



July 3, 2019

Mr. David Shamasian
1752 W Ave K
Lancaster, CA 93534



**RE: PRECONSTRUCTION BIOLOGICAL SURVEY REPORT FOR PROPOSED
CHEVRON SERVICE STATION AND EXTRAMILE CONVENIENT STORE IN
LANCASTER, LOS ANGELES COUNTY, CA**

Dear David:

INTRODUCTION

Per your request, a preconstruction biological survey was conducted on June 27, 2019, on an approximately 4.34 acre area on the corner of 10th Street W and W Avenue K-8, in Lancaster, Los Angeles County, CA. The proposed project includes the construction of four buildings, a rest area, and a parking lot. The completed proposed plans for the new development project are in Appendix A.

Land uses in the surrounding area include residential development, business, and commercial development, vacant lots, and paved and dirt roads. There is an active residential apartment complex to the northeast. Directly north of the project, on the corner of 10th Street West and W Avenue K-8, there is a car lot called HW Hunter, RAM of the West. To the south of the proposed project there is Tom's Tire and Auto Repair, to the east is a vacant field, and Sgt. Steve Owen Memorial Park's parking lot is located to the west (Figure 2).

The potential project area is located in Section 27, Township 7N and Range 12W of the USGS Lancaster West Quadrangle map. The soils are Rosamond fine sandy loam, sunrise loam, and Rosamond loam with flat to gently sloping landscape, ranging in elevations from +/- 2430-2450 feet. On the northeast corner of the lot for the proposed project will be Pad C, which will become a retail/restaurant commercial building. The northwest corner will become an ExtraMile gas station and store with 6 gas pumps. Connected to the ExtraMile store to the south will be a drive-thru restaurant (Pad B). The southeast corner of the project site will have another drive-thru restaurant (Pad A) with an entrance to 10th street West between it and Pad B. The rest of the southeastern portion of the lot will be a parking lot with scattered ornamental trees.

METHODS

Two Biological Field Technicians surveyed the project area using pedestrian transects on June 27, 2019. The use of pedestrian transects helps to ensure 100 percent coverage of the project site. The survey included a variable width buffer zone of 75-150 m (approx. 250-500 ft.) beyond the

boundaries of the project site where possible. However, concrete with metal fencing around a commercial lot and traffic on 10th Street W and W Avenue K-8 prevented the team from conducting a complete survey of the entire buffer zone in several areas of the project. For safety reasons, paved roads and private properties were not surveyed by conducting transects; however, binoculars were used to survey those areas from a safe distance. Presence of wildlife, particularly sensitive species, or their sign was recorded. Field notes were used to record habitat features and animal activity during the survey. A photographic record was made of specific site features and wildlife evidence.

A search was conducted for sensitive species previously documented within the USGS Lancaster West quadrangle map in the proposed project using the California Natural Diversity Database (2019). The Federally and state endangered least Bell's vireo (*Vireo bellii pusillus*) could be observed in the area. State threatened Swainson's hawk (*Buteo swainsoni*), tricolored blackbird (*Agelaius tricolor*), and the Mohave ground squirrel (*Xerospermophilus mohavensis*) are found in the Lancaster West Quadrangle. Species of special concern in the area include the loggerhead shrike (*Lanius ludovicianus*), burrowing owl (*Athene cunicularia*), cave myotis (*Myotis velifer*), northern California legless lizard (*Anniella pulchra*), and coast horned lizard (*Phrynosoma blainvillii*). No protected plant species were identified by the CNDDDB.

RESULTS

The proposed retail, commercial buildings, and parking lot of this project would be developed on an already highly disturbed and undeveloped areas (Figure 3). Due to the high level of disturbance there are large areas that have little plant life and the soil has become compacted. The eastern portion of the project is adjacent to a disturbed vacant lot (Figure 4). The south side of the project is along a 6 foot concrete and metal fence for a commercial tire shop. The north and west portions of the project are along busy city roads. Other than horticultural plants that are in the commercial areas surrounding the vacant lots, there are not very many places for birds to roost. Many California ground squirrels (*Otospermophilus beechyii*) were also observed in various segments of the project area, including a colony located within a pile of concrete debris on the southern side of the site. (Figure 5). There was also a pile of concrete in the southern buffer zone and trash along the fence line on the south side of the proposed project area.

No evidence of the least Bell's vireo or other threatened or endangered species were observed throughout the potential project area. However, many birds which are protected by the federal Migratory Bird Treaty Act were observed on and adjacent to the project work area. A complete list of plants and wildlife observed are included in Appendices B and C, respectively.

Only a few mammals and their sign observed during the survey. However, the California ground squirrel was exceedingly prevalent on the project area. Desert cottontail (*Sylvilagus audubonii*) and coyote (*Canis latrans*) scat were also observed in the proposed project area.

The most common birds observed or heard during the field survey included house sparrows (*Passer domesticus*), American crow (*Corvus brachyrhynchos*), Brewer's blackbird (*Euphagus cyanocephalus*), mourning dove (*Zenaidura macroura*), and western kingbird (*Tyrannus bverticalis*). No sign of listed and/or any other special status wildlife species were observed on the project site. However, this project does occur within the known range of sensitive wildlife species, and they could potentially move onto the project site at any time.

Plant species observed were mostly horticultural, non-native annuals, and often invasive species. The most dominant non-native plant species observed include: Russian thistle (*Salsola tragus*), filaree (*Erodium cicutarium*), tumble mustard (*Sisymbrium altissimum*), and red brome (*Bromus madritensis ssp. rubens*). Rattlesnake sandmat (*Euphorbia albomarginata*) and turkey mullein (*Croton setiger*) are all common native plant species observed. No suitable habitat for listed and/or other special status plant species were observed on the proposed project area.

CONCLUSIONS

The western burrowing owl, as well as other bird species, are highly mobile, some are migratory and have been known to inhabit previously disturbed areas. The burrowing owl, and other raptor species including the northern harrier, the golden eagle, and the prairie falcon, as well as the federally protected desert tortoise and the state threatened Mohave ground squirrel, could range throughout the project at any time. New nests, dens, or burrows could be constructed or excavated at any time and dens or burrows have been known to be dug overnight in the middle of ongoing construction projects. The burrowing owl has also been known to inhabit open piping or culverts or loose piles of concrete or other construction rubble or debris. Any wildlife may also hide, sleep or rest among machinery, equipment, buildings, parked trailers or vehicles and among stockpiled materials during construction and/or operations.

