

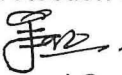


County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: December 21, 2020

TO: Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David A. Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez; James Anders
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Dan Mather
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: Wendy Nakagawa; Nadia Lopez
Design Division, Transportation Planning, Attn: Brian Spaunhurst
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager
Department of Public Health, Environmental Health Division, Attn: Kevin Tsuda/Deep Sidhu/ Steven Rhodes
Resource Division, Special Districts (CSA 34- Millerton New Town), Attn: Amina Flores-Becker
CA Regional Water Quality Control Board, Attn: centralvalleyfresno@waterboards.ca.gov
CA Department of Transportation (CALTRANS), Attn: Dave Padilla
CA Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
US Fish & Wildlife Service, Attn Mathew Nelson
State Department of Health Services, Office of Drinking Water, Fresno District, Attn: Caitlin Juarez
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chuckchansi Indians, Attn: Heather Hairey, THPO/Cultural Resources Director
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/Shana Powers, Cultural Specialist II
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor
Fresno County Fire Protection District, Attn: Jim McDougald, Division Chief

FROM: Ejaz Ahmad, Planner 
Development Services and Capital Projects Division

SUBJECT: General Plan Amendment Application No. 564; Unclassified Conditional Use Permit Application No. 3693; Initial Study Application No. 7980

APPLICANT: Grantor Real Estate Investments LLC

DUE DATE: January 4, 2021

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to amend the Millerton Specific Plan to re-designate a proposed 5.17-acre parcel from Open Space and Medium Density Residential to Public Facilities to allow a Fire Station in the O (Open Space) and R-1 (Single-Family Residential) Zone Districts. The subject parcel is located within the boundaries of Millerton New Town.

The Department is also reviewing for environmental effects as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding Conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **January 4, 2021** and comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a “no comment” response to our office by the above deadline (e-mail is also acceptable. See email address below).

Please address any correspondence or questions related to General Plan Amendment to Derek Chambers, Planner, Policy Planning Unit, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or contact me at (559) 600-4205, or email dchambers@fresnocountyca.gov.

Please address any correspondence or questions related to environmental and/or policy/design issues to Ejaz Ahmad, Planner, Current Planning Unit, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or contact me at (559) 600-4204, or email eahmad@fresnocountyca.gov

EA:

G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3600-3699\3693\ROUTING\CUP 3693 Routing Ltr.doc

Activity Code (Internal Review): 2381

Enclosures



Fresno County Department of Public Works and Planning

Date Received: 11-02-2020

GPA 564
CUP 3693

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- ☐ Pre-Application (Type) _____
- ☒ Amendment Application ☐ Director Review and Approval
- ☐ Amendment to Text ☐ for 2nd Residence
- ☒ Conditional Use Permit ☐ Determination of Merger
- ☐ Variance (Class)/Minor Variance ☐ Agreements
- ☐ Site Plan Review/Occupancy Permit ☐ ALCC/RLCC
- ☐ No Shoot/Dog Leash Law Boundary ☐ Other _____
- ☒ General Plan Amendment/Specific Plan/SP Amendment)
- ☐ Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

Applications to provide for the development of a fire station within the Millerton Specific Plan area as per Pre-GPA submitted for the facility.

CEQA DOCUMENTATION: ☐ Initial Study ☐ PER ☐ N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: _____ side of _____
between _____ and _____
Street address: _____

APN: New APN- not yet assigned Parcel size: 5.0 Acres Section(s)-Twp/Rg: S _____ - T _____ S/R _____ E

ADDITIONAL APN(s): 2 APN: 300-027-275 & 300-340-135 (EXISTING) -

I, [Signature] (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Grantor Real Estate Investments LLC	1396 W. Herndon Ave. #110	Fresno	93711	(559) 440-8300
Owner (Print or Type)	Address	City	Zip	Phone
Grantor Real Estate Investments LLC	1396 W. Herndon Ave. #110	Fresno	93711	(559) 440-8300
Applicant (Print or Type)	Address	City	Zip	Phone
Jeffrey T. Roberts	1396 W. Herndon Ave. #110	Fresno	93711	(559) 440-8308
Representative (Print or Type)	Address	City	Zip	Phone
				(559) 288-0688 mobile

CONTACT EMAIL: jroberts@assemigroup.com

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: GPA NO. 564 Fee: \$

Application Type / No.: CUP NO. 3693 Fee: \$ 9,123.⁰⁰

Application Type / No.: IS NO. 7980 Fee: \$ 5,151.⁰⁰

PER/Initial Study No.: Pre-app credit Fee: \$ - 247.⁰⁰

Ag Department Review: Fee: \$ 992.⁰⁰

Health Department Review: Fee: \$

Received By: _____ Invoice No.: _____ TOTAL: \$ 15,019.⁰⁰

UTILITIES AVAILABLE:

WATER: Yes ☐ / No ☐

Agency: _____

SEWER: Yes ☐ / No ☐

Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: _____ - T _____ S/R _____ E

Related Application(s): None

APN # _____ - _____ - _____

Zone District: 'O' & R-1(C)

APN # _____ - _____ - _____

Parcel Size: _____

APN # _____ - _____ - _____

APN # _____ - _____ - _____



Development Services
and
Capital Projects
Division

Mail To:

Assemi Group, Inc.
Jeffrey T. Roberts
1396 W. Herndon Ave.
Ste. 110
Fresno, CA 93711

Email To:

jroberts@assemigroup.com

Pre-Application Review
Department of Public Works and Planning

NUMBER: 39700
APPLICANT: Jeffrey T. Roberts
PHONE: (559) 436-0900

PROPERTY LOCATION: Parcel ID 300-021-27S & 300-340-13S
APN: See Parcels Notated Above ALCC: No ☒ Yes ☐ VIOLATION NO. N/A
CNEL: No ☒ Yes ☐ (level) LOW WATER: No ☐ Yes ☒ WITHIN 1/2 MILE OF CITY: No ☒ Yes ☐
ZONE DISTRICT: R-1-C & O SRA: No ☐ Yes ☒ HOMESITE DECLARATION REQ'D.: No ☒ Yes ☐
LOT STATUS:

Zoning: (X) Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No ☒ Yes ☐ ZM# Initiated In process
Map Act: (P/M No. 3179 & 5988) Lot of Rec. Map; () On '72 rolls; () Other: () Deeds Req'd (see Form #236)
SCHOOL FEES: No ☐ Yes ☒ DISTRICT: Clovis Unified Trustee Area 2 State Center CC Trustee Area 1 PERMIT JACKET: No ☒ Yes ☐
FMFCD FEE AREA: (X) Outside () District No.: FLOOD PRONE: No ☒ Yes ☐
PROPOSAL: Unclassified Conditional Use Permit to allow the development and construction of a Fire Station within the Millerton Specific Plan Area.

COMMENTS:
ORD. SECTION(S): 853-B-7 BY: O. Ramirez DATE: 04/19/2019

GENERAL PLAN POLICIES: Low & Medium Density
LAND USE DESIGNATION: Residential & Open Space () GPA: () MINOR VA:
COMMUNITY PLAN: () AA: () HD: \$ 992.00
REGIONAL PLAN: () CUP: \$ 9,123.00 () AG COMM:
SPECIFIC PLAN: Millerton () DRA: () ALCC:
SPECIAL POLICIES: () VA: () IS/PER*: \$ 5,151.00
SPHERE OF INFLUENCE: () AT: () Viol. (35%):
ANNEX REFERRAL (LU-G17/MOU): () TT: () Other:

COMMENTS:
Filing Fee: \$ 15,266.00
Pre-Application Fee: \$ 247.00
Total County Filing Fee: \$ 15,019.00

FILING REQUIREMENTS:

- (✓) Land Use Applications and Fees
- (✓) This Pre-Application Review form
- (✓) Copy of Deed / Legal Description
- (✓) Photographs

() Letter Verifying Deed Review

(✓) IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.

(✓) Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction

(✓) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction

(✓) Project Description / Operational Statement (Typed)

() Statement of Variance Findings

() Statement of Intended Use (ALCC)

() Dependency Relationship Statement

() Resolution/Letter of Release from City of

Referral Letter #

BY: [Signature] EJA Z AHMAO DATE: 4-22-19
PHONE NUMBER: (559)

OTHER FILING FEES:

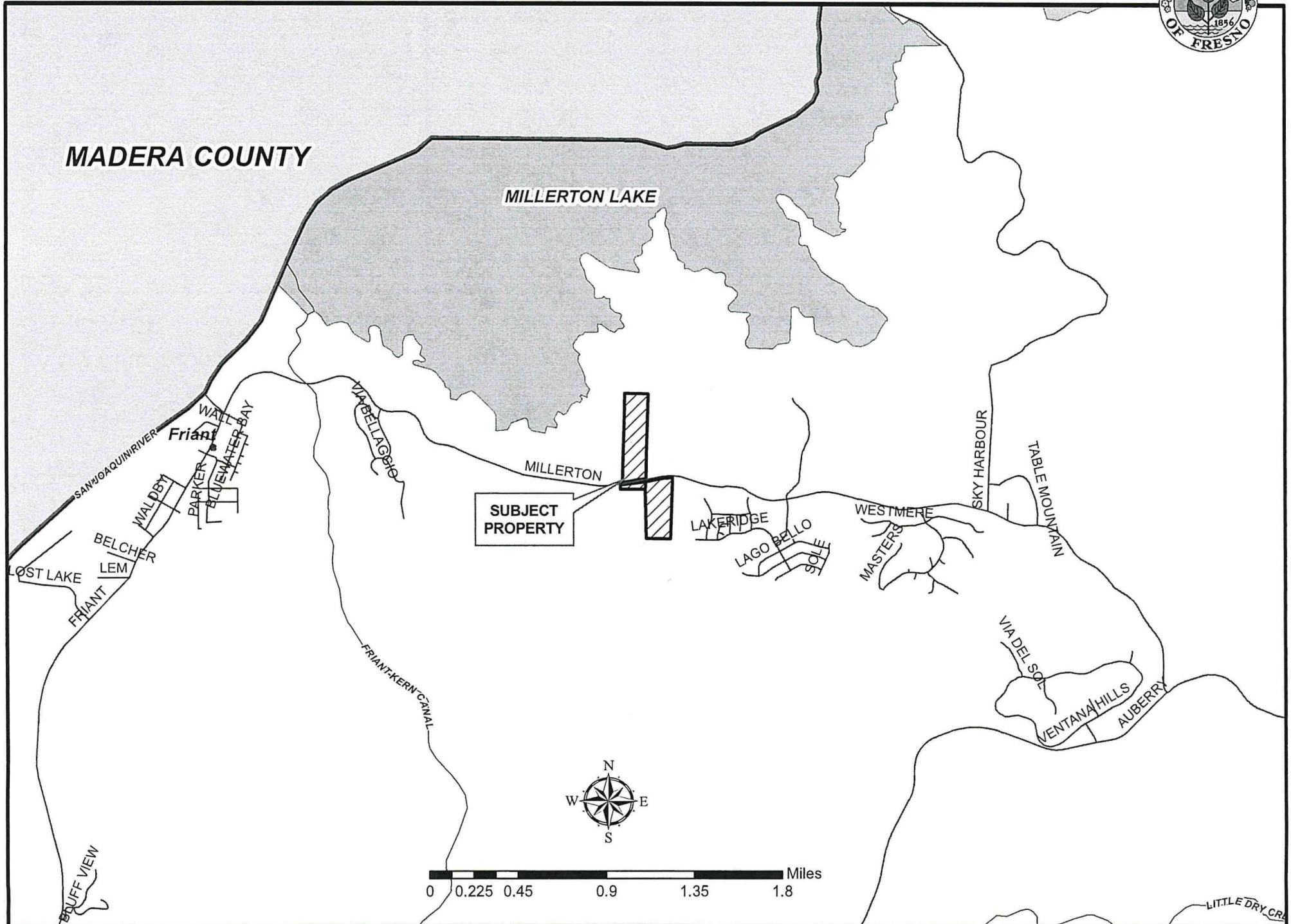
- (✓) Archaeological Inventory Fee: \$75 at time of filing
(Separate check to Southern San Joaquin Valley Info. Center)
- (✓) CA Dept. of Fish & Wildlife (CDFW): (\$50) (\$50+\$2,354.75)
(Separate check to Fresno County Clerk for pass-thru to CDFW.
Must be paid prior to IS closure and prior to setting hearing date.)

