

Appendix C

Historic Resources Technical Report



HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles
January 2021

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HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

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1.0 EXECUTIVE SUMMARY

39 South LLC (the “Applicant”) is proposing to redevelop the properties located at 1000-1006 Seward Street, 1003, 1007, and 1013 Hudson Avenue, and 6565 Romaine Street (the “Project Site”) in the City of Los Angeles (the “City”) with a ten-story (with an additional rooftop level for mechanical equipment) commercial building (the “Project”). The existing buildings and surface parking lot on the Project Site would be demolished. The purpose of this report is to determine if historical resources as defined by the California Environmental Quality Act (CEQA)¹ are present on or in the vicinity of the Project Site and, if so, to identify potential impacts to historical resources caused by the proposed Project. This report is intended to inform environmental review of the Project.

The Project Site is currently occupied by two one-story commercial buildings and a large surface parking area. The Project Site is partially located within the boundary of the Entertainment Industry Support Services Planning District, identified in SurveyLA. A planning district generally comprises an area that is not eligible for designation as a historic district but may warrant consideration in local planning. Planning districts are not considered historical resources as defined by CEQA. The one-story commercial building at 1006 Seward Street was evaluated for potential individual significance by SurveyLA, and found ineligible for local, state, or national designation. Both buildings on the Project Site are re-evaluated for potential individual historical significance in this report, based on an observation of existing conditions, primary and secondary source research related to the history of the properties, a review of the relevant historic contexts, and an analysis under the eligibility criteria for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments. Based on this analysis, none of the properties that comprise the Project Site appear to be eligible for designation at the federal, state, or local levels. Therefore, they are not considered historical resources as defined by CEQA.

The Project would demolish, either in whole or in part, the two one-story commercial buildings and the surface parking on the Project Site and construct a new, ten-story mixed use building. There are no potential impacts to historical resources as a result of the demolition of the buildings on the Project Site. There are identified historical resources in the Project vicinity, including the Hollywood Center Studios which is located immediately to the west of the Project Site, and the Seward Film Vaults immediately to the north. Although the Project would introduce increased height and density to the Site, the Project does not include demolition, destruction, relocation, or alteration of any potential historical resource or its immediate surroundings such that the significance of a historical resource would be materially impaired.² With the implementation of the recommended mitigation measure to protect the Seward Film Vaults during construction, the Project would not result in a substantial adverse change in the significance of a historical

¹ California PRC, Section 21084.1.

² *CEQA Guidelines*, section 15064.5(b) (1).

resource, and therefore would not have a significant effect on the environment as defined by CEQA.

2.0 PROJECT SUMMARY

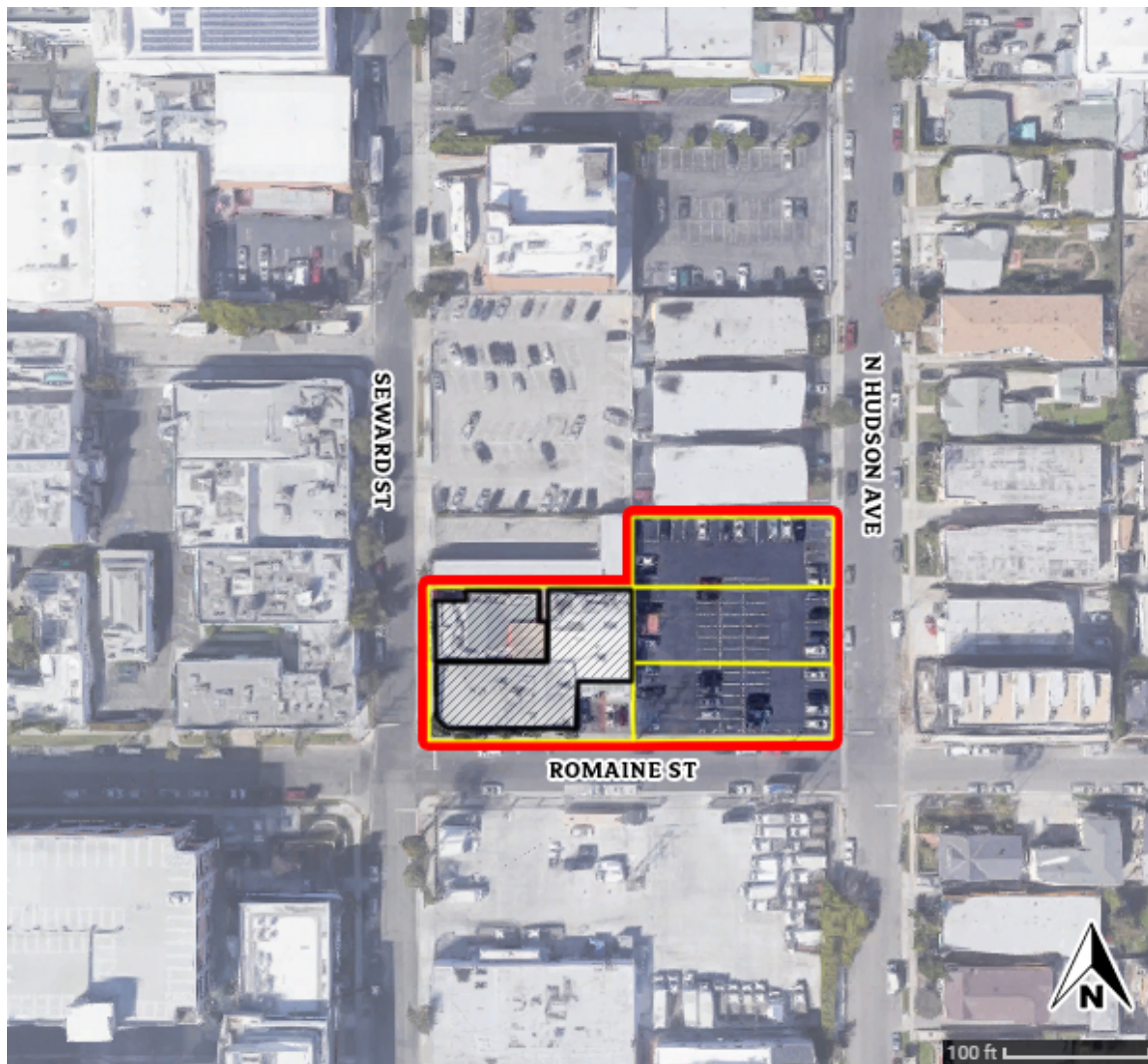
Project Location

The Project Site is composed of five contiguous lots occupying the north side of the 6500 block of Romaine Street between Seward Street and N. Hudson Avenue in the Hollywood Community Plan Area (“CPA”) of the City. All five lots are flat. The lot at 1000-1006 Seward Street (APN 5533012025) is developed with two one-story commercial buildings, constructed between 1920 and 1937; the lots at 1003-1013 N. Hudson Avenue (APNs 5533012011; 5533012012; 5533012013) are developed with a surface parking area paved in asphaltic concrete.

A site map is included in Figure 1.

Project Description

The Project would include the development of new office, restaurant, and retail uses totaling 150,600 square feet of floor area under two development options. The Project would consist of approximately 136,200 square feet of office uses, 12,200 square feet of restaurant space (of which 6,100 square feet may be used for an entertainment use), and 2,200 square feet of retail space. The proposed uses would be located within a single ten-story building (with an additional rooftop level for mechanical equipment) with a maximum height of 133 feet to the top of the highest occupiable level and a maximum height of 155 feet to the top of the mechanical equipment level. The Project would also provide 33,100 square feet of open space, which would include terraces, seating, lounge areas, and landscaping. In accordance with the LAMC, the Project would provide a total of 310 vehicular parking spaces and 55 bicycle parking spaces (34 long-term and 21-short term) within three subterranean levels and four above grade fully enclosed and mechanically ventilated parking levels. The two existing buildings on the Project Site totaling 10,993 square feet along with the surface parking areas would be demolished. The Project would result in 150,600 square feet of floor area within the Project Site with a FAR of 4.4:1. Project construction is anticipated to be completed in 2024.

FIGURE 1: SITE MAP

Project Site outlined in red. Lots delineated in yellow; buildings outlined in black.

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3.0 METHODOLOGY

The lots that comprise the Project Site are evaluated in this report using eligibility criteria and integrity thresholds for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments. Research, field inspection, and analysis are based upon guidance from the National Park Service, the California Office of Historic Preservation, and the City of Los Angeles Office of Historic Resources for evaluating potential historical resources. A site visit was conducted on April 28, 2020 to view existing conditions on the Project Site and in the vicinity.

This report was prepared using sources related to the history and development of each property. The following sources were consulted:

- Building permits
- Sanborn Fire Insurance maps
- Historic newspaper articles
- Other primary and secondary sources relevant to the history of the site
- Observation of the Project Site and the vicinity
- Drawings of the proposed Project
- SurveyLA Historic Context Statement, Hollywood Survey Report, and survey findings

Research, field inspection, and analysis were performed by Christine Lazzaretto, Managing Principal; Molly Iker-Johnson, Associate Architectural Historian/Staff Photographer; and Morgan Quirk, Associate Preservation Planner. All meet the Secretary of the Interior's Professional Qualifications Standards in their respective fields. Resumes are included in Appendix G.

4.0 REGULATORY FRAMEWORK

Historical Resources under CEQA

CEQA requires that environmental protection be given significant consideration in the decision-making process. Historical resources are included under environmental protection. Thus, any project or action which constitutes a substantial adverse change on a historical resource also has a significant effect on the environment and shall comply with the State CEQA Guidelines.

When the California Register of Historical Resources was established in 1992, the Legislature amended CEQA to clarify which cultural resources are significant, as well as which project impacts are considered to be significantly adverse. A “substantial adverse change” means “demolition, destruction, relocation, or alteration such that the significance of a historical resource would be impaired.”

CEQA defines a historic resource as a resource listed in, or determined eligible for listing, in the California Register of Historical Resources. All properties on the California Register are to be considered under CEQA. However, because a property does not appear on the California Register does not mean it is not significant and therefore exempt from CEQA consideration. All resources determined eligible for the California Register are also to be considered under CEQA.

The courts have interpreted CEQA to create three categories of historic resources:

- *Mandatory historical resources* are resources “listed in, or determined to be eligible for listing in, the California Register of Historical Resources.”
- *Presumptive historical resources* are resources “included in a local register of historical resources, as defined in subdivision (k) of Section 5020.1, or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1” of the Public Resources Code, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant.
- *Discretionary historical resources* are those resources that are not listed but determined to be eligible under the criteria for the California Register of Historical Resources.³

To simplify the first three definitions provided in the CEQA statute, an historic resource is a resource that is:

- Listed in the California Register of Historical Resources (California Register);

³ League for the Protection of Oakland’s Architectural and Historic Resources vs. City of Oakland, 52 Cal. App. 4th 896, 906-7 (1997)

- Determined eligible for the California Register by the State Historical Resources Commission; or
- Included in a local register of historic resources.

Section 15064.5 of the CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3) supplements the statute by providing two additional definitions of historical resources, which may be simplified in the following manner. An historic resource is a resource that is:

- Identified as significant in an historical resource survey meeting the requirements of Public Resources Code 5024.1 (g);
- Determined by a Lead Agency to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California. Generally, this category includes resources that meet the criteria for listing on the California Register (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852).

The fact that a resource is not listed in, or determined eligible for listing in, the California Register, not included in a local register of historic resources, or not deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, does not preclude a lead agency from determining that the resource may be an “historic resource” for purposes of CEQA.

Properties formally determined eligible for listing in the National Register of Historic Places are automatically listed in the California Register. Properties designated by local municipalities can also be considered historic resources. A review of properties that are potentially affected by a project for historic eligibility is also required under CEQA.

Historic Designations

Historic resources may be designated at the federal, state, and local levels. Properties located in the City can be listed in the National Register of Historic Places, listed in the California Register of Historical Resources, and/or designated as City of Los Angeles Historic-Cultural Monuments or Historic Preservation Overlay Zones. In order for a property to qualify for historic listing or designation, it must meet one or more identified criteria for evaluation. The property must also retain sufficient historic integrity to evoke the sense of place and time with which it is historically associated.

National Register of Historic Places

The National Register of Historic Places was authorized by the National Historic Preservation Act of 1966 to serve as an authoritative guide to the nation’s historic places worthy of

preservation.⁴ The National Register Program is administered by the National Park Service, U.S. Department of the Interior.

To be eligible for listing and/or listed in the National Register, a resource must possess significance in American history and culture, architecture, or archaeology. Listing in the National Register is primarily honorary and does not in and of itself provide protection of a historic resource. The primary effect of listing in the National Register on private owners of historic buildings is the availability of financial and tax incentives. In addition, for projects that receive Federal funding, a clearance process must be completed in accordance with Section 106 of the National Historic Preservation Act. Furthermore, state and local regulations may apply to properties listed in the National Register.

The criteria for listing in the National Register follow established guidelines for determining the significance of properties. The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of persons significant in our past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded, or may be likely to yield, information important in prehistory or history.⁵

Historic Significance

As defined by the National Park Service, *historic significance* is “the importance of a property to the history, architecture, archaeology, engineering, or culture of a community, state, or the nation.”⁶ It is achieved in several ways:

- Association with important events, activities or patterns
- Association with important persons

⁴ 36CFR60, Section 60.2.

⁵ 36CFR60, Section 60.3. Criterion D addresses potential archaeological resources, which is outside the scope of this assessment.

⁶ U.S. Department of the Interior, *National Register Bulletin 16A: How to Complete the National Register Registration Form* (Washington D.C.: National Park Service, 1997), 3.

- Distinctive physical characteristics of design, construction, or form
- Potential to yield important information

A property may be significant individually or as part of a grouping of properties.

Integrity

In addition to meeting any or all of the designation criteria, eligible properties must also possess historic *integrity*. Historic integrity is the ability of a property to convey its significance and is defined as “the authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s historic period.”⁷

The National Register recognizes seven aspects or qualities that comprise integrity: location, design, setting, materials, workmanship, feeling, and association. These qualities are defined as follows:

- *Location* is the place where the historic property was constructed or the place where the historic event took place.
- *Design* is the combination of elements that create the form, plan, space, structure, and style of a property.
- *Setting* is the physical environment of a historic property.
- *Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- *Feeling* is a property’s expression of the aesthetic or historic sense of a particular period of time.
- *Association* is the direct link between an important historic event or person and a historic property.⁸

⁷ *National Register Bulletin 16A*, 4.

⁸ U.S. Department of the Interior, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (Washington D.C.: National Park Service, 1995), 44-45.

California Register of Historical Resources

The California Register of Historic Resources is an authoritative guide to the state's significant historic resources. For a property to be considered eligible for listing in the California Register, it must be found to be significant under at least one of the following four criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States; or
2. It is associated with the lives of persons important to local, California or national history; or
3. It embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values; or
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.⁹

For integrity purposes, a resource eligible for listing in the California Register must retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reason(s) for its significance. It is possible that a resource lacking sufficient integrity for listing in the National Register may still be eligible for the California Register.¹⁰

City of Los Angeles Historic-Cultural Monuments

The City Cultural Heritage Ordinance, enacted in 1962 and amended in 2018, allows for the designation of buildings and sites as individual local landmarks in the City, known as "Historic-Cultural Monuments" (HCMs).

Section 22.171.7 of Article 1, Chapter 9, Division 22 of the City of Los Angeles Administrative Code defines a Historic-Cultural Monument as "any site (including significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City of Los Angeles." A proposed Monument may be designated by the City Council upon the recommendation of the Cultural Heritage Commission if it meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;

⁹ Criterion 4 addresses potential archaeological resources, which is outside the scope of this assessment.

¹⁰ State of California Department of Parks and Recreation, "California Office of Historic Preservation Technical Assistance Series #6: California Register and National Register: A Comparison" (Sacramento, CA: Office of Historic Preservation, 2011).

2. Is associated with the lives of historic personages important to national, state, city, or local history; or
3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.¹¹

Designation as a Historic-Cultural Monument is “reserved for those resources that have a special aesthetic, architectural, or engineering interest or value of a historic nature.”¹² For integrity purposes, a resource eligible for local designation should retain enough of its historic character or appearance to convey the reason(s) for its significance.

City of Los Angeles Historic Preservation Overlay Zones (HPOZ)

The City Historic Preservation Overlay Zone Ordinance, enacted in 1979 and amended in 2018, allows for the designation of historic districts as “Historic Preservation Overlay Zones” (HPOZs). Section 12.20.3 of Article 2, Chapter 1, of the City of Los Angeles Municipal Code (LAMC) states that the purpose of establishing HPOZs is to:

1. Protect and enhance the use of buildings, structures, natural features, and areas, which are reminders of the City’s history, or which are unique and irreplaceable assets to the City and its neighborhoods, or which are worthy examples of past architectural styles;
2. Develop and maintain the appropriate settings and environment to preserve these buildings, structures, landscaping, natural features, and areas;
3. Enhance property values, stabilize neighborhoods and/or communities, render property eligible for financial benefits, and promote tourist trade and interest;
4. Foster public appreciation of the beauty of the City, of the accomplishments of its past as reflected through its buildings, structures, landscaping, natural features, and areas;
5. Promote education by preserving and encouraging interest in cultural, social, economic, political and architectural phases of its history;
6. Promote the involvement of all aspects of the City’s diverse neighborhoods in the historic preservation process; and
7. Ensure that all procedures comply with the California Environmental Quality Act (CEQA).¹³

¹¹ Los Angeles Administrative Code (LAAC) Article 1, Chapter 9, Division 22; Added by Ordinance No. 178,402, effective 4-2-07; Amended by Ordinance 185,472, effective 4-28-18.

¹² City of Los Angeles, Department of City Planning, Office of Historic Resources, “What Makes a Resource Significant?” Office of Historic Resources Info Brief, <https://planning.lacity.org/odocument/fcd76b35-7140-48ef-ad50-2506f270d0d8/Info%20Brief%20What%20Makes%20a%20Resource%20Significant.pdf> (accessed June 2020).

¹³ Los Angeles Municipal Code (LAMC) Article 2, Chapter 1; Amended by Ordinance 184,903, effective 6-17-17.

5.0 SUMMARY OF PREVIOUS EVALUATIONS

SurveyLA

SurveyLA is the City's citywide survey of historic resources, conducted in accordance with the standards and guidelines set forth by the National Park Service and the California State Office of Historic Preservation, and overseen by the City's Office of Historic Resources. Properties surveyed as part of SurveyLA were evaluated for eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments and Historic Preservation Overlay Zones (HPOZs). The Project Site is located in the Hollywood CPA, which was surveyed in August 2011 and updated in November 2015. 1000 Seward Street was not identified as potentially significant by SurveyLA. 1006 Seward Street was evaluated for potential significance, with the conclusion that it does not meet eligibility standards for historic designation. The survey finding is summarized below:

1006 N. Seward Street

The building at 1006 N. Seward Street was individually evaluated for potential historical significance in SurveyLA, based on a potential association with the original Hollywood Canteen. Following additional research, it was concluded that the building does not meet eligibility standards, and it was therefore assigned a historical resources status code of 7SQ, which is a specific code developed for SurveyLA that is defined as: "Not eligible; individual property assessed for significance in accordance with SurveyLA but does not meet eligibility standards."¹⁴

Context:

<i>Context:</i>	Entertainment Industry, 1908-1980
<i>Theme:</i>	Commercial Properties Associated with the Entertainment Industry, 1908-1980
<i>Sub-theme:</i>	Social Scene Associated with the Entertainment Industry, 1908-1980
<i>Property type:</i>	Commercial
<i>Sub-type:</i>	Music Club/Night Club
<i>Criteria:</i>	A/1/1
<i>Status code:</i>	7SQ
<i>Reason:</i>	Appeared to be significant as the Hollywood Canteen. The Hollywood Canteen was a World War II-era restaurant and nightclub that catered to military servicemen, usually on their way overseas, by offering food and entertainment at no cost. Founded by Hollywood actors Bette Davis and John Garfield, the Canteen was staffed completely by volunteers from the entertainment industry. The Hollywood Canteen was located

¹⁴ City of Los Angeles, Department of City Planning, Office of Historic Resources, "Individual Resources," *Historic Resources Survey Report: Hollywood Community Plan Area*, prepared by Historic Resources Group, August 2011, revised November 2015, 285-286.

at 1451 Cahuenga Boulevard and operated from 1942 to 1945. However, research indicates that this restaurant/nightclub is re-using the name of the famous venue, but has no association with the original Hollywood Canteen. Therefore, the property does not appear eligible for listing.

Entertainment Industry Support Services Planning District

The lots that comprise the Project Site are partially located within the Entertainment Industry Support Services Planning District, which was identified as a potential planning district by SurveyLA. Planning districts were assigned a historical resources status code of 6LQ, which is a specific code developed for SurveyLA that is defined as: “Not eligible: Area determined ineligible for district designation through SurveyLA; neighborhood or area may warrant special consideration for local planning.”¹⁵ Planning districts do not meet the definition of a historical resource according to CEQA.

Description: This planning district coincides with a large industrially-zoned area oriented around the intersection of Santa Monica Boulevard and Highland Avenue in Hollywood. The area has an irregular boundary, and is bordered generally by Formosa Avenue to the west, Lexington Avenue to the north, Lillian Way to the east, and Melrose Avenue to the south.

The district contains over 750 buildings, and is situated adjacent to several early motion picture studios in the heart of Hollywood. It represents the most significant collection of studio support services, and is comprised of multiple industrial structures on many super blocks. The district consists of a variety of building types, but generally includes one-story industrial or commercial buildings housing a variety of entertainment industry support services including offices, prop houses, costume houses, film laboratories and processing plants, and camera and lighting equipment vendors. There are also motion picture, television, and radio broadcasting facilities located within the district, along with a small number of residential properties. A variety of architectural styles are represented, but the majority of the buildings are utilitarian. The overall feeling of the district is consistent with an industrial area, with irregular setbacks, perimeter walls and restricted access at secure entry points, and surface parking on multiple lots. The area’s topography is generally flat with a rectilinear grid

¹⁵ City of Los Angeles, Department of City Planning, Office of Historic Resources, “Historic Districts, Planning Districts and Multi-Property Resources,” *Historic Resources Survey Report: Hollywood Community Plan Area*, prepared by Historic Resources Group, August 2011, revised November 2015, 389-390.

street pattern and concrete sidewalks. Only a few of the streets are lined with street trees.

Significance: The Entertainment Industry Support Services Planning District contains the most significant collection of entertainment industry-related support services buildings in Hollywood. The planning district was developed from multiple tracts during the early part of the 1900s. In 1912 the first studio was established in Hollywood when the Christie Film Company's Nestor Films set up shop at Blondeau Tavern on the northwest corner of Sunset Boulevard and Gower Street. Within months other studios established homes in Hollywood, including the Universal Film Manufacturing Company, the Famous Players Company, and many others. Related industries and commercial enterprises serving the motion picture industry were quickly established adjacent to the motion picture studios throughout Hollywood. Much of this development occurred within or immediately adjacent to previously established residential areas. In 1919, following the neighborhood outcry caused by the construction of Charlie Chaplin's studio within the residential area of Sunset and La Brea, the City decided to create a series of industrial zones specifically for motion picture-related uses. The largest and most significant of these is this planning district, which was established in the heart of Hollywood adjacent to the early major motion picture studios including Paramount Pictures, Warner Bros, RKO, Columbia, and United Artists. It contains some of the earliest and longest continuously operational support services in Hollywood.

There are a number of individually significant buildings within the district boundaries, which represent properties that are significant for their architecture, for their role in the area's development, or for their role in the entertainment industry. Examples include the earliest extant industrial buildings which date to the early 1920s; the 1921 Pacific Electric Railway Terminal; the Technicolor Laboratory which was the most widely used color film process in Hollywood from the early 1920s to the 1950s; and the 1925 Hollywood Storage building developed by Charles E. Toberman and designed by Morgan, Walls & Clements.

Despite its significance, the area does not have sufficient integrity and/or cohesion to qualify as a historic district. Many of the buildings have been substantially altered or torn down and replaced with surface parking. However, because of its significance to the entertainment industry and Hollywood as the center of that industry, the area may warrant special consideration for local planning purposes.

