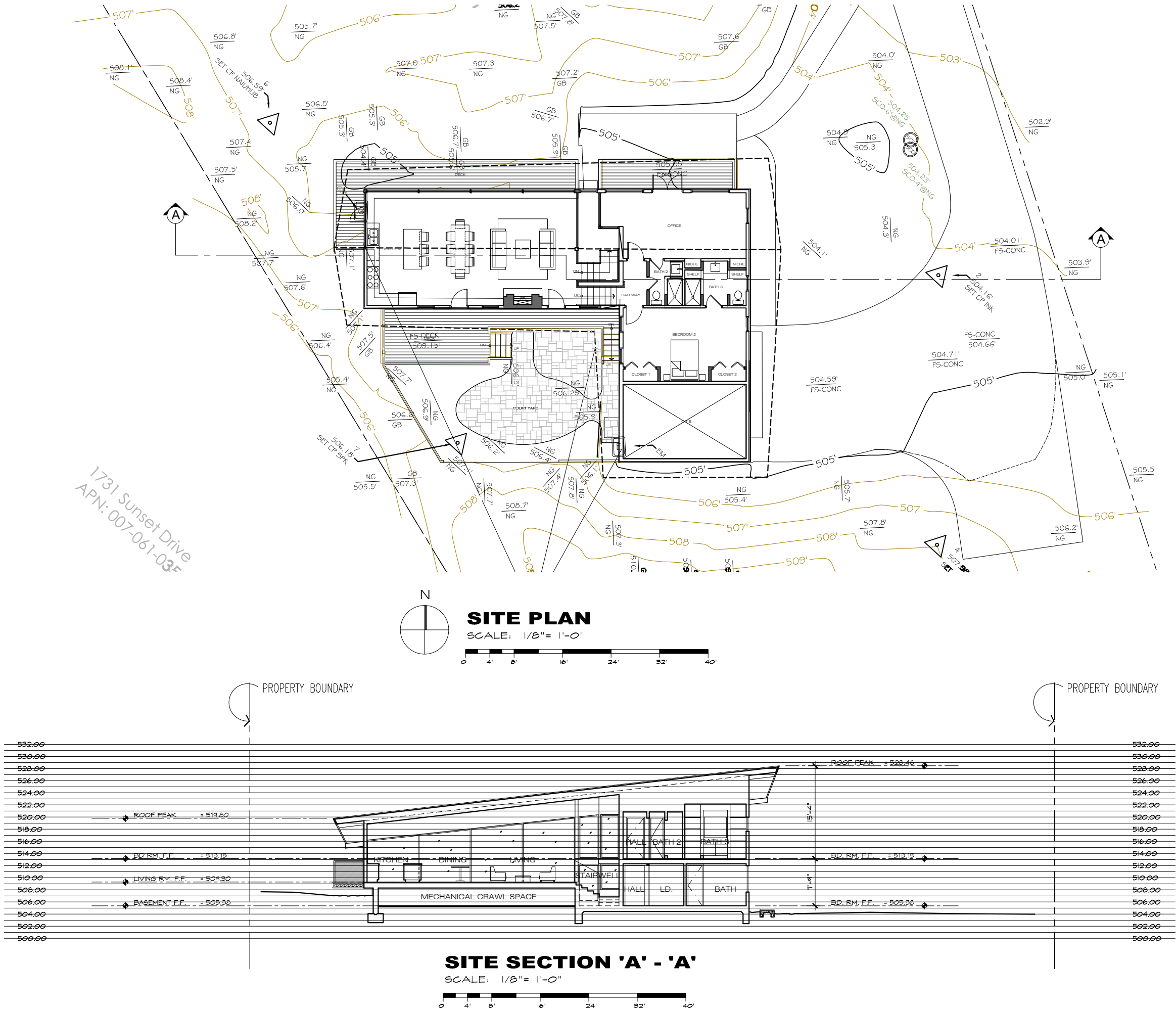
SCALE: 1/16" = 1'-0"



- * NO TREE PROPOSED TO BE REMOVED
- * NO GRADING CUT & FILL TO BE PROPOSED
- * LANDSCAPE TO REMAIN NATURAL, REFER TO BIOTIC REPORT

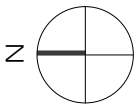
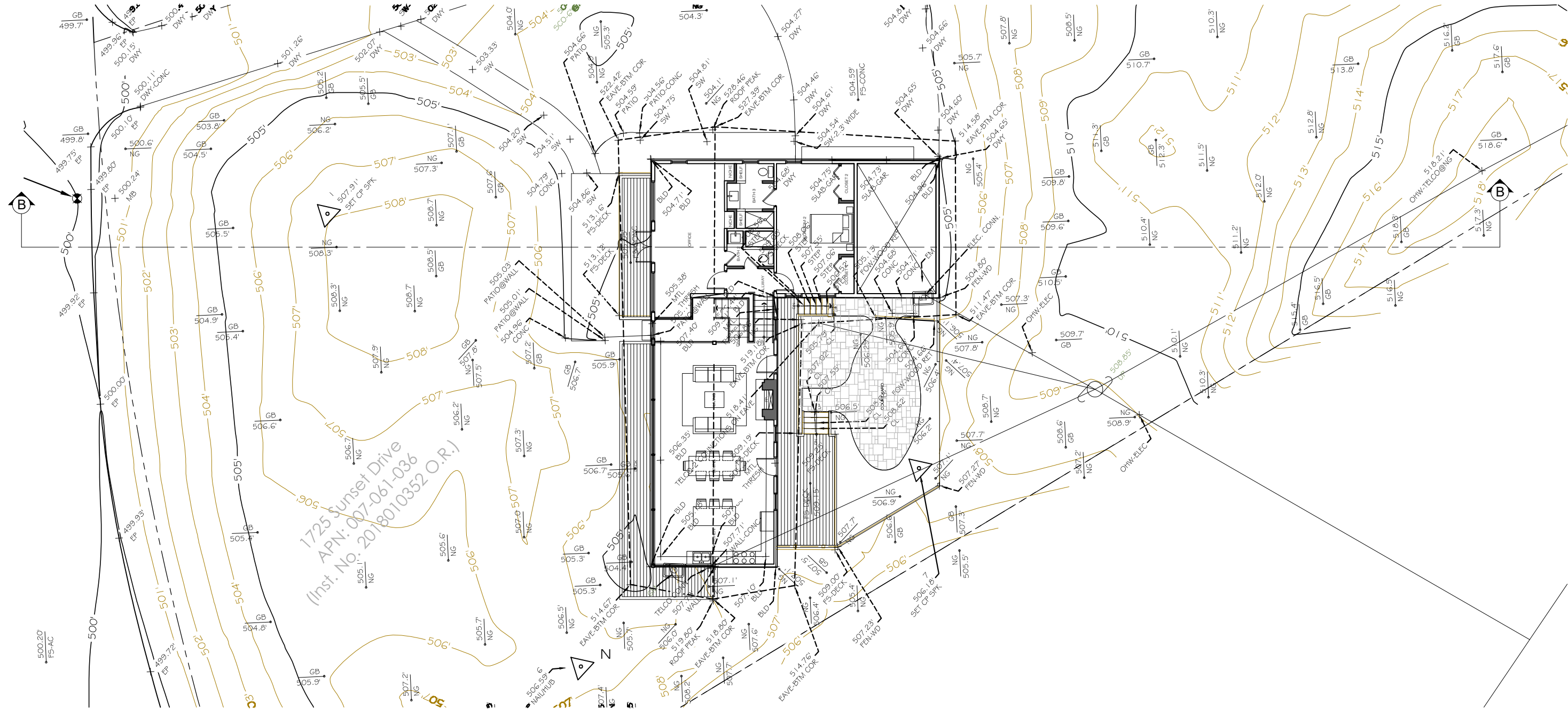
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PROPOSED FIRST FLOOR SITE PLAN DATE: 8/10/20 SCALE: 1/16"=1'-0" DRAWN: CAD JOB NUMBER: 18.09	
JOB NAME: Mathews Residence 1725 Sunset Drive Pacific Grove CA 93940 A.P.N. 007-061-036	
A-1.2 SHEET OF	