Although not observed, according to the CNDDDB, both the Mohave ground squirrel and desert tortoise are known to inhabit the general area in the Lancaster West quadrangle and could range throughout the site at any time. Should a Mohave ground squirrel, a Mohave ground squirrel burrow, desert tortoise, or any other sensitive species be spotted on the site during construction, to ensure regulatory compliance, it must be avoided, and a qualified biologist will be contacted to determine the proper course of action. Harassment of listed species is prohibited and unlawful.

Several species of birds, such as the mourning dove, and others, which are protected by the federal Migratory Bird Treaty Act, prefer to nest in barren open ground or small shrubs. If any bird nests, eggs or young are encountered during the project, they will be avoided, and a qualified biologist contacted to determine the course of action.

An employee training session will be conducted to inform employees of the species which may occur on the site and the take avoidance measures, particularly pertaining to the appearance of

CONCLUSIONS (continued)

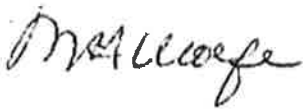
potential burrows in the work area, observation of listed species, speed limits and food related trash. Any new employees arriving on site throughout the duration of the project should receive environmental training before commencing work.

To prevent accidental take of any protected wildlife species, standard agency take avoidance measures and protection measures are required to be implemented. The requirement to comply with environmental laws, regulations and their related guidelines and polices should be included in the contract of each contractor. A summary of the take avoidance measures to be implemented to help prevent take include, but are not limited to:

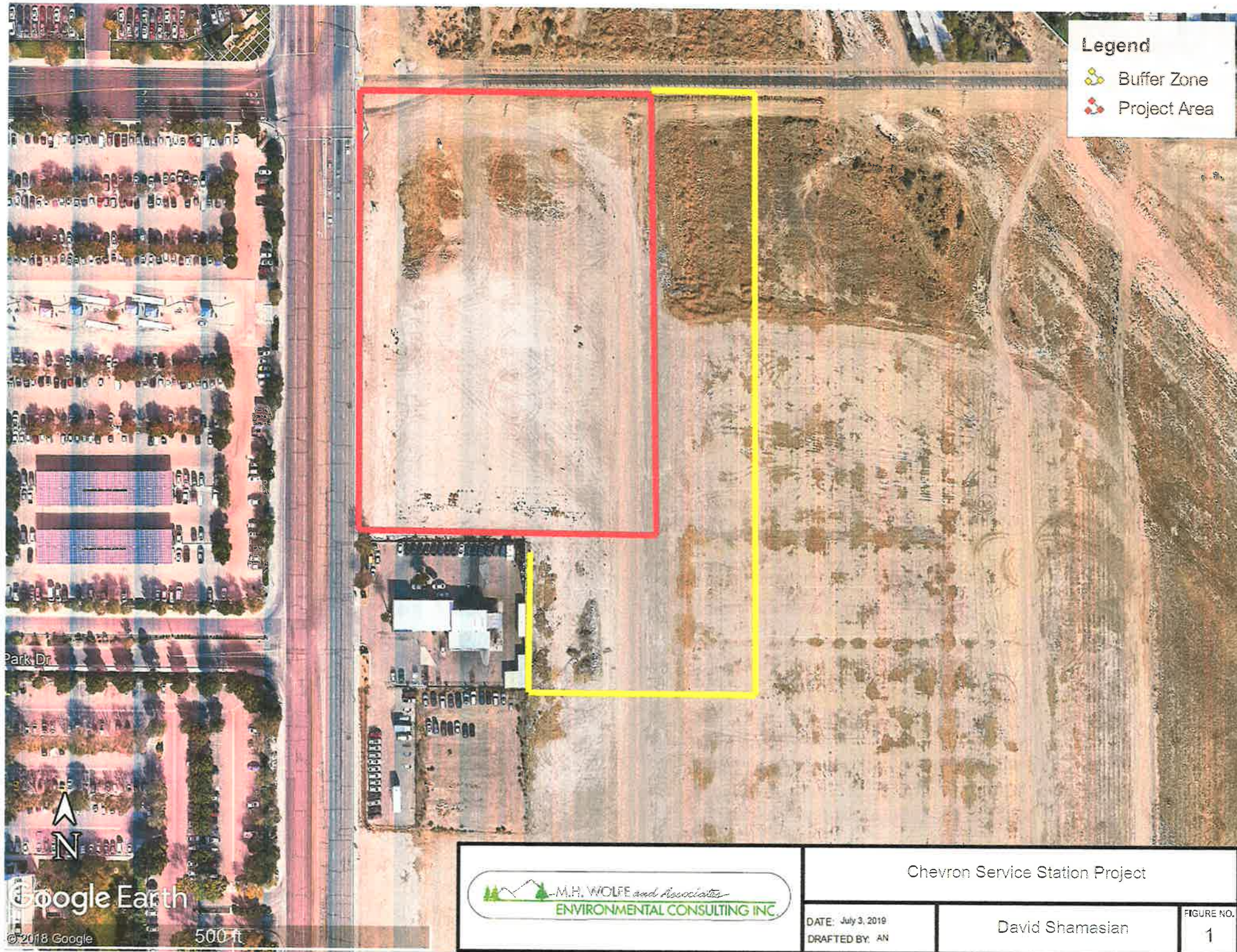
- Training of contractors and employees regarding take avoidance and protection measures
- Inspecting trenches and excavations to prevent entrapment of tortoises and other wildlife
- Providing ramps or coverings of all excavations to prevent entrapment
- Covering of openings such as found on pipes, poles and vaults to prevent entrapment
- Inspecting piles of pipe prior to construction every day to ensure none are occupied; if either desert tortoise or burrowing owl are encountered, contact a qualified biologist to ascertain the course of action. Harassment is prohibited by both federal and state law
- Keeping garbage and food stuffs contained and removed daily from the project site
- Keeping vehicles and equipment on surveyed site only
- Inspecting in and underneath vehicles, equipment and materials prior to moving
- If any protected species are found, all work must stop, and a qualified wildlife biologist must be contacted.
- Using slow speed limits of 15-20 mph or less; and avoiding night work.

If you have any questions or need further assistance, please do not hesitate to contact us.

Sincerely,



Marcia H. Wolfe
Certified Senior Ecologist, Ecological Society of America



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Figure 2. Looking west to the area to be developed into the project's commercial buildings and parking lots.