Context:

<i>Context:</i>	Entertainment Industry, 1908-1980
<i>Theme:</i>	Industrial Properties Associated with the Entertainment Industry, 1908-1980
<i>Sub-theme:</i>	Support Services Associated with the Entertainment Industry, 1908-1980
<i>Property type:</i>	Industrial
<i>Sub-type:</i>	Support Services District
<i>Criteria:</i>	A/1/1
<i>Status code:</i>	6LQ
<i>Reason:</i>	The Entertainment Industry Support Services Planning District contains the most significant collection of entertainment industry-related support services buildings in Hollywood. Despite its significance, the area does not have sufficient integrity and/or cohesion to qualify as a historic district. However, because of its significance to the entertainment industry and Hollywood as the center of that industry, the area may warrant special consideration for local planning purposes.

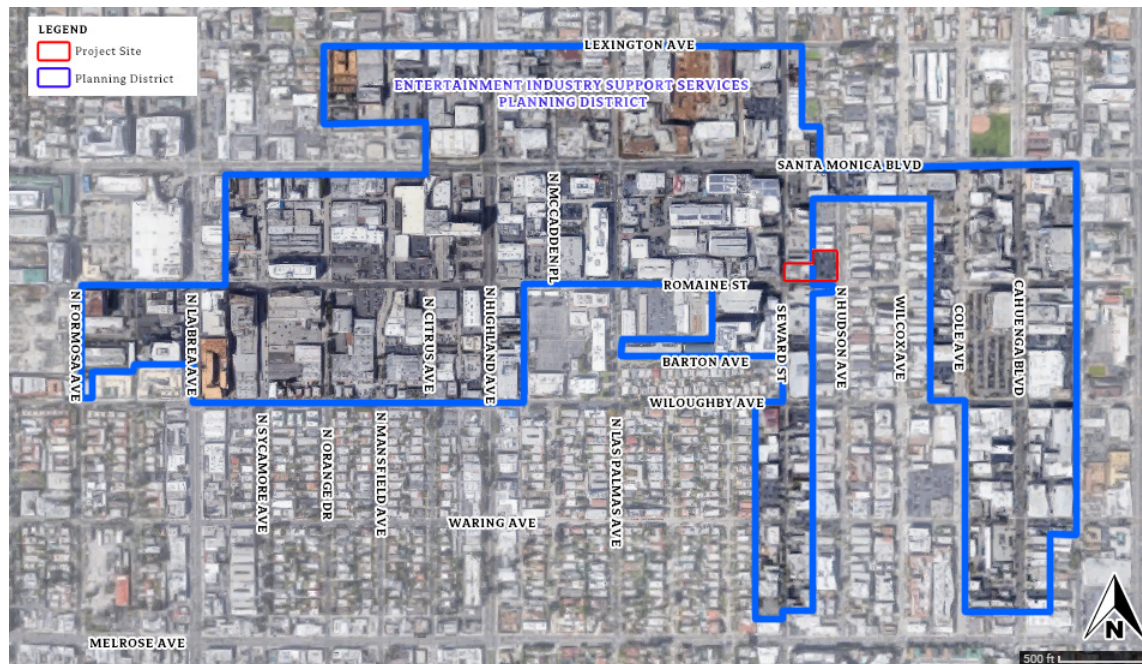
See Figure 2 for a map depicting the boundaries of the Entertainment Industry Support Services Planning District.

Built Environment Resources Directory (BERD)

The California Office of Historic Preservation (OHP) maintains the Built Environment Resources Directory (BERD), a database of previously evaluated resources throughout the state. None of the buildings on the Project Site are listed in the BERD.¹⁶

¹⁶ California Office of Historic Preservation, "Built Environment Resource Directory: Los Angeles County," 2020.

FIGURE 2: ENTERTAINMENT INDUSTRY SUPPORT SERVICES PLANNING DISTRICT



6.0 HISTORY AND DESCRIPTION OF THE SURROUNDING AREA

Hollywood Community Plan Area¹⁷

The area that would become Hollywood was originally part of two former Spanish land grants – Rancho La Brea and Rancho Los Feliz. Hollywood began as a small agricultural community in the nineteenth century. Farmers, many of whom were European immigrants, experimented in cultivating a wide variety of exotic fruits, vegetables, and flowers. The agricultural character of the community changed in the early twentieth century as large real estate tracts were developed, transforming the community into a bustling suburb of Los Angeles.

In 1900, the first electric streetcar track was completed along Hollywood Boulevard (then Prospect Avenue). Other streetcar lines soon followed, including along Melrose Avenue, La Brea Avenue, Santa Monica Boulevard, Highland Avenue, Vine Street, Western Avenue, Vermont Avenue, Virgil/Hillhurst Avenues, Kenmore Avenue, Fountain Avenue, Talmadge Street, Hyperion Avenue, Los Feliz Boulevard, and Beachwood Drive. In 1903, the City of Hollywood was officially incorporated, and in 1910 it was consolidated with the City. The pre-consolidated area boundary is generally defined by the southernmost portion of the Hollywood Hills to the north, Fountain Avenue to the south, Crescent Heights Boulevard to the west, and Mariposa Street to the east.

The most significant factor in the development of Hollywood in the twentieth century was the entertainment industry. Film production began in Hollywood in 1911, and quickly grew into a significant economic force. As the popularity of motion pictures grew, more physical facilities related to motion picture production were constructed in Hollywood. In 1912 the first studio was established in Hollywood when the Christie Film Company's Nestor Films set up shop at Blondeau Tavern on the northwest corner of Sunset Boulevard and Gower Street. Within months other studios established a presence in Hollywood, including the Universal Film Manufacturing Company, the Famous Players Company, and many others. Related industries and commercial enterprises serving the motion picture industry were quickly established adjacent to the motion picture studios throughout Hollywood. Much of this development occurred within or immediately adjacent to previously established residential areas.

In 1919, following the neighborhood outcry caused by the construction of Charlie Chaplin's studio within the residential area of Sunset and La Brea, the City established a series of industrial zones specifically designated for motion picture use. The largest and most significant of these is located in the heart of the Hollywood CPA. Industrial resources include intact motion picture studio plants and a wide variety of support services dating to the 1920s. Due to its key role in the motion picture industry, Hollywood later became a center for radio, television, and record

¹⁷ History of the Hollywood CPA excerpted and adapted from City of Los Angeles, Department of City Planning, *Historic Resources Survey Report: Hollywood Community Plan Area*, prepared by Historic Resources Group, August 2011, revised November 2015, 6-9.

production. The burgeoning entertainment industry brought about the development of thriving business districts along Hollywood Boulevard, Vine Street, and Sunset Boulevard.

From the 1910s through the boom of the 1920s and into the 1930s, Hollywood experienced tremendous population growth. The rapidly expanding film business attracted migrants from around the United States and around the globe, resulting in a true “melting pot.” For a period of time preceding World War II, the entertainment industry also became a refuge for émigrés from Eastern Europe. To accommodate the growing population of newcomers, there was a sharp increase in residential development. Concentrations of residential properties from this period are located adjacent to the major motion picture studios and include modest single-family residences along with a wide variety of multi-family housing types.

Density in Hollywood increased substantially following World War II. In the hillsides, residences were built on previously undeveloped lots. In the flatlands, inexpensive stucco-clad apartment buildings were erected as infill in previously established residential neighborhoods. Along the major commercial corridors, earlier buildings were updated or replaced with new construction. By the 1950s, entertainment industry-related properties began to spread out throughout the greater Los Angeles area, and the major industry in Hollywood shifted to tourism. During the late 1950s the Hollywood Walk of Fame was created on Hollywood Boulevard as a tribute to actors, directors, and other contributors to the entertainment industry.

In the 1960s-1970s Hollywood’s population became more ethnically diverse, as new immigrant groups began settling in the area. In addition to a significant Latino population, Armenian and Thai immigrants began living and working in the East Hollywood area and opened shops and other businesses. Community and residential densities continued to increase, as original single-family houses, bungalow courts, and smaller apartment buildings were replaced with larger multi-family residential complexes.

By the 1980s the Hollywood community was in a state of economic decline; the Community Redevelopment Agency of Los Angeles established the Hollywood Redevelopment Project Area in 1986 to encourage development in the area. Among the goals of the agency were to revitalize the historic core and preserve historically significant buildings.

By the start of the new millennium, Hollywood began to experience a resurgence that continues today. The establishment of the city’s Adaptive Reuse ordinance greatly facilitated the reuse of under-utilized historic buildings into new housing. New, large-scale mixed-use projects – Hollywood & Highland (including the Kodak Theater), the Renaissance Hotel, the W Hotel at Hollywood and Vine – along with the Red Line subway stations, have helped to revitalize Hollywood’s streets and its economy, bringing with it an influx of new residents and tourists, higher rents, and new development pressures.

7.0 DESCRIPTION OF POTENTIAL HISTORICAL RESOURCES ON THE PROJECT SITE

Current Setting

The Project Site occupies five lots located on the north side of Romaine Street, between Seward Street and N. Hudson Avenue. The area is currently developed with low- and mid-rise commercial buildings along Seward and Romaine Streets, and commercial/industrial properties and single- and multi-family residences along N. Hudson Avenue. The Project Site is occupied by two one-story commercial buildings on the western portion of the Project Site; a surface parking lot paved in asphaltic concrete occupies the eastern portion.

1000 Seward Street

1000 Seward Street (alternate address: 6565 Romaine Street) is located at the southwest corner of the Project Site, at the intersection of Seward and Romaine Streets. The one-story commercial building is set back from the sidewalk by a planter with mature trees and shrubs at the south and west, and by a low brick planter with a concrete cap at the northwest corner. The building has a complex plan, simple massing, and asymmetrical composition. The building exhibits characteristics of two architectural styles.

The southwest wing has features of Streamline Moderne architecture. The wing is rectangular in plan with a rounded southwest corner. There is a bow-truss roof with parapet and built-up roofing. Exterior walls are of brick masonry with panels of cement plaster and a projecting band clad in cement plaster wrapping the building and forming a lintel for all windows. There are wide bands of masonry divided by recessed bricks creating speedlines at the upper third of the south façade, and a band of masonry with tooled joints forms a ribbon with windows along the south façade. Fenestration consists of divided-light steel sash awning windows. The primary entrance is asymmetrically located on the west façade, and consists of a single divided-light steel door. There is a secondary door at the east side of the south façade, consisting of a single flush steel door.

The northeast wing is commercial vernacular in design with Mid-century Modern details at the south façade. It is set back from the street by a small parking area paved in asphaltic concrete and a full-width veranda screened by concrete breeze blocks and wrought iron security gates. The wing is rectangular in plan. There is a combination roof with parapet and built-up roofing. Exterior walls are painted masonry. Fenestration consists of aluminum sash windows with security bars. The primary entrance is asymmetrically located on the east façade, sheltered beneath a projecting fabric awning, and consists of a pair of fully-glazed aluminum storefront doors with sidelights and transoms, accessed from the adjacent surface parking area. Secondary entrances are located along the south façade, and consist of fully-glazed aluminum storefront doors accessed via a brick paver path through the small surface parking area and veranda.

1006 Seward Street

1006 Seward Street is located at the northwest corner of the Project Site, abutting 1000 Seward Street. The one-story commercial vernacular building with Streamline Moderne elements is set flush with the sidewalk. The building has a roughly rectangular plan, simple massing, and symmetrical composition. There is a combination roof with shaped parapet with zig-zag ornamentation, built-up roofing, and composition shingle roofing. Exterior walls are clad in cement plaster with a brick veneer water table. There is a clock at the center of the parapet on the west façade, with neon signage around the perimeter reading "RAO'S HOLLYWOOD." Fenestration consists of wood frame fixed windows with projecting fabric awnings. The primary entrance is recessed at the center of the west façade, and consists of a single fully-glazed wood door with a full-height sidelight. There is a wall sign above the primary entrance reading "RAO'S."

PHOTOGRAPHS OF THE PROJECT SITE & VICINITY



1000 Seward Street, view facing northeast.



1000 Seward Street, west façade, view facing northeast.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP



1000 Seward Street, south façade, view facing northeast.

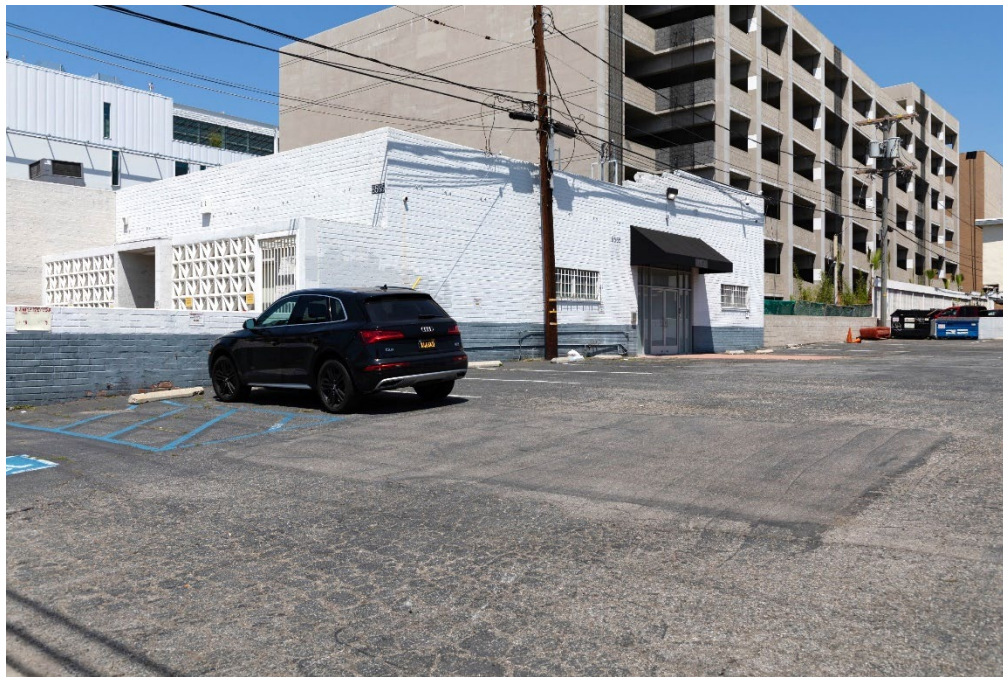


1000 Seward Street, south façade, view facing north.

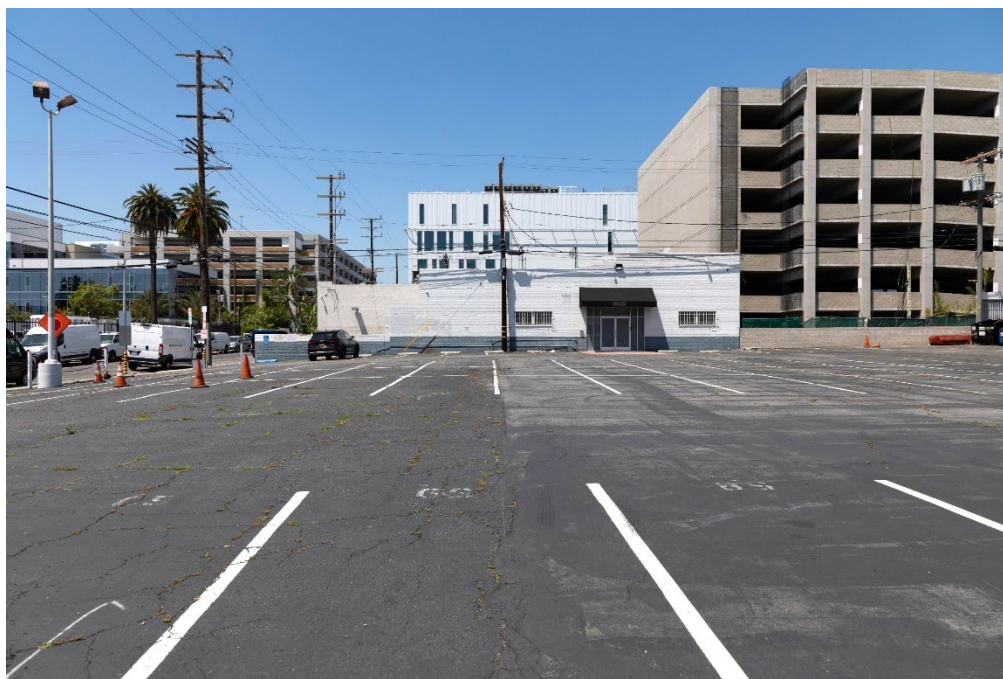
HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP



1000 Seward Street, south and east façades, view facing northwest.



1000 Seward Street, east façade, and adjacent surface parking area, view facing west.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP



1006 Seward Street, view facing northeast.



Contextual view of Seward Street, view facing north.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP



Contextual view along Seward Street, view facing southwest.



Contextual view along Romaine Street, view facing northeast.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP



Contextual view along Romaine Street, view facing northwest.



Contextual view along N. Hudson Avenue, view facing southwest.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP



Contextual view along N. Hudson Avenue, view facing south.



Hollywood Center Studios (now Sunset Las Palmas Studios), main entrance from N. Las Palmas Avenue, view facing east.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP

8.0 SITE HISTORY

Development History

The Project Site is composed of five lots located on the west side of Seward Street, between Romaine Street and Santa Monica Boulevard, and the north side of Romaine Street between Seward Street and N. Hudson Avenue, in the Hollywood CPA of the City.

The Project Site comprises lots 12, 13, 14, 15, and 16 of the White and Newby's Hollywood Boulevard Tract. Subdivided in 1906, the tract is bounded by Santa Monica Boulevard (formerly Santa Monica Avenue) to the north, N. Hudson Avenue (formerly Euclid Avenue) to the east, Romaine Street (formerly Olive Avenue) to the south, and Seward Street to the west.

By 1919, only 8 of the tract's 23 lots were undeveloped, including four of the five lots that comprise the Project Site.¹⁸ The lot at 1007 N. Hudson Avenue, located at the east side of the Project Site, was occupied by a one-story, single-family residence, which had been constructed prior to 1914.¹⁹ The surrounding area was not yet fully built out; lots that were developed were improved with single-family residences or duplexes.

In December 1920, a four-room, one-story single-family residence was constructed at 1006 Seward Street.²⁰ In June 1937, a 25' x 42' café building was added at the front of the residence.²¹ In September 1937, a one-story office building was constructed at 1000 Seward Street.²²

In 1950, the Project Site was fully developed. There was a one-story restaurant building at the west side of the lot at 1006 Seward Street; a radio equipment warehouse and laboratory located at the west side of the lot at 1000 Seward Street; and the east side of the Project Site was occupied with five one-story single-family residences and three detached single-car garages.²³ The surrounding area was fully developed by this point, with largely single-family residences or duplexes; commercial uses lined Santa Monica Boulevard.

In 1955, a small one-story building had been added at the rear of the restaurant building on the Project Site.²⁴ Much of the surrounding area remained developed with single- and multi-family residences with a commercial corridor along Santa Monica Boulevard, though some film-related businesses and other commercial uses had begun to redevelop property along Seward Street south of the Project Site. In April 1959, lots 13, 15, and 16 of White and Newby's Hollywood

¹⁸ 1919 Sanborn Fire Insurance map. The Project Site consists of five lots of the original White and Newby's Hollywood Boulevard Tract subdivision; two of those lots have since been tied.

¹⁹ No original building permit was found for this building; approximate date of construction derived from City of Los Angeles Department of Building and Safety building permit LA19832, October 7, 1914.

²⁰ City of Los Angeles Department of Building and Safety building permit LA24893, December 17, 1920.

²¹ City of Los Angeles Department of Building and Safety building permit LA19178, June 9, 1937.

²² City of Los Angeles Department of Building and Safety building permit LA29218, September 1, 1937.

²³ 1950 Sanborn Fire Insurance map.

²⁴ 1955 Sanborn Fire Insurance map.

Boulevard Tract were tied.²⁵ In June 1959, a 60' x 60' addition was made to northwest corner of the building at 1000 Seward Street.²⁶

In the latter half of the 20th century, many residences and commercial buildings in the area surrounding the Project Site, including the residences at the east side of the Project Site, were demolished and replaced with surface parking areas; otherwise, the area was largely unchanged. Beginning in 2000, like much of Hollywood, the area immediately surrounding the Project Site began to see renewed development, as older buildings and surface parking areas were replaced with mid-rise commercial buildings and associated parking structures. The intersection of Romaine and Seward Streets has been the site of significant new development since 2014, including a 5-story commercial building and 7-story parking structure at the southwest corner of the intersection, and a five-story commercial building at the northwest corner of the intersection. A five-story parking structure was constructed immediately north of the Project Site in 2020.

1000 Seward Street

In September 1937, a one-story office building was constructed at 1000 Seward Street.²⁷ In October 1957, the building was sandblasted.²⁸ In June 1959, a 60' x 60' addition was made to northwest corner of the building.²⁹ In 2010, 1500 square feet of the roof of the addition was replaced after being damaged by fire, and a new exterior ramp was added.³⁰ The primary entry door has been replaced, and a large opening at the east side of the south façade has been infilled.³¹

1006 Seward Street

In December 1920, a four-room, one-story single-family residence was constructed at 1006 Seward Street.³² In June 1937, a 25' x 42' café building was added at the front of the residence.³³ By 1950, the former single-family residence at the rear of the parcel was functioning as part of the restaurant building.³⁴

²⁵ City of Los Angeles Department of Building and Safety affidavit OB11681, April 15, 1959. These lots correspond to 1000-1006 Seward Street, 6565 Romaine Street, and 1007 N. Hudson Street. Based on information provided by the Los Angeles County Assessor, it appears that lot 13, corresponding to 1007 N. Hudson Street, is no longer tied to the other two lots.

²⁶ City of Los Angeles Department of Building and Safety building permit LA31312, March 5, 1959.

²⁷ City of Los Angeles Department of Building and Safety building permit LA29218, September 1, 1937.

²⁸ City of Los Angeles Department of Building and Safety building permit LA85721, October 25, 1957.

²⁹ City of Los Angeles Department of Building and Safety building permit LA31312, March 5, 1959.

³⁰ City of Los Angeles Department of Building and Safety building permit 09016-10000-19493, August 24, 2010.

³¹ No building permits were found for these alterations, which are noted based on comparison of existing conditions with a historic photo of the building from 1938.

³² City of Los Angeles Department of Building and Safety building permit LA24893, December 17, 1920.

³³ City of Los Angeles Department of Building and Safety building permit LA19178, June 9, 1937.

³⁴ 1950 Sanborn Fire Insurance map.

1003-1013 N. Hudson Avenue (surface parking lot)

1003 N. Hudson Avenue

In October 1920, a five-room, one-story single-family residence and associated detached garage were constructed at 1003 N. Hudson Avenue.³⁵ In July 1986, the single-family residence and associated garage were demolished, and the property was used as an unattended parking lot.³⁶

1007 N. Hudson Avenue

In April 1927, a detached garage was constructed at 1007 N. Hudson Avenue.³⁷ In March 1959, the single-family residence at 1007 N. Hudson Avenue was demolished, and the property was repurposed as a parking area.³⁸

1013 N. Hudson Avenue

In March 1921, a six-room, one-story single-family residence was constructed at 1013 N. Hudson Avenue.³⁹ In January 1929, a detached garage was constructed at 1013 N. Hudson Avenue.⁴⁰ In June 1957, the single-family residence at 1013 N. Hudson Avenue was converted to a three-unit apartment building.⁴¹ In September 1982, all buildings on the lot at 1013 N. Hudson Street were demolished; the lot was later used as a parking lot.⁴²

A summary of relevant building permits is included in Appendix A; Sanborn maps are in Appendix B.

Related Architectural Styles

Streamline Moderne Architecture

The southwest wing of the building at 1000 Seward Street was designed in the Streamline Moderne style, and the building at 1006 Seward Street exhibits features of Streamline Moderne architecture.