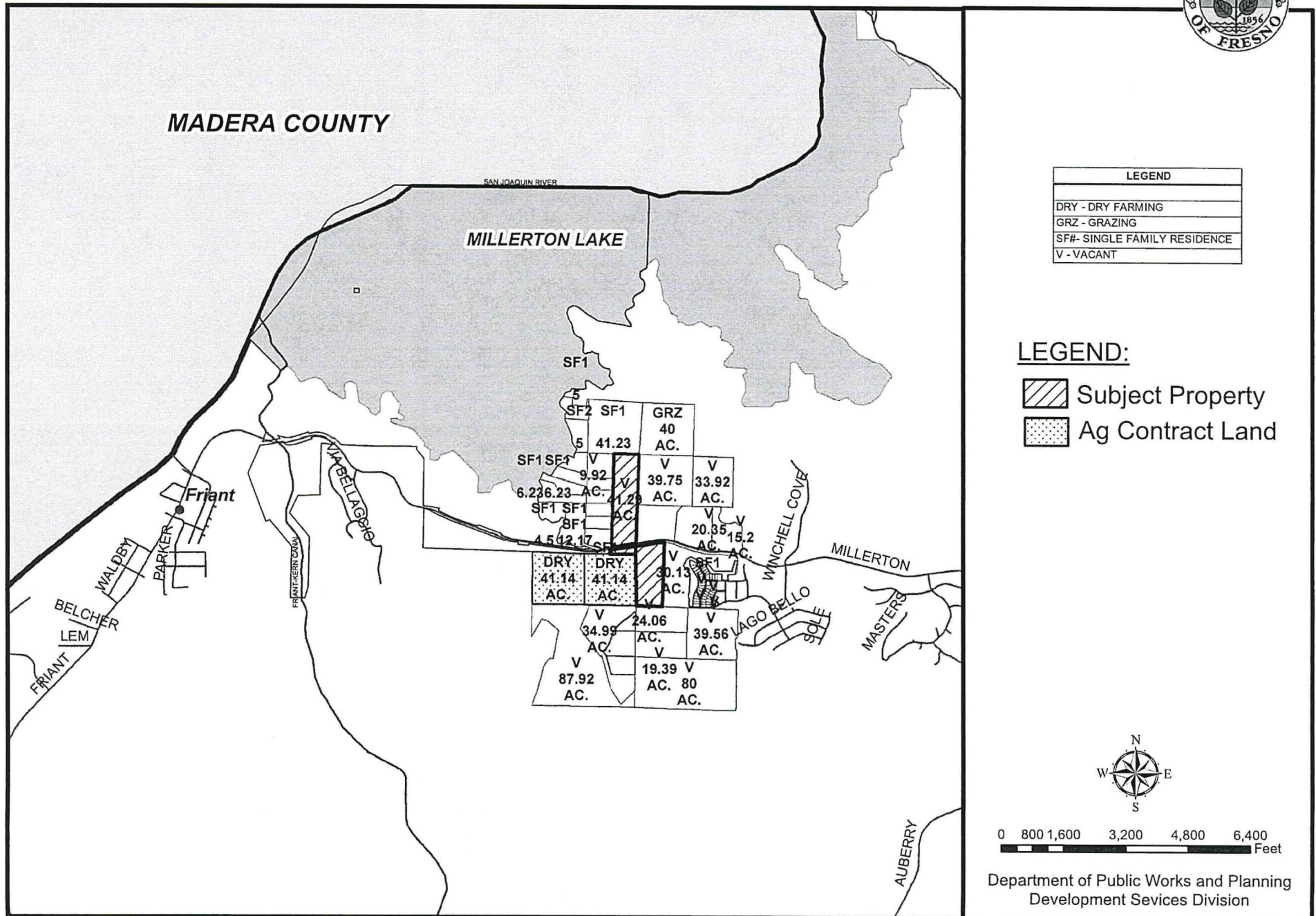
PLU # 113 Fee: \$247.00

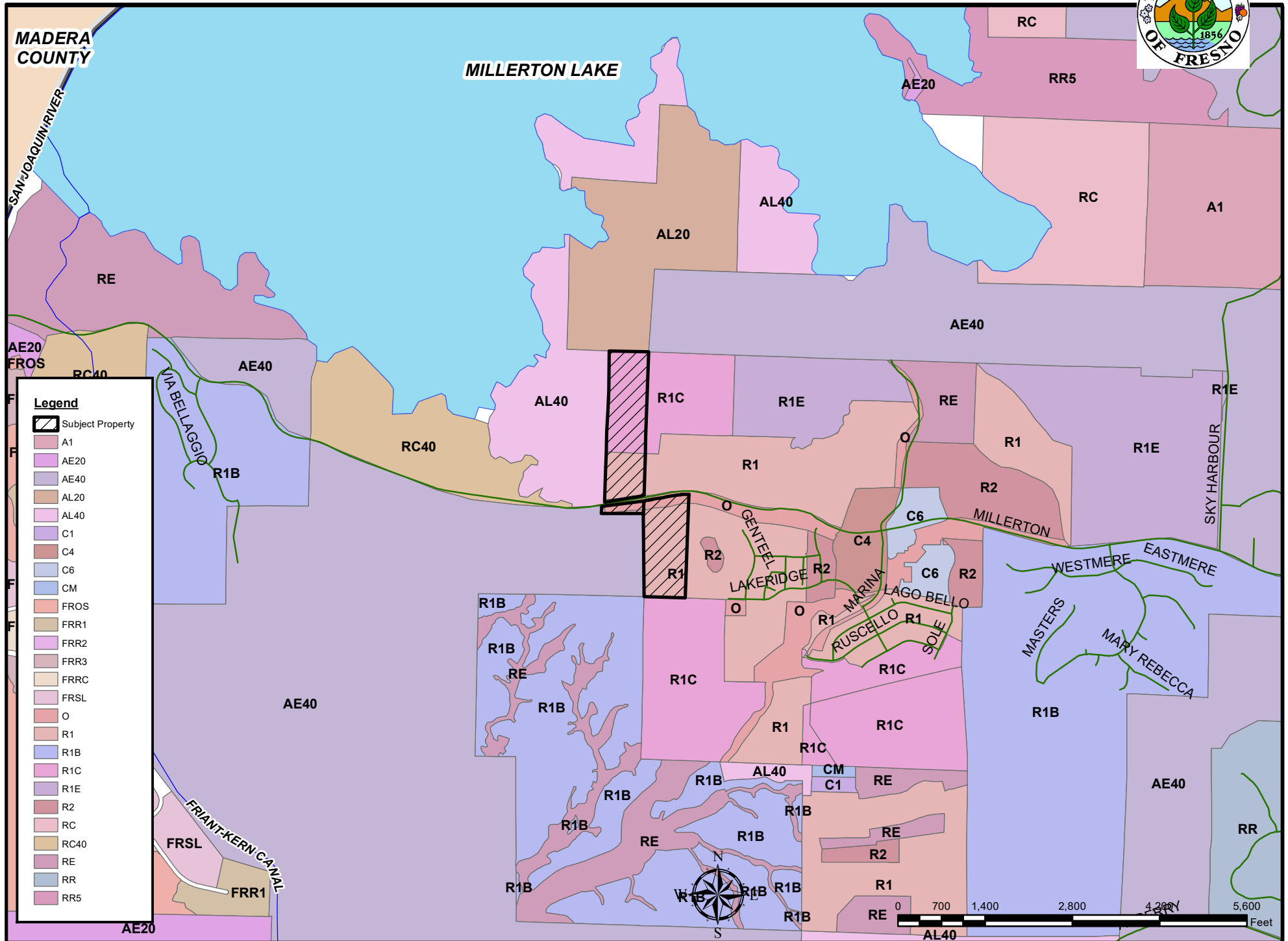
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:
() COVENANT (✓) SITE PLAN REVIEW
() MAP CERTIFICATE (✓) BUILDING PLANS
() PARCEL MAP (✓) BUILDING PERMITS
() FINAL MAP () WASTE FACILITIES PERMIT
() FMFCD FEES (✓) SCHOOL FEES
() ALUC or ALCC () OTHER (see reverse side)

LOCATION MAP

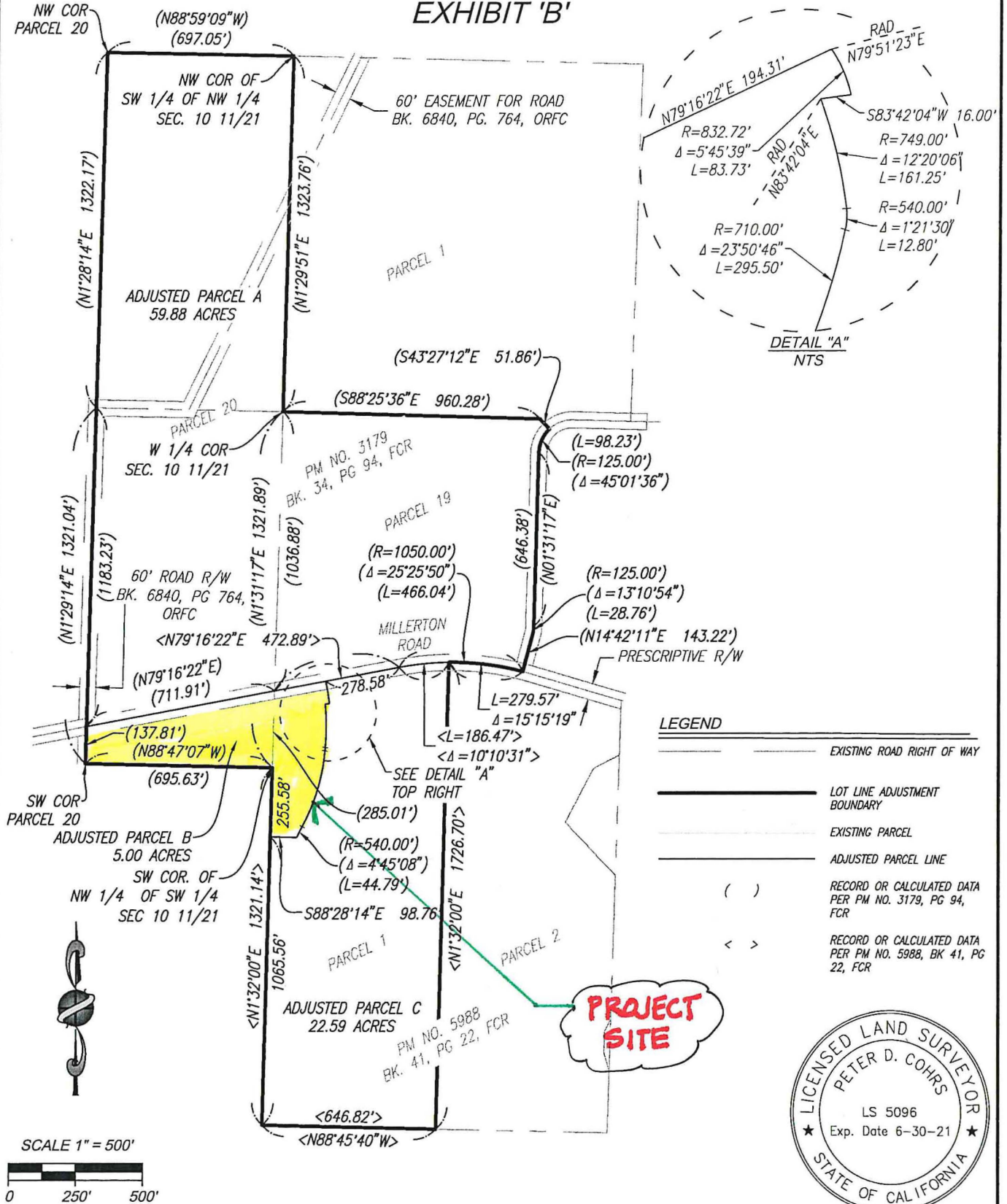






P:\CIVIL 3D PROJECTS\2019\19-017\SURVEY AND MAPPING\SURVEY EXHIBITS\19-017 LADWG

EXHIBIT 'B'



PRECISION
CIVIL ENGINEERING, INC.