Figure 3. The northeastern end of the project site shows how the area has been disturbed by both vehicle traffic and human presence.

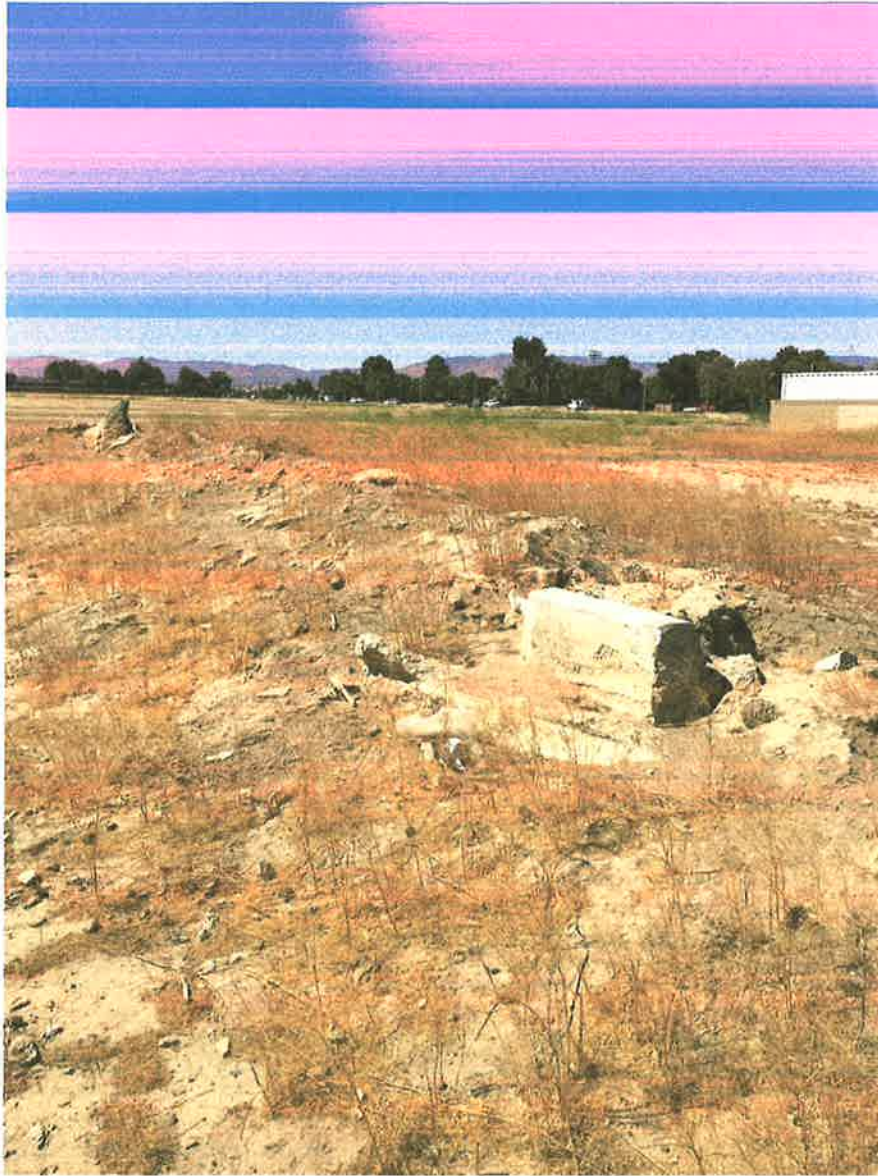


Figure 4. This pile of concrete construction debris and trash is home to California ground squirrels.



Figure 5. The area to the west of the project site is open and the ground has been disturbed by humans.



Figure 6. This is the entrance to a California ground squirrel burrow.

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References

California Natural Diversity Data Base (CNDDB). 2019. Lancaster West Quadrangle. Accessed June 27, 2019 from: <https://apps.wildlife.ca.gov/bios/>

Fish and Wildlife Service. June 2019. Official Species List. Carlsbad Fish and Wildlife Office.

United States Department of Agriculture (USDA). 2019. Custom Soil Resource Report for Antelope Valley Area, City of Lancaster in Los Angeles county California. <https://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>

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Appendix A. Plot plan for a Chevron Service Station and ExtraMile Convenient Store.

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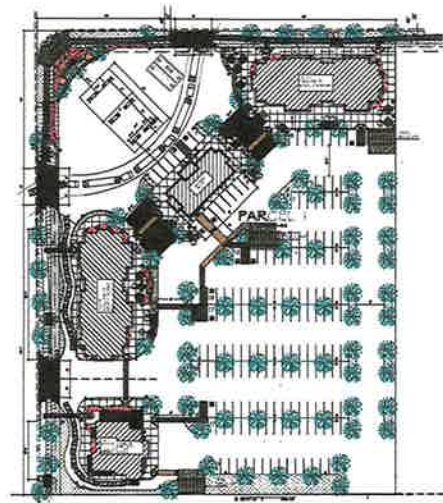
AVE K8

PARCEL 1

3128-004-016

PARCEL MAP NO. 16663
PG'S 16-17

EXISTING LOT PLAN



PROPOSED PLAN

COVER SHEET

10TH ST WEST

"CHEVRON EXTRAMILE STORE"
10th Street West and Ave K-8
Lancaster, CA 93535

DESIGNING THE WORLD
FAC

H. RODRIGUEZ
CONSULTING ARCHITECTS, INC.
PROJECT MANAGEMENT CONSULTATION
909-232-1475
HRdesign

REVISIONS:

CADD FILE:
SMART
DATE: 10/02/2018
DRAWN BY: HE
CHECKED BY:

C-S



SQUARE MILE AROUND SITE LOCATION

SITE LOCATION

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES INCLUDING LOCAL AMENDMENTS THAT MAY BE APPLICABLE TO THE PROJECT:

- 2017 CALIFORNIA BUILDING CODE (CBC)
- 2017 CALIFORNIA FIRE CODE (FC)
- 2017 CALIFORNIA MECHANICAL CODE (CMC)
- 2017 CALIFORNIA PLUMBING CODE (CPC)
- 2017 CALIFORNIA ELECTRICAL CODE (CEC)



VICINITY MAP LOCATION

PROPOSED SPECIFIC PLAN AMENDMENT, CUP FOR A CHEVRON SERVICE STATION AND EXTRA MILE CONVENIENT STORE, CUP FOR OFF-SITE SALE OF ALCOHOL, RESTAURANT(S) WITH DRIVE THRU AND RETAIL PAD(S) AT 10TH ST W AND AVE K8, LANCASTER CA 93535