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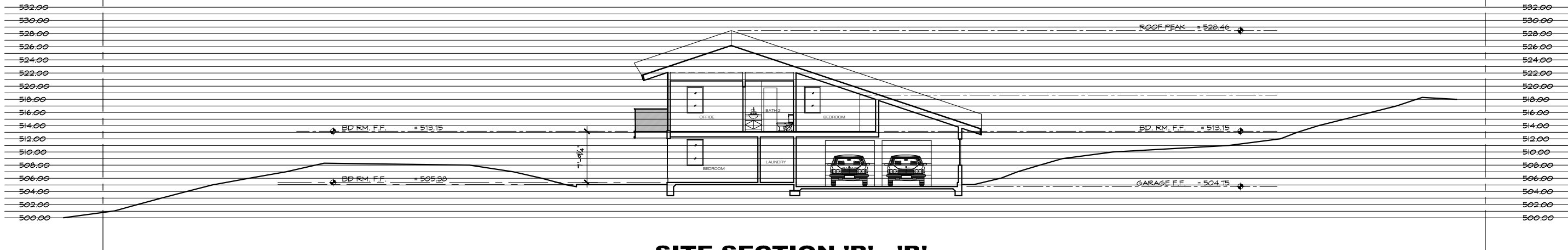
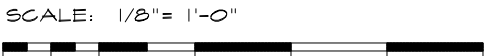


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SITE PLAN & SECTION		
JOB NAME: Mathews Residence		
1725 Sunset Drive		
Pacific Grove CA 93950		
A.P.N. 007-061-036		
DATE: 8/10/20		
SCALE: 1/8" = 1'-0"		
DRAWN: NN		
JOB NUMBER: 1809		
A-1.3		
SHEET OF		

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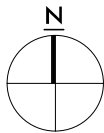
SITE PLAN
SCALE: 1/8" = 1'-0"



SITE SECTION 'B' - 'B'
SCALE: 1/8" = 1'-0"



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SITE PLAN & SECTION		
JOB NAME: Mathews Residence		
1725 Sunset Drive Pacific Grove CA 93950		
A.P.N. 007-061-036		
DATE: 8/10/20		
SCALE: 1/8" = 1'-0"		
DRAWN: NN		
JOB NUMBER: 1809		
A-1.4		
SHEET OF		

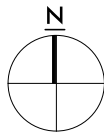


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MONTEREY, CA 93940		
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com		
EXISTING BASEMENT FLR. PLN		
JOB NAME:	Mathews Residence	
DATE:	8/10/20	
SCALE:	1/4" = 1'-0"	
DRAWN:	CCR	
JOB NUMBER:	18.09	
A-2.0		
SHEET OF		

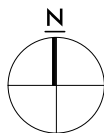


A-2.1

SHEET OF



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PROPOSED BASEMENT FLOOR PLAN JOB NAME: Mathews Residence 1725 Sunset Drive Pacific Grove CA 93950 A.P.N. 007-061-036 DATE: 8/10/20 SCALE: 1/4" = 1'-0" DRAWN: DM JOB NUMBER: 1809	
A-2.2 SHEET OF	



SCALE: 1/4" = 1'-0"



-  EXISTING WALLS TO REMAIN
 NEW WALLS
 WALLS TO BE DEMOLISHED AND REBUILT
 EXISTING WALLS, DOORS and MISCELLANEOUS TO BE DEMOLISHED

REVISION	No.

CONSULTANT:

ARCHITECT

ERIC MILLER ARCHITECTS, INC.

211 HOFFMAN AVENUE MONTEREY, CA 93940
PHONE (831) 372-0410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

PROPOSED FIRST FLOOR PLAN

Mathews Residence
1725 Sunset Drive
Pacific Grove CA 93950
A.P.N. 007-061-036

DATE: 8/10/20

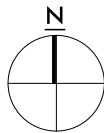
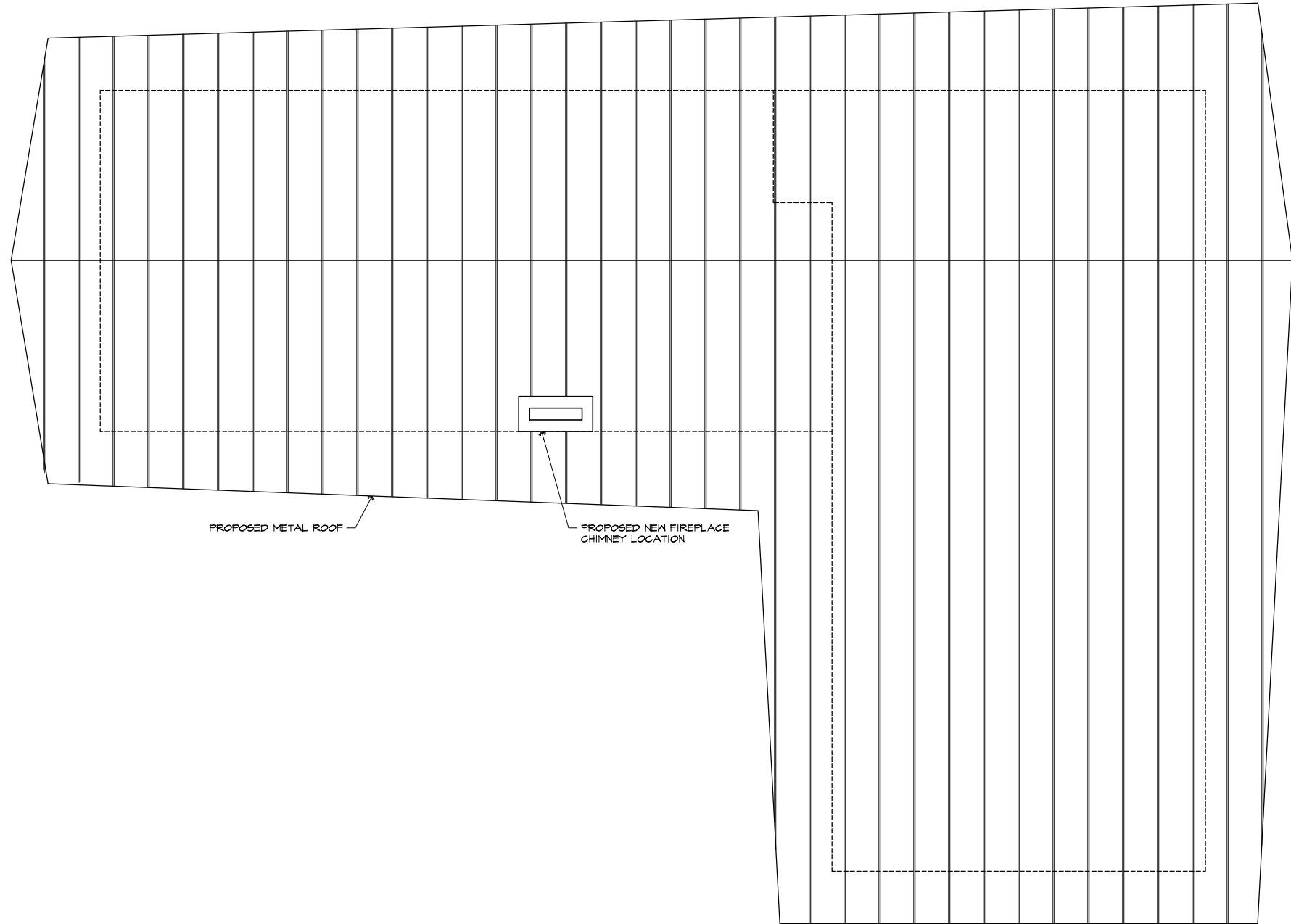
SCALE: 1/4" = 1'-0"