The constraints of the Great Depression cut short the development of Art Deco architecture, but replaced it with a purer expression of modernity, the Streamline Moderne. Characterized

³⁵ City of Los Angeles Department of Building and Safety building permit LA18282, October 5, 1920; City of Los Angeles Department of Building and Safety building permit LA18283, October 5, 1920.

³⁶ City of Los Angeles Department of Building and Safety building permit LA42397, July 29, 1986; City of Los Angeles Department of Building and Safety building permit LA45325, September 5, 1986.

³⁷ City of Los Angeles Department of Building and Safety building permit LA10139, April 11, 1927.

³⁸ City of Los Angeles Department of Building and Safety building permit LA26634, March 13, 1959; City of Los Angeles Department of Building and Safety building permit LA28163, April 1, 1959.

³⁹ City of Los Angeles Department of Building and Safety building permit LA4381, March 7, 1921.

⁴⁰ City of Los Angeles Department of Building and Safety building permit LA1815, January 21, 1929. In 1948, an addition was made to the garage.

⁴¹ City of Los Angeles Department of Building and Safety building permit LA75135, June 21, 1957.

⁴² City of Los Angeles Department of Building and Safety building permit LA50573, September 24, 1982; City of Los Angeles Department of Building and Safety building permit LA17048, July 30, 1985.

by smooth surfaces, curved corners, and sweeping horizontal lines, Streamline Moderne is considered to be the first thoroughly Modern architectural style to achieve wide acceptance among the American public. Inspired by the industrial designs of the period, the style was popular throughout the United States in the late 1930s. Unlike the equally modern but highly ornamental Art Deco style of the late 1920s, Streamline Moderne was perceived as expressing an austerity more appropriate for Depression-era architecture. The prime movers behind the Streamline Moderne style such as Raymond Loewy, Walter Dorwin Teague, Gilbert Rohde, and Norman Bel Geddes all disliked Art Deco, seeing it as falsely modern.

The origins of the Streamline Moderne are rooted in transportation design, which took the curved form of the teardrop, because it was the most efficient shape in lowering the wind resistance of an object. Product designers and architects who wanted to express efficiency borrowed the streamlined shape of cars, planes, trains, and ocean liners. Streamline Moderne architecture looked efficient in its clean lines. It was in fact relatively inexpensive to build because there was little labor-intensive ornament like terra cotta; exteriors tended to be concrete or plaster. The Streamline Moderne's finest hour was the New York World's Fair of 1939-40. Here, the "World of Tomorrow" showcased the cars and cities of the future, a robot, a microwave oven, and a television, all in streamlined pavilions. While the style was popular throughout Southern California during the 1930s, there are relatively few examples simply because there was so little construction activity during the Depression.

Character-defining features of Streamline Moderne architecture include:

- Horizontal emphasis
- Asymmetrical façade
- Flat roof with coping
- Smooth plaster wall surfaces
- Curved end walls and corners
- Glass block and porthole windows
- Flat canopy over entrances
- Fluted or reeded moldings or stringcourses
- Pipe railings along exterior staircases and balconies
- Steel sash windows

Related Architects/Builders

Marshall P. Wilkinson

Marshall Phillips Wilkinson designed the building at 1000 Seward Street in 1937, and designed an addition to the building in 1957.⁴³ Born on August 29, 1892, Marshall P. Wilkinson worked

⁴³ Biography of Marshall P. Wilkinson excerpted and adapted from City of Beverly Hills, "Slavin House, City Landmark Assessment and Evaluation Report," prepared by Ostashay & Associates Consulting, 2014, 7.

his way up from a draftsman to contractor to architect over the course of a career spanning at least three decades. Although he designed several buildings throughout Southern California, including at least fourteen residences in Beverly Hills, little is known about his early years or training. He was based in Hollywood for much of his professional life, first appearing as a draftsman in the 1915 city directory. In 1917, he was a superintendent of construction for the Frank P. Meline Company, which would achieve fame as builder of upscale suburbs and subdivisions throughout Southern California. By 1920, Wilkinson had opened his own office on Hollywood Boulevard, providing design, construction, and engineering services. One of his earliest commissions was a home for portrait painter Ivey de Verely (1921, Hollywood). By 1922, he had numerous projects to his credit, including four residences in Beverly Hills and an apartment building at the corner of Hobart Avenue and Sunset Boulevard in Hollywood. For these and most subsequent projects, Wilkinson acted as both designer and builder; he also worked as a builder for other architects and designers. His practice was diverse, encompassing not only single and multi-family residential properties but also commercial and industrial buildings, the latter primarily for motion picture-related facilities. By 1933, newspaper articles about Wilkinson's projects had begun referring to him exclusively as "architect" and in some cases his designs were constructed by others, including the C.C. Langevin Company building at 1000 Seward Street on the Project Site (1937).

Like most architects of the period, Wilkinson was adept in several architectural styles, including Spanish Colonial Revival (El Encanto Apartments, Palm Springs, 1929), Colonial Revival (803 N. Alpine Dr., Beverly Hills, 1930), French Revival (620 N. Sierra Dr., Beverly Hills), and Art Deco (714 N. Melrose Ave., Los Angeles). His work was covered several times in the *Los Angeles Times*, as well as published in *Architectural Record* and *Architectural Digest*. Wilkinson continued to practice into the 1940s and was joined by his son, Marshall P. Wilkinson, Jr., also an architect. Wilkinson, Sr., died on September 6, 1969 at the age of 77.

F.D. Harrington

Frank Donald Harrington designed the café building at 1006 Seward Street in 1937.⁴⁴ Born in Fairmount, Indiana, in April 1888, Harrington received his education at the Université de Besancon in France, from which he graduated in 1920; and at the University of Southern California, from which he graduated in 1926.⁴⁵ He worked as a draftsman for Scott Quintin from 1917 to 1918, and for H.H. Whiteley from 1920-1922. He then established a solo practice, and began a career largely focused on ecclesiastical architecture in San Diego. Harrington died in 1976, at the age of 88.

⁴⁴ Biographical information on F.D. Harrington derived from information provided by the AIA Historical Directory of American Architects.

⁴⁵ No information on Harrington's course of study at either institution was found.

Ownership/Occupant and Use Summary

City directories and building permits were consulted to compile a list of former owners and occupants of the commercial buildings on the Project Site.

TABLE 1: SUMMARY OF OWNERS/OCCUPANTS

DATE	OWNER/OCCUPANT	USE
<i>1000 Seward Street</i>		
1939-1941	World Broadcasting System, Inc.	Office
1939-1969	General Radio Company	Office
1939-1973	C.C. Langevin Company (owner)	Sales office
1956	Telescopes	Office
1987	Telecine Tech Inc.	Office
2007-2015	Hollywood Center Studios Building 28-30; CBS Paramount Network Television	Production suites
2016-2020	The Post Group	Production suites
<i>1006 Seward Street</i>		
1920	Samuel B. Brodhead (owner)	Residence
1937	Dick King (owner)	Café and dwelling
1939-1956	Melville Café; William D. Melville	Café and dwelling
1941-1942	C.A. Burch	Café and dwelling
1960	Herm's Café	Café
1961-1965	Lillian Apfel – Café	Café
1967-1987	The Studio Coffee Shop	Café
1991-2011	Hollywood Canteen	Restaurant
2012-2013	Barbara J. Rodney Trust (owner)	Restaurant
2014-2020	Rao's	Restaurant

C.C. Langevin Company

The building at 1000 Seward Street was constructed in 1937 for the C.C. Langevin Company, which remained at that address through the 1970s.

In the early days of radio, Carl Clayton Langevin (1897-1973) became dissatisfied with the poor audio quality of even the best radios, and so designed his own amplifier. He quickly began to manufacture large quantities of radio sets. Langevin created the C.C. Langevin Company in

1925, headquartered in San Francisco, and became the exclusive representative of the General Radio Company for the west coast and six other western states. “After the boom of radio parts had subsided, Mr. Langevin began to get into the public address business,” choosing to use Western Electric equipment after realizing their equipment was superior to his in audio quality.⁴⁶ The company’s “fame became nation-wide” when it handled all sound reproduction for the San Diego Exposition in 1935, the first time Wide Range reproduction had been used on a large scale.⁴⁷ The company went on to handle sound reproduction for the 1936 Texas Centennial Exposition.⁴⁸

The Langevin Company expanded its operation in the late 1930s. “In the summer of 1937 Mr. Langevin decided to build his own building to take care of his needs in the Los Angeles area.”⁴⁹ The building, designed by architect Marshall P. Wilkinson, was described as “a one-story affair of modernistic architecture, constructed of brick painted white, [with] a red glass front.”⁵⁰ Based out of the building at 1000 Seward Street, the Langevin Company’s Los Angeles branch installed and operated large public address systems at the Los Angeles Coliseum, the Santa Anita Race Track, and the Hollywood Park Race Track, among other places.⁵¹ The General Radio Company also moved into 1000 Seward Street, and World Broadcasting System, Inc. also leased space in the building.

The C.C. Langevin Company continued to operate as a radio equipment sales and rental company through the early 1970s.

⁴⁶ “Los Angeles Notes,” *General Radio News*, vol. 2:1, November 1939, 4.

⁴⁷ “First Use of Stereophonic Sound in Giant Pageant Creates New Thrills,” *Pick-Ups*, September 1937, 30.

⁴⁸ “First Use of Stereophonic Sound in Giant Pageant Creates New Thrills,” *Pick-Ups*, September 1937, 30.

⁴⁹ “Los Angeles Notes,” *General Radio News*, vol. 2:1, November 1939, 4.

⁵⁰ “Los Angeles Notes,” *General Radio News*, vol. 2:1, November 1939, 4.

⁵¹ “Los Angeles Notes,” *General Radio News*, vol. 2:1, November 1939, 4.

9.0 HISTORIC CONTEXT: SURVEYLA CONTEXTS & THEMES

SurveyLA is the City's citywide survey of historic resources, conducted in accordance with the standards and guidelines set forth by the National Park Service and the California State Office of Historic Preservation. Properties surveyed as part of SurveyLA were evaluated for eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources, and for designation as a Los Angeles Historic-Cultural Monument.

Utilizing the contexts and themes developed by SurveyLA, this report re-evaluates the buildings on the Project Site for potential individual significance within the following context/theme/property type combinations (CTPs):

1000 Seward Street

The building at 1000 Seward Street was designed in the Streamline Moderne architectural style and initially constructed in 1937 as an office building for the C.C. Langevin Company. It was not identified as a potential historical resource by SurveyLA for an association with the radio industry or for its architectural merit.

Radio Broadcasting Industry

- Context:** Entertainment Industry, 1908-1980
- Theme:** Industrial Properties Associated with the Entertainment Industry, 1908-1980
- Sub-Theme:** Radio Broadcasting Industry, 1922-1945
- Property type:** Industrial – Radio Station/Broadcasting Facility

Summary Statement of Significance: Resources evaluated under this theme are significant in the areas of Entertainment, Communications, and/or Industry. Due to its leading role in the motion picture industry, Los Angeles (and specifically Hollywood) became a center for radio production in the early twentieth century. The introduction of widespread radio broadcasting in the 1920s marked a turning point in the development of popular media created for widespread consumption, and by the 1930s radio had become a prevailing form of mass communication as well as a popular and innovative medium for entertainment. Radio broadcasters in Los Angeles were able to capitalize on the City's burgeoning motion picture industry and create a distinctive interrelationship between film and radio that set Los Angeles radio programming apart from its competitors.

Period of Significance: 1922-1945. The period of significance starts in 1922, when Los Angeles became the primary radio broadcasting center in the West and the first radio stations in Los Angeles were established (KFI, KNX, KHJ). It ends in 1945, when the advent of the television era led to the decline of the radio industry.

Property Type Description: Radio broadcasting and production facility originally constructed to house radio production between 1922 and 1945.

Property Type Significance: A radio station/broadcasting facility is significant under this sub-theme if it was constructed specifically as a radio broadcast facility and was used for radio production for an extended period of time.

Criteria: NR A; CR 1; Local 1

Eligibility Standards:

- Was constructed during the period of significance
- Originally constructed to house radio production
- In use as a radio broadcast and production facility for an extended period of time

Character-defining/Associative Features:

- Retains most of the essential character defining features from the period of significance
- May be composed of one large building or multiple smaller buildings designed to house office space and production facilities
- Some facilities may include accommodations for a live studio audience; those will be distinguishable by their size, and may also have associations with the television or motion picture industries
- May be located near major motion picture studios
- Often designed in architectural styles of the period

Integrity Considerations:

- Should retain integrity of Design and Feeling
- May have been expanded or altered to accommodate changing technology and/or television production
- Original use may have changed

Streamline Moderne Architecture⁵²

Context: Architecture and Engineering
Sub-context: L.A. Modernism, 1919-1980
Theme: Related Responses to Modernism, 1926-1970
Sub-theme: Streamline Moderne, 1934-1945
Property type: Commercial

⁵² Streamline Moderne Architecture CTP excerpted from City of Los Angeles, Department of City Planning, Office of Historic Resources, "Context: Architecture and Engineering; Sub-Context: L.A. Modernism, 1919-1980; Theme: Related Responses to Modernism, 1934-1945; Sub-theme: Streamline Moderne, 1934-1945," *Los Angeles Citywide Historic Context Statement*. The narrative for this sub-context has not yet been published.

Period of Significance: 1934-1945

Criteria: NR C; CR 3; Local 3

Eligibility Standards:

- Retains the essential character-defining features of the Streamline Moderne style from the period of significance
- Was constructed during the period of significance
- Exhibits quality of design through distinctive features

Character-Defining/Associative Features:

- Horizontal orientation
- Rounded corners and curved surfaces, emulating a “windswept” appearance
- Flat or nearly flat roofs
- Speedlines at wall surfaces, such as horizontal moldings and continuous sill courses
- Smooth stucco cladding
- Metal, often steel casement, windows
- Unadorned wall surfaces, with minimal ornament
- Windows “punched” into walls, with no surrounds

Integrity Considerations:

- Setting may have changed (surrounding buildings and land uses)
- Location, may have been moved for preservation purposes
- Original use may have changed
- Replacement of some windows and doors may be acceptable if the openings have not been resized and original fenestration patterns have not been disrupted
- The addition of security features such as screen doors and bars at windows
- Original garage doors may have been replaced

1006 Seward Street

The restaurant building at 1006 Seward Street was identified as potentially significant under the Social Scene Associated with the Entertainment Industry sub-theme of the Entertainment Industry context in SurveyLA. The survey ultimately found that the building did not meet the eligibility standards for designation under this theme. It was not identified as potentially significant under any other CTP combinations. This report therefore re-evaluates the restaurant building under the Social Scene Associated with the Entertainment Industry sub-theme, in order to confirm that there is no new evidence that was not available at the time of the survey that may indicate potential significance.

Social Scene Associated with the Entertainment Industry⁵³

Context: Entertainment Industry
Theme: Commercial Properties Associated with the Entertainment Industry
Property type: Commercial – Entertainment and Social Venue

Summary Statement of Significance: Entertainment venues that are significant specifically because of the importance of the entertainment industry in Los Angeles. This includes music and dance clubs; comedy clubs; bars, restaurants, and dinner clubs; hotels; and private social clubs frequented by people in the entertainment industry. Entertainment venues that can be found in any community are not significant under this sub-theme.

Period of Significance: 1908-1980. The period of significance begins in 1908, the origin of the motion picture industry in Los Angeles (though resources from this period associated with the entertainment industry are rare), and ends in 1980, the end date for SurveyLA. The end date may be extended over time.

Criteria: NR A; CR 1; Local 1

Eligibility Standards:

- Entertainment or social venue with a significant relationship to the entertainment industry
- Retains the essential character-defining features of its type
- Retains the required aspects of integrity

Character-Defining/Associative Features:

- Includes music and dance clubs; comedy clubs; bars, restaurants, and dinner clubs; hotels; and private social clubs frequented by people in the entertainment industry
- Public venues were often used by studios and publicists to promote their stars
- Private venues were typically exclusive, and provided an opportunity to socialize and network out of the public eye
- May be the long-term home of a continuously-operational commercial enterprise
- May be the site of significant performances and/or the long-term venue for a significant performer
- May be located adjacent to motion picture studios or other entertainment-related properties

⁵³ CTP excerpted from City of Los Angeles, Department of City Planning, Office of Historic Resources, "Context: Entertainment Industry, 1908-1980; Theme: Commercial Properties Associated with the Entertainment Industry; Sub-theme: Social Scene Associated with the Entertainment Industry, 1908-1980," in *Los Angeles Citywide Historic Context Statement*. The narrative for this theme has not yet been published.

- May also be significant as a good example of an architectural style from its period and/or the work of a significant architect or builder

Integrity Considerations:

- May not retain its original use
- Should retain integrity of Location, Design, and Association from the period of significance.

10.0 EVALUATION OF ELIGIBILITY

The two buildings on the Project Site (1000 and 1006 Seward Street) are re-evaluated in this report for potential eligibility for listing in the National Register of Historic Places, the California Register of Historical Resources, and as City of Los Angeles Historic-Cultural Monuments.

1000 Seward Street

Criterion A/1/1 (association with events or patterns of development)

According to guidance from the National Park Service, in order to be considered eligible for designation for representing a pattern of development:

...A property must be associated with one or more events important in the defined historic context. The event or trends, however, must clearly be important within the associated context: settlement, in the case of the town, or development of a maritime economy, in the case of the port city. Moreover, the property must have an important association with the event or historic trends, and it must retain historic integrity...Mere association with historic events or trends is not enough, in and of itself, to qualify under [this criterion]; the property's specific association must be considered important as well.⁵⁴

The building at 1000 Seward Street was not identified as potentially significant for an association with the entertainment industry or under any commercial development theme by SurveyLA. It was constructed in 1937 by the C.C. Langevin Company and expanded twenty years later by the same company. The building was constructed as office space for the C.C. Langevin Company and other manufacturers and vendors of radio parts and services. Properties that are significant for an association with the radio industry were specifically constructed as a radio broadcast facility and used for radio production for an extended period of time; industrial or office buildings associated with the manufacture of component parts are not eligible for an association with the radio industry. There is no evidence that the property was ever the site of radio broadcasting operations; therefore, it does not meet eligibility standards for an association with the radio industry in Los Angeles.

Additionally, the building is not significant for its association with the C.C. Langevin Company. It was not the first or most important location of the C.C. Langevin Company; rather, it was a regional office for the company, which was originally established in San Francisco in 1925, and expanded throughout the west and southwest in the 1930s. No evidence was found to suggest that the company made significant contributions to commercial development in Los Angeles, or that it was significant in commercial history in California or the United States.

⁵⁴ *National Register Bulletin 15.*

Although the Project Site is located in proximity to several motion picture studios, in the industrially zoned area to support the motion picture industry, there is no evidence that this building had a direct association with the entertainment industry. In addition, the early commercial development of the Hollywood CPA predated the construction of this building by several decades; it therefore does not represent significant early commercial development in the area, and it does not represent a significant commercial trend, pattern of development, or property type.

Therefore, the building at 1000 Seward Street is not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a City of Los Angeles Historic-Cultural Monument under Criterion A/1/1.

Criterion B/2/2 (association with important people)

No documentation was found to suggest that the original owner of the building, C.C. Langevin Company, rose to prominence in its group or made significant contributions to growth or development in Los Angeles while occupying the building. No evidence was found to suggest that other owners or occupants of the building, including General Radio Company, World Broadcasting System, Inc., or Telescopes, rose to prominence in its group or made significant contributions to growth or development in Los Angeles while occupying the building.

Therefore, the office building is not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a City of Los Angeles Historic-Cultural Monument under Criterion B/2/2.

Criterion C/3/3 (architectural merit)

According to guidance from the National Park Service, to be eligible under Criterion C/3/3, a building must clearly contain enough of the “distinctive characteristics” to be considered a true representative of the style or type. Buildings eligible for artistic merit must embody the distinctive characteristics or a type, period, or method of construction, and they must possess high artistic value. A building with some applied detailing is not eligible if the details are not fully integrated into the overall design.

The National Park Service defines a master architect as “a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality.”⁵⁵ A property is not eligible as the work of a master only because it was designed by a prominent architect. “The property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular idea or theme in his or her craft.”⁵⁶

⁵⁵ *National Register Bulletin 15*, 20.

⁵⁶ *National Register Bulletin 15*, 20.

The building at 1000 Seward Street was not identified as a significant example of Streamline Moderne architecture by SurveyLA. It exhibits several character-defining features of the style, including the horizontal orientation, rounded corner, flat roof with parapet, horizontal speedlines, and divided-light steel sash awning windows. However, it does not represent an excellent example of the style, and it does not exhibit quality of design through distinctive features. The building does not rise to the level of architectural distinction of other examples of the style in Los Angeles, including the Firestone Tire Building at 800 S. La Brea Avenue (1937, R.E. Ward; Los Angeles Historic-Cultural Monument No. 1020), the Lincoln Heights Department of Water and Power Building at 2417 N. Daly Street (1937, S. Charles Lee; Los Angeles Historic-Cultural Monument No. 384); and Haven of Rest at 2432 N. Hyperion Avenue (1941; Los Angeles Historic-Cultural Monument N. 897). In addition, it has been altered over time, including the replacement of the primary entry door, the sandblasting of the masonry surfaces, the enclosure of a large opening at the east side of the south façade, and a large addition on the northeast corner which is not compatible in style or design with the original building. Although the addition was designed by the same architect as the original building, it is entirely different in architectural character. The addition is largely utilitarian in nature, with minimal Mid-century Modern design details, including a breeze block screen wall at the south façade. The addition presents as an entirely different structure than the original building, with no apparent correlation between the design of the two portions.

The building was designed by Marshall P. Wilkinson in the Streamline Moderne style in 1937. Wilkinson designed a number of buildings across Southern California from 1920 through the post-World War II period; however, his work is not widely known, and he is not generally considered a master architect.

The building at 1000 Seward Street does not meet the eligibility standards for Streamline Moderne architecture, and it does not represent the work of a master architect. Therefore, it is not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a City of Los Angeles Historic-Cultural Monument for its architectural merit under Criterion C/3/3.

1006 Seward Street

Criterion A/1/1 (association with events or patterns of development)

At the time that this area was surveyed by SurveyLA, 1006 Seward Street was a restaurant operating under the name Hollywood Canteen. The Hollywood Canteen was a World War II-era restaurant and nightclub that catered to military servicemen by offering food and entertainment at no cost. Founded by Hollywood actors Bette Davis and John Garfield, the Canteen was staffed completely by volunteers from the entertainment industry. The original Hollywood Canteen was located at 1451 Cahuenga Boulevard and operated from 1942 to 1945. From 1991-2011, a restaurant called the Hollywood Canteen operated at 1006 Seward

Street. However, research conducted for SurveyLA indicated that this restaurant/nightclub re-used the name of the famous venue but was not associated with the original Hollywood Canteen. This information was confirmed by research conducted for this report. The establishment is no longer operating at the Project Site.

The property at 1006 Seward Street was initially developed with a single-family residence in 1920. In 1937, a café building was added at the front of the residence; by 1950 the former residence was used as part of the restaurant building. From the late 1930s through the 1980s, the property operated as a series of cafes/restaurants, changing hands a number of times. No evidence was found that any of the businesses had a significant association with the entertainment industry or contributed to the Hollywood “social scene” as documented in the SurveyLA Entertainment Industry Historic Context. In addition, it was not the long-term home of a local restaurant that may have made a significant contribution to the commercial history of Los Angeles; it does not represent a significant trend in commercial development; and there is no evidence that an important event took place on the Site.

Therefore, the building at 1006 Seward Street is not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a City of Los Angeles Historic-Cultural Monument under Criterion A/1/1.

Criterion B/2/2 (association with important people)

No documentation was found to suggest that the original owner of the residence at 1006 Seward Street, Samuel B. Brodhead, the original owner of the café at 1006 Seward Street, Dick King, or any subsequent owner or occupant of the building rose to prominence in their profession, or made significant contributions to growth or development in Los Angeles while occupying the building.

Therefore, the restaurant building is not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a City of Los Angeles Historic-Cultural Monument under Criterion B/2/2.