SHEET INDEX

- C-5 COVER SHEET
- A-1.0 1 SQUARE MILE VICINITY PLAN
- A-1.1 PROPOSED SITE PLAN
- A-1.2 PROPOSED LOT LAYOUT
- A-1.3 PROPOSED LOT LAYOUT WITH EXTRA MILE FLOOR PLAN
- A-2.0 PROPOSED LOT LAYOUT WITH EXTRA MILE FLOOR PLAN
- A-2.1 FUTURE EQUIP. AND FINISH SCHEDULE
- A-2.2 FINISHES PLAN
- A-3.0 CONCEPTUAL CANOPY PLAN
- CL-P CONCEPTUAL LANDSCAPE PLAN
- EW-P EXTRA MILE STORE ELEVATIONS PLAN
- PAD-A PROPOSED PAD 'A' ELEVATIONS PLAN
- PAD-B PROPOSED PAD 'B' ELEVATIONS PLAN
- PAD-C PROPOSED PAD 'C' ELEVATIONS PLAN

BUILDING DATA

BUSINESS OWNER: DAVID SHAMASIN, "CHEVRON EXTRA MILE"

ADDRESS: 10TH ST W AND AVE K8, LANCASTER CA 93534

PHONE NUMBER: (910) 279-2752

PROPERTY OWNER: DAVID SHAMASIN

PHONE NUMBER: 1752 W AVE K, LANCASTER CA 93534

EXISTING ZONING: AMARGOSA SPECIFIC PLAN

PROPOSED ZONING: CSP-AMARGOSA SPECIFIC PLAN

Assessor's ID No: 3128-004-016

Address: 10TH ST W AND AVE K8, LANCASTER CA 93535

EXISTING LAND TOTAL: 4.34 ACRES (189,150 SQ. FT.)

BUILDING EXTRA MILE STORE: 3,350 SQ. FT.

PAD 'A': 6,925 SQ. FT.

PAD 'B': 6,925 SQ. FT.

PAD 'C': 3,350 SQ. FT.

TRASH ENCL. 446 SQ. FT. X 3: 1,344 SQ. FT.

TOTAL BUILDING SQ. FT.: 22,474 SQ. FT.

STORIES: 1 STORY FOR ALL BUILDINGS

ALL BUILDINGS OCCUPANCY: B TYPE: VEH-MSKR

EXTRA MILE STORE OCCUPANT LOAD: 70

LOT TOTAL: 189,150 SQ. FT. APPROX

BUILDING TOTAL: 22,474 SQ. FT.

REIN LOT AREA: 166,676 SQ. FT.

LANDSCAPE RECD 15% OF LOT REMAINING AREA: 25,001 SQ. FT.

TOTAL LANDSCAPE PROVIDED: 25,440 SQ. FT.

TOTAL PARKING REQUIRED APPROX: 10,285 SQ. FT. RETAIL: 41

TOTAL PARKING REQUIRED, APPROX: 10,645 SQ. FT. REST.: 54

TOTAL PARKING PROVIDED: 95

ADA PARKS RECD. PER TABLE 11B-208.2: 6 (1 VAN MIN.)

TOTAL ADA PARKS PROVIDED: 12 (6 VAN, + 6 STD)

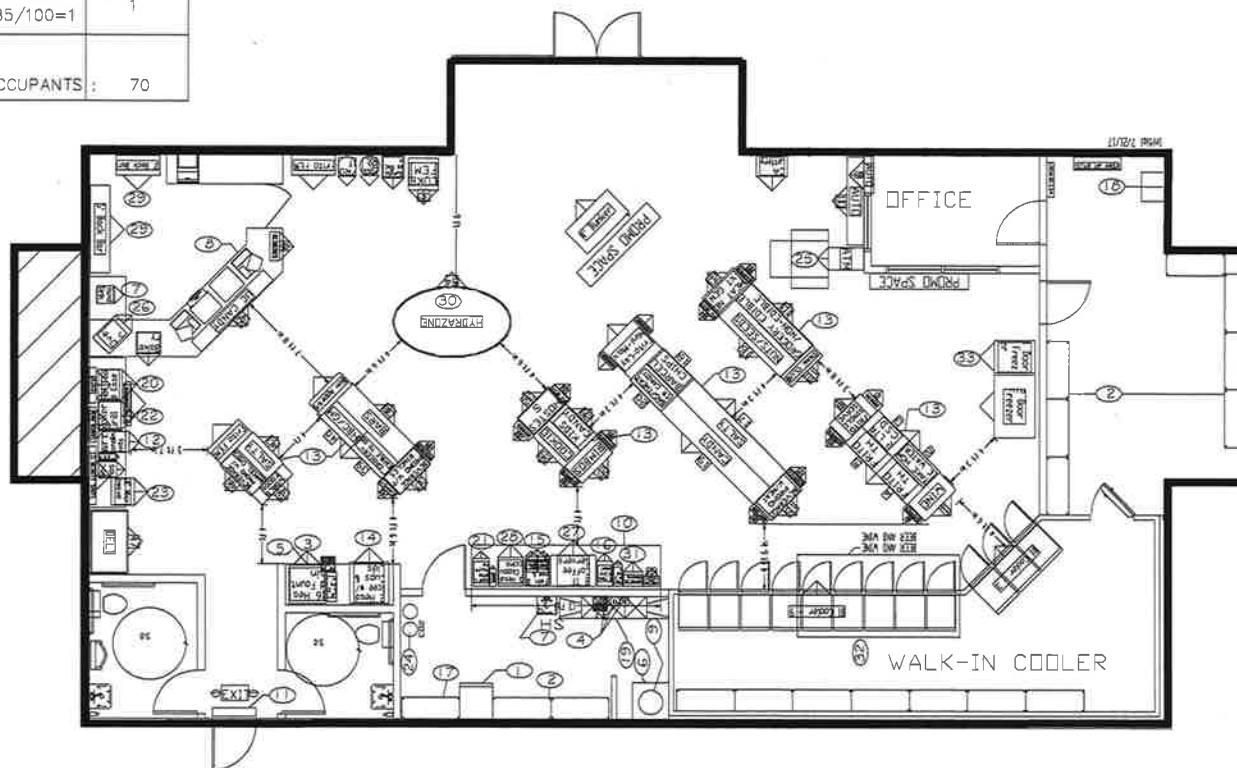
TOTAL REGULAR PARKS AND ADA PROVIDED: 179