DRAWN: DM

JOB NUMBER: 18.09

A-2.3

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PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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PROPOSED ROOF PLAN		
JOB NAME:	Mathews Residence 1725 Sunset Drive Pacific Grove CA 93950 A.P.N. 007-061-036	
DATE:	8/10/20	
SCALE:	1/4" = 1'-0"	
DRAWN:	DM	
JOB NUMBER:	1809	
A-2.5		
SHEET OF		

TOTAL EXISTING EXTERIOR LATERAL WALL LENGTH IN FEET @ BASEMENT	108.0 L.F.
EXISTING EXTERIOR LATERAL WALL LENGTH TO BE DEMO @ BASEMENT	23.13 L.F. = 21%
EXISTING EXTERIOR LATERAL WALL LENGTH TO REMAIN @ BASEMENT	84.87 L.F. = 79%

WALL LEGEND

- EXISTING EXTERIOR WALLS TO BE DEMOLISHED
- EXISTING INTERIOR STRUCTURAL WALLS TO BE DEMOLISHED
- EXISTING EXTERIOR WALLS TO REMAIN
- STRUCTURAL WALL TO REMAIN
- REMOVE & REPLACE
- EXISTING INTERIOR WALLS TO BE DEMOLISHED
- EXISTING INTERIOR WALLS TO REMAIN

TOTAL EXISTING EXTERIOR and INTERIOR LATERAL WALL LENGTH @ BASEMENT and FIRST FLOOR

BASEMENT EXTERIOR	108.00 L.F.
FIRST FLOOR EXTERIOR	169.75 L.F.
TOTAL:	277.75 L.F.

BASEMENT INTERIOR	75.80 L.F.
FIRST FLOOR INTERIOR	158.71 L.F.
TOTAL:	234.51 L.F.

TOTAL EXISTING INTERIOR and EXTERIOR WALLS @ BASEMENT and FIRST FLOOR = 512.26 L.F.
TOTAL INTERIOR and EXTERIOR WALLS TO BE DEMOLISHED @ BASEMENT and FIRST FLOOR = 211 L.F.
211 L.F. / 512.26 L.F. = (41%)

EXTERIOR and INTERIOR WALLS TO BE DEMOLISHED IN LINEAR FEET @ BASEMENT

EXTERIOR WALLS TO BE DEMOLISHED
WALL - 1 = 7.08 L.F.
WALL - 2 = 13.38 L.F.
WALL - 3 = 2.67 L.F.

TOTAL: 23.13 L.F. = 21%

TOTAL INTERIOR STRUCTURAL WALLS
WALL - 1 = 15.08 L.F.
WALL - 2 = 20.25 L.F.

TOTAL: 35.33 L.F.

INTERIOR STRUCTURAL WALLS TO BE DEMOLISHED
WALL - 1 = 5.88 L.F.
WALL - 2 = 2.79 L.F.
WALL - 3 = 3.17 L.F.

TOTAL: 11.84 L.F. = 34%

INTERIOR STRUCTURAL WALLS TO REMAIN
WALL - 1 = 13.13 L.F.
WALL - 2 = 10.42 L.F.
WALL - 3 = 3.88 L.F.

TOTAL: 23.49 L.F. = 64%

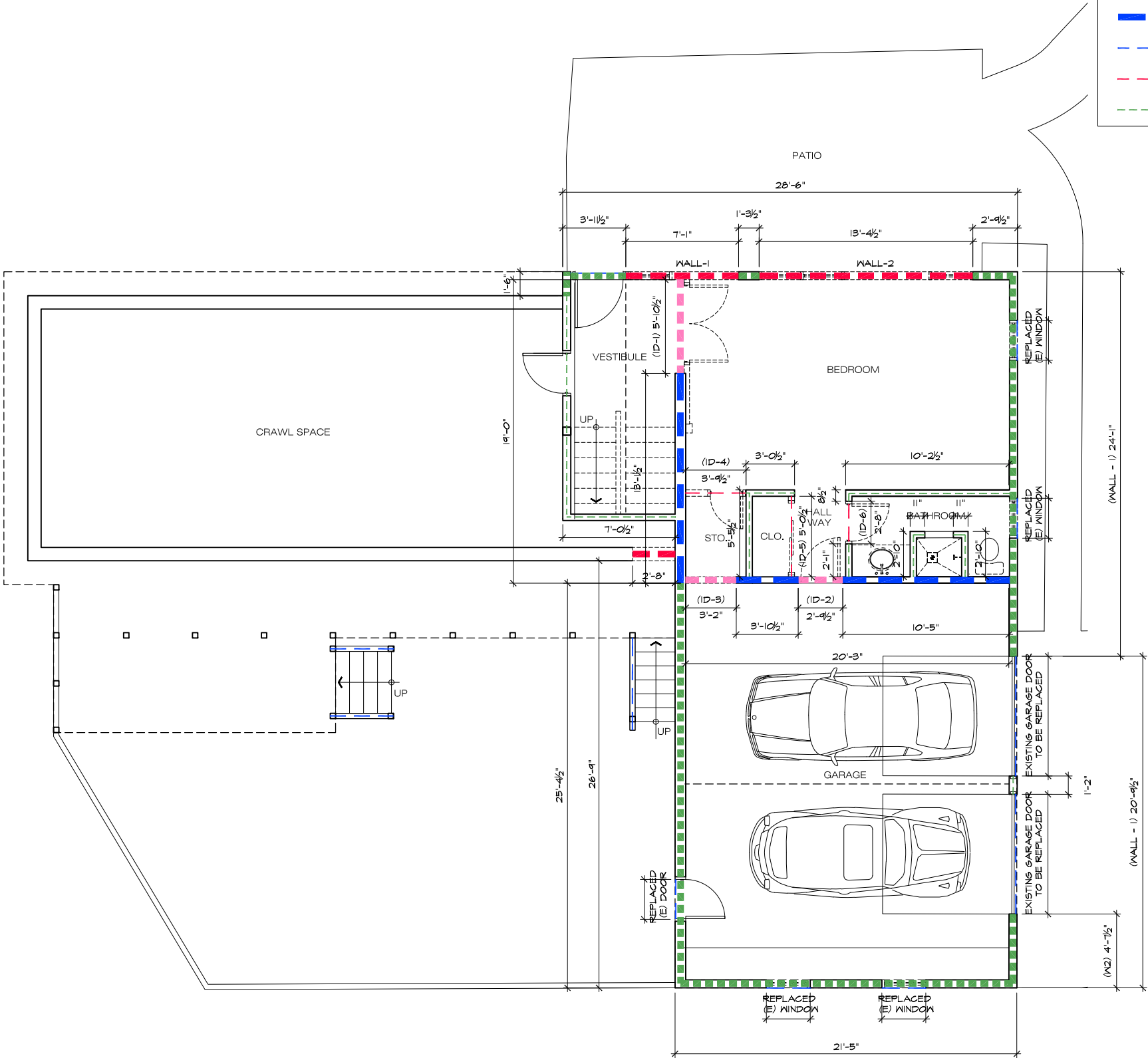
TOTAL EXTERIOR and INTERIOR WALLS TO BE DEMOLISHED @ BASEMENT = 46.47 L.F. = 25.3%