Criterion C/3/3 (architectural merit)

The restaurant building was added to an existing single-family residence in 1937. It is commercial vernacular in design with applied Streamline Moderne detailing at the primary façade. The one-story building fills its narrow rectangular lot and is of a scale typical of neighborhood eating establishments. It exhibits architectural features that reflect trends in neighborhood commercial designs, but is largely utilitarian in nature, with minimal Streamline Moderne design details, including the horizontal orientation, smooth stucco cladding, and geometric ornamentation at the primary façade. It is not an excellent example of the style, and it does not exhibit quality of design through distinctive features.

Architect F.D Harrington designed the café addition to the building in 1937. Harrington's career spanned from approximately 1926 through the 1970s and was largely focused on ecclesiastical architecture in the San Diego area. His work is not widely known, and he is not considered a master architect. The restaurant building does not represent an excellent example of its style or type, and it does not exhibit quality of design through distinctive features.

Therefore, 1006 Seward Street is not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, or as a City of Los Angeles Historic-Cultural Monument for its architectural merit under Criterion C/3/3.

11.0 ENTERTAINMENT INDUSTRY SUPPORT SERVICES PLANNING DISTRICT

The Project Site is partially located within the potential Entertainment Industry Support Service Planning District identified by SurveyLA (Map Ref. A). As noted above, planning districts are areas that do not meet eligibility standards for designation as historic districts but may warrant consideration in the planning process.

The Entertainment Industry Support Services Planning District coincides with a large industrially zoned area oriented around the intersection of Santa Monica Boulevard and Highland Avenue in Hollywood. The area has an irregular boundary and is bordered generally by Formosa Avenue to the west, Lexington Avenue to the north, Lillian Way to the east, and Melrose Avenue to the south. The district contains over 750 buildings and is situated adjacent to several early motion picture studios in the heart of Hollywood. It represents the most significant collection of studio support services and is composed of multiple industrial structures on many super blocks. The potential planning district is not considered a historical resource as defined by CEQA and therefore there are no potential impacts to the planning district.

12.0 RESOURCES IN THE VICINITY OF THE PROJECT SITE

There are two potential historical resources in the immediate vicinity of the Project Site that should be considered as part of the review of the potential impacts of the Project.

Hollywood Center Studios (Map Ref. B)

The Hollywood Center Studios campus (now called Sunset Las Palmas Studios) is a studio facility located at 1040 Las Palmas Avenue composed of multiple structures on a large superblock. The campus comprises a variety of building types, including offices, soundstages, construction facilities and prop storage; surface parking; high perimeter walls and fences; and restricted access at secure entry points. The campus was identified in SurveyLA as eligible for listing as a historic district in the National Register, California Register, and as a Los Angeles Historic-Cultural Monument as an excellent example of an independent/rental studio in Hollywood.⁵⁷ Because it was identified as eligible for listing as a historical resource through survey evaluation, the Hollywood Center Studios campus is treated herein as a historical resource for the purposes of CEQA.⁵⁸ The studio campus is the subject of ongoing upgrades, including a new five-story, 128,000 square foot office building at the northwest corner of Seward and Romaine Streets, completed in 2020.⁵⁹

⁵⁷ City of Los Angeles, Department of City Planning, *Historic Resources Survey Report: Hollywood Community Plan Area*, prepared by Historic Resources Group, August 2011, revised November 2015.

⁵⁸ The Hollywood Center Studios Building at 1021 Seward Street (located on the Hollywood Center campus) was identified as individually significant by SurveyLA. However, since that time the building has been demolished and a new five-story commercial building is on the site.

⁵⁹ Steven Sharp, "New Offices Completed at Sunset Las Palmas Studios," *Urbanize Los Angeles*, November 17, 2020.

HISTORICAL RESOURCES TECHNICAL REPORT

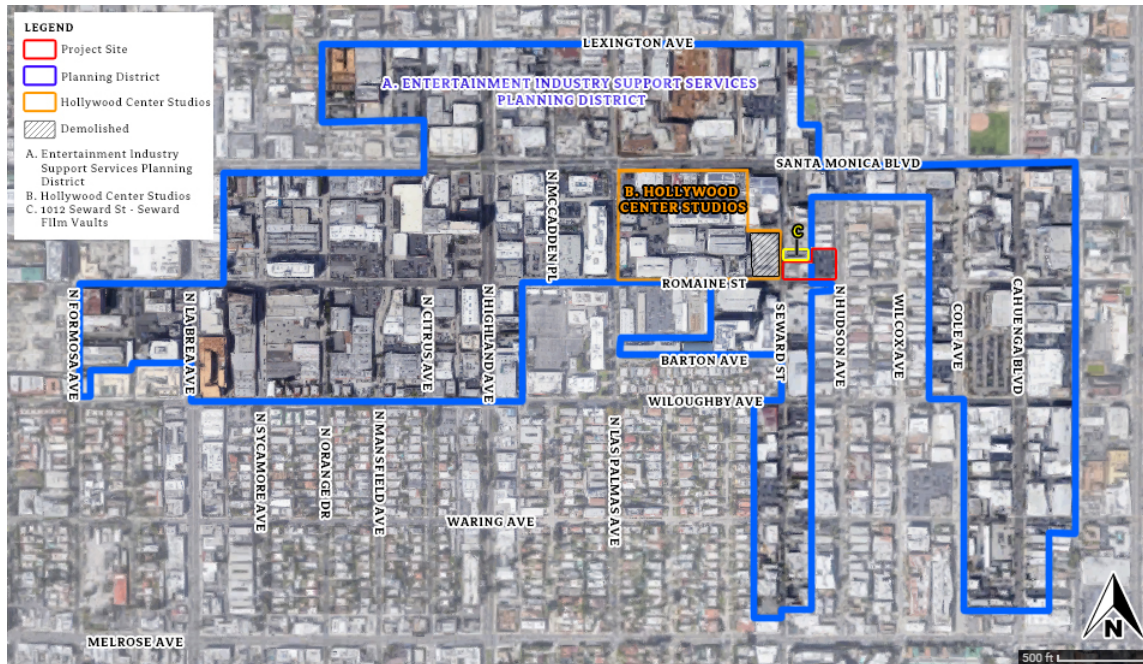
1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP

Seward Film Vaults (Map Ref. C)

The Seward Film Vaults at 1012 Seward Street (1953) are located directly north of the Project Site. The property was identified by SurveyLA as eligible for listing in the National Register, California Register, and as a Los Angeles Historic-Cultural Monument as an excellent and very rare example of a 1950s purpose-built film vault in the entertainment industry support services area of Hollywood.⁶⁰ Since that time, a project has been completed that has demolished all but the southwest corner of the Seward Film Vaults building and constructed a new five-story parking structure on the site. Because it was identified as eligible for listing as a historical resource through survey evaluation, the Seward Film Vaults are treated herein as a historical resource for the purposes of CEQA.

FIGURE 3: ENTERTAINMENT INDUSTRY SUPPORT SERVICES PLANNING DISTRICT & POTENTIAL HISTORICAL RESOURCES ADJACENT TO THE PROJECT SITE



⁶⁰ City of Los Angeles, Department of City Planning, *Historic Resources Survey Report: Hollywood Community Plan Area*, prepared by Historic Resources Group, August 2011, revised November 2015.

13.0 EVALUATION OF POTENTIAL IMPACTS

CEQA Guidelines, including Appendix G of the Guidelines, state that a project with an effect that may cause a substantial adverse change in the significance of a historic resource is a project that may have a significant effect on the environment.⁶¹ A substantial adverse change in the significance of a historic resource means demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired.⁶²

The Guidelines state that “[t]he significance of an historical resource is materially impaired when a project... [d]emolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources... local register of historic resources... or its identification in a historic resources survey meeting the requirements of section 5014.1(g) of the Public Resources Code...”⁶³ As such, the test for determining whether or not a proposed project will have a significant impact on an identified historical resource is whether or not the project will alter in an adverse manner the physical integrity of the historical resource such that it would no longer be eligible for listing in the National or California Registers or for local designation as a City of Los Angeles Historical-Cultural Monument.

This section examines potential impacts to historical resources on the Project Site and adjacent to the Project Site that may be caused by the Project. For the purposes of this study, impacts analysis focuses on those resources that could be subject to the following potential impacts:

Direct Impacts involve the demolition, material alteration, relocation or conversion of a historical resource and/or important character-defining features.

Indirect Impacts involve alteration to the surroundings of an historical resource that could remove part or all of the associated setting of an historical resource, remove historic features or spaces surrounding the historical resource, or substantially impair or obscure the ability of the resource to convey its historical significance.

Potential Impacts from Demolition

The two existing buildings on the Project Site totaling 10,993 square feet along with the surface parking areas would be demolished.

The two commercial buildings on the Project Site (1000 and 1006 Seward Street) were not identified as significant by SurveyLA. They were re-evaluated as part of this study, which

⁶¹ CEQA Guidelines, section 15064.5(b).

⁶² CEQA Guidelines, section 15064.5(b) (1).

⁶³ CEQA Guidelines, section 15064.5(b)(2).

confirmed the survey finding that neither building is eligible for listing at the federal, state, or local levels. In addition, they do not contribute to an eligible historic district. Therefore, the demolition of the two commercial buildings on the Project Site does not represent a direct impact on historical resources and is not considered a substantial adverse change as defined by CEQA.

Potential Impacts to Historical Resources Adjacent to the Project Site

The Project would construct a new commercial building on the Project Site. The Project would result in 150,600 square feet of floor area within the Project Site. The Project would consist of approximately 136,200 square feet of office uses, 12,200 square feet of restaurant space (of which 6,100 square feet may be used for an entertainment use), and 2,200 square feet of retail space. The Project would also provide 33,100 square feet of open space, which would include terraces, seating, lounge areas, and landscaping. The Project would provide a total of 310 vehicular parking spaces and 55 bicycle parking spaces within three subterranean levels and four above grade parking levels.

The Project would add height and density on a lot that is currently developed with two low-scale commercial buildings and a surface parking lot, altering the surroundings of the immediately adjacent historical resources: Hollywood Center Studios and the Seward Film Vaults. However, in order for this alteration to be considered a substantial adverse change, it must be shown that the integrity and/or significance of these historical resources would be materially impaired by the proposed alteration. A historical resource is not materially impaired unless it is altered in an adverse manner to the point that its physical characteristics fail to convey its historical significance and thus would no longer be eligible for historic listing or designation.

Hollywood Center Studios (now Sunset Las Palmas Studios) is located west of the Project Site, across Seward Street. Hollywood Center Studios is a self-contained studio facility composed of multiple structures on a large superblock. The plant contains a variety of building types, including offices, soundstages, construction facilities, and prop storage; surface parking; high perimeter walls and fences; and restricted access at secure entry points. The Project does not include the demolition, relocation, rehabilitation, alteration, or conversion of any portion of the Hollywood Center Studios campus, which will remain unchanged and in its original location after the implementation of the Project. The Project would not result in direct adverse impacts to the Hollywood Center Studios campus.

The Project Site is located directly east of Hollywood Center Studios but there is adequate separation between the proposed new construction and the studio campus. The Project Site is separated from Hollywood Center Studios by Seward Street, which is approximately 28 feet wide. Hollywood Center Studios is a self-contained, enclosed facility with an inward focus typical of historic studios, intended to maintain privacy for the activities going on within the studio lot.

It is significant as a potential historic district, representing a collection of property types that collectively comprise a historic independent/rental studio in Hollywood. There are no significant architectural or visual characteristics that are expressed on the street-facing facades that are intrinsic to conveying the significance of the district and therefore could be impacted by adjacent new construction. Due to the nature of the studio lot, views from surrounding streets do not represent a significant character-defining feature, and changes to views of the studio lot from surrounding streets would therefore not impair the significance of the district or any of its important features. Alterations to the setting surrounding the studio campus, including the introduction of additional height and density on adjacent lots, would not constitute a significant visual impact that would impair Hollywood Center Studios' ability to convey significance.

Therefore, the proposed new construction will not obscure important character-defining features of Hollywood Center Studios, including views of its primary entrance on N. Las Palmas Avenue, which will remain unobstructed after implementation of the Project. All buildings and features of the Hollywood Center Studios campus would remain intact in their current locations and would not be materially altered by new construction to the east. The existing physical elements that characterize Hollywood Center Studios would remain intact and continue to convey the property's historic significance as an independent/rental studio in Hollywood. The Project would not result in indirect adverse impacts to the Hollywood Center Studios campus.

The Project Site is located immediately south of the Seward Film Vaults, which is a two-story commercial vernacular building of brick masonry construction. It has a flat roof with parapet and built-up roofing, and exterior walls are expressed masonry. Access to individual film vaults is via steel doors lining an exterior corridor with metal pipe railings at the north façade. The property containing the Seward Film Vaults is currently undergoing construction, which includes partial demolition of the vaults and the construction of a new, five-story parking structure. The introduction of additional height and density on the Project Site will not materially alter the Seward Film Vaults. The remaining portion of the Seward Film Vaults would remain in their original location and would retain the existing physical elements that characterize a 1950s film vault.

Due to the proximity of the new construction to the film vaults, including excavation for three levels of subterranean parking, the Project does have the potential to impact the structural integrity of the adjacent Seward Film Vaults during excavation and construction procedures. Absent a specific mitigation measure to ensure the proper protection and treatment of the historic resource during construction, there is a potential for a significant impact to the Seward Film Vaults. However, with the implementation of appropriate mitigation as recommended below, the potential for impacts to historical resources during construction is reduced to less than significant as defined by CEQA. The existing physical elements that characterize the Seward Film Vaults would remain intact and continue to convey the property's historic significance as a

rare remaining example of a film vault in Hollywood. The Project would not result in direct or indirect impacts to the Seward Film Vaults.

14.0 RECOMMENDED MITIGATION MEASURE

Prior to the issuance of grading permits, the Applicant will provide a shoring plan prepared by a qualified structural engineer with relevant experience in historic preservation projects for review and approval by the City. The shoring plan will ensure the protection of the Seward Film Vaults during construction.

15.0 CONCLUSION

The Project at 1000 Seward Street in Los Angeles was evaluated for potential impacts to historical resources both on and adjacent to the Project Site. The two commercial buildings on the Project Site are not significant for an association with important events or patterns of development, including any association with the entertainment industry; they are not associated with significant historic personages; and they are not significant architecturally. Therefore, the demolition of these two buildings would not constitute a significant adverse change to a historical resource as defined by CEQA. The Project proposes to construct a new, ten-story, mixed-use building on the Project Site. Although the Project will add new height and mass to the Site, the adjacent Hollywood Center Studios will remain intact following implementation of the Project and will not be materially impaired by the Project. With the implementation of the recommended mitigation measure, the Project would not result in a significant adverse impact to the adjacent Seward Film Faults. Therefore, the Project would not result in a substantial adverse change in the significance of a historical resource and would not have a significant effect on the environment as defined by CEQA.

16.0 REFERENCES

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APPENDIX A – BUILDING PERMIT CHRONOLOGY

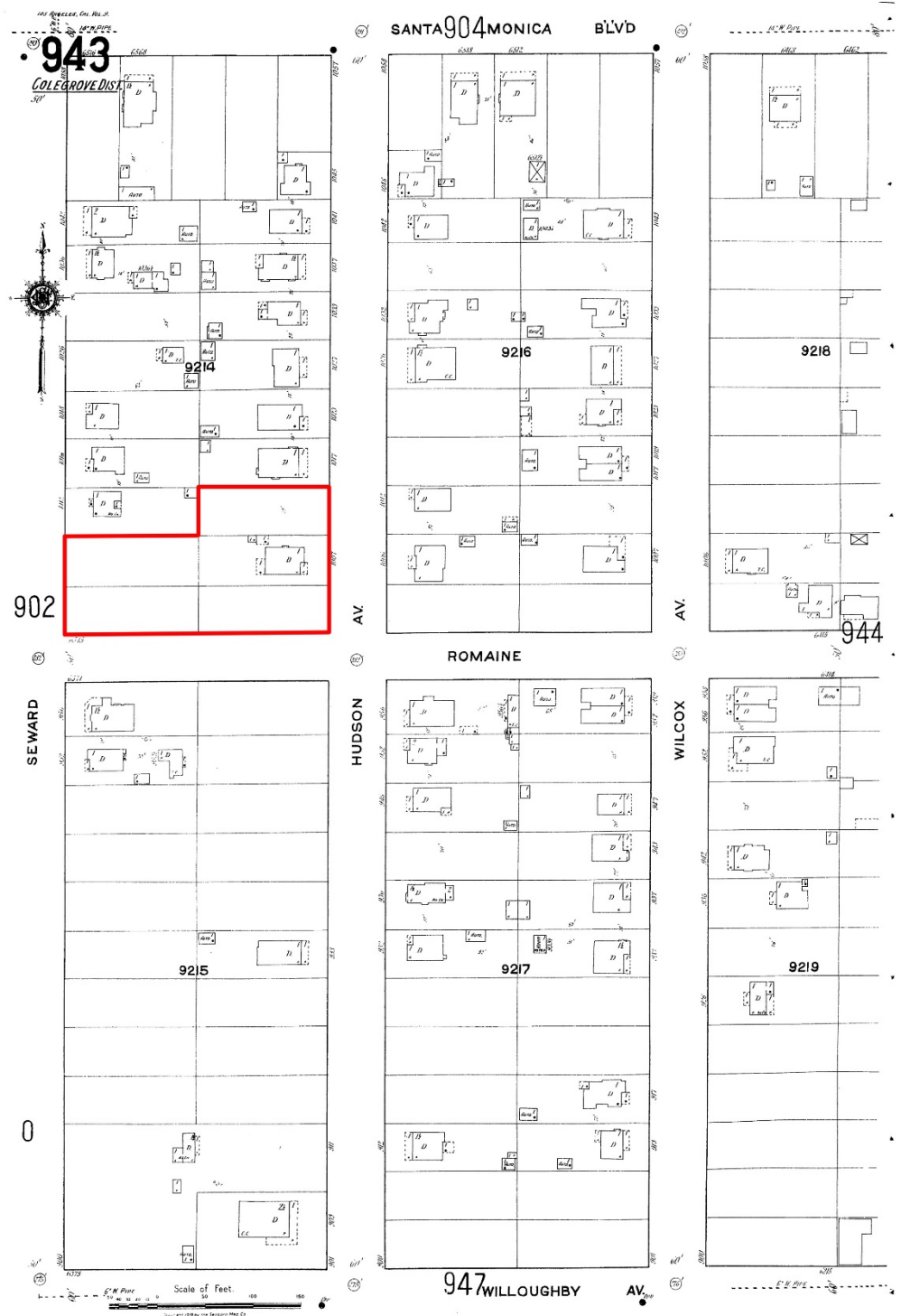
DATE	PERMIT NUMBER	DESCRIPTION OF WORK	ARCHITECT/ CONTRACTOR	OWNER	USE
1000 Seward Street					
09/01/1937	LA29218	New construction of a 45'7.5" x 92' wood-frame office building with a concrete foundation, brick exterior walls, and composition roofing	Marshall P. Wilkinnon [sic]	C.C. Langevin Company	Office Building
10/25/1957	LA85721	Sandblast	Safe Way Sandblasting Co.	Mr. Moore	Offices
04/15/1959	OB11681	Lot tie; Lots 13, 15-16 inclusive			
08/31/1959	LA41234	Interior partitions and ceilings not supported by truss	Marshall P. Wilkinson	C.C. Langevin	Sales Office
10/02/1959	LA43896	Ceiling support & new exit door	Marshall P. Wilkinson	C.C. Langevin	Sales Office
11/17/1993	LA12341	Re-roof 4-ply built up roof Class A material	Ellis Roofing	Douglas M. Langeuin [sic]	Apt.
1006 Seward Street					
12/17/1920	LA24893	Construction of a 27'6" x 28' four-room, one-story, wood-frame residence with composition roof	Owner	S.P. Brodhead	Residence
06/09/1937	LA19178	Add café building 25 x 42 in front of residence	F.D. Harrington/ Owner	Dick King	Café and Dwelling
01/16/1991	LA69300	Repair stucco, paint	Owner	Hollywood Canteen Inc.	Restaurant
09/25/1996	HO46002	Remodel existing bar; changing exist. 2-2'6" x 6'0" door to new 1-3'x6' and 1-2'0" x 6'8" door – 2 places	Jason H. Lee, AIA/Owner	Chin L. Kim	Restaurant
07/26/2000	00016-10000-10908	New countertop/cabinet in restaurant	Gyn Dom Lim	Agnes E Langevin Trust	Restaurant
11/26/2012	12016-10000-20646	Demolition of (E) built-in mill work, plumbing fixtures, interior finishes, and non-bearing partitions of an existing 1,806 s.f. restaurant. Early start permit for interior non-structural demolition. (E) restrooms to remain.	Victor M. Corona/Ramland Construction Company	Barbara J. Rodney Trust	Restaurant
6565 Romaine Street					
3/5/1959	LA31312	New 60' x 60' addition to existing 45x90 1-story building	Marsahll P. Wilkinson [sic]/Owner	C.C. Langevin	Office
08/24/2010	09016-10000-19493	Replace 1500 sq ft of fire damaged roof structure, new exterior ramp, no change in parking	Chris Hansen/C&P Construction Company Inc.	Barbara J. Rodney Trust	Office