NEAREST	ESTABLISHMENT NAME	DISTANCE TO PROPERTY LINE
Religious Assembly,	St. Paul's Episcopal Church	2,780 feet away
Public/Private School (K-12)	Sierra Elementary	3,634 feet away
Day Care Center	All My Children	4,756 feet away
Res. Use or Res. Designated Property,	Del. From NE Corner of Property,	372 feet away
Esst. Primary Alcohol Bev. Establishment	Windsor Foods	500 feet away
Esst. Primary Alcohol Bev. Establishment	St. Joseph's Memorial Hospital	650 feet away
Hospital	Antelope Valley Hospital	1.5 miles away

PRIMARY ALCOHOLIC BEVERAGE ESTABLISHMENTS

Type of Establishment	On-Sale	Off-Sale	Bona Fide Restaurant
Religious Assembly	CLEAR	300'	-0-
Public/Private School (K-12)	CLEAR	1,000'	-0-
Day Care Center	CLEAR	300'	-0-
Residential Use or Residentially Designated Property	CLEAR	300'	-0-
Existing Primary Alcoholic Beverage Establishment	CLEAR	500'	-0-
Public Park	CLEAR	500'	-0-
Hospital	CLEAR	500'	-0-

OCCUPANCY LOAD				
OCCUPANCY	USE	AREA	OCC. LOAD	OCCUPANTS
M	SALES	1,948 sq. ft.	1/30 $1,948/30=65$	65
M	WALK-IN COOLER	363 sq. ft.	1/300 $363/300=1$	1
M	RESTROOM	79 sq. ft.	1/100 $79/100=.79$	1
M	RESTROOM	67 sq. ft.	1/100 $67/100=.67$	1
M	STORAGE	353 sq. ft.	1/300 $353/300=1$	1
M	OFFICE	85 sq. ft.	1/100 $85/100=1$	1
TOTAL OCCUPANTS :				70



FLOOR PLAN

SCALE: 1/4" = 1'.0"

"CHEVRON EXTRA MILE"
10th Street West and Ave K-8
Lancaster, CA 93535

DESIGNING THE WORLD
F.A.D.
H.R. design

H. RODRIGUEZ & ASSOCIATES
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909-232-1475
H.R. design

REVISIONS:

CADD FILE:
SMART
DATE: 10/13/2017
DRAWN BY: HK
CHECKED BY:

A-2.0

FIXTURE AND EQUIPMENT SCHEDULE

ITEM NUMBER	ITEM / EQUIPMENT	MANUFACTURER	MODEL NUMBER	NOF	GAS CONNECTION	ELECTRICAL	HOT WATER	COLD WATER	DIRECT WASTE	INDIRECT WASTE	COMMENT
1	FREEZER 1 DOOR	TRUE	T-23	•							SELF CONTAINED
2	WIRE SHELVING 5 TIER HIGH 18" X 48"	ADVANCE TABCO	ECG-1836	•							
3	FOUNTAIN MACHINE	LANCER	F5-30	•							REQUIRES FLOOR SINK
4	WATER FILTER SYSTEM FOR ICE MACHINE	3M	DP19Q/DP19S	•			•				REQUIRES FLOOR SINK
5	ICE MAKER	SCOSTMAN	NME954-32A	•			•				REQUIRES FLOOR SINK
6	NOF SINKS: MECHANICAL SINK AND SPOON & HOT FILL	ADVANCE TABCO		•			•				
7	HAND SINK	ADVANCE TABCO		•			•				
8	CASH REGISTER COUNTER	CUSTOM	CUSTOM	•							WITH P.O.S. SYSTEM AND AUTO SCRATCHES WINDOW
9	ELECTRIC COMMERCIAL WATER HEATER	RHEEM	LIGHT DUTY	•			•				SEE P.O.S. SYSTEM
10	BEVERAGE COUNTER	CUSTOM	CUSTOM	•							FLOOR SINK
11	AIR CURTAIN W/ MICRO SWITCH	MARS		•							
12	REFRIGERATED COUNTER TOP TOPPING UNIT	APW	KTR-8	•							SELF CONTAINED
13	GONDOLAS	ROYSTON		•							
14	ICEE MACHINE	PBD	562D	•			•				From water, 30 PSI min.
15	DUAL COFFE BREWER	BUNN	IC6 TWIN TALL	•							
16	CREAM DISPENSER	CREMAISER		•							
17	BAG-IN-BOX RACK (SYRUP) RACK	CORNELIUS	VIPER 3	•							
18	LOCKERS 12" W X 18" D X 36" H MIN.	CORNELIUS	VIPER 3	•							
19	3 COMP. SINK WITH 2 DRAIN BOARDS	ADVANCE TABCO		•			•	•	•		REQUIRES FLOOR SINK
20	24" SELF SERVE FOOD MERCHANDISER	VendoSANDEN	IMPULSE	•							
21	ICE COLD COFFEE	CORNELIUS	ELITE 2000	•							
22	ROLLER GRILL (HOT DOGS)	APW	HR-315	•							
23	MICROWAVE	SHARP	R-21 HT	•							
24	CO2 TANKS			•							
25	ATM MACHINE	BY OWNER	BY OWNER	•							
26	COMMERCIAL OVEN	MENUMASTER	MCE14	•							
27	MECHANICAL BASELESS SERVERS	BUNN		•			•	•			
28	CAPPUCCINO MACHINE	CURTIS	PCGT3	•							
29	6 BACK BAR CABINET	BY OWNER		•							
30	HYDRA ZONE REACH-IN REFRIG.	STRUCTURAL CONCEPTS	OASIS	•							SELF CONTAINED
31	CONDIMENTS TRAY			•							
32	WALK-IN COOLER W/ GLASS DOORS	BY OWNER		•			•	•	•		REQUIRES FLOOR SINK
33	24" WIDE MINI UPRIGHT FREEZER	Dreyer's Grand		•							SELF CONTAINED