EXISTING EXTERIOR LATERAL WALL TO REMAIN @ BASEMENT and FIRST FLOOR

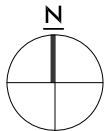
BASEMENT	84.87 L.F. = 79%
FIRST FLOOR	125.08 L.F. = 65%
TOTAL:	210.00 L.F. = 76%

LEGEND

- EXISTING WALLS TO REMAIN
- WALLS TO BE DEMOLISHED AND REBUILT
- EXISTING WALLS, DOORS and MISCELLANEOUS TO BE DEMOLISHED



NOTE: TOTAL EXTERIOR WALL LENGTH IS 277.75 L.F. TOTAL EXTERIOR WALL DEMOLITION IS 89.3 L.F. (89.3 L.F. / 277.75 L.F. = 32.1%). SEE ATTACHED SHEET ON SHEET A-0.1 PER EXTERIOR WALLS DEMOLITION.



DEMO BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

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ARCHITECT

DEMO BASEMENT FLOOR PLAN

JOB NAME: Mathews Residence

DATE: 8/10/20
SCALE: 1/4" = 1'-0"

DRAWN: DM

JOB NUMBER: 1809

A-2.6
SHEET OF

TOTAL EXISTING EXTERIOR LATERAL WALL LENGTH IN FEET @ FIRST FLOOR	169.75 L.F.
EXISTING EXTERIOR LATERAL WALL LENGTH TO BE DEMO @ FIRST FLOOR	66.17 L.F. = 39%
EXISTING EXTERIOR LATERAL WALL LENGTH TO REMAIN @ FIRST FLOOR	103.58 L.F. = 61%

WALL LEGEND

- EXISTING EXTERIOR WALLS TO BE DEMOLISHED
- EXISTING INTERIOR STRUCTURAL WALLS TO BE DEMOLISHED
- EXISTING EXTERIOR WALLS TO REMAIN
- STRUCTURAL WALL TO REMAIN
- REMOVE & REPLACE
- EXISTING INTERIOR WALLS TO BE DEMOLISHED
- EXISTING INTERIOR WALLS TO REMAIN

TOTAL EXISTING EXTERIOR and INTERIOR LATERAL WALL LENGTH @ BASEMENT and FIRST FLOOR

BASEMENT EXTERIOR	108.00 L.F.
FIRST FLOOR EXTERIOR	169.75 L.F.
TOTAL:	277.75 L.F. = 61%
BASEMENT INTERIOR	75.80 L.F.
FIRST FLOOR INTERIOR	158.71 L.F.
TOTAL:	234.51 L.F. = 39%
TOTAL EXISTING INTERIOR and EXTERIOR WALLS = @ BASEMENT and FIRST FLOOR 512.26 L.F.	
TOTAL INTERIOR and EXTERIOR WALLS TO BE DEMOLISHED @ BASEMENT and FIRST FLOOR = 211 L.F. 211 L.F. / 512.26 L.F. = (41%)	

EXTERIOR and INTERIOR WALLS TO BE DEMOLISHED IN LINEAR FEET @ FIRST FLOOR

EXTERIOR WALLS TO BE DEMOLISHED

WALL - 1	= 2.25 L.F.
WALL - 2	= 9.08 L.F.
WALL - 3	= 34.17 L.F.
WALL - 4	= 10.50 L.F.
WALL - 5	= 7.17 L.F.
WALL - 6	= 3.00 L.F.
TOTAL:	66.17 L.F. @ 38%

TOTAL INTERIOR STRUCTURAL WALLS

WALL - 1	= 19.00 L.F.
WALL - 2	= 20.25 L.F.
TOTAL:	39.25 L.F.

INTERIOR STRUCTURAL WALLS TO BE DEMOLISHED

WALL - 1	= 3.42 L.F.
WALL - 2	= 5.83 L.F.
WALL - 3	= 2.50 L.F.
WALL - 4	= 2.21 L.F.
WALL - 5	= 3.33 L.F.
TOTAL:	17.29 L.F. = 44%

INTERIOR STRUCTURAL WALLS TO REMAIN

WALL - 1	= 9.50 L.F.
WALL - 2	= 4.04 L.F.
WALL - 3	= 4.29 L.F.
WALL - 4	= 3.92 L.F.
TOTAL:	21.75 L.F. = 56%

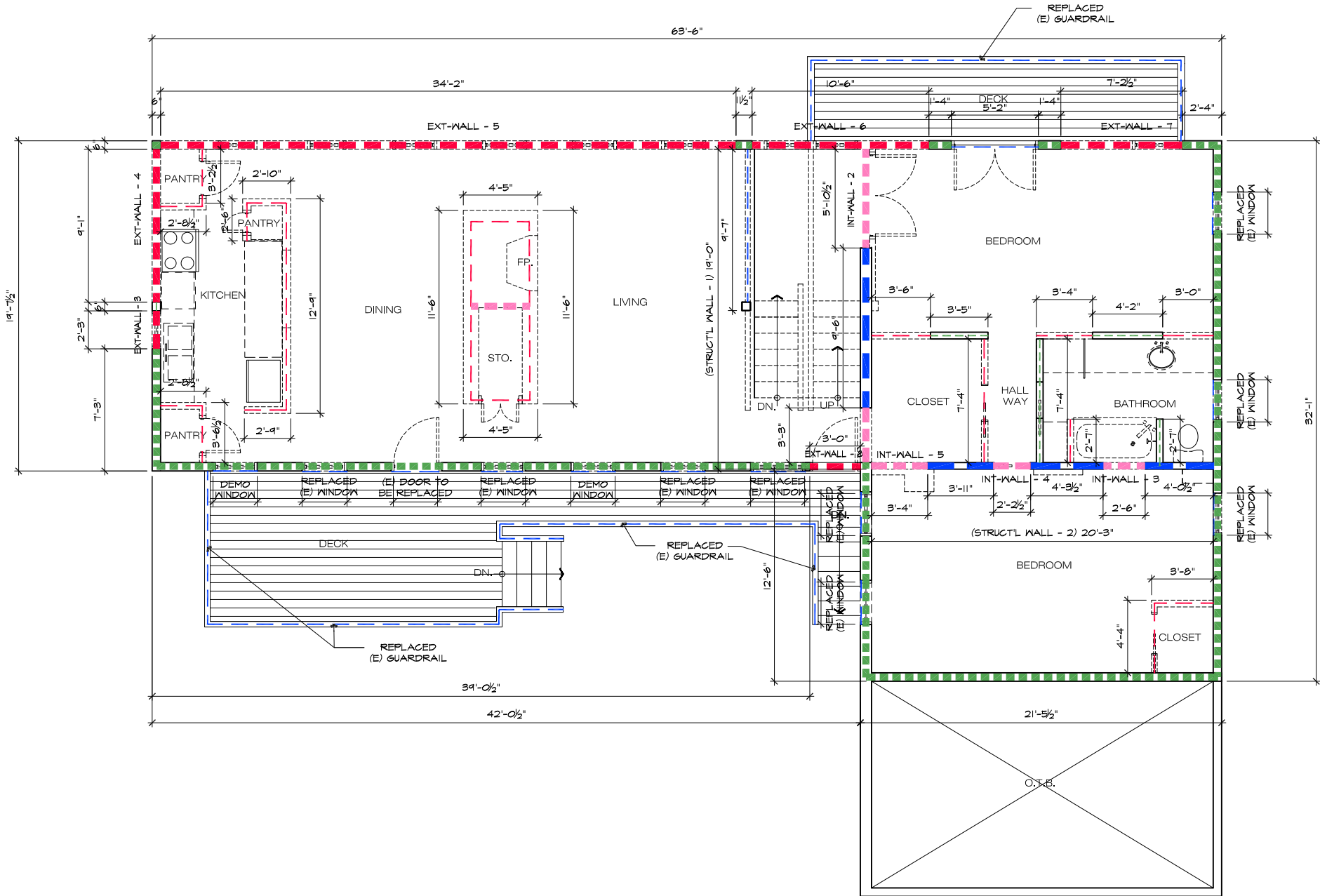
TOTAL INTERIOR and EXTERIOR WALLS TO BE DEMOLISHED @ FIRST FLOOR = 176.03 L.F. = 54%