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP

APPENDIX B— SANBORN FIRE INSURANCE MAPS

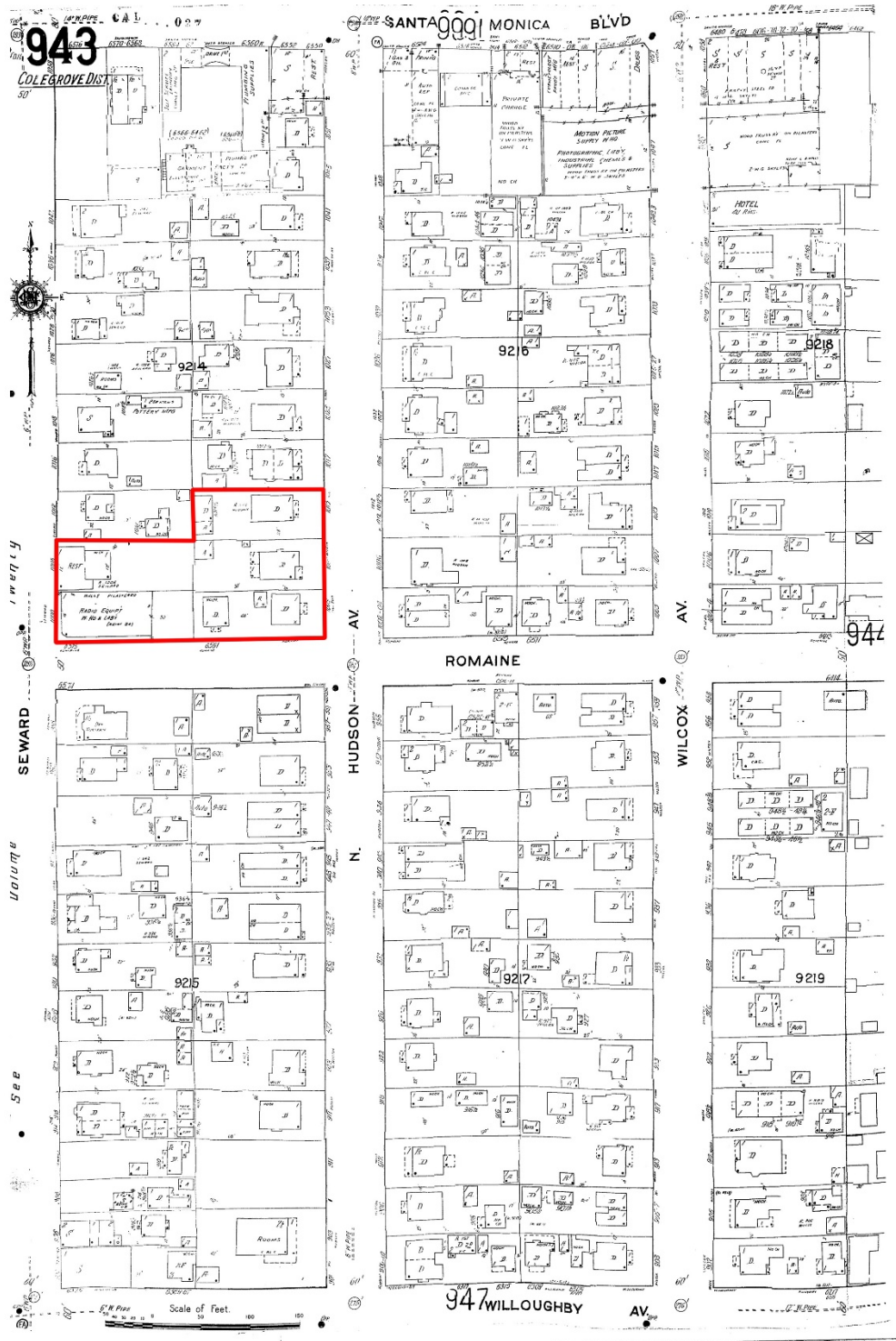


1919 Sanborn Fire Insurance map. Project Site outlined in red.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP

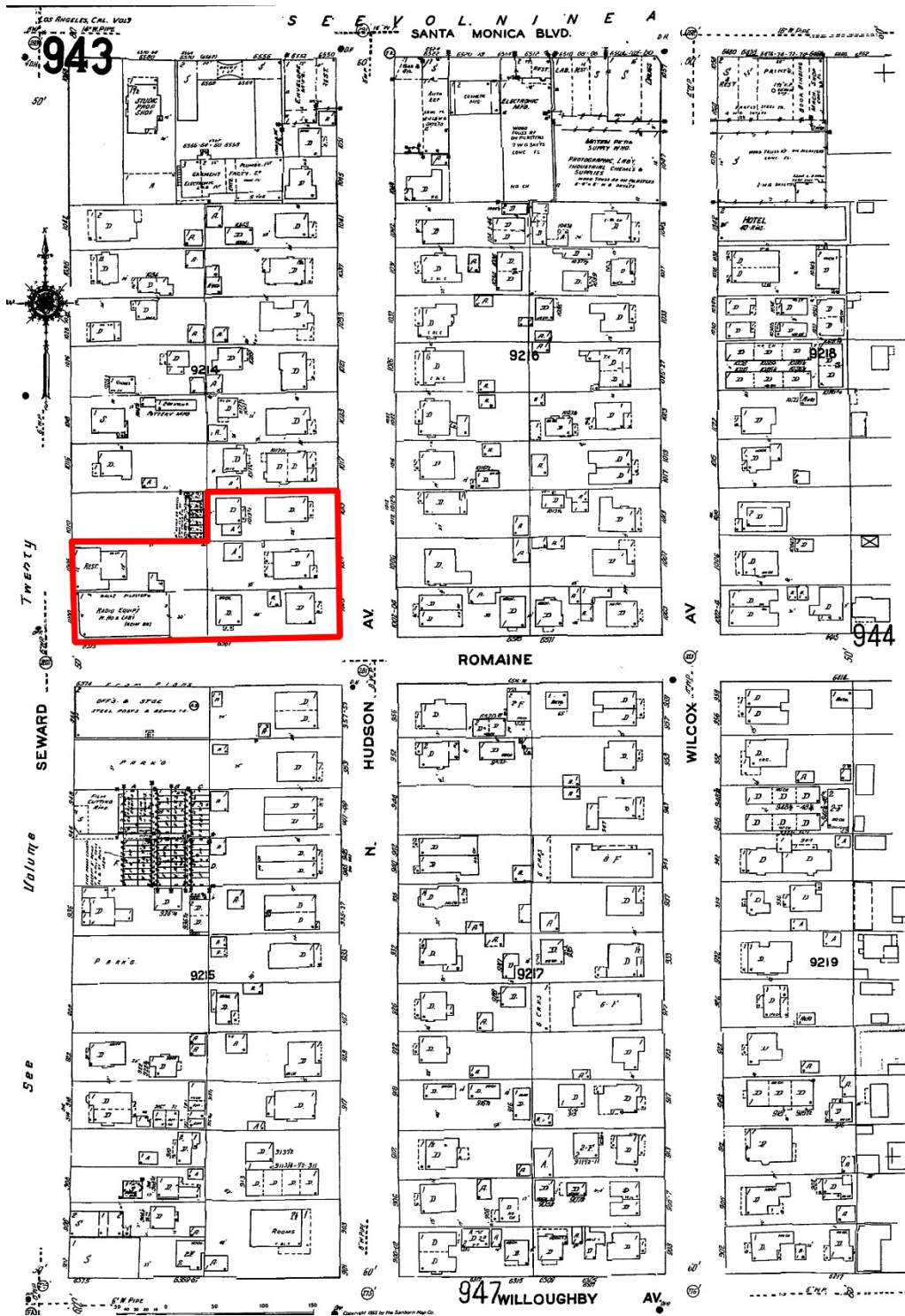


1951 Sanborn Fire Insurance map. Project Site outlined in red.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP



1955 Sanborn Fire Insurance map. Project Site outlined in red.

HISTORICAL RESOURCES TECHNICAL REPORT

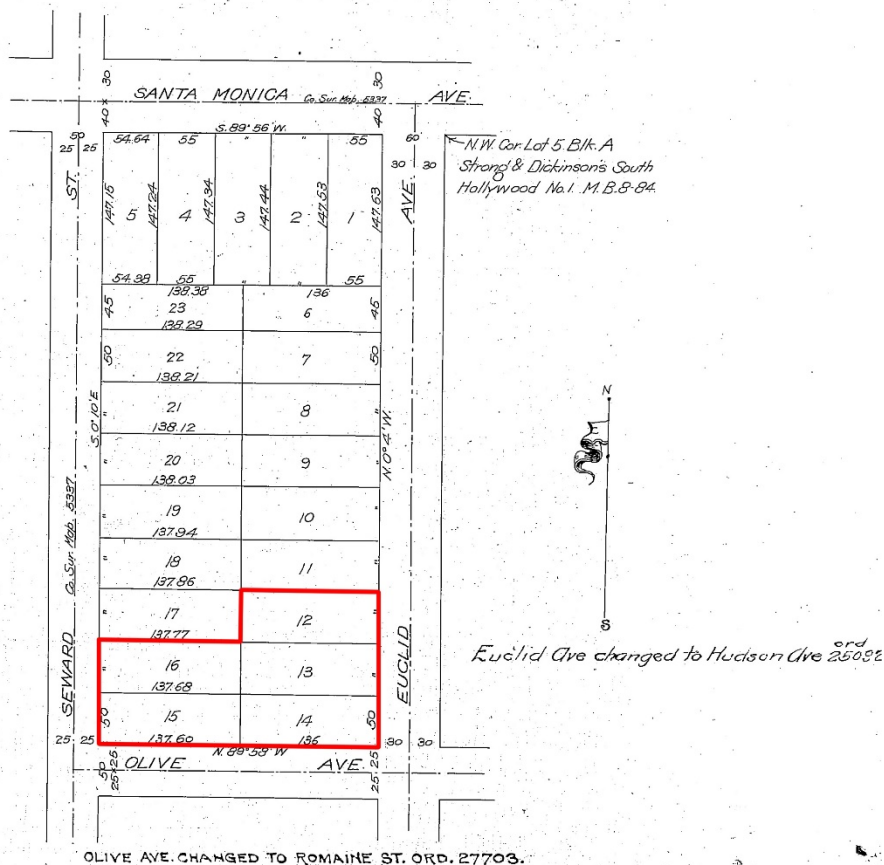
1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP

APPENDIX C – TRACT MAP

Map of
 WHITE & NEWBY'S HOLLYWOOD BOULEVARD TRACT
 Being a Subdivision of a Portion
 of Lot 2 Block 25, Colegrove
 in Rancho La Brea
 Los Angeles Co Cal. Geo. W. Tuttle, Surveyor
 Scale 1" = 50'
 In the City of Los Angeles

176
 Sh 5
 1514
 A 35



Proprietor Calvin H. Cross

Recorded Jan. 16, 1906
 (Scale reduced to 100' = 1")

22-D-3
 2-A-1
 485 B Sh 5 A 215

White and Newby's Hollywood Boulevard Tract map, 1906. Project Site outlined in red.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP

APPENDIX D – HISTORIC AERIAL PHOTOGRAPHS



1938 aerial photograph. Project Site outlined in red. Source: USDA Agricultural Adjustment Administration, Frame 25-93, 1:20,000, AXJ-1938. University of California Santa Barbara Aerial Photography Collection.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

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1952 aerial photograph. Project Site outlined in red. Source: USDA Product and Marketing Administration, Frame 4D-161, 1:20,000, AXJ-1952. University of California Santa Barbara Aerial Photography Collection.

HISTORICAL RESOURCES TECHNICAL REPORT

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1960 aerial photograph. Project Site outlined in red. Source: Fairchild Aerial Surveys, Frame 2473, 1:14,400, C-23870. University of California Santa Barbara Aerial Photography Collection.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

HISTORIC RESOURCES GROUP



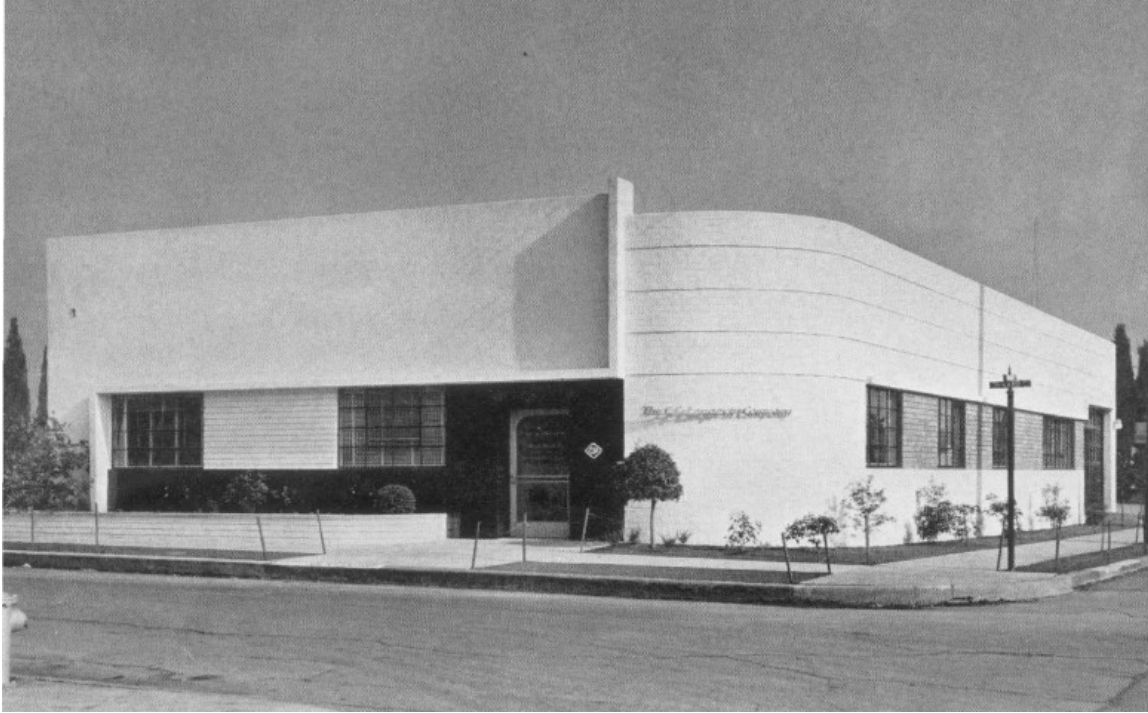
1973 aerial photograph. Project Site outlined in red. Source: Aerial Map Industries, Frame 6621, 1:18,000, AMI-LA-73. University of California Santa Barbara Aerial Photography Collection.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

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APPENDIX E – HISTORIC PHOTOGRAPH



1000 Seward Street, view facing northeast, 1938. Source: *General Radio Experimenter*, vol. XII: 8, January 1938.

HISTORICAL RESOURCES TECHNICAL REPORT

1000 Seward Street, Los Angeles

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HISTORIC RESOURCES GROUP

Project Address		
1000 & 1006 Seward Street, Los Angeles, CA 90038		
6565 Romaine Street, Los Angeles, CA 90038		
1003, 1007 and 1013 Hudson Avenue, Los Angeles, CA 90038		

Legal Description		
Tract	White and Newby's Hollywood Boulevard	
Map Ref	M B 8-176	
Block	None	
Lot	12-16	

Site Information		
Zoning		
Current GP Designation	Medium Residential	
Proposed GP Designation	Limited Manufacturing	
Current Zone	R3-1; MR1-1	
Proposed Zone	M1-2D	
Project		
Height	Allowable Unlimited	Proposed 151' Top Roof 133' Top Occupied Level
Total Site Area		
Commercial Area	34,167 SF	34,167 SF
Retail Area	-	136,200 SF
Restaurant/ Hospitality/ Entertainment Area	-	2,200 SF
	-	12,200 SF
Total Floor Area	153,751 SF	150,600 SF
FAR		
	4.5:1	4.4:1

Parking Calculations

Parking Required
Code minimum as required per LAMC SEC. 12.21 and Enterprise Zone/ Employment and Economic Incentive Program Area (EZ): 1/ 500 SF for office, retail and restaurant.

Total Floor Area	150,600 SF (1/500 SF)	= 302 spaces
Total Spaces Required		= 302 spaces

Parking Provided		
Proposed Level B3		= 70 spaces
Proposed Level B2		= 71 spaces
Proposed Level B1		= 50 spaces
Proposed Level P1		= 4 spaces
Proposed Level P2		= 37 spaces
Proposed Level P3		= 33 spaces
Proposed Level P4		= 45 spaces
Total Spaces Provided		= 310 spaces

Bicycle Parking Required		
Code minimum required per LAMC:		
Office Use	= Long Term 1/5,000 SF	
	= Short Term 1/10,000 SF	
Restaurant + Retail Use	= Long Term 1/2,000 SF	
	= Short Term 1/2,000 SF	

<i>Long Term</i>		
Office Use	136,200 SF (1/5,000 SF)	= 28 spaces
Restaurant + Retail Use	14,400 SF (1/2,000 SF)	= 8 spaces
	Total Long Term Spaces	= 36 spaces

<i>Short Term</i>		
Office Use	136,200 SF (1/10,000 SF)	= 14 spaces
Restaurant + Retail Use	14,400 SF (1/2,000 SF)	= 8 spaces
	Total Short Term Spaces	= 22 spaces

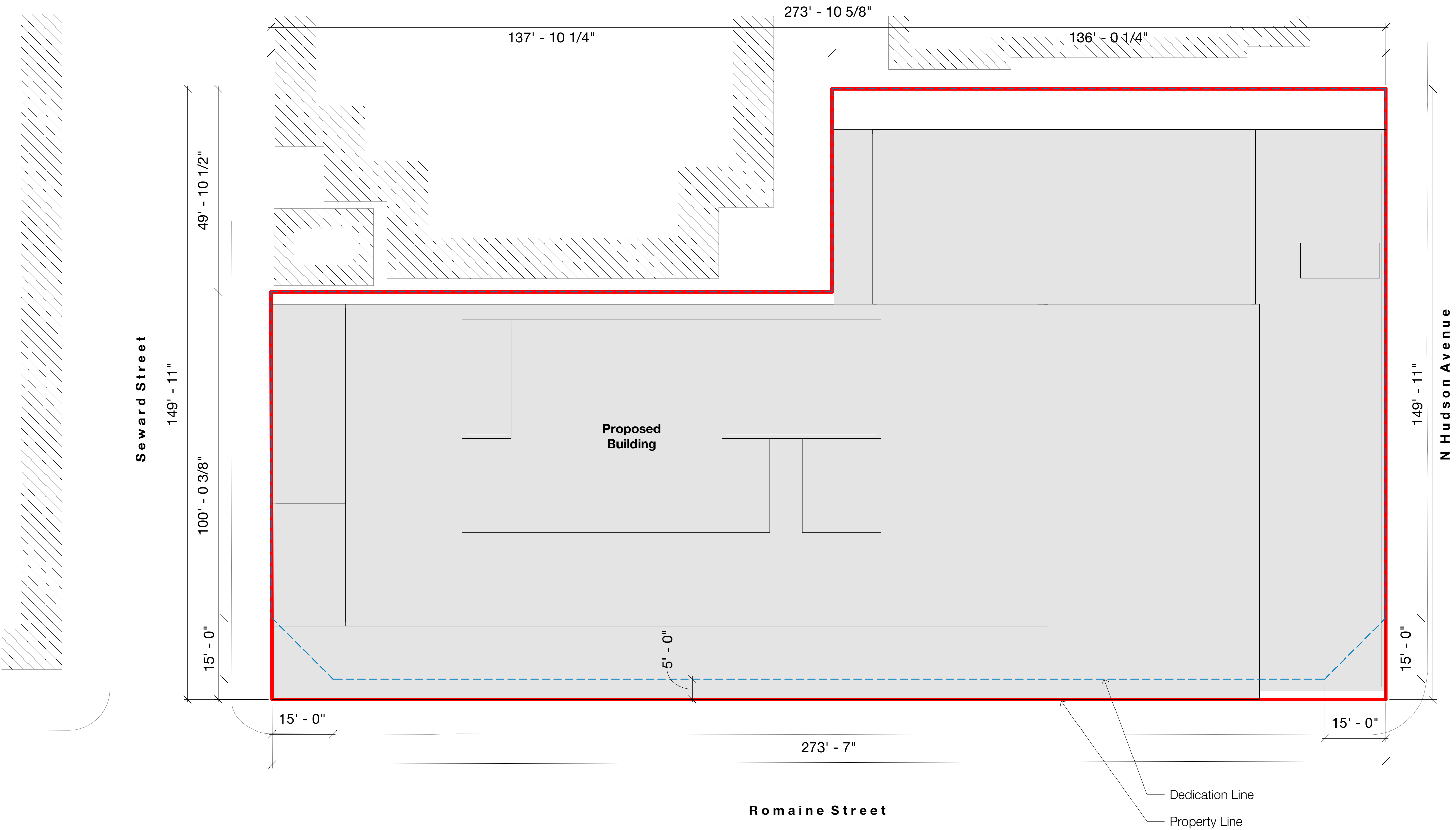
Total Spaces Required = **58 spaces**

Bicycle Parking Provided		
Long Term	= 36 spaces	
Short Term	= 22 spaces	

Total Spaces Provided = **58 spaces**

Landscape		
As per LAMC SEC. 12.40:		
Planting Area	= 4,200 SF	= 12% of site
Hardscaping Area	= 31,400 SF	= 92% of site

Open Space Calculation		
Open Space Required	None	
Open Space Provided	35,600 SF	



1 Plot Plan
1/16" = 1'-0"

Key

- Property Line
- Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

N

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Entitlements Progress		01/22/20
Entitlements Progress		02/07/20
Entitlements Package		02/14/20
Entitlements Package		02/19/20

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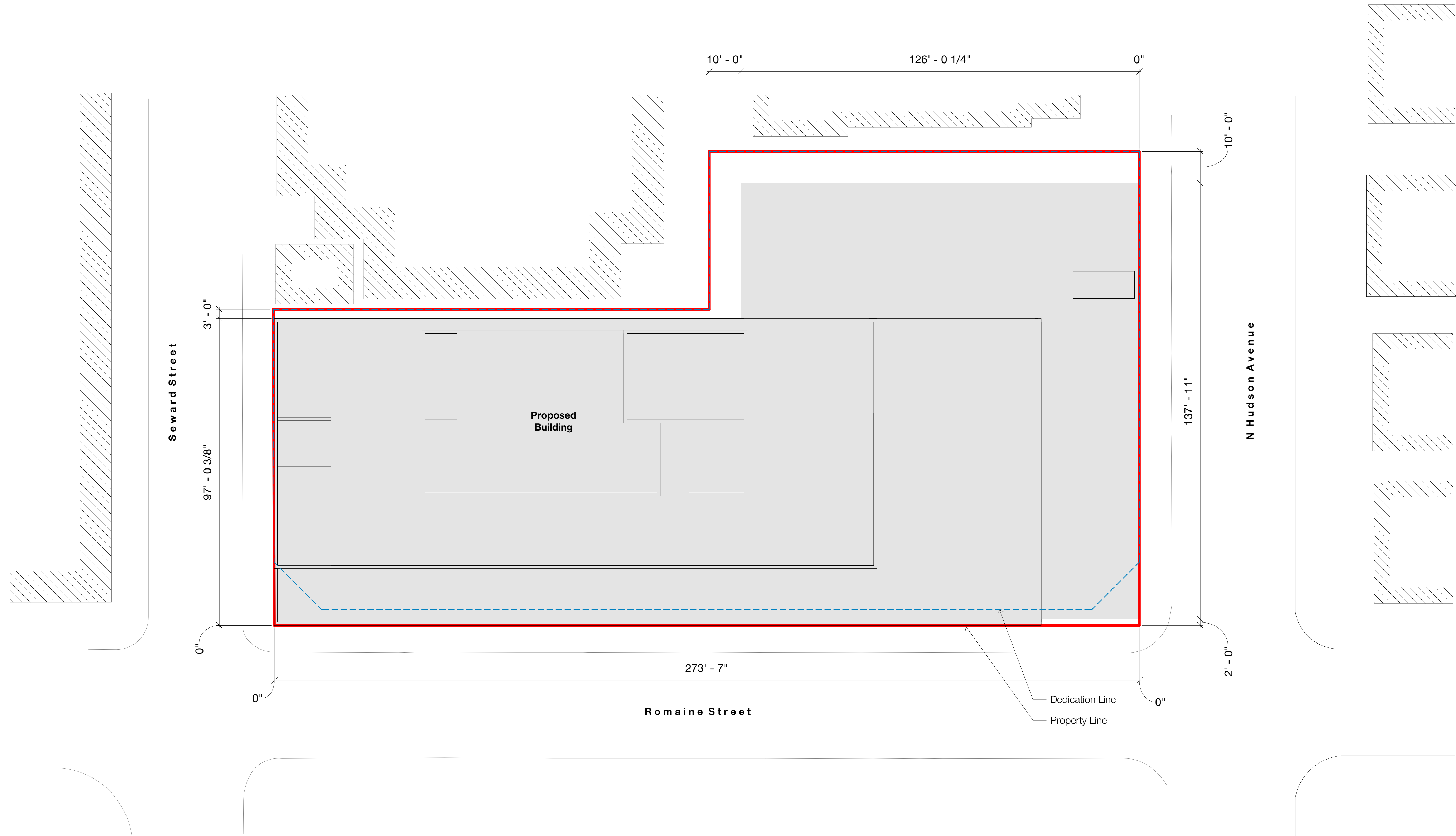
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Sheet No. G100