PLANNING • SURVEYING • CIVIL ENGINEERING
653 W. FALLBROOK AVE, #101, FRESNO, CALIFORNIA 93711
PHONE: (559) 449-4500 FAX: (559) 449-4515

PROJECT NAME:
PROPERTY LINE ADJUSTMENT
EXHIBIT B

07-20-2020

19-017

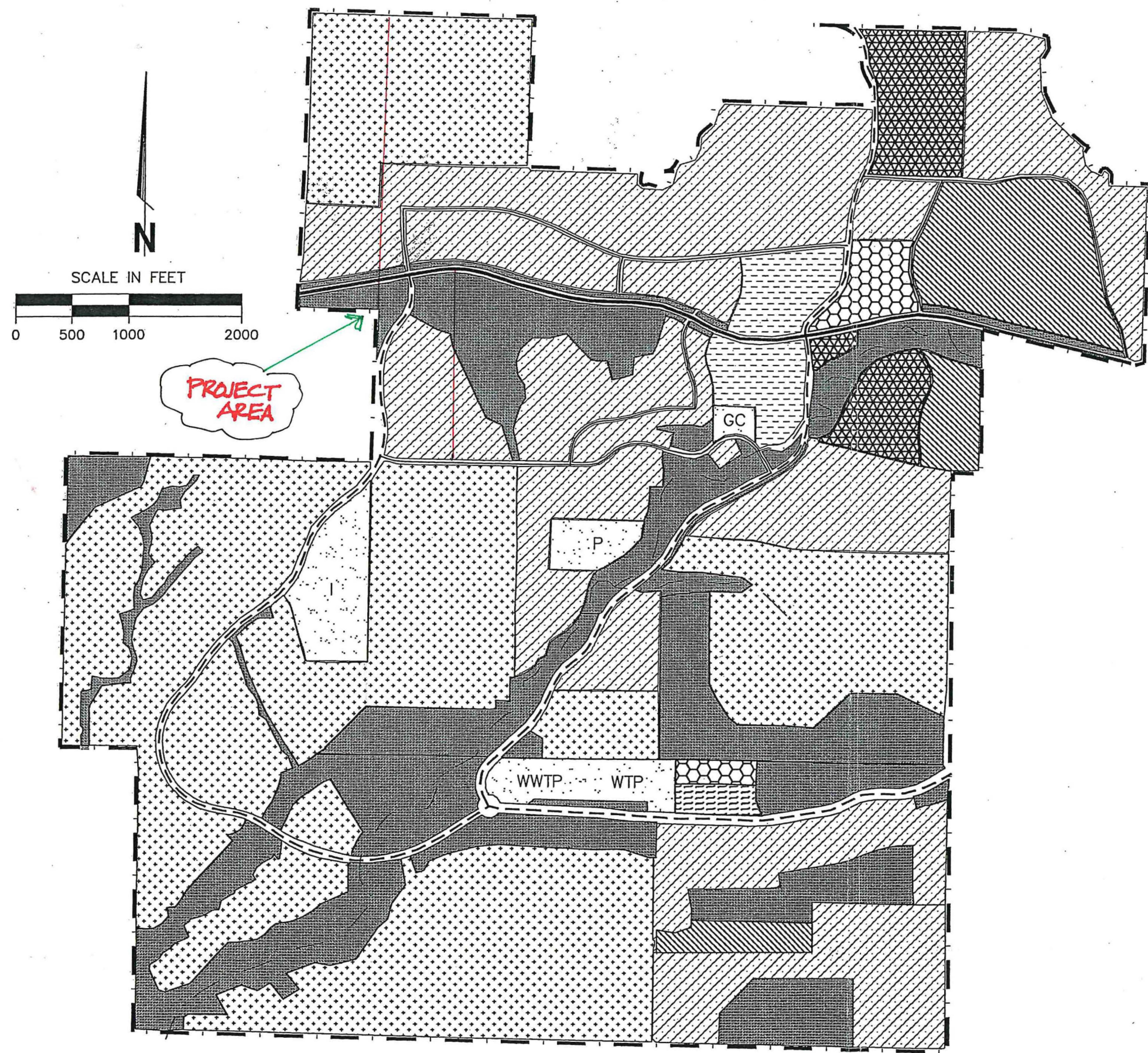



















FIGURE SP1-4.
LAND USE AND CIRCULATION ELEMENTS
 MILLERTON NEW TOWN
 SPECIFIC PLAN

- | | |
|----------------------------|---|
| OPEN SPACE |  |
| <u>RESIDENTIAL</u> | |
| MEDIUM LOW DENSITY |  |
| MEDIUM DENSITY |  |
| MEDIUM HIGH DENSITY |  |
| <u>COMMERCIAL</u> | |
| CENTRAL BUSINESS |  |
| SERVICE |  |
| SPECIAL |  |
| NEIGHBORHOOD |  |
| <u>PUBLIC FACILITIES</u> | |
| SCHOOL |  |
| GOVERNMENT CENTER |  |
| PARK |  |
| WATER TREATMENT PLANT |  |
| WASTEWATER TREATMENT PLANT |  |
| <u>CIRCULATION</u> | |
| ARTERIAL |  |
| COLLECTOR |  |
| MINOR COLLECTOR |  |
| PLAN AREA BOUNDARY |  |

Jeff Roberts

Subject:

Operational Statement: Proposed Fire Station Facility @ Millerton

Background:

The applicant is proposing to process a Specific Plan Amendment and Conditional Use Permit to provide for the construction and operation of a public Fire Station. The 5.17 acre project site is located at the southwest corner of Millerton Road and Morningside Way (under construction). The proposed facility will be located within the Millerton Specific Plan but at a different location than the one envisioned when the plan was adopted in 1984. The location has good visibility, good road access, and is situated to provide service to the Millerton Specific Plan area, Table Mountain Rancheria, Friant, Millerton lake, and the unincorporated communities to the north and east. The facility will be operated by the Fresno County Fire Protection District. This "Operational Statement" outlines the project details and is filed as a component of the Conditional Use Permit application:

1. Hours of Operation: 24 hours per day
2. Operational Time Limits: None
3. Number of Visitors: Will vary with season, estimate 10 -15 per day
4. Number of Employees: Will vary with season, estimate 10 – 20
5. Service and Delivery vehicles: estimate 5 – 10 per day
6. Access to the site: Via Millerton Road or Morningside Way
7. Number of parking spaces: 25 spaces on a paved surface
8. Goods sold on site: None
9. What equipment is used: Fire Trucks and associated maintenance tools and equipment
10. Storage of supplies: Food and domestic supplies stored inside the facility and maintenance supplies are stored in the truck bay/garage area
11. Unsightly appearance: No. there is noise associated with a fire station when the equipment is leaving the site
12. Liquid or solid waste: Domestic
13. Volume of water: NA
14. Advertising: None
15. All new construction is proposed for the fire station
16. The entire structure will be used for the fire station facility

GPA564; CUP 3693

RECEIVED
COUNTY OF FRESNO

NOV 02 2020

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

17. Outdoor Lighting / Amplification: Yes, bot lighting and an amplified alarm system will be used
18. Landscaping: Yes on the north and east edges of the project, adjacent to the roadways
19. This is a unique use that will provide safety services to the residents of Fresno County. It is difficult/impossible to quantify how often many times the operators will need to leave the site or how long fire events will last
20. Applications: the property owners are listed as GREI, LLC and are represented by Jeffrey T. Roberts who works for the Assemi Group, Inc.



Jeffrey T. Roberts | Entitlement Director

T: (559) 440-8308 | **M:** (559)288-0688 | **F:** (559) 436-1659 | **X:**308

E: jroberts@assemigroup.com

W: www.assemigroup.com

1396 W. Herndon Ave., Ste. 110, Fresno, CA 93711



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY	
IS No.	<u>7980</u>
Project No(s).	<u>GPA 564; CUP 3693</u>
Application Rec'd.	<u>11/02/2020</u>

GENERAL INFORMATION

- Property Owner: GREF, LLC. Phone/Fax: —
Mailing Address: 1396 W. Herndon #110 Fresno, Ca. 93711
Street City State/Zip
- Applicant: GREF, LLC Phone/Fax: —
Mailing Address: same as above
Street City State/Zip 288-0688
440-8308
- Representative: Jeffrey T. Roberts Phone/Fax: 440-8308
Mailing Address: 1396 W. Herndon #110 Fresno, Ca. 93711
Street City State/Zip
- Proposed Project: Fire Station facility to be operated
by Fresno County Fire Protection District
- Project Location: Southwest corner of Millerton Rd.
and Morningside Way
- Project Address: N.A.
- Section/Township/Range: 10, 11S, 21E 8. Parcel Size: 5.17 Ac.
- Assessor's Parcel No. New Parcel (APNs 300-021-27 OVER.....
300-340-13

10. Land Conservation Contract No. (If applicable): N.A.

11. What other agencies will you need to get permits or authorization from:

<input type="checkbox"/> LAFCo (annexation or extension of services)	<input checked="" type="checkbox"/>	SJVUAPCD (Air Pollution Control District)
<input type="checkbox"/> CALTRANS	<input type="checkbox"/>	Reclamation Board
<input type="checkbox"/> Division of Aeronautics	<input type="checkbox"/>	Department of Energy
<input type="checkbox"/> Water Quality Control Board	<input type="checkbox"/>	Airport Land Use Commission
<input type="checkbox"/> Other _____		

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? ☐ Yes ☒ No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: R1(e)

14. Existing General Plan Land Use Designation¹: Open Space / Residential

ENVIRONMENTAL INFORMATION

15. Present land use: Vacant
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:
Proposed Fire Station building, 4 truck bays, driveways, landscaping
Describe the major vegetative cover: non-native grass
Any perennial or intermittent water courses? If so, show on map: NA

Is property in a flood-prone area? Describe:

NA

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Vacant - Grazing - Millerton Specific Plan
South: Vacant - Millerton specific Plan
East: Vacant - Millerton Specific Plan
West: Vacant - Grazing - Agriculture

17. What land use(s) in the area may be impacted by your Project?: Nearby
residential uses - proposed

18. What land use(s) in the area may impact your project?: none

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
☒ Yes ☐ No

B. Daily traffic generation:

I. Residential - Number of Units _____
Lot Size _____
Single Family _____
Apartments _____

II. Commercial - Number of Employees _____
Number of Salesmen _____
Number of Delivery Trucks _____
Total Square Footage of Building _____

III. Describe and quantify other traffic generation activities: Fire Station
has very unique characteristics

20. Describe any source(s) of noise from your project that may affect the surrounding area: N.A.

21. Describe any source(s) of noise in the area that may affect your project: N.A.

22. Describe the probable source(s) of air pollution from your project: mobile sources
and periodic on site generator

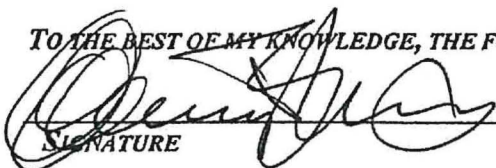
23. Proposed source of water:

() private well

(☒) community system³--name: C&A 34 OVER.....

24. Anticipated volume of water to be used (gallons per day)²: NA
25. Proposed method of liquid waste disposal:
☒ septic system/individual
☐ community system³-name Interim Septic / Future CBA³ sewer
26. Estimated volume of liquid waste (gallons per day)²: NA
27. Anticipated type(s) of liquid waste: domestic
28. Anticipated type(s) of hazardous wastes²: NA
29. Anticipated volume of hazardous wastes²: NA
30. Proposed method of hazardous waste disposal²: NA
31. Anticipated type(s) of solid waste: domestic
32. Anticipated amount of solid waste (tons or cubic yards per day): NA
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): NA
34. Proposed method of solid waste disposal: truck to landfill
35. Fire protection district(s) serving this area: Fresno County Fire
36. Has a previous application been processed on this site? If so, list title and date: No
37. Do you have any underground storage tanks (except septic tanks)? Yes ☐ No ☒
38. If yes, are they currently in use? Yes ☐ No ☒

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.


 SIGNATURE

11/06/2020
 DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2020: \$3,343.25 for an EIR; \$2,406.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.

Applicant's Signature

Date

G:\4360Devs&PLN\PROJSEC\PROJDOCS\TEMPLATES\IS-CEQA TEMPLATES\INITIAL STUDY APP.DOTX

SHEET INDEX

SHEET NUMBER	SHEET TITLE (IMPROVEMENTS)
1	COVERSHEET
2	GRADING PLAN
3	UTILITY PLAN

ROAD IMPROVEMENT PLAN NOTES:

1.

ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

2.

PRIOR TO THE LAYING OF THE SUB BASE OR BASE MATERIAL ON THE ROADWAY, THE ENGINEER SHALL CERTIFY THAT THE SUB GRADE ELEVATIONS ARE IN CONFORMANCE WITH THE APPROVED PLANS.