EXISTING EXTERIOR LATERAL WALL TO REMAIN @ BASEMENT and FIRST FLOOR

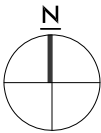
BASEMENT	137.33 L.F. = 74.7%
FIRST FLOOR	103.58 L.F. = 61%
TOTAL:	240.90 L.F. = 70%

LEGEND

- EXISTING WALLS TO REMAIN
- WALLS TO BE DEMOLISHED AND REBUILT
- EXISTING WALLS, DOORS and MISCELLANEOUS TO BE DEMOLISHED



NOTE: TOTAL EXTERIOR WALL LENGTH IS 277.75 L.F.
TOTAL EXTERIOR WALL DEMOLITION IS 89.3 L.F.
(89.3 L.F. / 277.75 L.F. = 32.1%). SEE ATTACHED SHEET ON SHEET A-0.1 PER EXTERIOR WALLS DEMOLITION.



DEMO FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISION	No.

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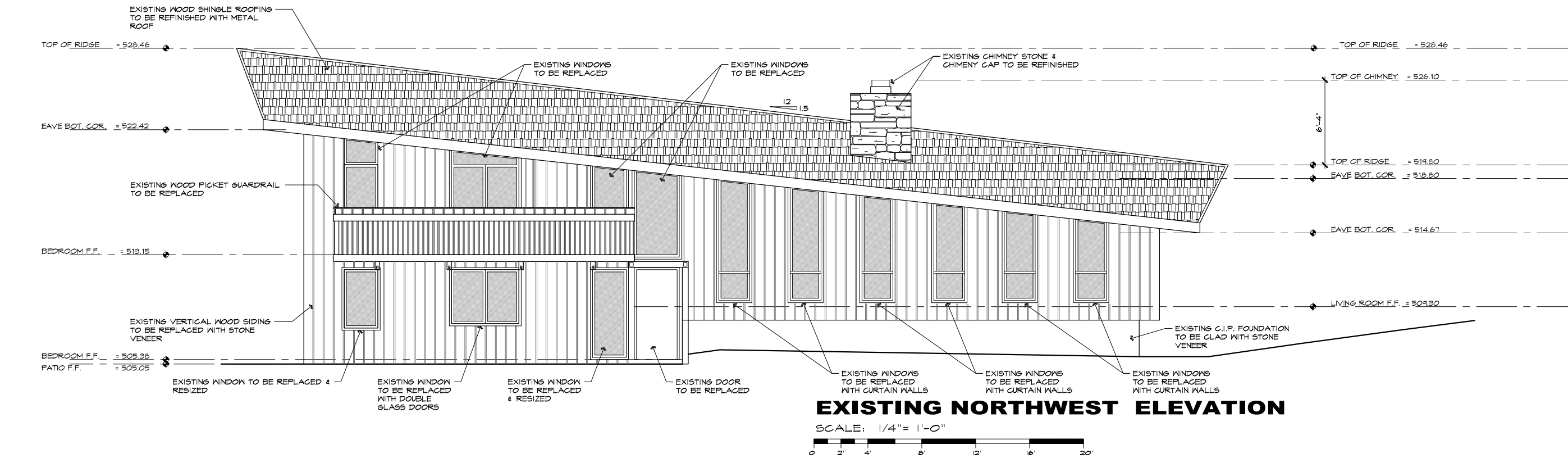
ARCHITECT

DEMO FIRST FLOOR PLAN

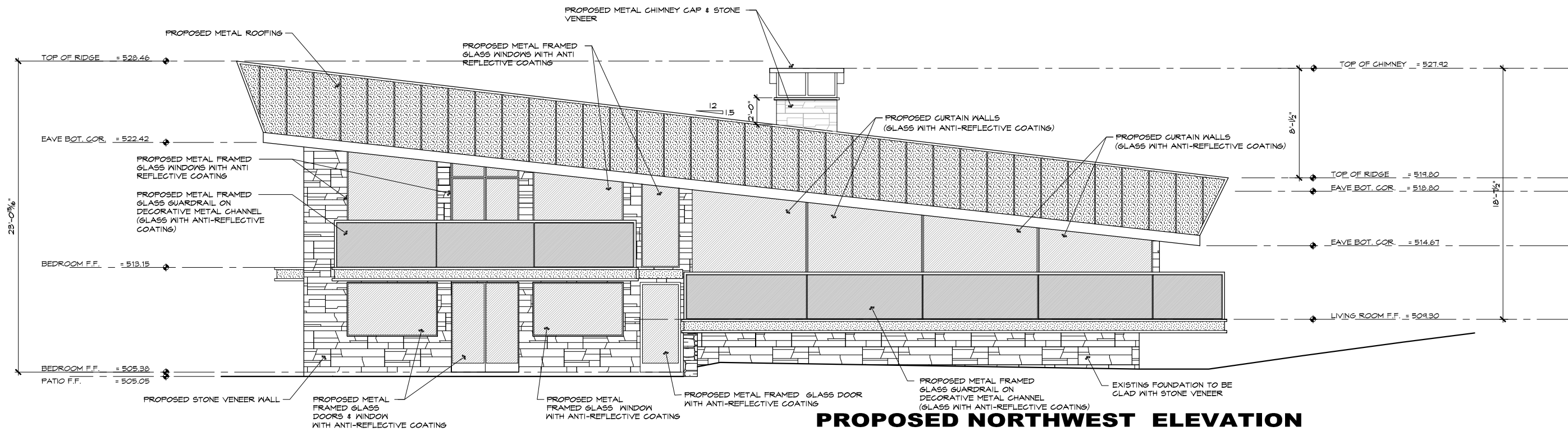
JOB NAME: Mathews Residence
1725 Sunset Drive
Pacific Grove CA 93950
A.P.N. 007-061-036

DATE:	8/10/20
SCALE:	1/4" = 1'-0"
DRAWN:	DM
JOB NUMBER:	18.09

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EXISTING NORTHWEST ELEVATION



PROPOSED NORTHWEST ELEVATION

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CONSULTANT:

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EXISTING & PROPOSED NORTHWEST ELEVATIONS

JOB NAME: **Mathews Residence**
1725 Sunset Drive
Pacific Grove CA 93950
A.P.N. 007-061-036