1 Site Plan
1/16" = 1'-0"

Key

— Property Line
- - - Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

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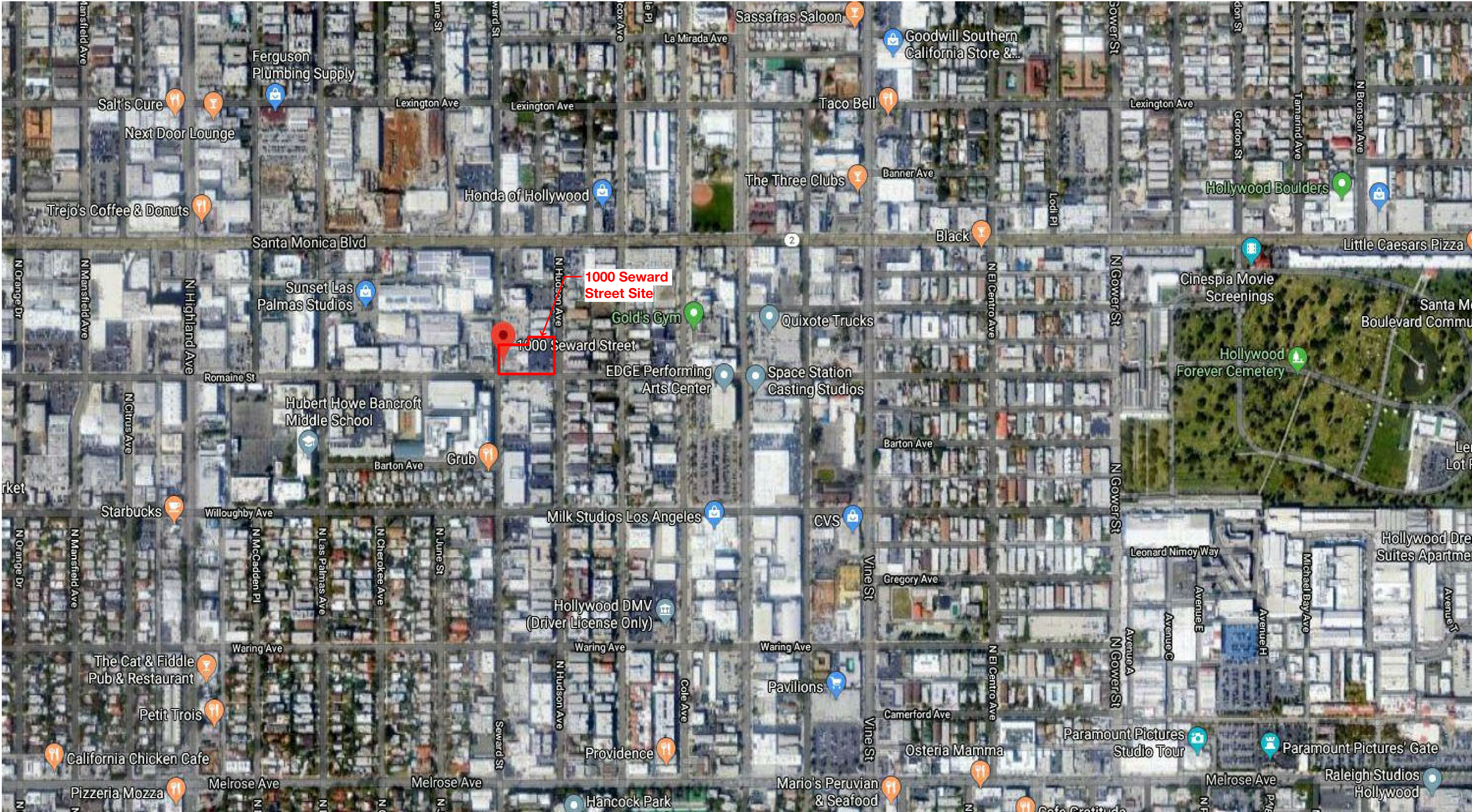
Drawing
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Vicinity Map



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Existing Site Aerial

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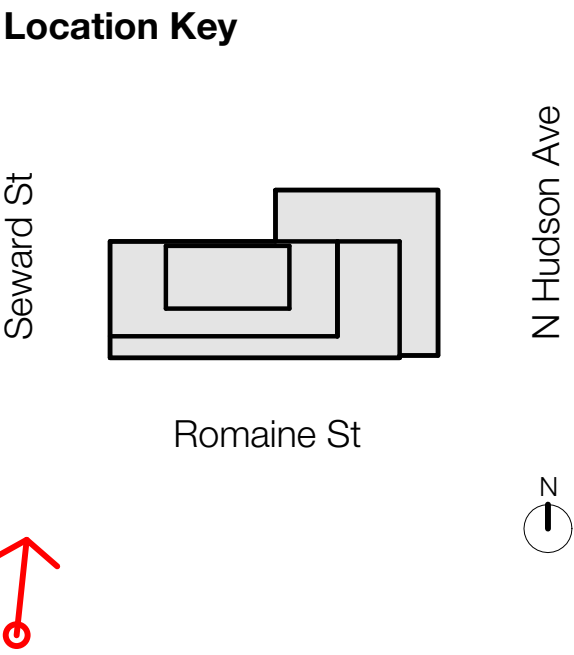
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Existing Site View 1 - Northbound view along Seward Street



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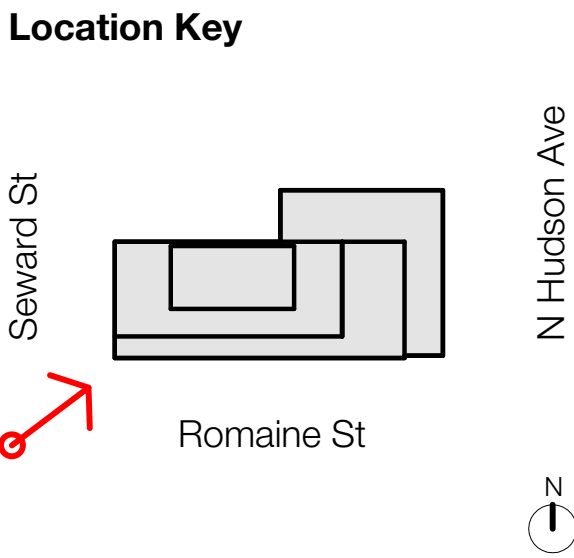
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Existing Site View 2 - Northeast view along Seward Street & Romaine Street



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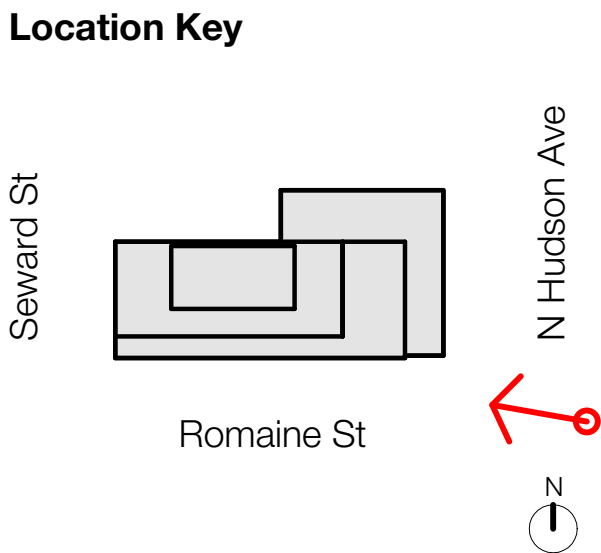
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Existing Site View 3 - Westbound view along Romaine Street



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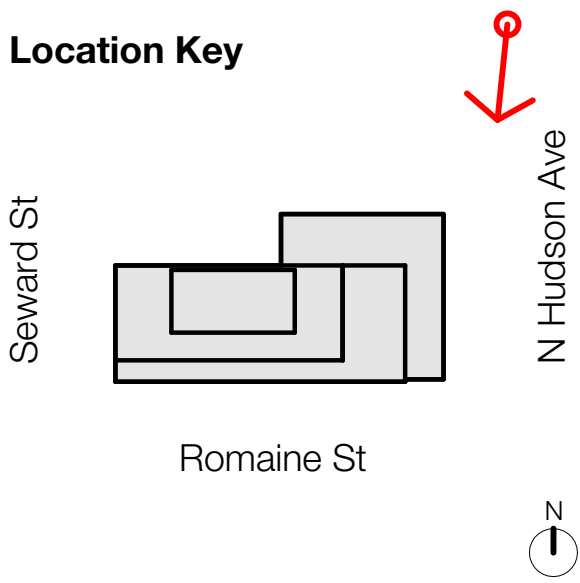
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Existing Site View 4 - Southbound view along N Hudson Avenue



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Existing Site View 5 - Southwest view along Romaine St



Existing Site View 6 - Northeast view along Romaine St



Existing Site View 7 - Southbound view along Romaine St

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Existing Site View 8 - Northwest view along Santa Monica Blvd



Existing Site View 9 - Southeast view along Seward St



Existing Site View 10 - Southwest view along Seward St

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Drawing
Existing Site Photos 6

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Existing Site View 11 - Southeast along Cole Ave



Existing Site View 12 - Southeast view along Cole Ave



Existing Site View 13 - Northeast view along Cole Ave

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Drawing
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Existing Site View 14 - Southeast view at Cole Ave along Willoughby Ave



Existing Site View 15 - Northwest view at Wilcox Ave along Willoughby Ave



Existing Site View 16 - Northeast view at Wilcox Ave along Willoughby Ave



Existing Site View 17 - Southeast view along Seward St across Willoughby Ave

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Existing Site View 18 - Northwest view along Barton Ave



Existing Site View 19 - Northeast view along Barton Ave



Existing Site View 20 - Northwest view along Barton Ave

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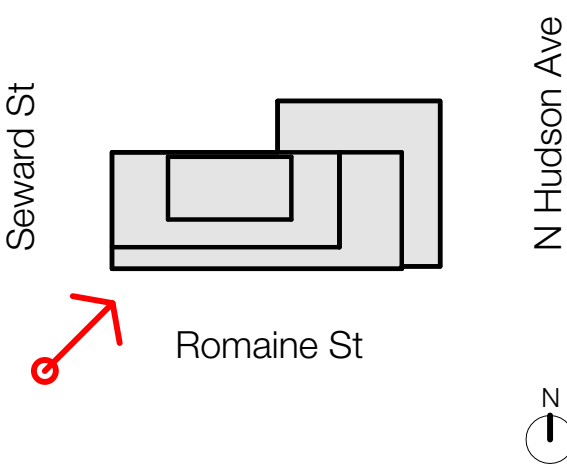
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Northbound view along Seward Street

Location Key



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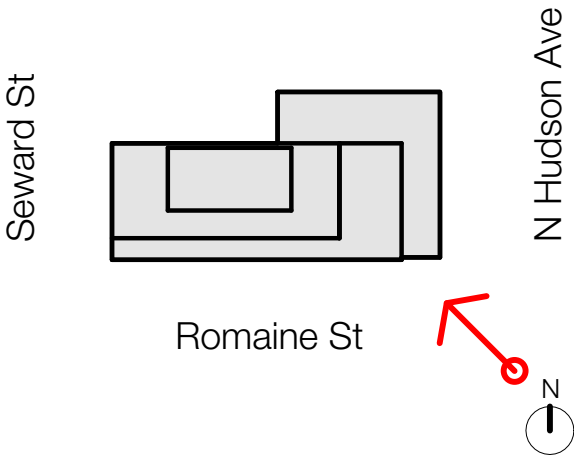
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Northbound view along N Hudson Street

Location Key



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Drawing
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Southbound view along N Hudson Street

Location Key

Seward St

N Hudson Ave

Romaine St

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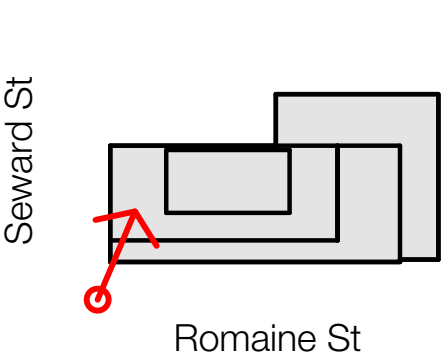
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Northbound view of the public plaza on the corner of Seward and Romaine Street

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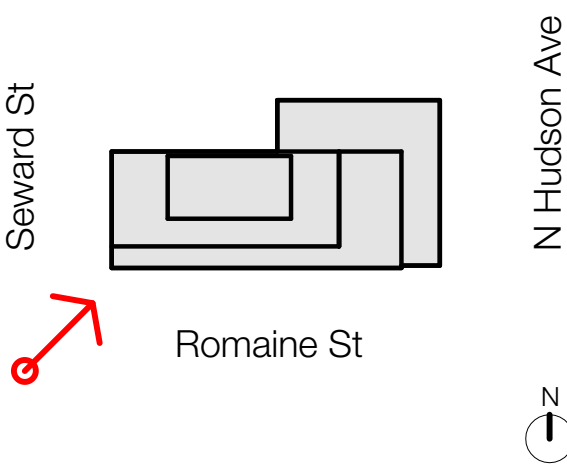
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Northbound view along Seward Street at dusk

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Entitlements Package		02/14/20

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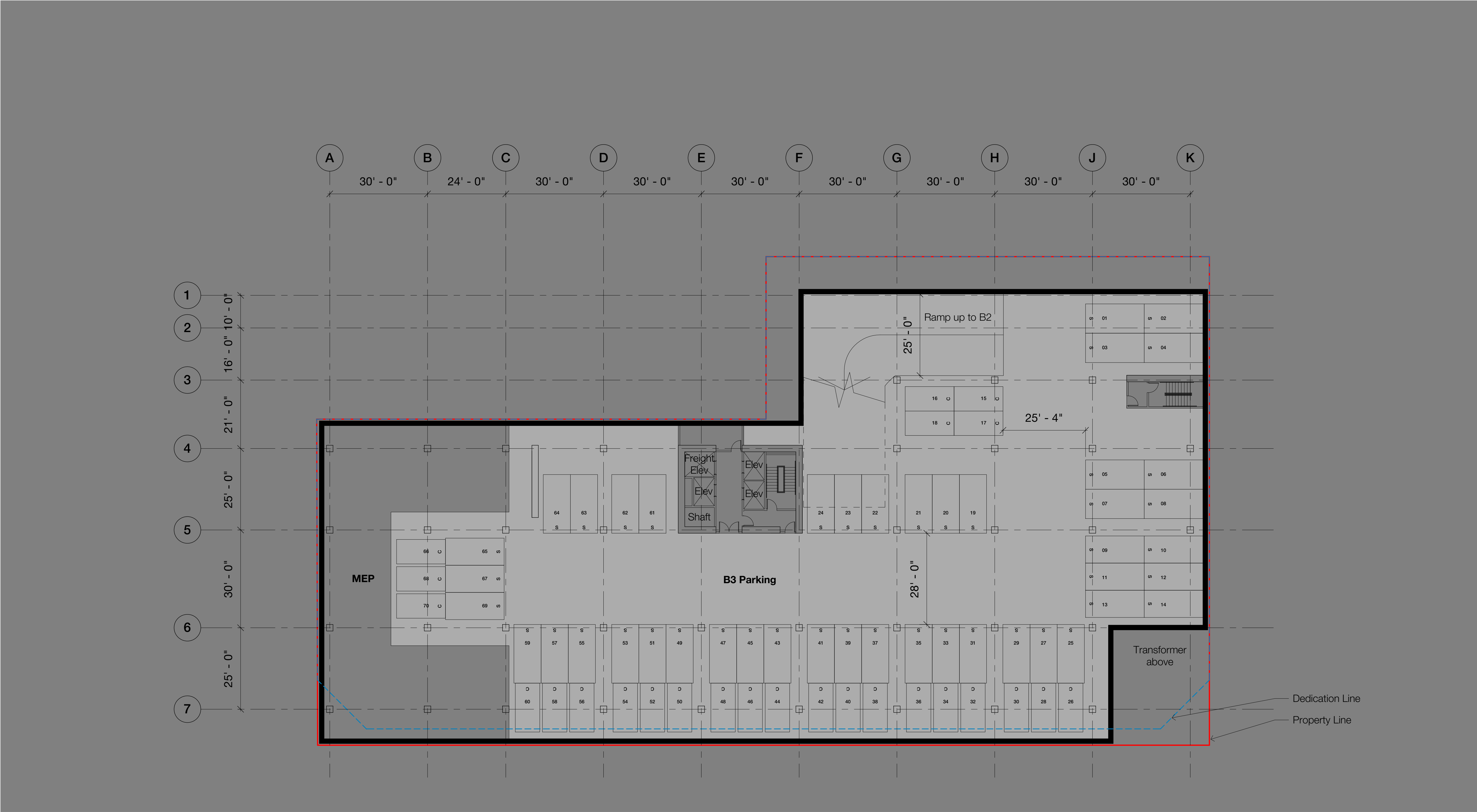
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Drawing
Proposed Render 5

Scale @ Arch D As indicated	Date 02/14/20
Drawn By RF	Checked By MO
Job Number 190176	
Sheet No. A005	



1 B3 Floor Plan
1/16" = 1'-0"

Key

— Property Line
--- Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

N

Parking schedule	
Standard spaces	45
Compact spaces	25
Accessible spaces	0
Van spaces	0
Total spaces	70

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	0 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	0 SF

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20

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Drawing
B3 Floor Plan

Scale @ Arch D As indicated	Date 01/15/2020
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Sheet No. A1B3	

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20

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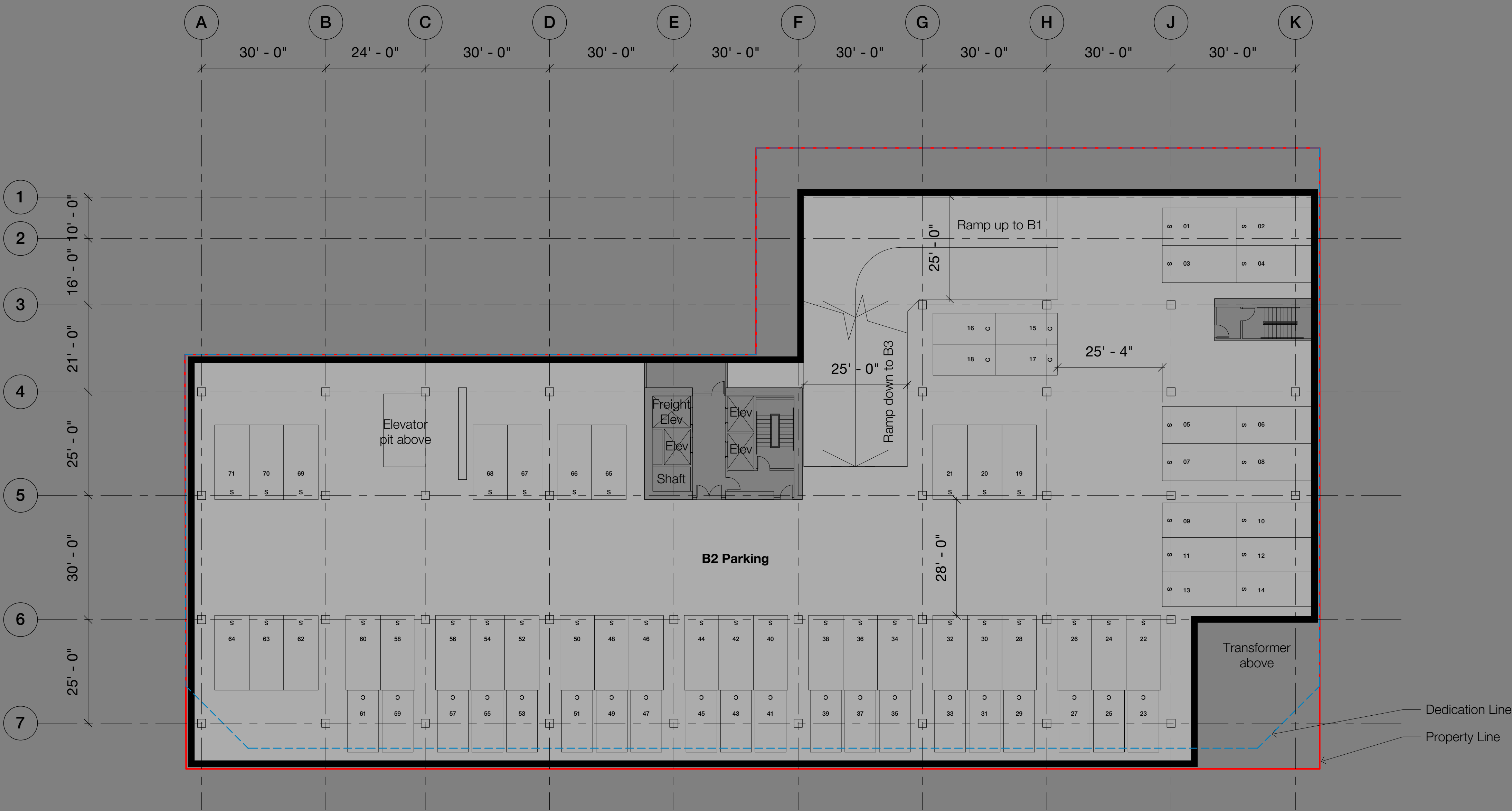
Drawing
B2 Floor Plan

Scale @ Arch D
As indicated
Date
01/15/2020

Drawn By
RF
Checked By
MO

Job Number
190176

Sheet No.
A1B2



1 B2 Floor Plan
1/16" = 1'-0"

Key
— Property Line
--- Dedication Line

0 15' 30' 45'
Scale: 1/16" = 1'-0"

Parking schedule	
Standard spaces	47
Compact spaces	24
Accessible spaces	0
Van spaces	0
Total spaces	71

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	0 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	0 SF

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20

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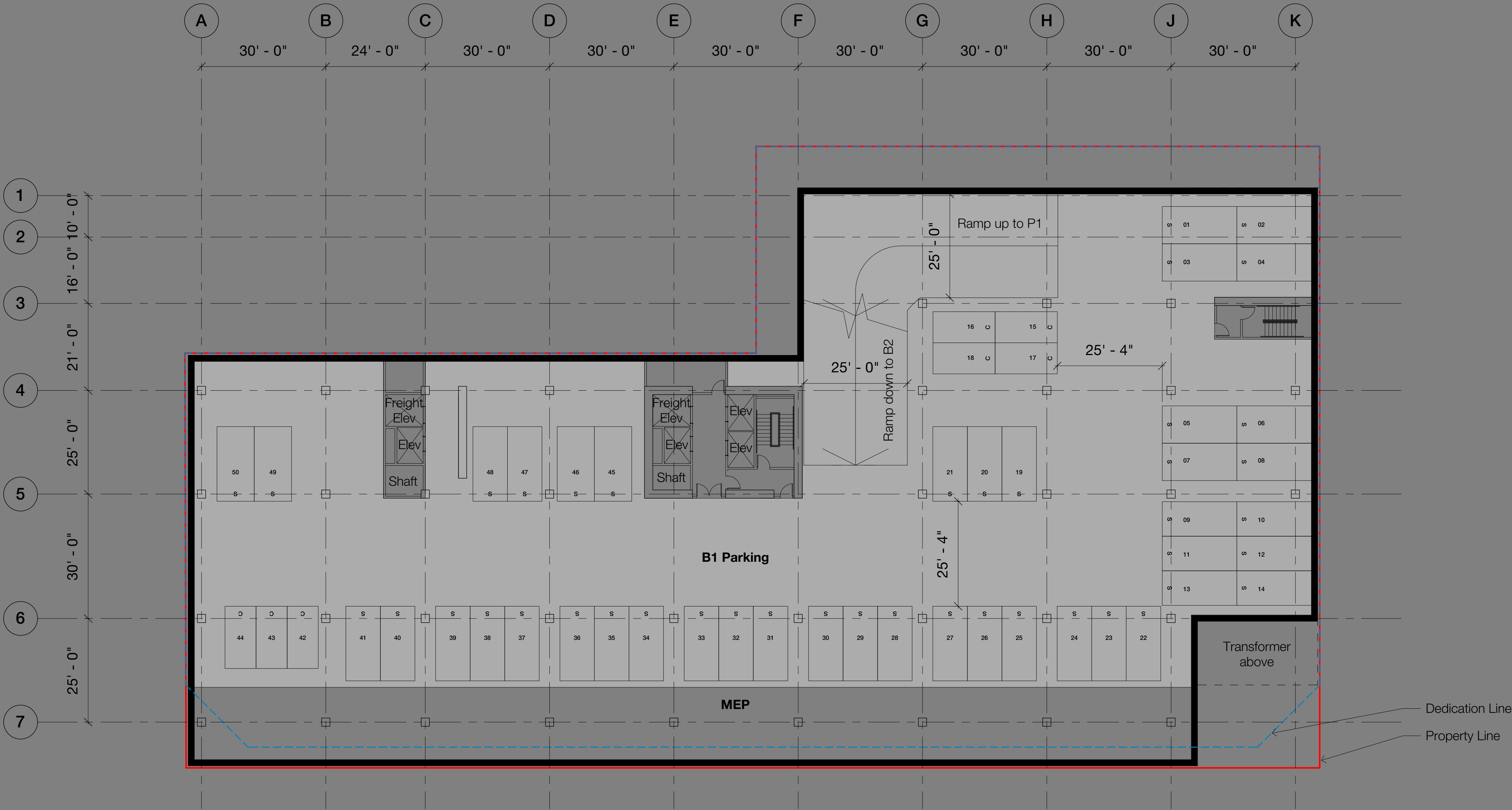
Drawing
B1 Floor Plan