3.

ACTUAL ROAD SECTION THICKNESS (STRUCTURAL SECTIONS) SHALL BE DETERMINED FROM FINAL R-VALUES.

4.

ALL SEWER, STORM DRAIN, WATER MAIN VALVES (CAP AND LID) AND UTILITY MANHOLES AFFECTED BY THIS PROJECT SHALL BE ADJUSTED TO GRADE AS NECESSARY AND INCLUDED IN THIS WORK.

5.

PRIOR TO FINAL ACCEPTANCE OF THIS SUBDIVISION, ALL CENTERLINE MONUMENTS SHALL BE PLACED PER COUNTY OF FRESNO STANDARD E-1.

6.

FOG SEAL SHALL BE APPLIED TO ALL ASPHALT CONCRETE SURFACING IN COMPLIANCE WITH SECTION 37 OF THE STATE STANDARD SPECIFICATIONS.

7.

DRAIN DITCHES SHALL BE PROVIDED IN ALL AREAS TO PREVENT EROSION WHERE SIGNIFICANT CUTS ARE MADE TO ADJUST PROPOSED ROAD PROFILES.

8.

ALL CURB AND GUTTER SHALL BE WATER TESTED UNDER THE DIRECTION AND IN THE PRESENCE OF THE COUNTY INSPECTOR PRIOR TO ANY ROAD OPERATION.

9.

SIDEWALKS SHALL NOT BE POURED UNTIL ALL WATER METER BOXES AND SERVICES HAVE BEEN INSPECTED BY THE COUNTY AND ANY NECESSARY ROAD SIGNS HAVE BEEN INSTALLED.

10.

THE CONTRACTOR SHALL PLACE A 4" DIA. PVC SLEEVE OVER POSTS FOR ROAD SIGNS TO AID IN FUTURE REMOVAL AND REPLACEMENT.

11.

CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE COUNTY OF FRESNO AND OBTAIN AN APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING.

GRADING AND DRAINAGE NOTES:

1.

THE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF CHAPTER 18, CHAPTER 33, AND APPENDIX J OF 2016 CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE AS ADOPTED AND AMENDED BY CHAPTER 15.28 OF THE FRESNO COUNTY ORDINANCE CODE.

2.

A GRADING PERMIT OR VOUCHER SHALL BE OBTAINED FROM THE COUNTY OF FRESNO PUBLIC WORKS AND PLANNING DEPARTMENT, DEVELOPMENT ENGINEERING SECTION PRIOR TO ANY GRADING AND PAVING WORK FOR THIS PROJECT.

3.

THIS PROPERTY HAS BEEN IDENTIFIED AS BEING WITHIN OR ADJACENT TO A KNOWN FLOOD ZONE (SFHA) AS IDENTIFIED ON THE FEDERAL EMERGENCY MANAGEMENT (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THIS AREA. COMPLIANCE WITH ALL ASPECTS OF THE COUNTY FLOODPLAIN ORDINANCE SECTION 15.48 AND COMPLETION OF AN ELEVATION CERTIFICATE OR A MAP OF SURVEY IS REQUIRED. ELEVATION CERTIFICATE PREPARED BY A LICENSED ENGINEER OR LAND SURVEYOR IS REQUIRED FOR DEVELOPMENT WITHIN A FLOOD ZONE. FOR DEVELOPMENT NEAR A FLOOD ZONE, A MAP OF SURVEY STAMPED AND SIGNED BY A PROFESSIONAL LAND SURVEYOR MUST BE SUBMITTED IF REQUIRED BY THE GROWING OFFICIAL.

4.

APPROVAL BY COUNTY DEVELOPMENT ENGINEERING OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OFF-SITE WORK IN THE PUBLIC RIGHT OF WAY THAT MAY BE SHOWN ON THIS PLAN. OFF-SITE WORK IS SHOWN ON THIS PLAN FOR INFORMATION AND COORDINATION PURPOSES ONLY AND WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE COUNTY ROADS & MAINTENANCE DIVISION'S PERMIT ENGINEER. CALL (559) 600-4247 FOR THE PERMIT ENGINEER AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK PERFORMED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH ROAD MAINTENANCE & OPERATIONS DIVISION REQUIREMENTS.

5.

A DUST CONTROL PLAN TO BE SUBMITTED TO SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT AT THE START OF ANY CONSTRUCTION ACTIVITY ON ANY SITE THAT WILL INCLUDE 10 ACRES OR MORE OF DISTURBED SURFACE AREA FOR RESIDENTIAL DEVELOPMENTS, OR 5 ACRES OR MORE OF DISTURBED SURFACE AREA FOR NON-RESIDENTIAL DEVELOPMENT. CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL THE AIR POLLUTION CONTROL DISTRICT HAS APPROVED OR CONDITIONALLY APPROVED THE DUST CONTROL PLAN. WRITTEN NOTIFICATION SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT WITHIN 10 DAYS PRIOR TO THE COMMENCEMENT OF EARTHMOVING ACTIVITIES.

6.

DUST CONTROL, NOTIFICATION: EARTHMOVING ACTIVITIES ON SMALL CONSTRUCTION SITES. WRITTEN NOTIFICATION TO BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT 48 HOURS PRIOR TO INTENT TO COMMENCE ANY EARTHMOVING ACTIVITIES FOR RESIDENTIAL CONSTRUCTION SITES RANGING FROM 1.0 TO LESS THAN 10.0 ACRES IN AREA, OR FOR NON-RESIDENTIAL DEVELOPMENT CONSTRUCTION SITES RANGING FROM 1.0 TO LESS THAN 5.0 ACRES IN AREA.

7.

A NOTICE OF INTENT (NOI) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ARE REQUIRED TO BE FILED WITH STATE WATER RESOURCES CONTROL BOARD BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES DISTURBING 1.0 ACRE OR MORE OF AREA. COPIES OF NOI AND SWPPP SHALL BE PROVIDED TO DEVELOPMENT ENGINEERING PRIOR TO THE APPROVAL OF THESE PLANS.

8.

A LETTER FROM THE DESIGN ENGINEER CERTIFYING THAT THE EXISTING OR PROPOSED BASIN IS DESIGNED TO CAPTURE AND RETAIN ALL STORM WATER RUNOFF ASSOCIATED WITH A 100-YEAR WET YEAR AND CAN CONTAIN ALL STORM WATER UNDER ALL CLIMATIC CIRCUMSTANCES SHALL BE REQUIRED PRIOR TO FINAL ACCEPTANCE AND/OR OCCUPANCY ASSURANCE.

9.

INSPECTION OF THE ROUGH GRADED PAD AND FINISHED GRADING IS REQUIRED PRIOR TO ACCEPTANCE AND RELEASE OF THE GRADING PERMIT. COMPACTION REPORTS ARE REQUIRED TO BE SUBMITTED TO DEVELOPMENT ENGINEERING FOR ALL FILLS. AREAS WITHIN FLOOD ZONES REQUIRED PER MINIMUM CONSTRUCTION.

10.

A "HOLD ON OCCUPANCY" WILL BE IN EFFECT UNTIL SUCH TIME AS THE DEVELOPMENT IS CERTIFIED "AS-BUILT" BY THE ENGINEER OF RECORD.

11.

MAXIMUM CUT AND FILL SLOPES SHALL BE 3:1V/1H OR AS ALLOWED PER AN APPROVED AND FILED SOILS REPORT.

12.

MAXIMUM SIDE SLOPES FOR PONDING BASINS STORAGE FACILITIES SHALL BE 3:1V/1H UNLESS OTHERWISE APPROVED BY THE GRADING OFFICIAL OR AN APPROVED SOILS REPORT.

13.

THE GROUND AROUND THE STRUCTURE SHALL BE SLOPED TWO PERCENT (2%) FOR A DISTANCE OF FIVE FEET (5') TO PROVIDE DRAINAGE AWAY FROM THE STRUCTURE OR AS APPROVED BY THE BUILDING OFFICIAL.

14.

ESTIMATED EARTHWORK QUANTITIES:

CUT	2,757	CY
FILL	3,076	CY
TOTAL (FILL)	319	CY

ESTIMATED GRADING QUANTITIES ARE "IN PLACE" AND SHINKAGE HAS BEEN TAKEN INTO ACCOUNT. ESTIMATED GRADING QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR FINAL BID QUANTITIES.

SERVICES

PROVIDER	TYPE	CONTACT
PG&E	ELECTRIC	650 O STREET FRESNO, CA 93721 1-877-660-6789
PG&E	GAS	650 O STREET FRESNO, CA 93721 1-877-660-6789
PONDEROSA	TELEPHONE	47034 ROAD 200 ONEALS, CA 93645 559-668-6000
PONDEROSA	INTERNET/CABLE	47671 ROAD 200 ONEALS, CA 93645 559-668-6000
COUNTY OF FRESNO	SEWER	2220 TULARE STREET, 6TH FLOOR FRESNO, CA 93721 559-600-4259
COUNTY OF FRESNO	WATER	2220 TULARE STREET, 6TH FLOOR FRESNO, CA 93721 559-600-4259
COUNTY OF FRESNO	STREET/ROAD MAINTENANCE	2220 TULARE STREET, 6TH FLOOR FRESNO, CA 93721 559-600-4259
COUNTY OF FRESNO	STREET LIGHTING	2220 TULARE STREET, 6TH FLOOR FRESNO, CA 93721 559-600-4259

OWNER INFORMATION

ASSEMI GROUP INC.
1306 W. HERNDON AVE SUITE 108
FRESNO, CA 93711

SITE INFORMATION

1. ASSESSOR'S PARCEL NO.: 300-340-135(PORION) AND 300-021-275(PORION)

2. SECTION 10, T11S, R21E

3. LOT AREA: 5.17 ± ACRES

4. LAND USE: SINGLE FAMILY RESIDENTIAL/OPEN CONSERVATION

5. SUBJECT PROPERTY HAS NO EXISTING BUILDINGS ON SITE.

GENERAL NOTES

1. THE WORK EMBRACED HEREIN SHALL BE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF THE SPECIFICATIONS ENTITLED "IMPROVEMENT STANDARDS, COUNTY OF FRESNO, STATE OF CALIFORNIA, OCTOBER, 1966 AND AS AMENDED, INsofar AS THE SAME MAY APPLY.

2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS AND PLANNING OF THE COUNTY OF FRESNO AT (559) 600-4022 AND 72 HOURS PRIOR TO THE START OF CONSTRUCTION.

3. ALL WORK INSTALLED SHALL MEET OR EXCEED FRESNO COUNTY IMPROVEMENT STANDARDS. WHERE WORK PROPOSED IS NOT ADDRESSED WITH THESE STANDARDS, THE CONTRACTOR SHALL DEFER THE LATEST ADOPTED VERSION OF THE STATE STANDARD DRAWINGS AND SPECIFICATIONS FOR COMPLIANCE.

4. AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED IN THE COUNTY OF FRESNO ROAD RIGHT-OF-WAY. CONTACT THE COUNTY PERMIT ENGINEER AT (559) 600-4247 TO OBTAIN THE PERMIT. IF AN ENCROACHMENT PERMIT HAS NOT BEEN OBTAINED WITHIN 12 MONTHS OF THE APPROVAL DATE OF THESE PLANS, ADDITIONAL REVIEW AND REVISIONS TO THE PLANS MAY BE REQUIRED BEFORE THE PERMIT IS ISSUED.

5. ALL CONTRACTORS ARE REQUIRED TO HAVE A \$6,000.00 PERFORMANCE BOND ON FILE WITH THE COUNTY OF FRESNO MAINTENANCE & OPERATIONS DIVISION PRIOR TO OBTAINING AN ENCROACHMENT PERMIT.

6. THE WORK EMBRACED HEREIN SHALL NOT BE COMMENCED UNTIL THE OWNER OF THE PROPERTY OR THE CONTRACTOR HAS FIRST BEEN PROVIDED AN INQUIRY IDENTIFICATION NUMBER FOR SUBSURFACE INSTALLATIONS AS SPECIFIED IN SECTION 4219 OF THE GOVERNMENT CODE.

7. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY AUTHORITIES OR UTILITY COMPANIES HAVING POSSIBLE INTEREST IN THE WORK OF THE CONTRACTORS INTENTION TO EXCAVATE PROXIMATE TO EXISTING FACILITIES AND THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES IN THE WORK AREA. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) TWO (2) DAYS PRIOR TO BEGINNING ANY EXCAVATION.

8. THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM ANY PROPERTY OWNER GIVING HIM PERMISSION TO ENTER HIS PROPERTY FOR THE PURPOSES OF CONSTRUCTING THE IMPROVEMENTS DELINEATED ON THE PLANS AND TRANSITIONS THERETO. THE CONTRACTOR SHALL PROVIDE THE COUNTY WITH A COPY PRIOR TO START OF ANY WORK.

9. THE WORK EMBRACED HEREIN SHALL NOT BE APPROVED UNTIL SUCH TIME AS THE OWNER OF THE PROPERTY OR THE CONTRACTOR HAS COMPLIED WITH ALL APPLICABLE REQUIREMENTS AS SPECIFIED IN SECTION 4350 OF THE PUBLIC RESOURCES CODE, AS APPLICABLE.

10. WHERE IMPROVEMENTS ARE PROPOSED THAT DO NOT MEET COUNTY STANDARDS, A SUBMITTAL SHALL BE PROVIDED TO DEVELOPMENT ENGINEERING AND/OR RESOURCES AND APPROVAL GRANTED PRIOR TO INSTALLATION. FIELD REVISIONS, FOR WORK PROPOSED SHALL WARRANT REVIEW & APPROVAL BY THE COUNTY SENIOR ENGINEERING TECHNICIAN OR HIS AUTHORIZED COUNTY INSPECTOR/REPRESENTATIVE PRIOR TO ACCEPTANCE.

11. DIRT OR DEBRIS TRACKED ONTO EXISTING COUNTY ROADS FROM THIS PROJECT SHALL BE CLEANED OFF AT THE END OF EACH WORKING DAY TO THE SATISFACTION OF THE COUNTY INSPECTOR.

12. THE COSTS OF ALL TESTING REQUIRED FOR ACCEPTANCE OF WORK SHALL BE FULLY BORNE BY THE APPLICANT.

13. ALL WORK PERFORMED "AT-RISK" WITHOUT APPROVAL OF THESE PLANS, OR ANY REVISIONS THEREAFTER, INSPECTION OR PROPER PERMITS FROM THE COUNTY IS SUBJECT TO REVISION, EXPOSURE, REMOVAL AND REPLACEMENT AT THE APPLICANT'S COST.

14. TEMPORARY EROSION CONTROL SHALL BE PROVIDED WITH THE INSTALLATION OF STRAW MATTES, SILT FENCES OR OTHER MEANS AGREEABLE TO THE COUNTY OF FRESNO.

15. PERMANENT EROSION CONTROL SHALL BE STRAW-AND-SEED, JUTE MESH NETTING, HYDRO-MULCH, OR SOME TYPE OF LANDSCAPING TO PREVENT LOSS OF MATERIAL. ALL WORK PROPOSED SHALL COMPLY WITH SECTIONS 20 AND 21 OF THE CALTRANS STANDARD SPECIFICATIONS.

16. TRENCH CUTS IN EXISTING STREETS THAT ARE NOT TO BE RECONSTRUCTED OR OVERLAD SHALL HAVE PERMANENT TRENCH RESURFACING INSTALLED WITHIN SEVEN (7) DAYS AFTER ANY INITIAL STREET CUT.

17. PERMANENT TRENCH RESURFACING TO BE PER COUNTY STANDARD, OR AS DETAILED.

18. TEMPORARY TRENCH RESURFACING TO BE A MINIMUM 4" COLD MIX.

19. ALL WORK PROPOSED NOT SPECIFICALLY IDENTIFIED OR DISCUSSED IN THE COUNTY IMPROVEMENT STANDARDS SHALL BE IN COMPLIANCE WITH THE LATEST VERSION OF THE CALTRANS STANDARD PLANS AND SPECIFICATIONS.

20. THE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF CHAPTER 18, CHAPTER 33, AND APPENDIX J OF 2016 CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE AS ADOPTED AND AMENDED BY CHAPTER 15.28 OF THE FRESNO COUNTY ORDINANCE CODE.

21. A DUST CONTROL PLAN TO BE SUBMITTED TO SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT AT THE START OF ANY CONSTRUCTION ACTIVITY ON ANY SITE THAT WILL INCLUDE 10 ACRES OR MORE OF DISTURBED SURFACE AREA FOR RESIDENTIAL DEVELOPMENTS, OR 5 ACRES OR MORE OF DISTURBED SURFACE AREA FOR NON-RESIDENTIAL DEVELOPMENT. CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL THE AIR POLLUTION CONTROL DISTRICT HAS APPROVED OR CONDITIONALLY APPROVED THE DUST CONTROL PLAN. WRITTEN NOTIFICATION SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT WITHIN 10 DAYS PRIOR TO THE COMMENCEMENT OF EARTHMOVING ACTIVITIES.

22. DUST CONTROL, NOTIFICATION: EARTHMOVING ACTIVITIES ON SMALLER CONSTRUCTION SITES. WRITTEN NOTIFICATION TO BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT 48 HOURS PRIOR TO INTENT TO COMMENCE ANY EARTHMOVING ACTIVITIES FOR RESIDENTIAL CONSTRUCTION SITES RANGING FROM 1.0 TO LESS THAN 10.0 ACRES IN AREA, OR FOR NON-RESIDENTIAL DEVELOPMENT CONSTRUCTION SITES RANGING FROM 1.0 TO LESS THAN 5.0 ACRES IN AREA.

23. A NOI & SWPPP IS REQUIRED FOR THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES DISTURBING 1.0 ACRES OR MORE OF AREA. PROVIDE FILING OF NOTICE OF INTENT, NOI INCLUDING PAYMENT OF FILING FEE, WITH STATE WATER RESOURCES CONTROL BOARD, AND DEVELOPMENT & IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN, SWPPP, WHICH SHALL BE COMPLETED PRIOR TO STARTING WORK.

24. PROJECT REVIEW BY REPRESENTATIVES OF TEN COUNTY OF FRESNO IS INTENDED TO COMPLEMENT AND ASSIST THE PROFESSIONAL(S) IN ADVANCING A PROJECT THAT IS IN COMPLIANCE WITH COUNTY OF FRESNO REQUIREMENTS, AND IS CONSISTENT WITH THE PUBLIC BENEFIT, HEALTH, SAFETY, AND WELFARE. REVIEW IS NOT AN ASSURANCE OF PROJECT FEASIBILITY, PROFESSIONAL AND TECHNICAL ACCURACY, OR CONFORMANCE WITH SPECIAL CONDITIONS, IMPOSED BY PUBLIC AGENCIES, INCLUDING COUNTY OF FRESNO PLANNING COMMISSION.

25. APPROVAL OF THESE IMPROVEMENT PLANS AND SPECIFICATIONS IS MADE BASED ON THE REPRESENTATIONS MADE BY THE PROFESSIONAL(S) IN RESPONSIBLE CHARGE PURSUANT TO SECTION 6703 AND 6703.5 OF THE BUSINESS AND PROFESSIONS CODE THAT THEY HAVE DISCHARGED THEIR RESPONSIBILITIES AND PREPARED COMPLETE DOCUMENTS WHICH COMPLY WITH COUNTY OF FRESNO REQUIREMENTS FOR CONSTRUCTION OF THE IMPROVEMENTS DEPICTED HEREIN.

26. DURING CONSTRUCTION OF THE IMPROVEMENTS THE ENGINEER OF RECORD SHALL BE MADE AVAILABLE FOR CONSULTATION ON THE GENERAL SUPERVISION OF THE VARIOUS PHASES OF THE CONSTRUCTION OPERATION. HE SHALL ALSO BE RESPONSIBLE FOR PROVIDING CONSTRUCTION ENGINEERING AND SURVEYING TO ENABLE THE WORK COVERED BY THE IMPROVEMENT PLANS TO BE COMPLETED PURSUANT TO FRESNO COUNTY ORDINANCE CODE TITLE 17, CHAPTER 17.48, SECTION 17.48.4.30.

ENGINEERS STATEMENT

1. THIS PLAN WILL NOT IMPOSE A DRAINAGE, GRADING OR FLOODING HAZARD TO SURROUNDING PROPERTIES.

2. I HEREBY CERTIFY THESE PLANS AND SPECIFICATIONS COMPLY WITH COUNTY OF FRESNO ORDINANCES, STANDARDS, AND DESIGN CRITERIA, AND THAT THEY INCLUDE ALL IMPROVEMENTS REQUIREMENTS OF THE ADVISORY AGENCY/DISTRICT.

3. I AM RESPONSIBLE FOR ALL CALCULATIONS AND DRAWINGS ON THESE PLANS AND ANY ERRORS, OMISSIONS, OR VIOLATIONS OF THOSE ORDINANCES, STANDARDS, AND DESIGN CRITERIA SHALL BE CORRECTED DURING CONSTRUCTION.

ENGINEERS CERTIFICATE

NATHAN M. CLEAVES
R.C.E. 67552

DATE

REGISTERED PROFESSIONAL ENGINEER
NATHAN M. CLEAVES
NO. 67552
CIVIL
STATE OF CALIFORNIA

COUNTY OF FRESNO

CSA-34

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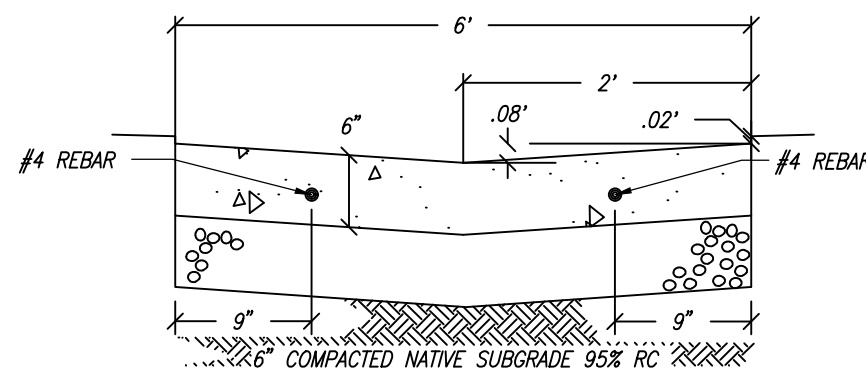
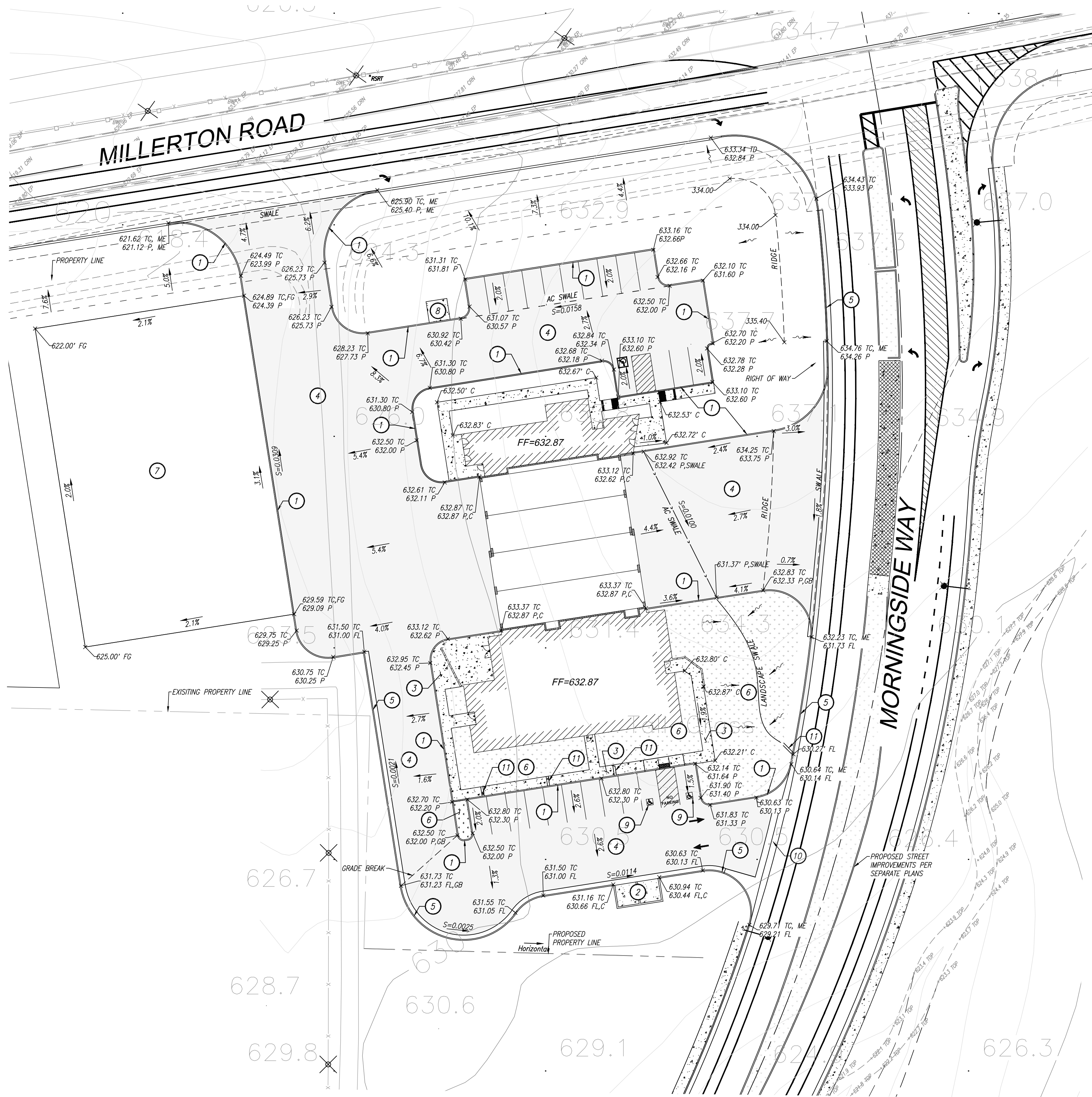
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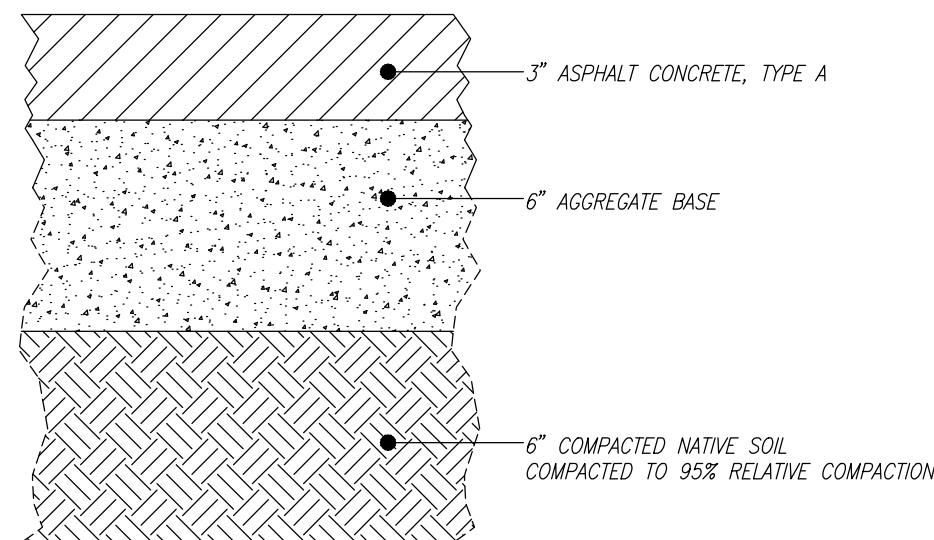
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6" VALLEY GUTTER DETAIL
NOT TO SCALE