DATE: 8/10/20

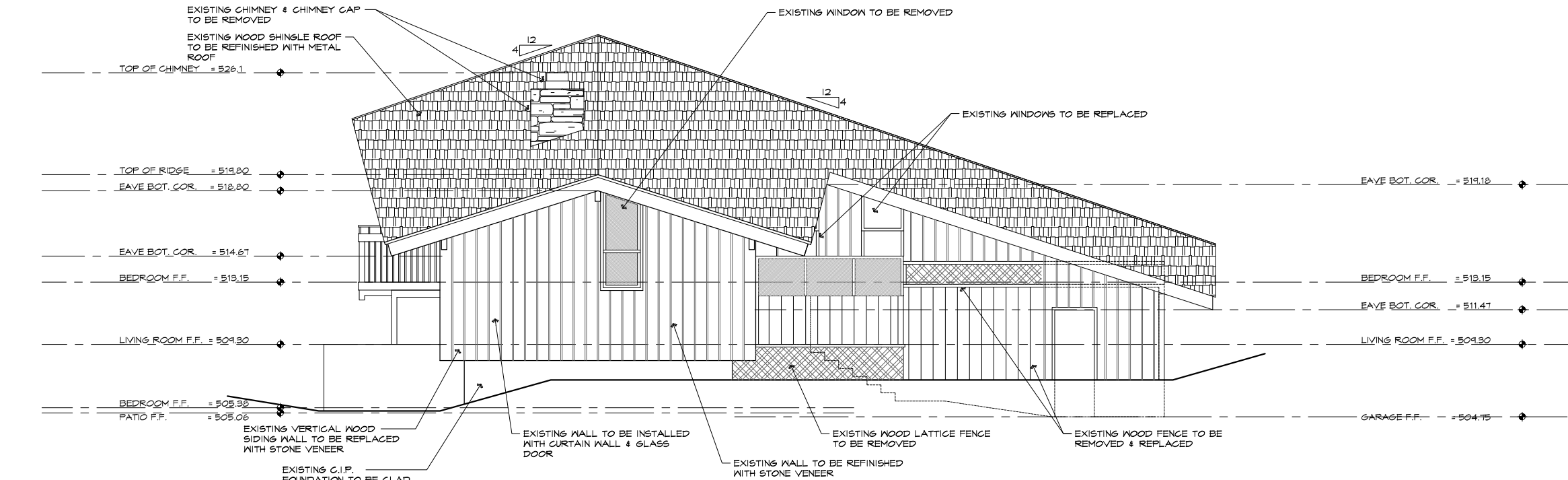
SCALE: 1/4"=1'-0"

DRAWN: DM

JOB NUMBER: 18.09

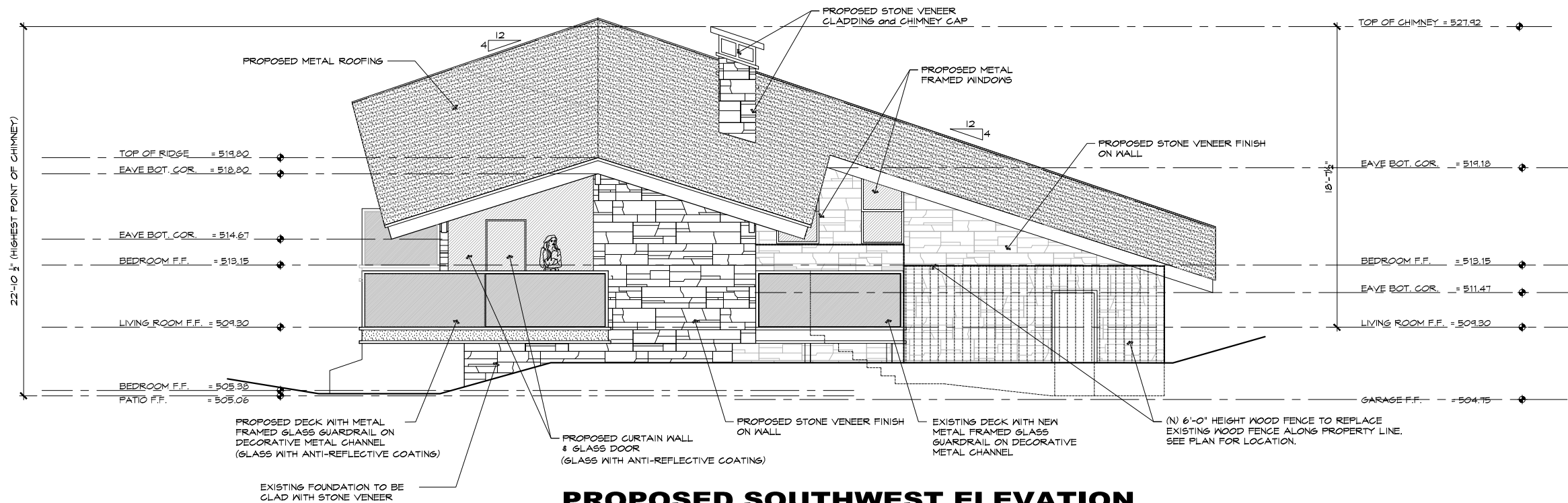
A-3.0

SHEET OF



EXISTING SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

REVISION	No.

CONSULTANT:

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EXISTING & PROPOSED SOUTHWEST ELEVATIONS

JOB NAME: **Mathews Residence**
1725 Sunset Drive
Pacific Grove CA 93950
A.P.N. 007-061-036

DATE: 8/10/20

SCALE: 1/4"=1'-0"

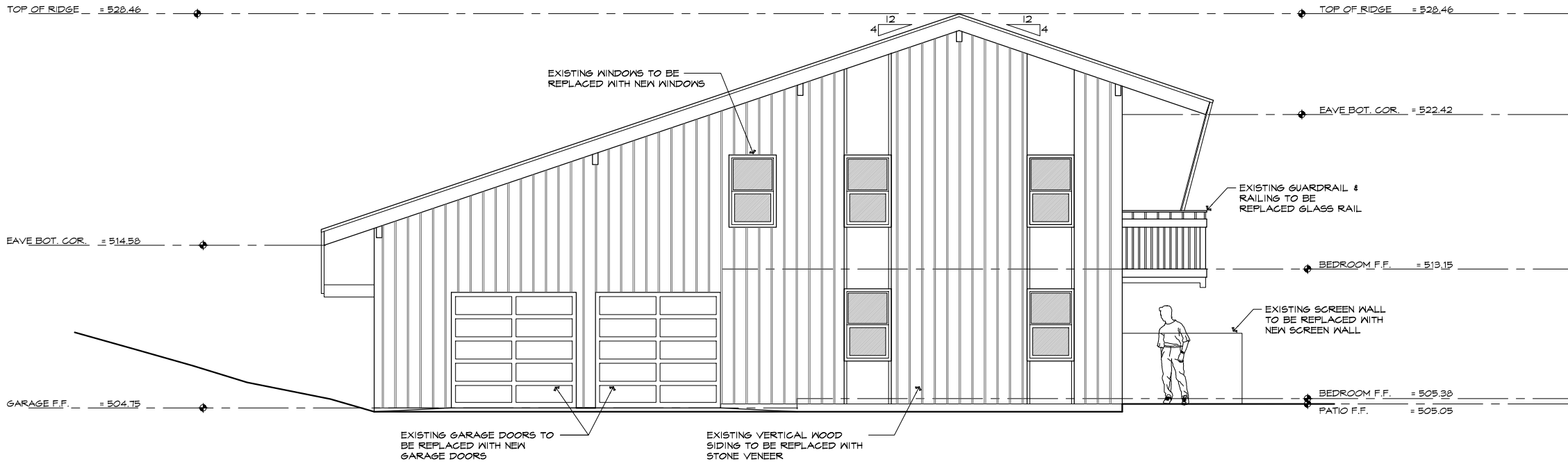
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JOB NUMBER: 18.09