Scale @ Arch D Date
As indicated 01/15/2020

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RF MO

Job Number
190176

Sheet No.
A1B1



1 B1 Floor Plan
1/16" = 1'-0"

Key

— Property Line
--- Dedication Line

N

0 15' 30' 45'

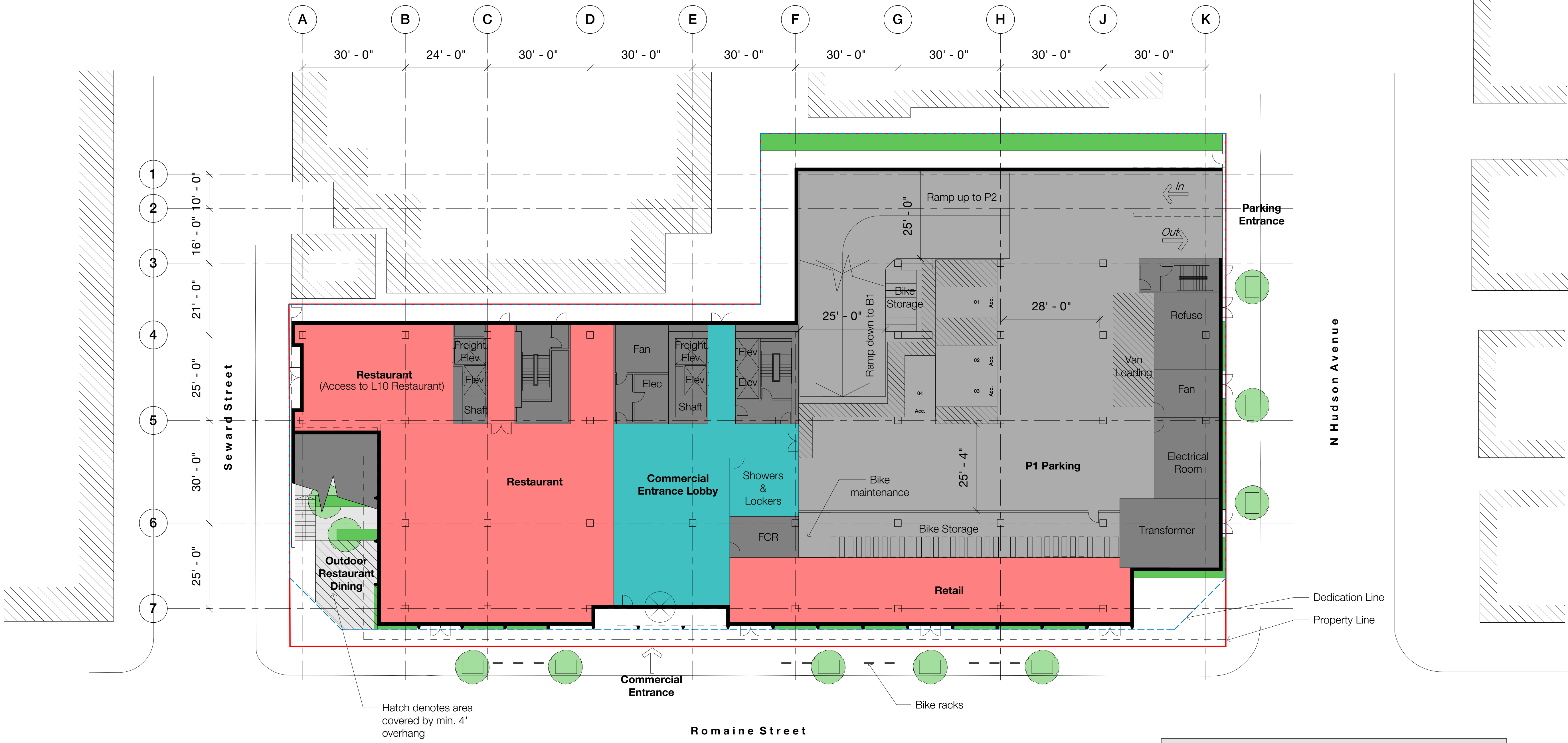
Scale: 1/16" = 1'-0"

Parking schedule	
Standard spaces	43
Compact spaces	7
Accessible spaces	0
Van spaces	0
Total spaces	50

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	0 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	0 SF

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 1st Floor Plan
1/16" = 1'-0"

Key

— Property Line
- - - Dedication Line

N

0 15' 30' 45'

Scale: 1/16" = 1'-0"

Parking schedule	
Standard spaces	0
Compact spaces	0
Accessible spaces	2
Van spaces	2
Total spaces	4

FAR schedule	
Retail	2,200 SF
Restaurant/ Hospitality/ Entertainment	5,800 SF
Commercial	2,500 SF
External terraces (covered by min. 4' overhang)	400 SF
Total FAR	10,900 SF

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Drawing
1st Floor Plan

Scale @ Arch D
As indicated

Date
01/15/2020

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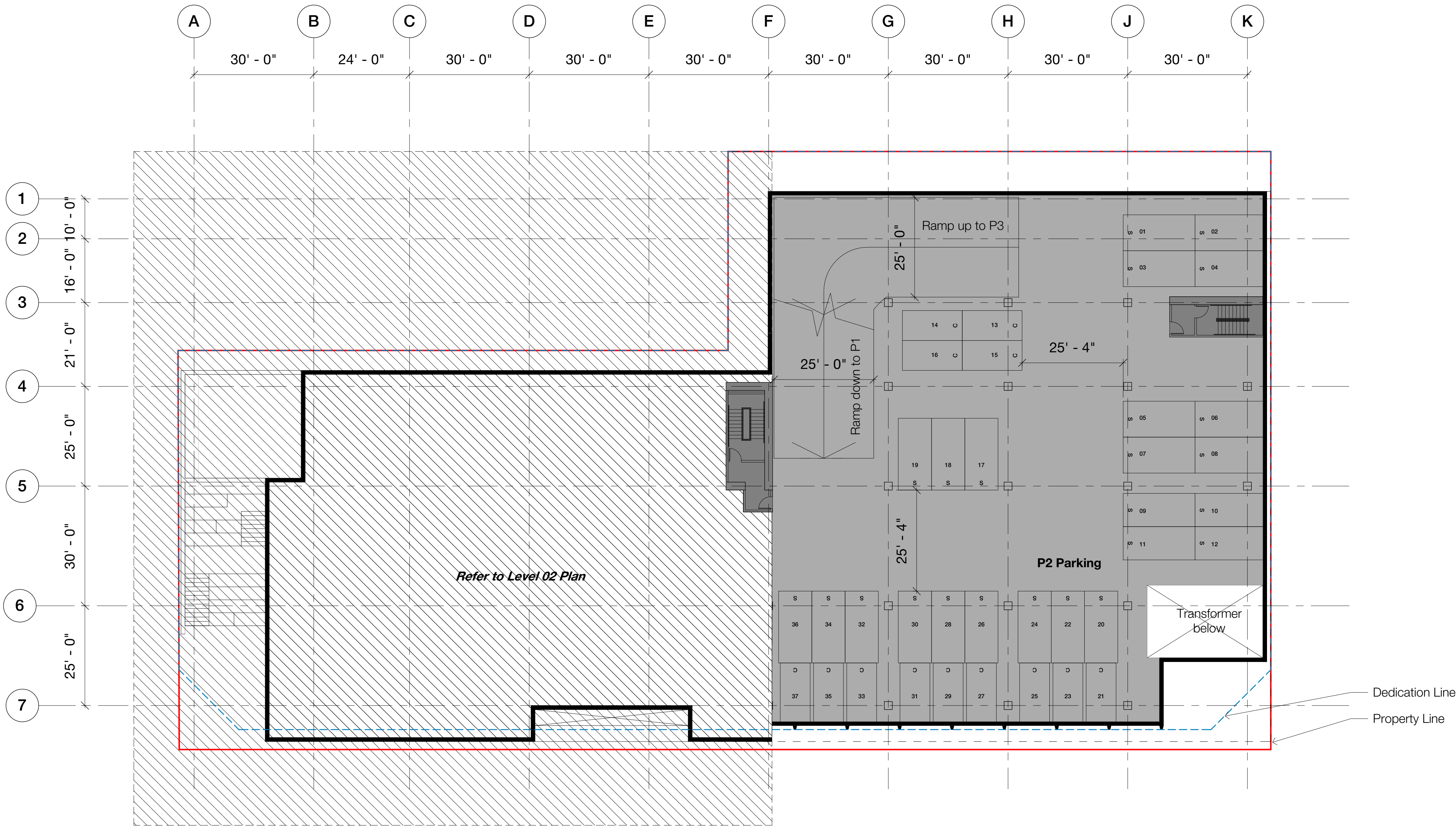
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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 P2 Floor Plan
1/16" = 1'-0"

Key
— Property Line
--- Dedication Line

0 15' 30' 45'
Scale: 1/16" = 1'-0"

Parking schedule	
Standard spaces	24
Compact spaces	13
Accessible spaces	0
Van spaces	0
Total spaces	37

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	0 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	0 SF

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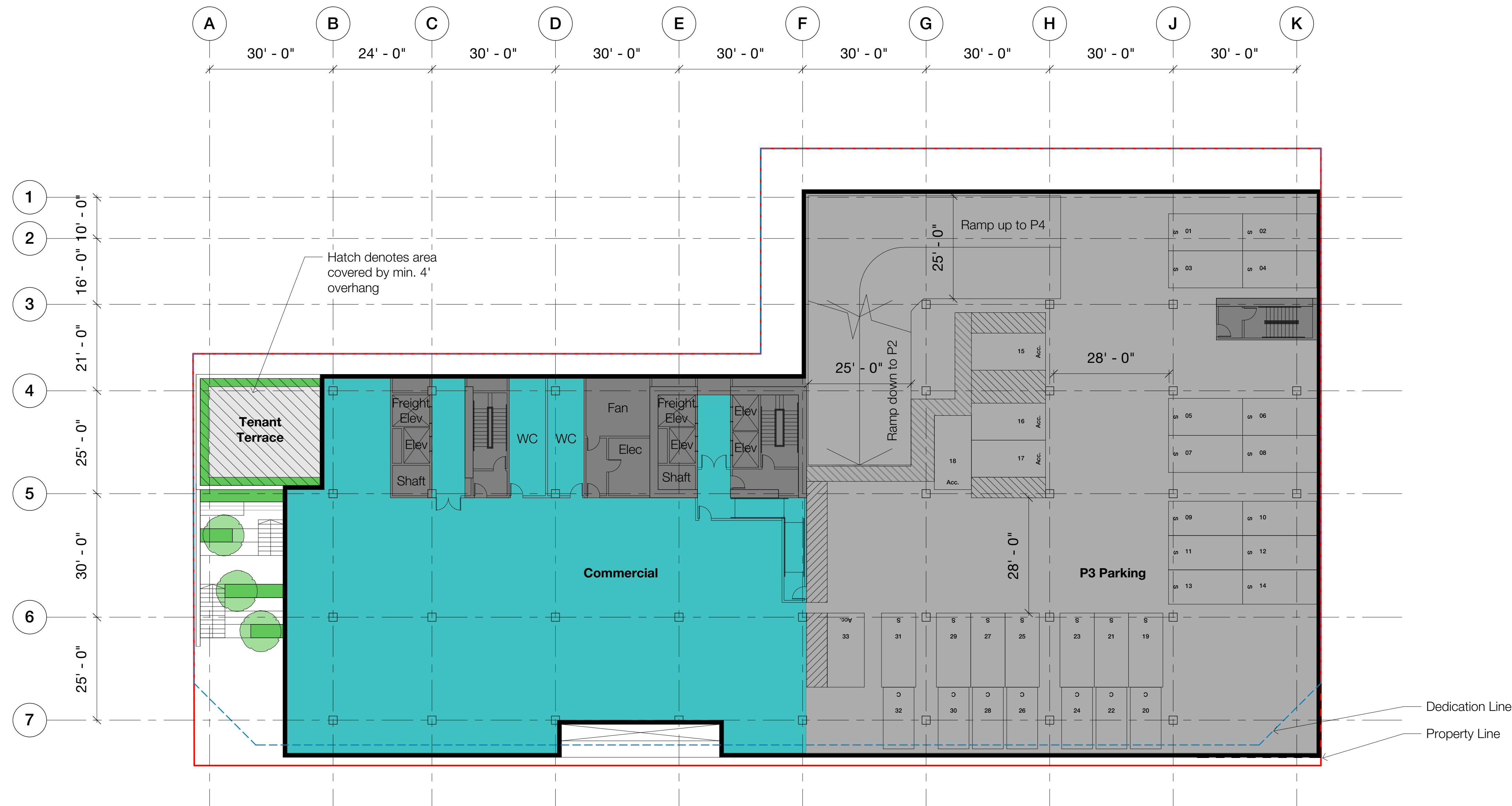
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P2 Floor Plan

Scale @ Arch D
As indicated
Date
01/15/2020

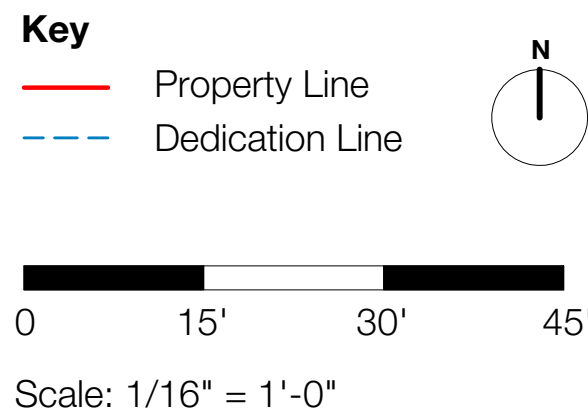
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190176

Sheet No.
A101P



1 2nd Floor Plan
1/16" = 1'-0"



Parking schedule	
Standard spaces	21
Compact spaces	7
Accessible spaces	4
Van spaces	1
Total spaces	33

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	8,900 SF
External terraces (covered by min. 4' overhang)	700 SF
Total FAR	9,600 SF

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20

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Drawing
2nd Floor Plan

Scale @ Arch D
As indicated
Date
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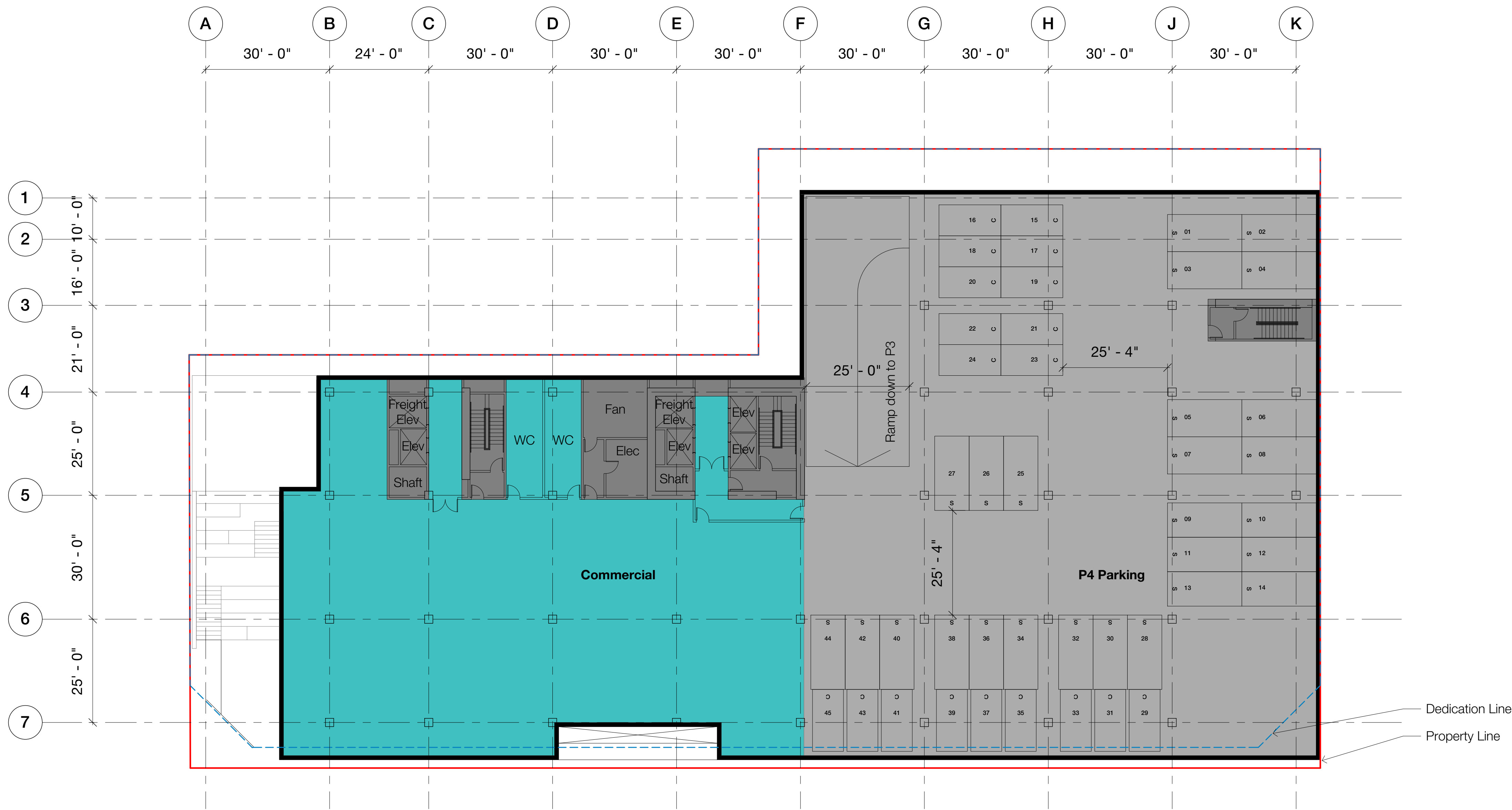
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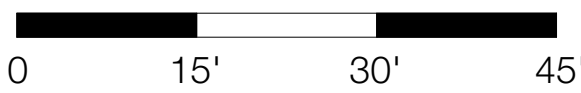
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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20

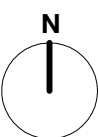


1 3rd Floor Plan
1/16" = 1'-0"

Key
— Property Line
- - - Dedication Line



Scale: 1/16" = 1'-0"



Parking schedule	
Standard spaces	26
Compact spaces	19
Accessible spaces	0
Van spaces	0
Total spaces	45

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	8,900 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	8,900 SF

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Drawing
3rd Floor Plan

Scale @ Arch D
As indicated
Date
01/15/2020

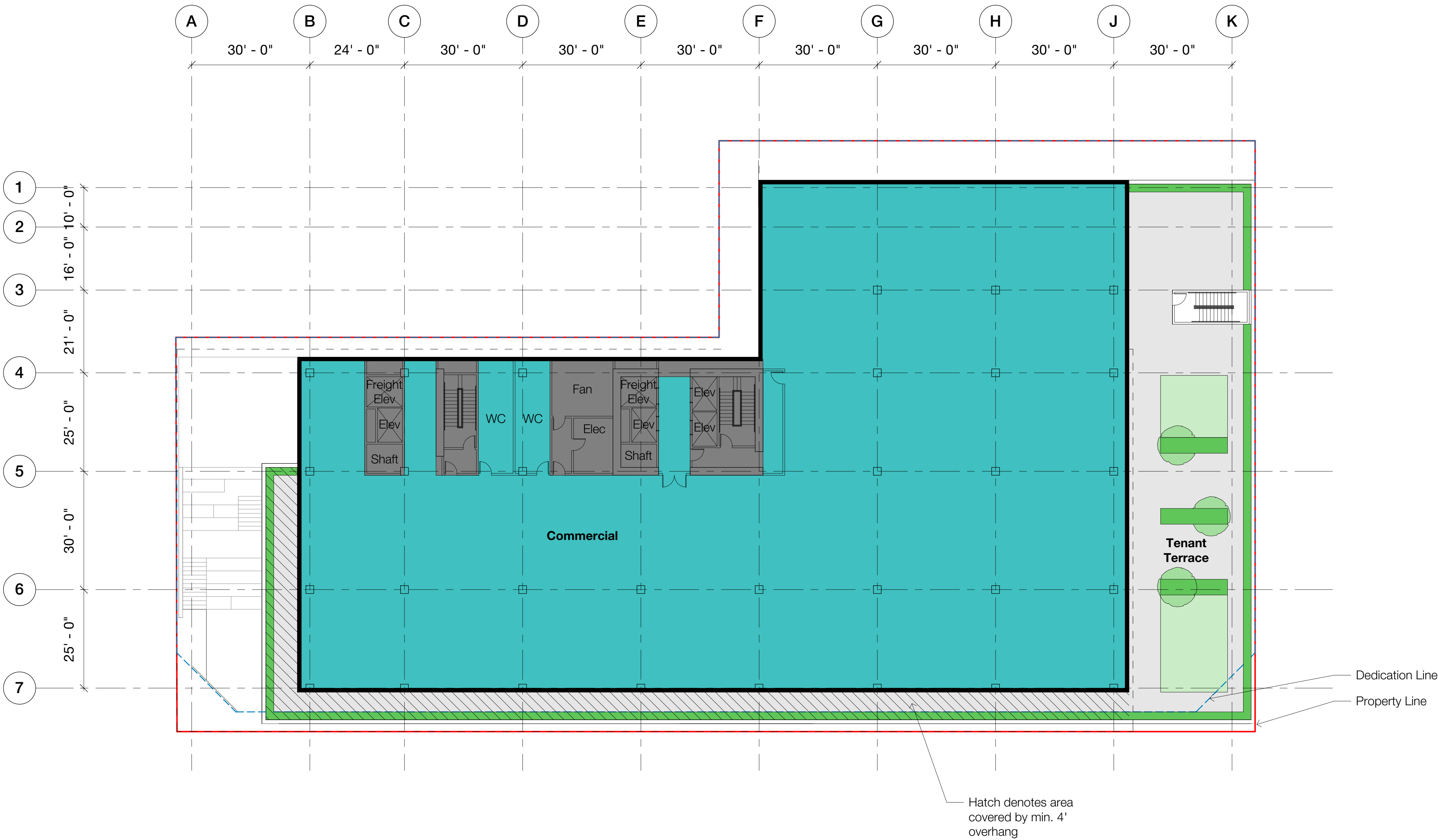
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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 4th Floor Plan
1/16" = 1'-0"

Key

— Property Line
- - - Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

N

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	19,500 SF
External terraces (covered by min. 4' overhang)	1,900 SF
Total FAR	21,400 SF