LIGHT DUTY
PAVEMENT SECTION
NOT TO SCALE

T.I. = 5.0 R=XX

PAVEMENT STRUCTURAL SECTION
NOT TO SCALE

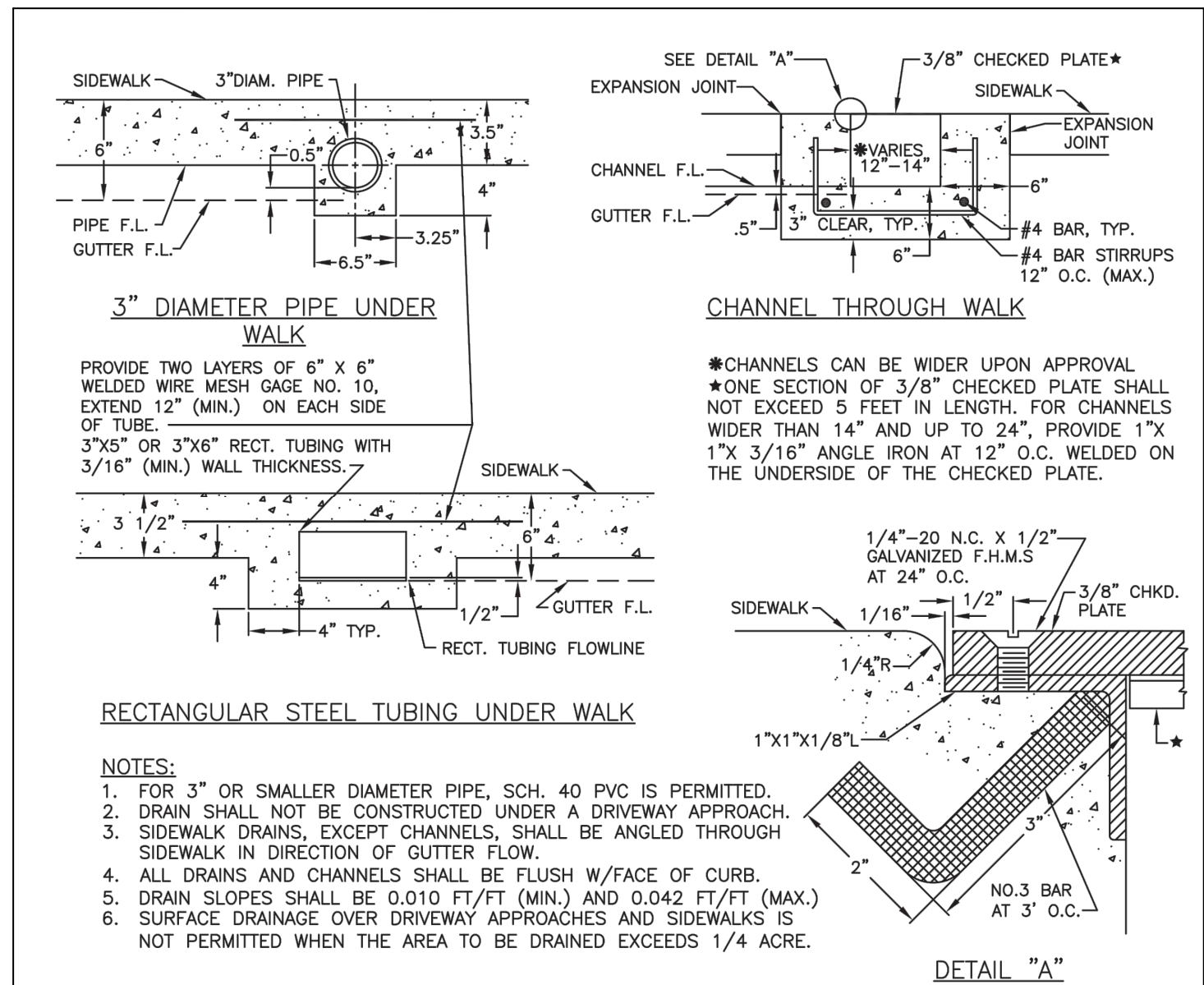
* SECTION TO BE CONFIRMED WITH SOIL
REPORT

LEGEND:

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE IMPROVEMENT
- PROPOSED AC PAVEMENT
- PROPOSED LANDSCAPE AREA

CONSTRUCTION NOTES

- CONSTRUCT 6" CONCRETE CURB PER COUNTY OF FRESNO STANDARDS
- CONSTRUCT TRASH ENCLOSURE PER COUNTY OF FRESNO STANDARDS
- CONSTRUCT CONCRETE SIDEWALK PER COUNTY OF FRESNO STANDARDS
- CONSTRUCT ASPHALT CONCRETE PER DETAIL 'B'
- CONSTRUCT 6" CURB AND GUTTER PER COUNTY OF FRESNO STANDARDS
- PROPOSED LANDSCAPED AREA
- PROPOSED GRADED STAGING AREA
- CONSTRUCT CONCRETE PAD EQUIPMENT AREA
- PROPOSED ADA PARKING STALLS DETAILS A1, A2, A3 ON SITE PLAN SHEET 1
- PROPOSED 6" WIDE VALLEY GUTTER SEE DETAIL 'A'
- CONSTRUCT SIDEWALK DRAIN PER DETAIL 'C'



NOTES:

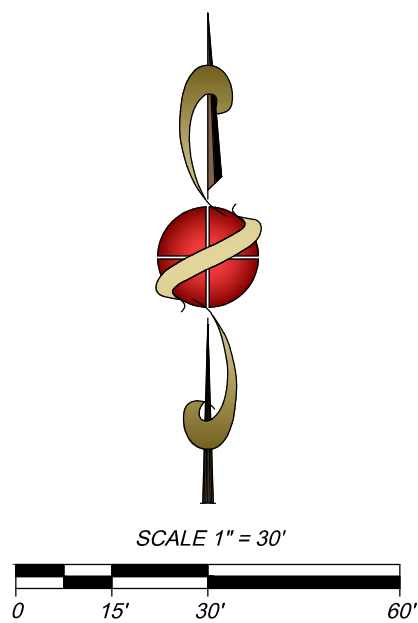
- FOR 3" OR SMALLER DIAMETER PIPE, SCH. 40 PVC IS PERMITTED.
- DRAIN SHALL NOT BE CONSTRUCTED UNDER A DRIVEWAY APPROACH.
- SIDEWALK DRAINS, EXCEPT CHANNELS, SHALL BE ANGLED THROUGH SIDEWALK IN DIRECTION OF GUTTER FLOW.
- ALL DRAINS AND CHANNELS SHALL BE FLUSH W/FACE OF CURB.
- DRAIN SLOPES SHALL BE 0.010 FT/FT (MIN.) AND 0.042 FT/FT (MAX.).
- SURFACE DRAINAGE OVER DRIVEWAY APPROACHES AND SIDEWALKS IS NOT PERMITTED WHEN THE AREA TO BE DRAINED EXCEEDS 1/4 ACRE.

AREAS TO BE DRAINED FROM PRIVATE PROPERTY TO PUBLIC STREETS			
SURFACE AREA	TYPE OF SURFACE	DRAIN AREA REQUIRED	SIZE & NO. OF PIPES OR RECTANGULAR STEEL TUBE
2 ACRES	PAVED	100 SQ. IN.	2-3"x6" RECT. TUBES
200'x100'	GRASS	25 SQ. IN.	1-3"x6" RECT. TUBE
1.5 ACRES	PAVED	75 SQ. IN.	1-3"x6" RECT. TUBE
200'x100'	GRASS	20 SQ. IN.	1-3"x6" RECT. TUBE
1 ACRE	PAVED	50 SQ. IN.	1-3"x6" RECT. TUBE
200'x100'	GRASS	12 SQ. IN.	1-3"x6" RECT. TUBE
0.75 ACRE	PAVED	40 SQ. IN.	1-3"x6" RECT. TUBE
150'x100'	GRASS	10 SQ. IN.	1-3"x6" RECT. TUBE
0.5 ACRE	PAVED	30 SQ. IN.	1-3"x6" RECT. TUBE
100'x100'	GRASS	6 SQ. IN.	1-3"x6" RECT. TUBE
0.25 ACRE	PAVED	16 SQ. IN.	1-3"x6" RECT. TUBE
100'x100'	GRASS	3 SQ. IN.	1-3"x6" RECT. TUBE
USE 1 ACRE = 200'x200' OR 100'x400'			
AREA 3' DIA. PIPE = 7.1 SQ. IN.		AREA 4"x14" CHANNEL = 56 SQ. IN.	
AREA 3"x5' RECT. TUBE = 12.3 SQ. IN.		AREA 3"x12" CHANNEL = 36 SQ. IN.	
AREA 3"x6' RECT. TUBE = 14.8 SQ. IN.			