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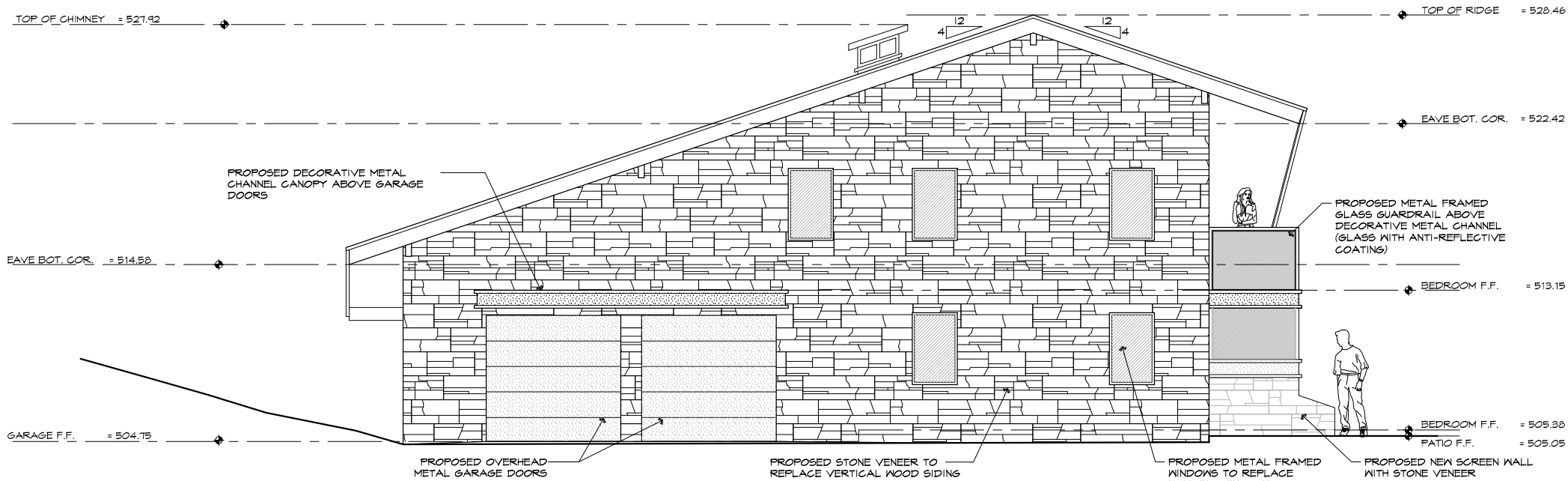
SHEET OF

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EXISTING NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



REVISION	No.

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EXISTING & PROPOSED NORTHEAST ELEVATIONS

JOB NAME: **Mathews Residence**
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A.P.N. 007-061-036

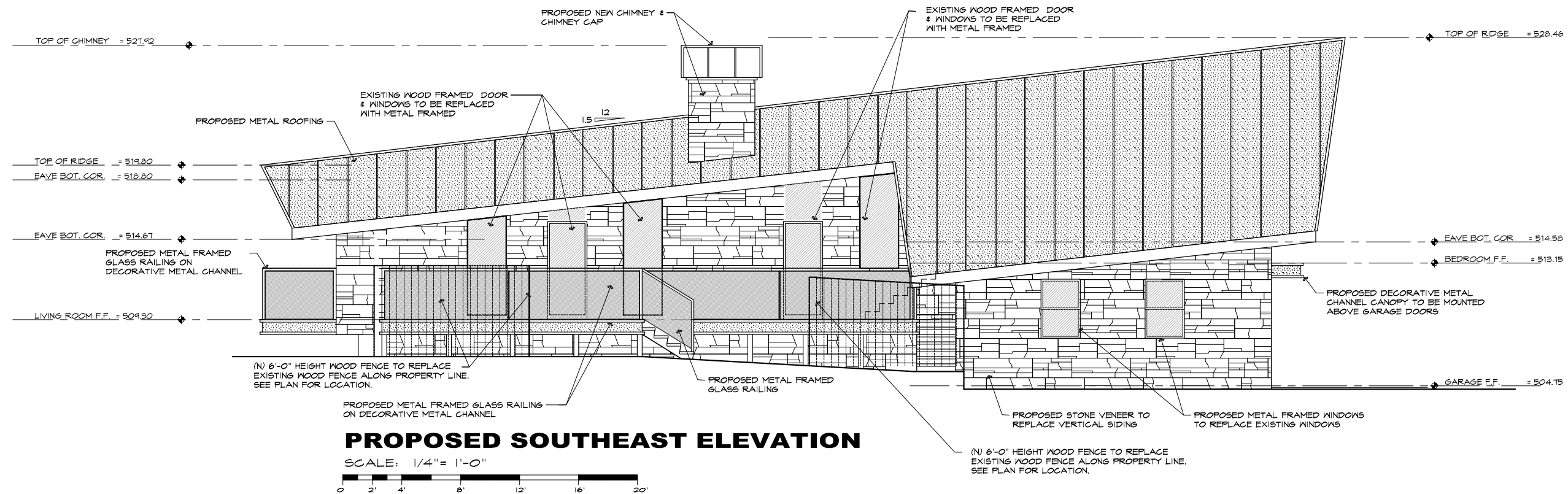
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SCALE: 1/4"=1'-0"

