

ALVAREZ FARMS LLC
COMMERCIAL CANNABIS SITE PLAN
12990 SPRUCE GROVE ROAD
LOWER LAKE, CA 95457
APN: 012-067-40

Project Information

OWNER: EDDIE ALVAREZ
760 SEBASTOPOL ROAD
SANTA ROSA, CA 95407
EDDIEATOTHEZ@GMAIL.COM
(707) 393-7026

CONSULTANT: KYLE GEITNER, PRINCIPAL
CONSULTANT
WINDSOR RIVER ROAD
WINDSOR, CA 95492
(707) 293-4224

PROJECT ADDRESS: 12990 SPRUCE GROVE ROAD
LOWER LAKE, CA 95457

PARCEL AREA : 65 ACRES

Linetype Legend

| | |
|-------|-----------------------|
| --- | LIMITS OF WORK |
| ---- | GRADING CONFORM |
| ---- | SUBDRAIN |
| ---- | EX EDGE OF PAVEMENT |
| -X-X- | EX FENCE |
| ---- | PROPOSED DRAIN PIPE |
| ---- | PROPERTY LINE |
| ---- | EX PROPERTY LINE |
| ---- | RETAINING WALL |
| ---- | DRAINAGE SWALE |
| ---- | ELECTRICAL |
| -X- | FENCE |
| -GW- | GREASE WASTE |
| -W- | WATER LINE |
| -SS- | SANITARY SEWER |
| -FP- | FIRE LINE |
| ---- | FIBER ROLL |
| -X- | TREE TO BE REMOVED |
| ---- | POINT OF COORDINATION |
| ---- | PIPE CAP |
| ---- | HYDRANT |