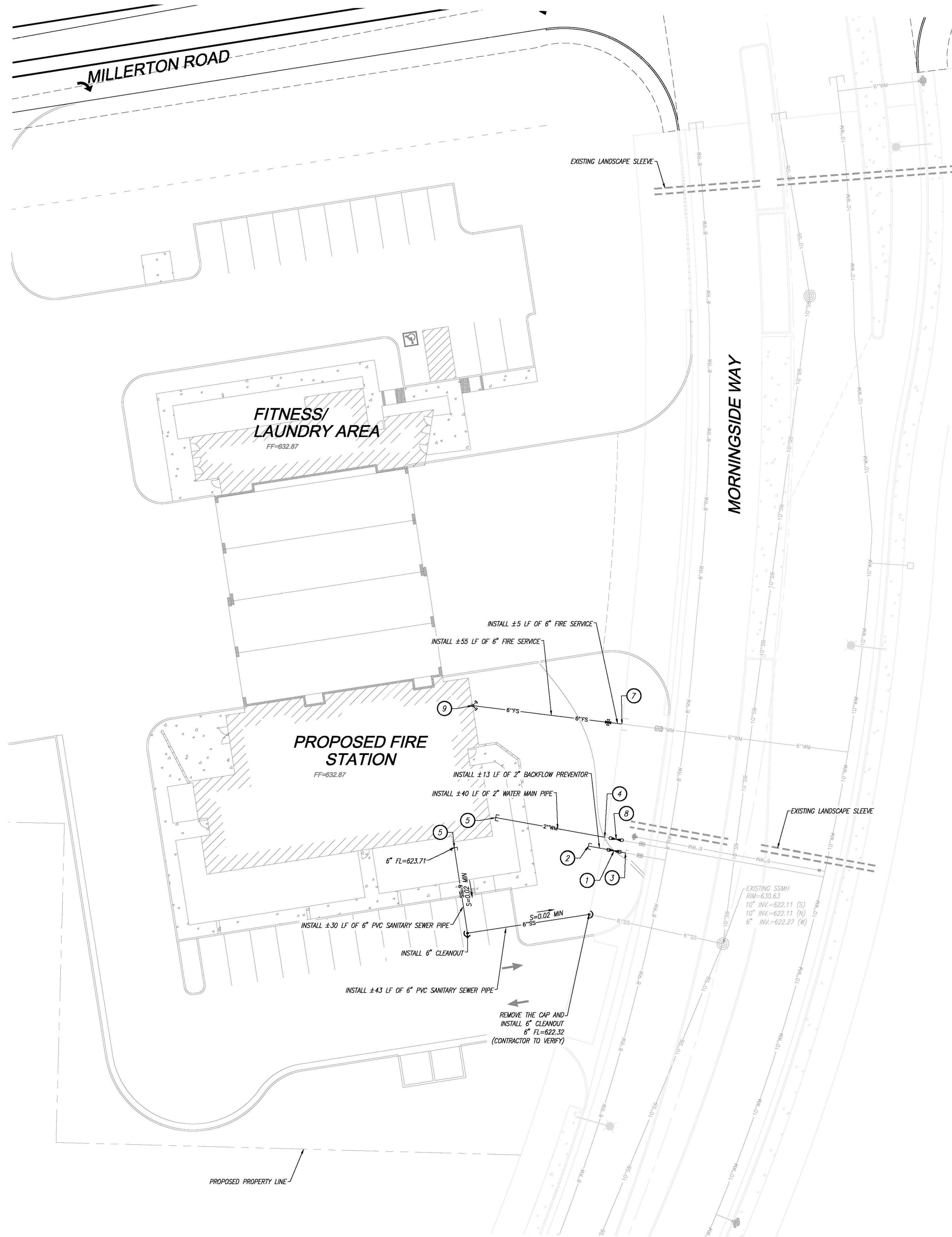
SIDEWALK DRAINS

ABBREVIATIONS NOTES

- C CONCRETE
- FG FINISHED GRADE
- FL FLOWLINE
- GB GRADE BREAK
- ME MATCH EXISTING
- P PAVEMENT
- TC TOP OF CURB



FIRE STATION IMPROVEMENT PLANS COUNTY OF FRESNO		SCALE: HORIZ. 1" = 30' VERT. 1" = 10'
PREPARED BY: PRECISION CIVIL ENGINEERING, INC.		DRAWN BY: DSY
1234 O STREET FRESNO, CA 93721 PH(559)449-4500 FAX(559)449-4515		REVISED
MILLERTON - FIRE STATION GRADING PLAN		
DESIGN ENGINEER: NATHAN M. GLEAVES DATE: 10/30/2019 R.C.E. LICENSE NO.: 67552		
DATE REVISED		SHEET
APPROVAL		2 OF
APPROVED	DIRECTOR OF PUBLIC WORKS	C.E. NO.
APPROVED REV.	DATE	
DATE		3 SHEETS



WATER NOTES

1. ALL WATER MAIN VALVES SHALL BE AWK OR APPROVED EQUAL. ALL WATER MAIN VALVES (CAP AND LID) AFFECTED BY THIS PROJECT SHALL BE ADJUSTED TO GRADE AS NECESSARY AND INCLUDED IN THIS WORK.
2. NO WATER MAIN SHALL BE CLOSED BY THE CONTRACTOR EXCEPT IN THE CASE OF A BROKEN MAIN. THE CONTRACTOR SHALL NOTIFY THE COUNTY AND ANY AFFECTED PUBLIC UTILITY DISTRICT IMMEDIATELY AFTER A LINE IS BROKEN.
3. WATER PIPE SHALL BE PVC, AWWA C900 CLASS 150 (DR-18) WITH RUBBER GASKETS PER ASTM D-1869 AND F-477 OR APPROVED EQUAL. A HYDROSTATIC TEST SHALL BE CONDUCTED ON THE ENTIRE PIPELINE FOR A PERIOD 2 HOURS AT A HYDROSTATIC PRESSURE OF 150 PSI FOR CLASS 150 PIPE AND 200 PSI FOR CLASS 200 PIPE AND CHLORINATED PER COUNTY OF FRESNO REQUIREMENTS. IN LOCATIONS WHERE THERE IS A COMBINATION OF CLASS 200 AND CLASS 150 PIPE, THE SYSTEM TESTING PRESSURE SHALL BE 150 PSI. ALL VALVES IN THE PIPELINE SHALL BE IN THE OPEN POSITION DURING SYSTEM TESTING.
4. GATE VALVES SHALL BE AWWA C-509-80. TYPE OF GATE VALVE SHALL BE APPROVED BY THE COUNTY OF FRESNO. AWK OR APPROVED EQUAL. AWWA C500-86, C509-87 LATEST ADDITION EPOXY COATED WITH RESILIENT WEDGE, NON-RISING STEM WITH 2" NUT.
5. THE CONTRACTOR SHALL MARK THE LOCATION OF ALL WASTEWATER LATERALS AND WATER SERVICES WITH THE LETTERS "S" & "W" AT LEAST 2" HIGH ENGRAVED INTO THE CURB.
6. TRACER WIRE # 10 GAUGE BLUE COPPER WIRE TO BE LAID ALONG TOP OF NON-METALLIC PIPE AND HELD IN PLACE OF 5 FT INTERVALS BY DUCT OR PLUMBERS TAPE AND CONNECTED TO ALL VALVES AND FITTINGS. WIRE CONNECTIONS SHALL BE WATER TIGHT WITH SOLDERED CONNECTIONS.
7. WATER PIPE LINES SHALL HAVE A MINIMUM 10 FT CLEAR HORIZONTAL SEPARATION FROM SANITARY SEWER PIPE LINES.
8. THE BOTTOM OF PRESSURE WATER MAINS SHALL BE ONE (1) FT VERTICALLY ABOVE ANY PARALLEL PIPELINES CONVEYING UNTREATED SEWAGE, PRIMARY OR SECONDARY TREATED SEWAGE, RECYCLED WATER, STORM DRAINAGE, AND HAZARDOUS FLUIDS SUCH AS FUELS, INDUSTRIAL WASTES, AND WASTEWATER SLUDGE WHEN THE CLEAR HORIZONTAL DISTANCE BETWEEN A WATER MAIN AND THE SAID PARALLEL PIPELINE IS TEN (10) FT OR LESS PER STATE OF CALIFORNIA DEPARTMENT OF HEALTH SERVICES.
9. THE BOTTOM OF PRESSURE WATER MAINS SHALL BE AT LEAST ONE (1) FOOT ABOVE THE TOP OF SANITARY SEWER AND STORM DRAIN LINES WHERE THESE LINES MUST CROSS.
10. THE WATER SYSTEM SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF COUNTY OF FRESNO IMPROVEMENT STANDARDS SECTION I.I.C. WATER SYSTEMS.

SEWER NOTES

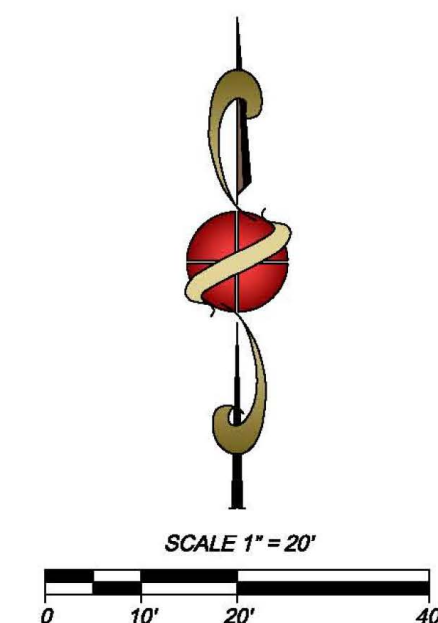
1. SEWER MAINS MUST BE INSTALLED AND TESTED PER COUNTY OF FRESNO STANDARD REQUIREMENTS FOR PVC GRAVITY SANITARY SEWER PIPE INCLUDING BALL-FLUSH, MANDRILL, AIR TEST, AND VIDEO INSPECTION OF PIPES.
2. THE SEWER SYSTEM SHALL BE COMPLETED AND ACCEPTED BY THE COUNTY AND ANY AFFECTED PUBLIC UTILITY DISTRICT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. STAINLESS STEEL MATERIAL FOR SADDLES, BOLTS, NUTS, ETC. CONNECTIONS FOR SADDLES ON CONNECTION OF SANITARY SEWER LATERALS TO THE SEWER MAIN.
4. THE SEWERAGE SYSTEM SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF COUNTY OF FRESNO IMPROVEMENT STANDARDS SECTION I.I.D. SEWERAGE SYSTEMS.

LEGEND:

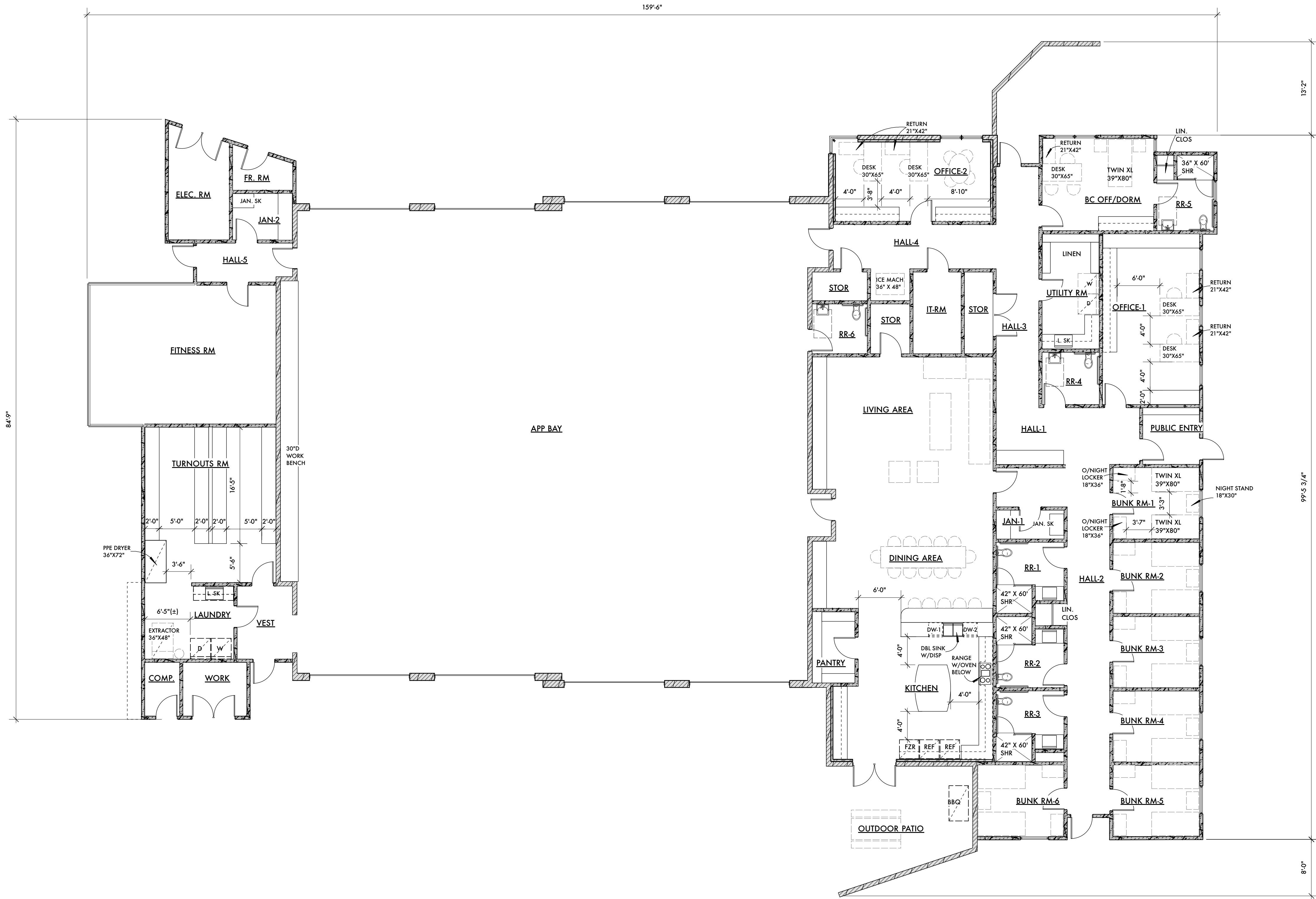
- 10"SS EXISTING SANITARY SEWER PIPE; SIZE AS NOTED
- 10"WMA EXISTING WATER MAIN; SIZE AS NOTED
- 6"WMA EXISTING WATER MAIN; SIZE AS NOTED
- 8"RWMA EXISTING RECLAIMED WATER MAIN; SIZE AS NOTED
- 4"WMA PROPOSED WATER MAIN; SIZE AS NOTED
- 6"FS PROPOSED FIRE SERVICE; SIZE AS NOTED
- 4"SS PROPOSED SANITARY SEWER; SIZE AS NOTED
- PROPOSED BACKFLOW PREVENTER
- PROPOSED CLEANOUT
- PROPOSED GATE VALVE
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED POST INDICATOR VALVE (PIV)
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER METER
- EXISTING FIRE SERVICE DETECTOR CHECK
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE

KEYNOTES:

- 1 INSTALL 2" BACKFLOW PREVENTOR
- 2 PROVIDE 2" LANDSCAPE SERVICE
- 3 REMOVE CAP AND CONNECT TO EXISTING 2" RECLAIMED WATER MAIN LATERAL
- 4 REMOVE CAP AND CONNECT 4" WATER LATERAL
- 5 CAP AND STUB POINT OF CONNECTION TO PROPOSED BUILDING
- 6 REMOVE CAP AND CONNECT TO EXISTING 6" FIRE WATER LATERAL
- 7 INSTALL FIRE SERVICE DETECTOR CHECK AND POST INDICATOR VALVE (PIV)
- 8 INSTALL 4" RP BACKFLOW PREVENTOR
- 9 PROPOSED FIRE RISER LOCATION



FIRE STATION IMPROVEMENT PLANS		SCALE:	
COUNTY OF FRESNO		HORIZ. 1" = 20'	
PREPARED BY:		VERT. 1" = N/A	
		DRAWN BY:	
1234 O STREET FRESNO, CA 93721 PH(559)449-4500 FAX(559)449-4515		DSY	
MILLERTON - FIRE STATION		REVISED	
UTILITY PLAN			
DESIGN ENGINEER: NATHAN M. CLEAVES			
DATE: 10/30/2019		R.C.E. LICENSE NO.: 67552	
DATE REVISED			
APPROVAL			
APPROVED	DIRECTOR OF PUBLIC WORKS	C.E. NO.	
APPROVED REV.		DATE	
DATE			
SHEET			
3 OF			
3 SHEETS			



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PRELIMINARY FLOOR PLAN

1/8"=1'-0"



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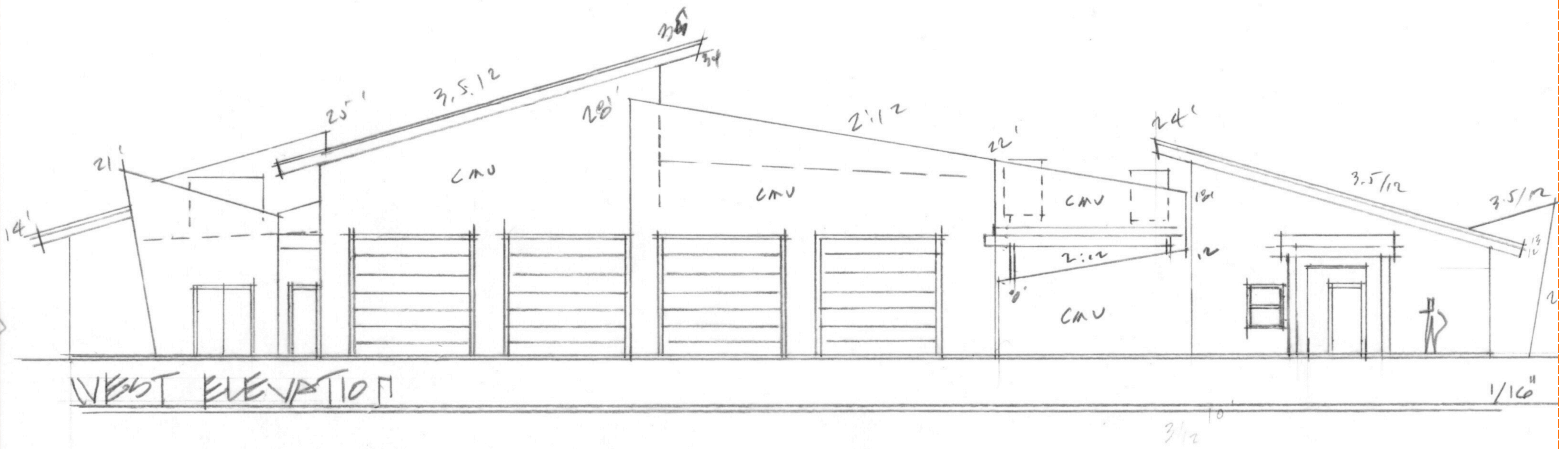
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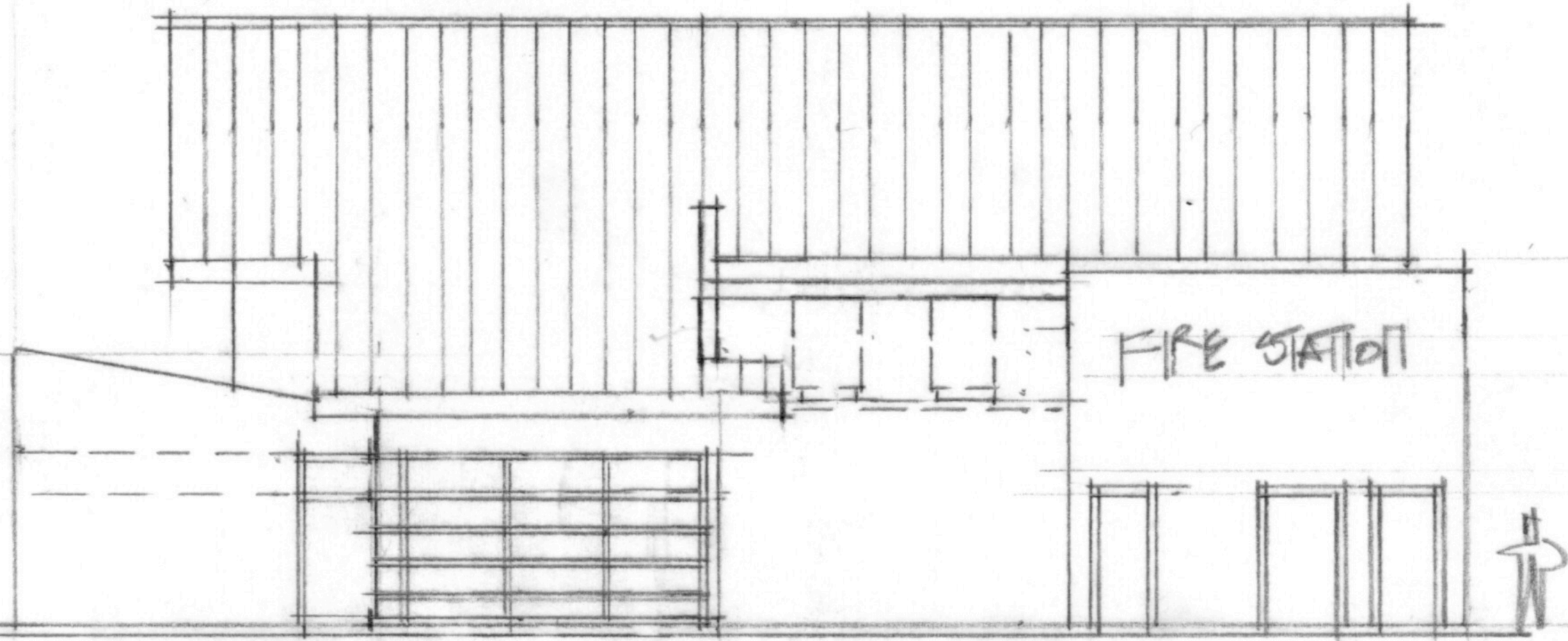
MILLERTON FIRE STATION
MILLERTON ROAD AT MORNINGSIDE WAY
FRESNO, CALIFORNIA 93726

ANTOYAN
ARCHITECTURE
2133 AMADOR ST. • FRESNO, CA • 93721-1102
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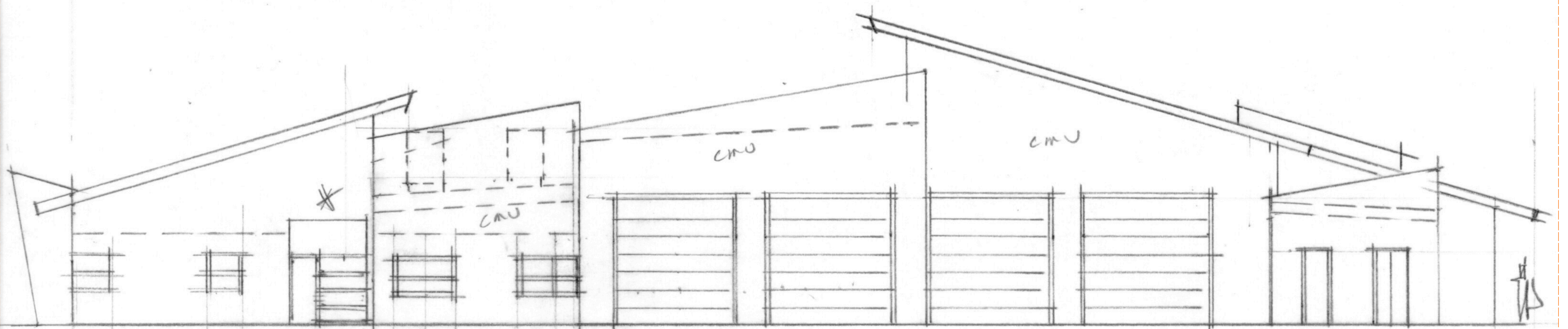
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WEST ELEVATION



NORTH ELEVATION - MILLERTON ROAD



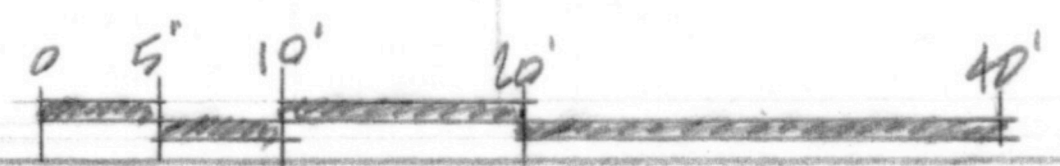
EAST ELEVATION - NORTH SIDE WAY



SOUTH ELEVATION

MILLERTON FIRE STATION - PROPOSED

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PlnCh No.
SPR/CUP No.

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ARCHITECTURE
2133 AMADOR ST. • FRESNO, CA • 93721-1102
5 5 9 • 4 9 7 • 6 9 4 2

MILLERTON FIRE STATION
MILLERTON ROAD AT MORNINGSIDE WAY
FRESNO, CALIFORNIA 93726

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