ROOM FINISH SCHEDULE

ROOM OR AREA	FLOOR	FLOOR BASE OR COVE	WALLS	CEILING	REMARKS
A CUSTOMER SALES AREA	DALTILE BRIXTON BX03 (MUSHROOM) & DALTILE BRIXTON BX01 (BONE)	CONTINUES WITH FLOOR 4" UP THE WALL WITH 3/8" RADIUS COVE	DALTILE SEMI-GLOSS SERIES 40" UP THE WALL AND NON-ABSORBENT SEMI-GLOSS PAINT	DROP CEILING; VINYL FACE PANEL; SMOOTH; WHITE	SEE A-2.2 SHEET FOR WALL TILE INSTALLATION PATTERN
B SERVICE & CASHIERS AREA	DALTILE BRIXTON BX03 (MUSHROOM) & DALTILE BRIXTON BX01 (BONE)	DALTILE 5341 9T 4" UP THE WALL WITH 3/8" RADIUS COVE	FIBERGLASS REINFORCED PANEL (FRP) 4" UP THE WALL / SEMI-GLOSS WHITE PAINT	DROP CEILING SMOOTH & WASHABLE NON-FISSURED GRIDSTONE GYP. CEILING PANELS	
C WALK-IN COOLER AREA	SMOOTH NON-ABSORBENT DURABLE AND EASY TO CLEAN SEALED SMOOTH CONCRETE FLOOR	STAINLESS STEEL 6" HIGH AND 3/8" RADIUS SANITARY COVE BASE	SMOOTH PANEL PRE-FABRICATED STAINLESS STEEL	SMOOTH PANEL PRE-FABRICATED STAINLESS STEEL	
D RESTROOM AREA	DALTILE BRIXTON BX01 (BONE)	DALTILE 5341 9T 4" UP THE WALL WITH 3/8" RADIUS COVE	FIBERGLASS REINFORCED PANEL (FRP) 4" UP THE WALL / SEMI-GLOSS WHITE PAINT	DROP CEILING SMOOTH & WASHABLE NON-FISSURED GRIDSTONE GYP. CEILING PANELS	
E OFFICE AREA	SMOOTH NON-ABSORBENT SEALED CONCRETE FLOOR "AQUA-MIX-SEALERS CHOICE GOLD"	CONTINUES WITH FLOOR 4" UP THE WALL WITH 3/8" RADIUS COVE	SEMI-GLOSS, NON-ABSORBENT WHITE PAINT	DROP CEILING; VINYL FACE PANEL; SMOOTH; WHITE	
F STORAGE ROOM 3' COMP SINK AREA	SMOOTH NON-ABSORBENT SEALED CONCRETE FLOOR "AQUA-MIX-SEALERS CHOICE GOLD"	DALTILE, 5361 9T SUMPOOT CERAMIC TILE	FIBERGLASS REINFORCED PANEL (FRP) 4" UP THE WALL / SEMI-GLOSS WHITE PAINT	DROP CEILING SMOOTH & WASHABLE NON-FISSURED GRIDSTONE GYP. CEILING PANELS	

THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80 INCHES. BUILDING CODE 1008.1.1

"CHEVRN GAS STATION"
10th Street West and Ave K-8
Lancaster, CA 93535



REVISIONS:

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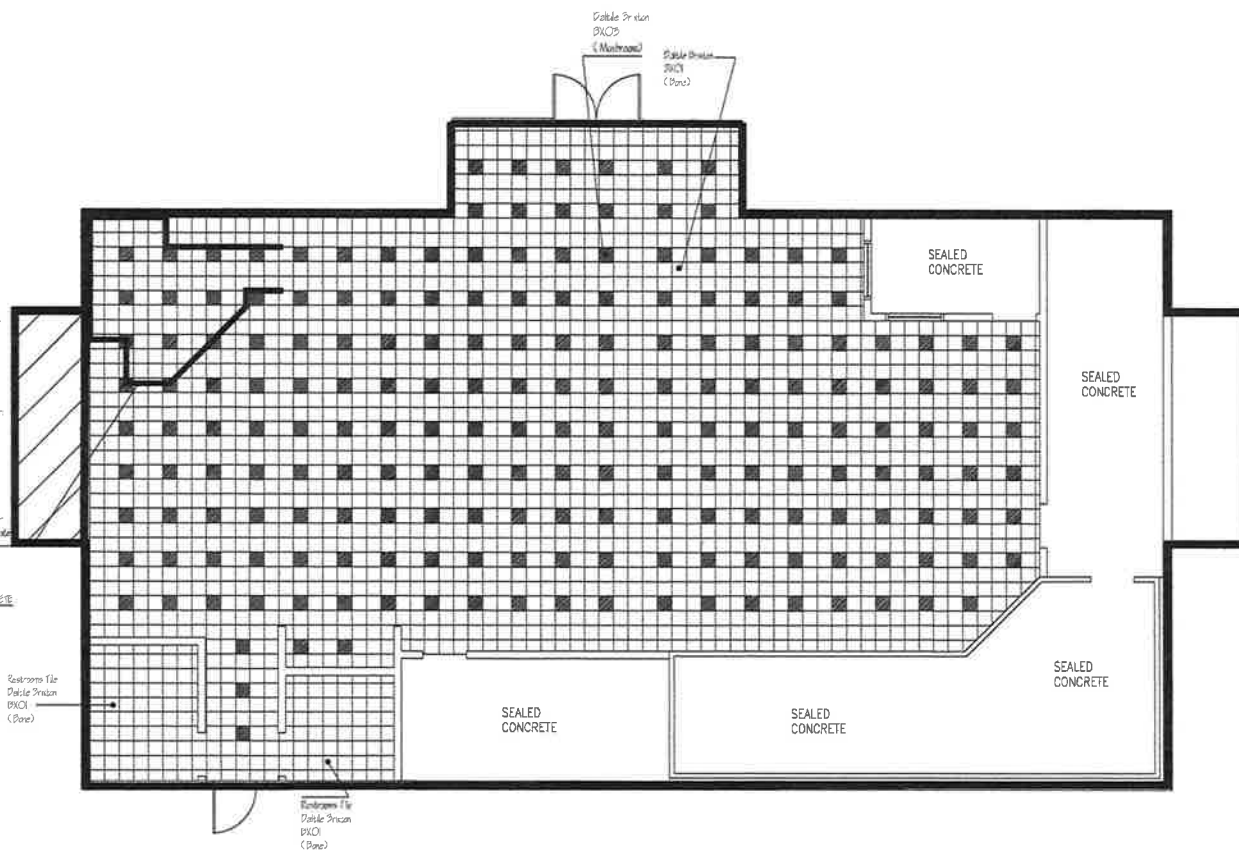
A-2.1

FOR GRAPHICS, SIGNAGE AND WALL PAPER PLEASE
CONSULT THE EXTRA MILE IMAGE GUIDE.