Abbreviations

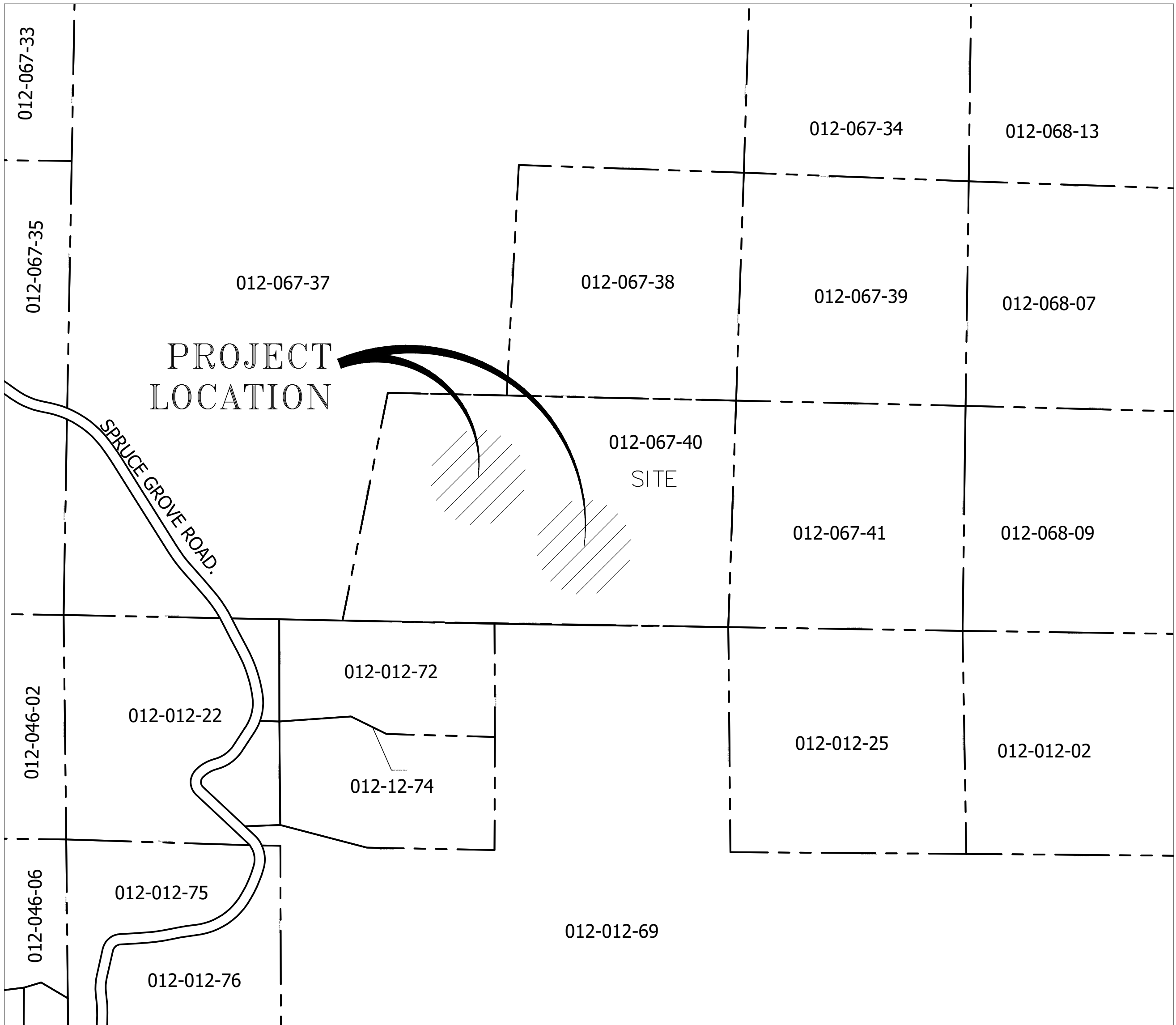
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|--------|--------------------------|--------|---------------------|
| AB | AGGREGATE BASE | F.F. | FINISHED FLOOR |
| AC | ASPHALT CONCRETE | F.G. | FINISHED GRADE |
| APN | ASSESSOR'S PARCEL NUMBER | F.L. | FLOW LINE |
| B.C. | BEGIN HORIZONTAL CURVE | HP | HIGH POINT |
| BSL | BUILDING SETBACK LINE | INV. | INVERT |
| BW | BOTTOM OF WALL | L.F. | LINEAR FEET |
| BLDG | FINISH GRADE BUILDING | MAX. | MAXIMUM |
| C.L. | CENTERLINE | MIN. | MINIMUM |
| CL | CLASS | N.T.S. | NOT TO SCALE |
| C.P.P. | CORRUGATED PLASTIC PIPE | PL | PROPERTY LINE |
| CONC. | CONCRETE | R.C. | RELATIVE COMPACTION |
| C.Y. | CUBIC YARD | R/W | RIGHT-OF-WAY |
| DI | DROP INLET | S | SLOPE |
| DJA | DIAMETER | S.C. | SPIRAL CURVE |
| DL | DAYLIGHT | S.G. | SUBGRADE |
| E.C. | END HORIZONTAL CURVE | STA. | STATION |
| E.G. | EXISTING GROUND | TW | TOP OF WALL |
| E.P. | EDGE OF PAVEMENT | TYP. | TYPICAL |
| EX. | EXISTING | V.C. | VERTICAL CURVE |