DRAWN: DM

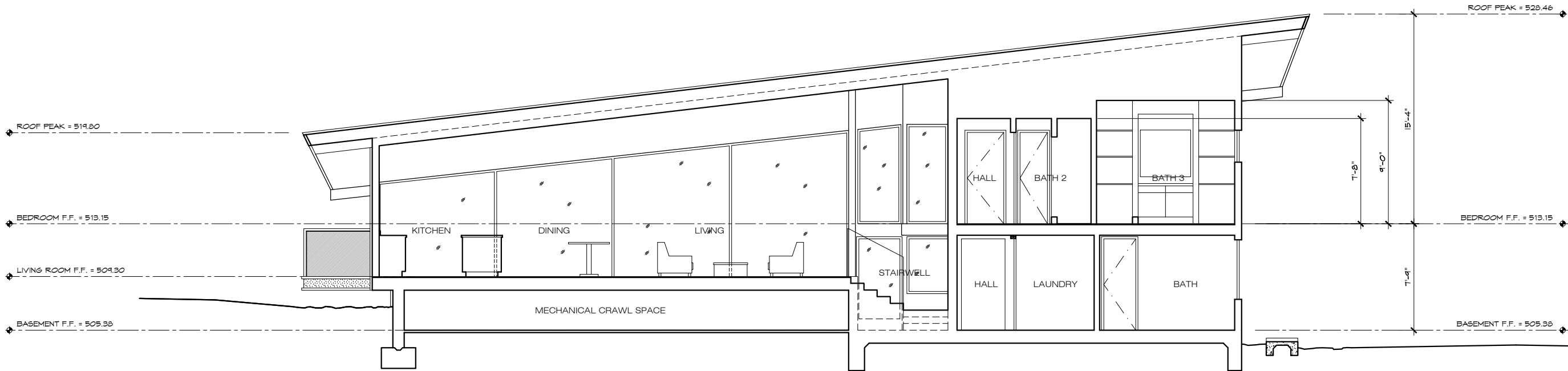
JOB NUMBER: 18.09

1



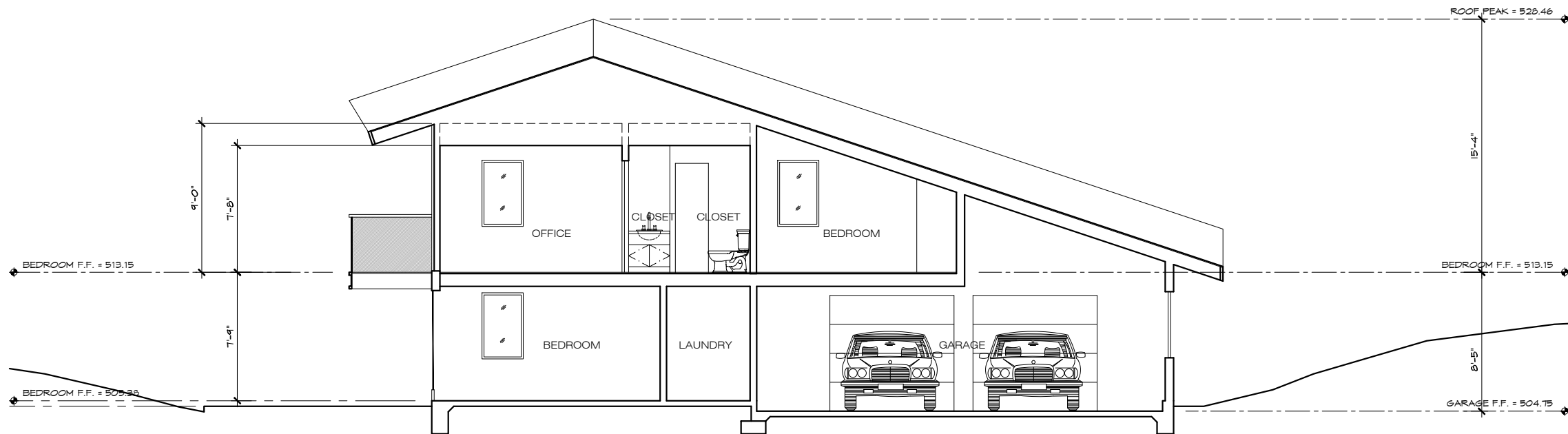
REVISION	No.
CONSULTANT:	
ARCHITECT ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com	□ □ □ □ □ □ □ □ ■ ■ ■ ■
EXISTING & PROPOSED SOUTHEAST ELEVATIONS JOB NAME: Mathews Residence 1725 Sunset Drive Pacific Grove CA 93950 A.P.N. 007-061-036 DATE: 8/10/20 SCALE: 1/4"=1'-0" DRAWN: DM JOB NUMBER: 1809	A-3.3 SHEET OF

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BUILDING SECTION 'A' - 'A'

SCALE: 1/4" = 1'-0"



BUILDING SECTION 'B' - 'B'

SCALE: 1/4" = 1'-0"



REVISION	No.

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BUILDING SECTIONS

JOB NAME:
Mathews Residence
1725 Sunset Drive
Pacific Grove CA 93950
A.P.N. 007-061-036

DATE: 8/10/20
SCALE: 1/4"=1'-0"
DRAWN: DM
JOB NUMBER: 18.09

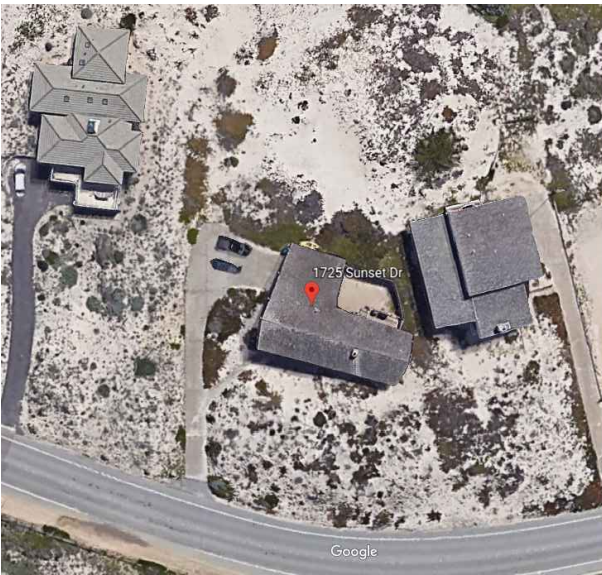
A-3.4
SHEET OF



7 EXISTING SOUTH ELEV.



4 EXISTING NORTH ELEV.



1 AERIAL VIEW OF THE PROPERTY



8 EXISTING WEST ELEV.



5 EXISTING NORTH ELEV.



2 EXISTING SOUTH ELEV.



9 EXIST'G NORTHEAST ELEV.

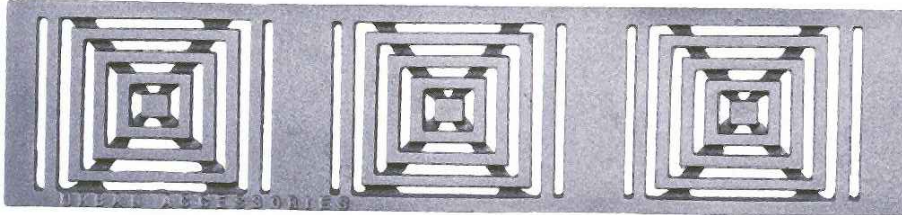
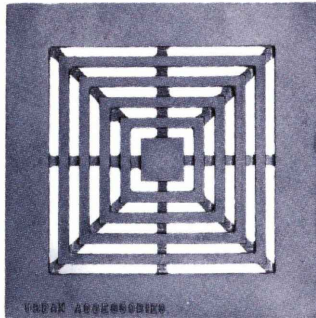


6 EXISTING EAST ELEV.



3 EXISTING SOUTH ELEV.

REVISION	No.
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PHOTOS OF EXISTING HOUSE	
JOB NAME:	Mathews Residence
1725 Sunset Drive CA 93940	
A.P.N. 007-061-036	
DATE:	8/10/20
SCALE:	N.T.S.
DRAWN:	NS
JOB NUMBER:	1809
A-4.0	
SHEET OF	

				 COLOR: DARK BROWN OR SIMILAR ROOFING CODE: CLASS 'A' ROOF ASSEMBLIES SECTION 1505.2		REVISION		No.	
7 GLASS EXTERIOR DOOR		4 FRAMELESS GLASS WDW.		1 ROOFING		CONSULTANT:			
						ARCHITECT			
8 TRENCH GRATES		5 METAL GARAGE DOOR		2 DECK & STAIRS GLASS RAILING and GUARDRAIL		ERIC MILLER ARCHITECTS, INC.			
		 PERMEABLE PAVERS BY: PERMALOC				211 HOFFMAN AVENUE MONTEREY, CA 93940 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com			
9 DRAIN COVER		6 PAVERS SAMPLE		3 STONE VENEER WALL		MATERIAL SAMPLES			
						JOB NAME: Mathews Residence			
						1725 Sunset Drive CA 93950			
						Pacific Grove CA			
						A.P.N. 007-061-036			
						DATE: 8/10/20			
						SCALE: N.T.S.			
						DRAWN: NS			
						JOB NUMBER: 18.09			
						A-7.1			
						SHEET OF			

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