FOR COMPLETE FINISH SCHEDULE SEE A-2.2 SHEET

FLOOR FINISHES NOTES

- 1. Field Tiles: Daltile DriStar DMC1, Color: Bone, 12" x 12" x 5/16", unpolished.
 - 2. Accent Tiles: Daltile DriStar DMC25, Color: Mahogany, 12" x 12" x 5/16", unpolished.
 - 3. Floor Grout: Custom Building Products Commercial Portland Cement Grout #92, Color: Tobacco Brown.
 - 4. Cove Base Tile: Daltile DriStar #2011, Color: Black, 6" x 6" x 5/16", unpolished.
 - 5. Cove Base Grout: Custom Building Products Commercial Portland Cement Grout #92, Color: Tobacco Brown.
 - 6. The following areas are only for information and are not to be installed in food service areas.
 - 7. Food Service Back Tiles: Daltile G100 Series, Color: White, 6" x 6" x 3/16", unpolished.
 - 8. Food Service Floor Grout: Custom Building Products Commercial Portland Cement Grout #117, Color: Antique White.
- PLEASE REFER TO A-2.1 SHEET FOR COMPLETE FINISH SCHEDULE



FINISHES

SCALE: 1/4" = 1'-0"

"CHEVRON GAS STATION"
10th Street West and Ave K-8
Lancaster, CA 93535

DESIGNING THE WORLD
F.A.C.E.
H.R. 4000

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REVISIONS:

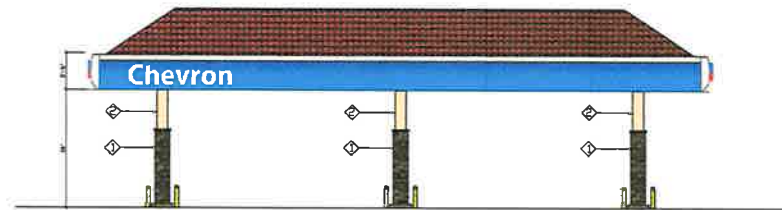
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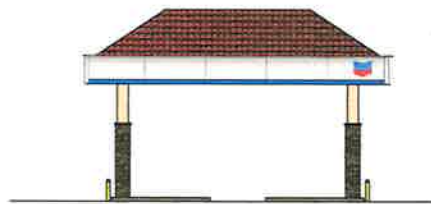
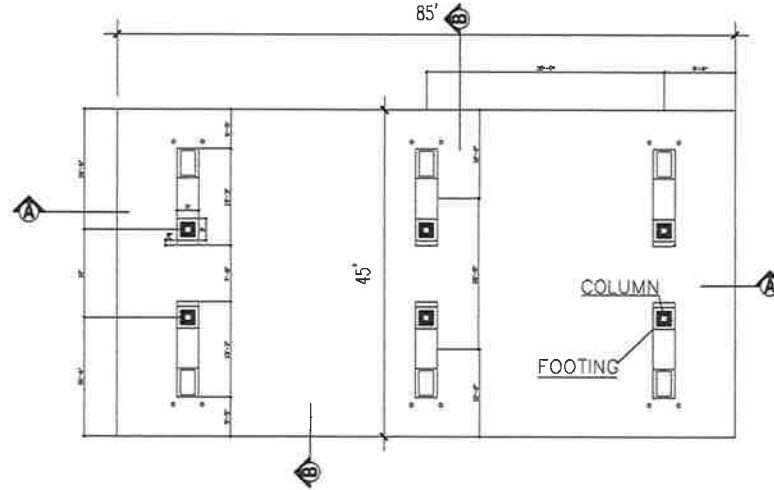
CANOPY PLAN FOR REFERENCE ONLY, ACTUAL PLANS BY CANOPY BUILDER

① Stack Century Stone-100
COLOR: Arden-724

② STUCCO FINISH WITH
PAINT OVER IT TO MATCH
BUILDING COLOR(S)



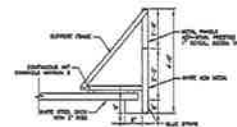
EAST ELEVATION, Similar West elevation



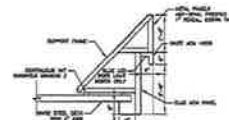
NORTH ELEVATION



SOUTH ELEVATION



A FASCIA SIDE SECTION
3/4" = 1'-0"



B FASCIA FRONT SECTION
3/4" = 1'-0"

CANOPY PLAN

SCALE: 1/8" = 1'-0"

"CHEVRN GAS STATION"
10th Street West and Ave K-8
Lancaster, CA 93535

DESIGNING THE WORLD
F.A.C.
H.R. 4000

H. RODRIGUEZ
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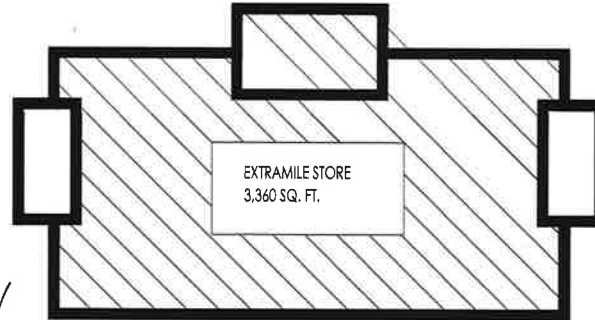
"CHEVRN GAS STATION"
10th Street West and Ave K-8
Lancaster, CA 93535



NORTHWEST ELEVATION VIEW



SOUTHWEST ELEVATION VIEW



NORTHEAST ELEVATION VIEW



SOUTHEAST ELEVATION VIEW

EXTRA MILE STORE ELEVATION

SCALE: 1/8" = 1'-0"

"CHEVRON GAS STATION"
10th Street West and Ave K-8
Lancaster, CA 93535

DESIGNING THE WORLD
FAC

H. RODRIGUEZ
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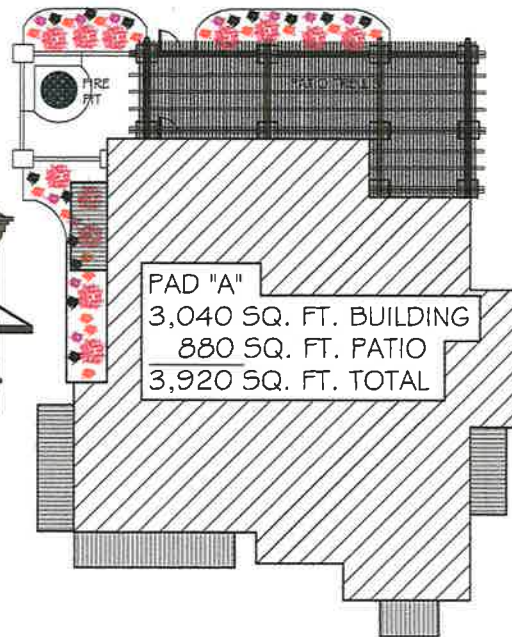
CONCEPTUAL DRIVE THRU PAD ELEVATIONS VIEW