Sheet Index

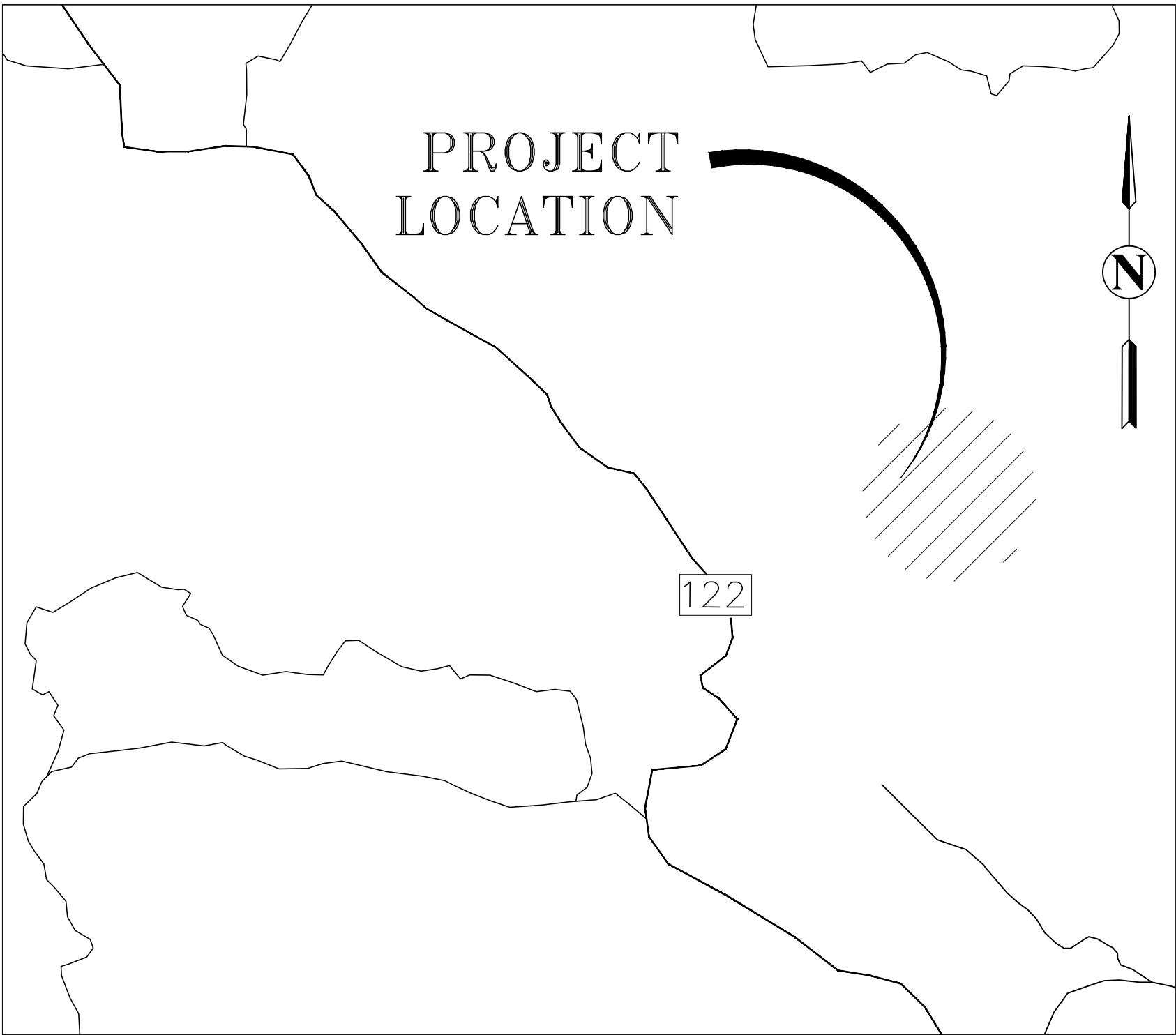
- 1.0 COVER SHEET
2.0 PROPERTY DIAGRAM
3.0 PREMISES DIAGRAM

Purpose

THE PURPOSE OF THIS PLAN SET IS TO PROVIDE SUPPORT IN OBTAINING A COMMERCIAL CANNABIS USE PERMIT FOR 3 ACRES OF OUTDOOR CANNABIS CULTIVATION AND 500 SQUARE FEET OF INDOOR CULTIVATION IN THE COUNTY OF LAKE.