NORTH ELEVATION VIEW



WEST ELEVATION VIEW



EAST ELEVATION VIEW



SOUTH ELEVATION VIEW

PAD "A" ELEVATIONS

SCALE: 1/8" = 1'-0"

"CHEVRON GAS STATION"
10th Street West and Ave K-8
Lancaster, CA 93535

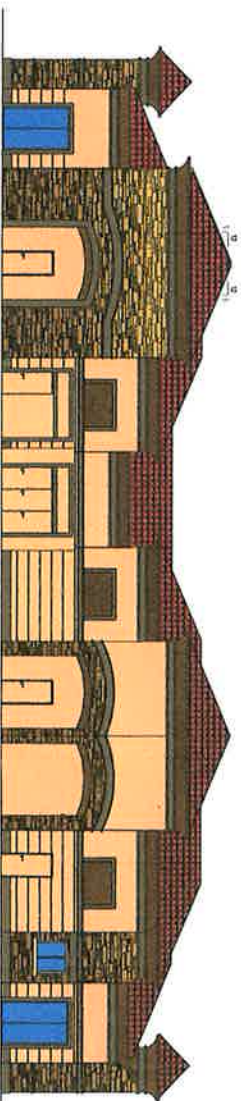
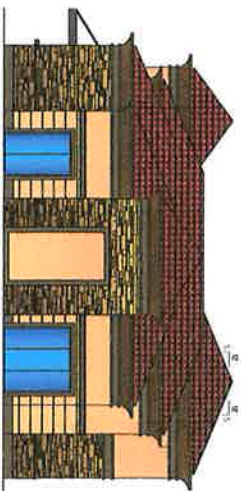
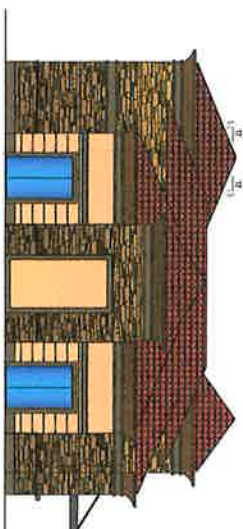
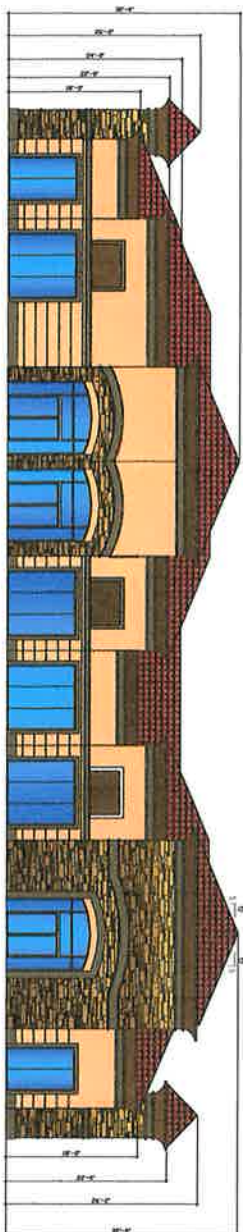
DESIGNING THE WORLD
F.A.D.
ARCHITECTS

H. RODRIGUEZ
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PAD-A



PAD "B" ELEVATIONS
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

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DATE: 06/21/2019
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PAD-B

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DESIGNING THE WORLD

"CHEVRN GAS STATION"
10th Street West and Ave K-8
Lancaster, CA 93535



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

PAD "C" ELEVATIONS
 SCALE: 1/8" = 1'-0"

"CHEVRON GAS STATION"
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SPECIES	COMMON NAME
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GRASSES/OTHER MONOCOTS

<i>Avena fatua</i>	wild oat
<i>Bromus brome</i>	ripgut brome
<i>Bromus madritensis ssp. rubens</i>	red brome
<i>Hordeum murinum</i>	foxtail barley
<i>Schismus barbatus</i>	Mediterranean grass

FORBS

<i>Amaranthus albus</i>	tumbleweed
<i>Chenopodium album</i>	lambs' quarters
<i>Croton setiger</i>	turkey mullein
<i>Erodium cicutarium</i>	filaree
<i>Euphorbia albomarginata</i>	rattlesnake sandmat
<i>Helianthus annuus</i>	sunflower
<i>Mentha pulegium</i>	pennyroyal
<i>Salsola tragus</i>	Russian thistle
<i>Sisymbrium altissimum</i>	tumble mustard
<i>Sisymbrium irio</i>	rocket mustard
<i>Tribulus terrestris</i>	puncture vine

SHRUBS/TREES

<i>Atriplex confertifolia</i>	shadscale
<i>Platanus occidentalis</i>	sycamore

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Appendix C. A list of wildlife and other animal species observed on the site during the field survey.

COMMON NAME	SPECIES	COMMENTS
<u>BIRDS</u>		
American crow	<i>Corvus brachyrhynchos</i>	observed, call, carcass
Brewer's blackbird	<i>Euphagus cyanocephalus</i>	observed, call
House sparrow	<i>Passer domesticus</i>	observed, nest, call
Mourning dove	<i>Zenaidura macroura</i>	observed, call
Western kingbird	<i>Tyrannus bverticalis</i>	observed, call
<u>MAMMALS</u>		
California ground squirrel	<i>Otospermophilus beechyii</i>	observed, burrows, scat
Coyote	<i>Canis latrans</i>	scat
Desert cottontail	<i>Sylvilagus audubonii</i>	scat, observed
<u>INSECTS</u>		
Black-and-yellow mud dauber	<i>Sceliphron caementarium</i>	observed
California harvester ant	<i>Pogonomyrmex rugosus</i>	observed, colonies
Honey bees	<i>Apis mellifera</i>	observed
Pale swallowtail butterfly	<i>Papilio eurymedon</i>	observed