Assessor's Parcel Map
NTS



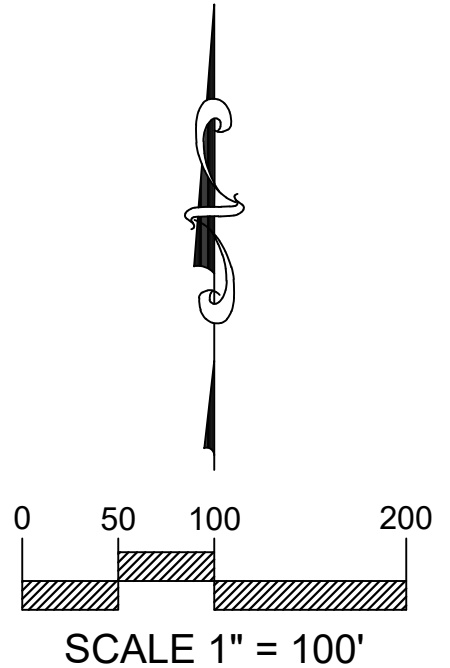
Location Map
NTS

- NOTES:
1. PROPERTY LINES, EASEMENTS, AND TOPOGRAPHIC INFORMATION IS APPROXIMATE AND OBTAINED FROM PUBLICLY AVAILABLE INFORMATION. THERE ARE NO PUBLIC OR PRIVATE SCHOOLS FOR GRADES 1 THROUGH 12, DEVELOPED PARK CONTAINING PLAYGROUND EQUIPMENT, DRUG OR ALCOHOL REHABILITATION FACILITY, LICENSED CHILD CARE FACILITY OR NURSERY SCHOOL, OR CHURCH OR YOUTH-ORIENTED FACILITY CATERING TO OR PROVIDING SERVICES PRIMARILY INTENDED FOR MINORS WITHIN 1,250 FEET OF THE PROPERTY.
 2. FOR PARCEL BOUNDARIES, ADJACENT PARCEL BOUNDARIES, AND LOCATION MAP SEE SHEET 1.0.
 3. WATERCOURSE LINETYPE THICKNESS TO DELINEATE THE TOP OF BANK.
 4. BASED ON PUBLICLY AVAILABLE DATA THERE ARE NO FAULT ZONES ON THE SUBJECT PROPERTY.
 5. ALL ROADWAY SLOPES SHOWN WITHIN THIS PLAN SET ARE LESS THAN 10% ROADWAY SLOPES EXCEEDING 10% ARE NOT ALLOWED BY GOVERNING JURISDICTION AND ALL FUTURE ROAD IMPROVEMENTS ON-SITE SHALL COMPLY.
 6. ALL PROPOSED WATER TANKS INTENDED FOR FIRE SUPPRESSION WATER STORAGE SHALL BE STEEL OR FIBERGLASS. ANY EXISTING WATER TANKS INTENDED FOR FIRE SUPPRESSION WATER STORAGE THAT CONSIST OF MATERIAL OTHER THAN STEEL OR FIBERGLASS SHALL BE REPLACED WITH A STEEL OR FIBERGLASS TANK.
 7. ALL ROADWAYS SHALL BE IMPROVED TO MEET STATE, FEDERAL, AND LOCAL FIRE JURISDICTIONS' REQUIREMENTS AT THE TIME PERMITS ARE OBTAINED FOR SUCH IMPROVEMENTS.
 8. ALL STRUCTURES SHALL HAVE 100' OF DEFENSIBLE SPACE. DEFENSIBLE SPACE SHALL BE AS DEFINED IN STATE, FEDERAL, AND LOCAL FIRE JURISDICTIONS' REQUIREMENTS. STRUCTURES AND/OR LOCATIONS WHICH STORE HAZARDOUS, FLAMMABLE, OR DANGEROUS MATERIAL SHALL ESTABLISH AND MAINTAIN A MINIMUM 300' VEGETATION FUELS REDUCTION BUFFER.

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| DATE: 8/5/2020 | DRAWN: ANR |
| JOB #: 20-001 | SCALE: AS SHOWN |
| REVISION: | CHECKED: KJG |
| SHEET TITLE: COVER SHEET | |
| SHEET: 1.0 1 OF 3 | |



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NORTH
BAY

CANNA CONSULTING

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 7. STRAW WATTLES SHALL BE PLACED AROUND CULTIVATION AREAS TO PREVENT STORMWATER RUNOFF.
 8. THE ENTIRE CULTIVATION SITE SHALL BE SEED TO STABILIZE THE SOIL.
 9. EXISTING ACCESS GATE SHALL BE RELOCATED TO BE AT LEAST 30' FROM THE ROADWAY UNLESS THE CURRENT ACCESS GATE LOCATION IS AT LEAST 30' FROM THE ROADWAY. EXISTING ACCESS GATE SHALL BE REPLACED WITH A NEW GATE THAT HAS A MINIMUM WIDTH OF 14', UNLESS THE EXISTING ACCESS GATE HAS A MINIMUM 14' WIDE UNOBSTRUCTED OPENING.
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| SHEET: 2.0 2 OF 3 | |



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| SHEET: 3.0 3 OF 3 | |