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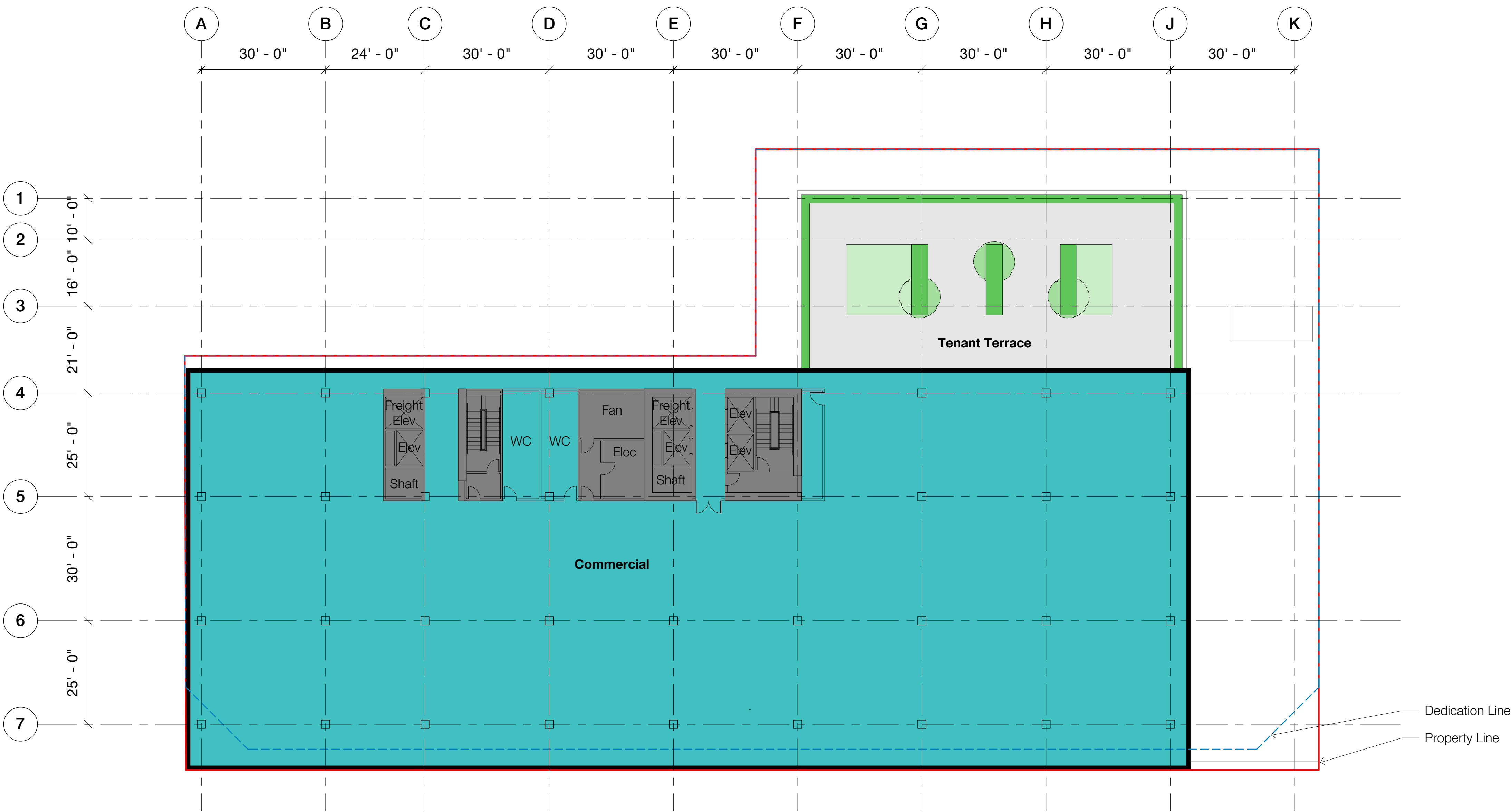
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Drawing
4th Floor Plan

Scale @ Arch D As indicated	Date 01/15/2020
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Sheet No. A104	



1 5th Floor Plan
1/16" = 1'-0"

Key

— Property Line
- - - Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

N

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	21,000 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	21,000 SF

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20

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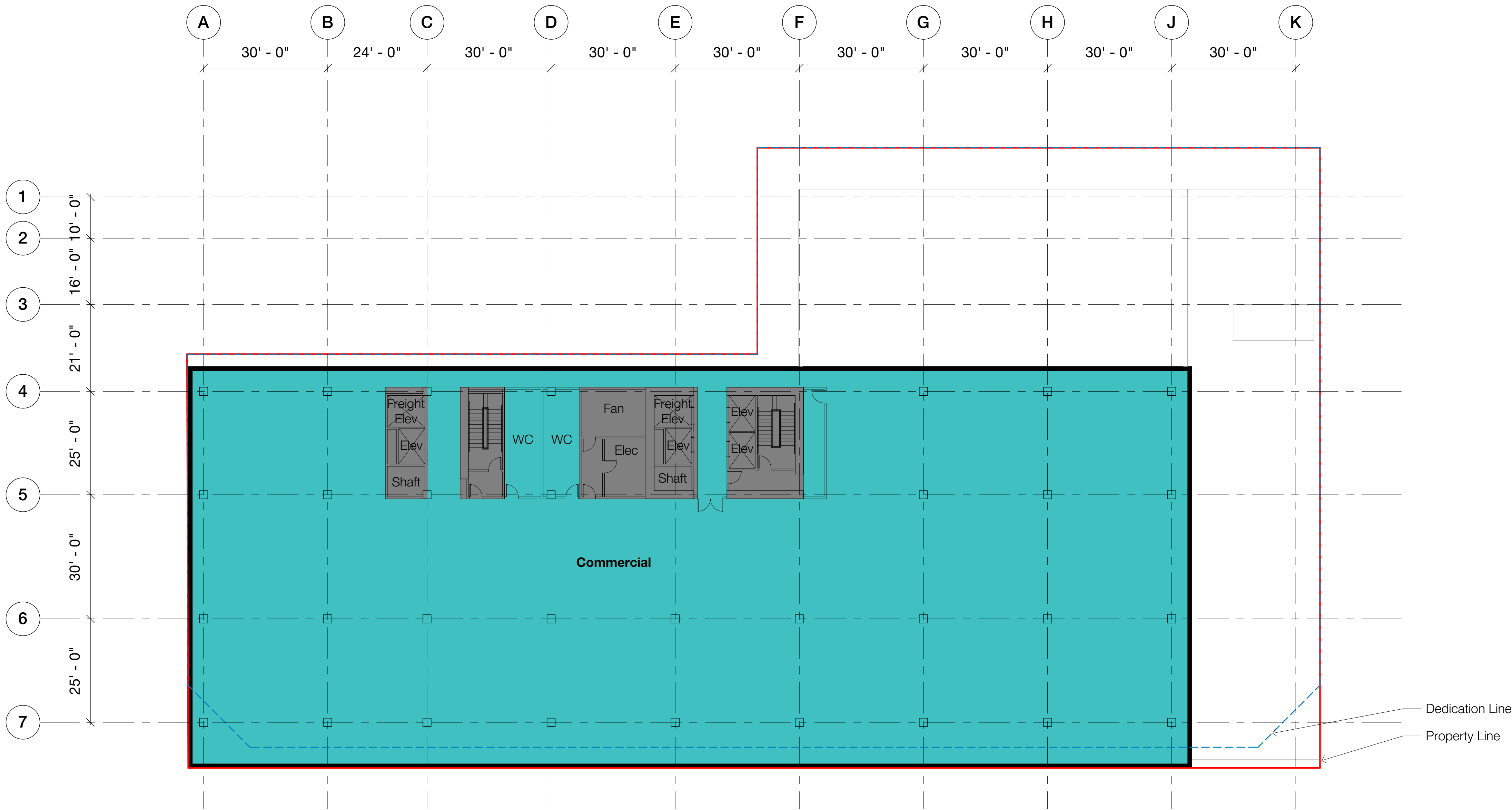
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Drawing
5th Floor Plan

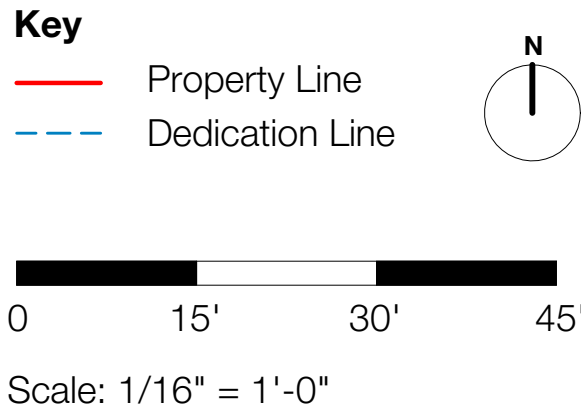
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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 6th Floor Plan
1/16" = 1'-0"



FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	21,000 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	21,000 SF

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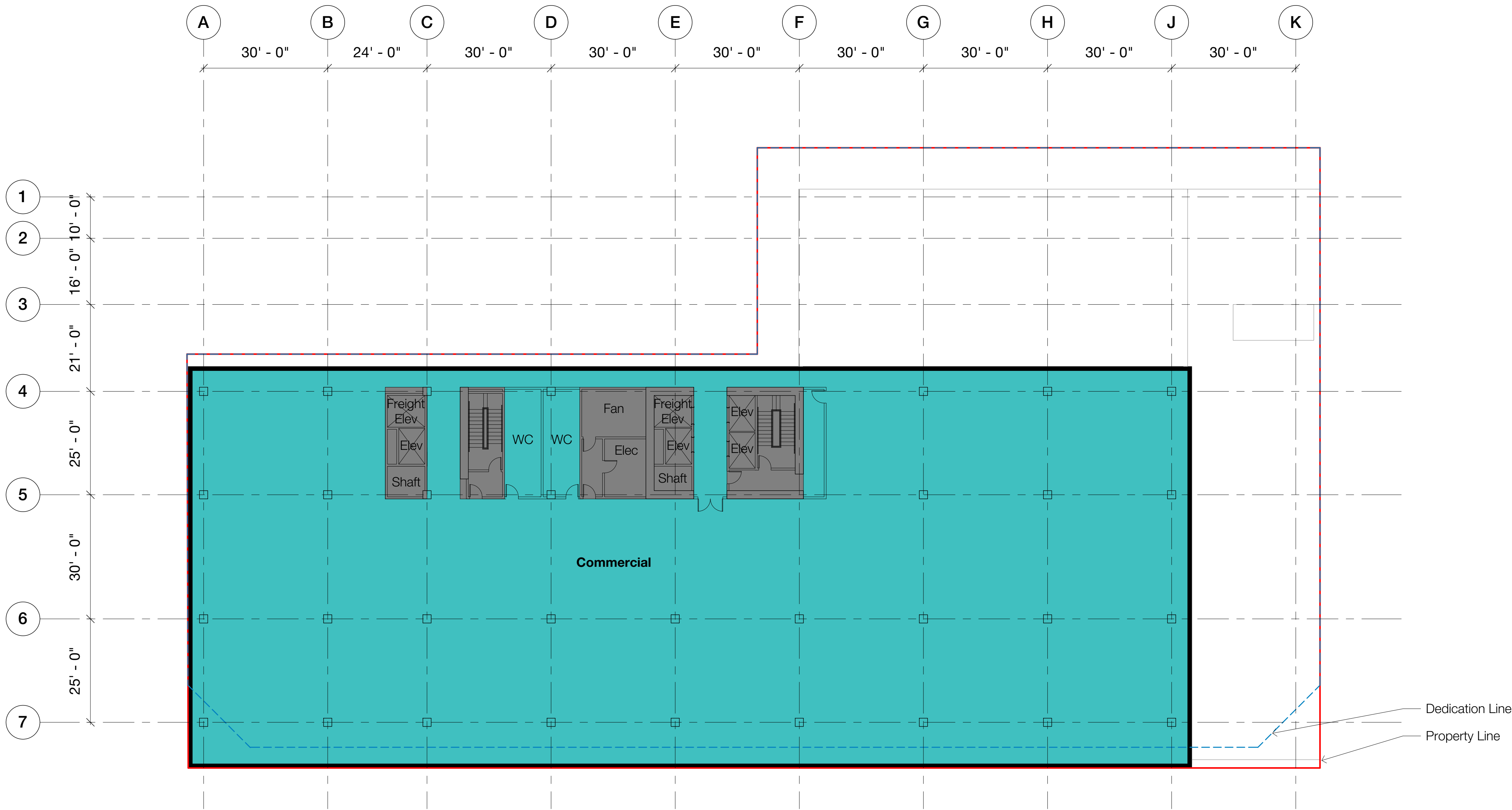
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Drawing
6th Floor Plan

Scale @ Arch D As indicated	Date 01/15/2020
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Job Number 190176	
Sheet No. A106	

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 7th Floor Plan
1/16" = 1'-0"

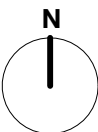
Key

Property Line

Dedication Line



Scale: 1/16" = 1'-0"



FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	21,000 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	21,000 SF

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Drawing

7th Floor Plan

Scale @ Arch D

As indicated

Date

01/15/2020

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Job Number

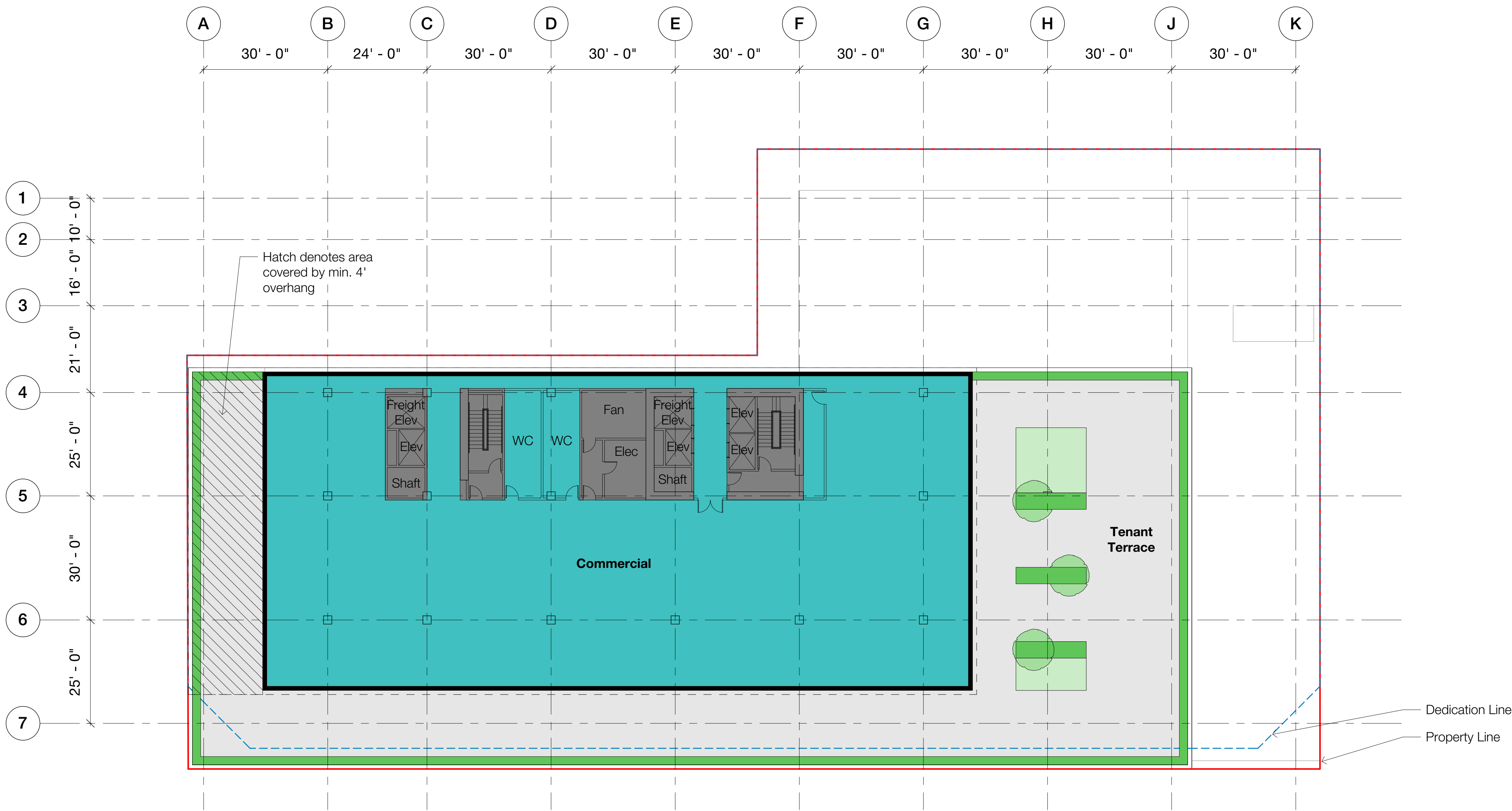
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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 8th Floor Plan
1/16" = 1'-0"

Key

— Property Line
- - - Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

N

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	10,900 SF
External terraces (covered by min. 4' overhang)	1,300 SF
Total FAR	12,200 SF

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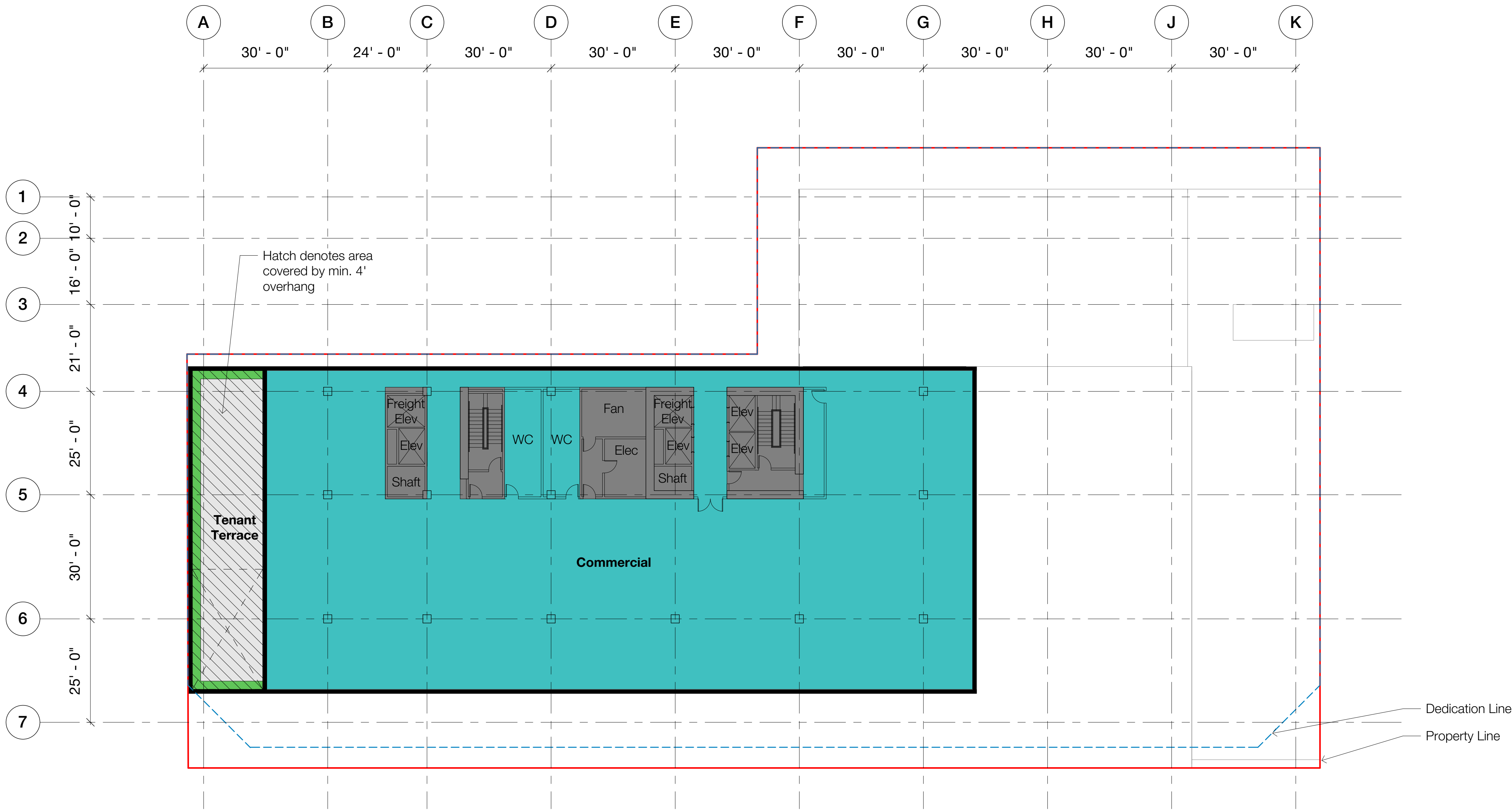
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Drawing
8th Floor Plan

Scale @ Arch D As indicated	Date 01/15/2020
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Job Number 190176	
Sheet No. A108	

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 9th Floor Plan
1/16" = 1'-0"

Key

— Property Line

- - - Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

N

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	11,300 SF
External terraces (covered by min. 4' overhang)	1,300 SF
Total FAR	12,600 SF

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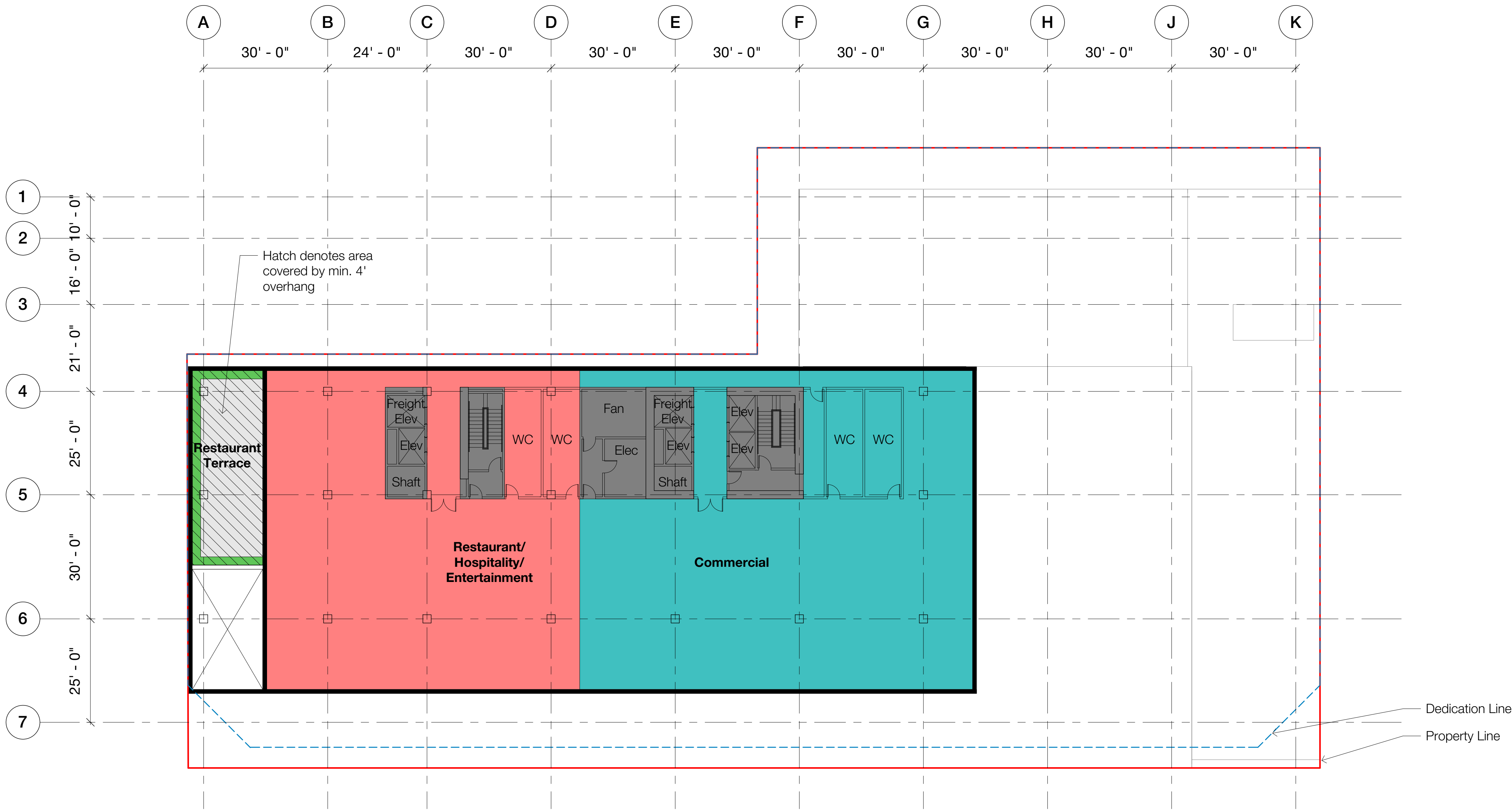
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Drawing
9th Floor Plan

Scale @ Arch D As indicated	Date 01/15/2020
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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 10th Floor Plan
1/16" = 1'-0"

Key

— Property Line
- - - Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

N

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	5,200 SF
Commercial	6,000 SF
External terraces (covered by min. 4' overhang)	800 SF
Total FAR	12,000 SF

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Hawkins\Brown

Project
1000 Seward Street
1000 – 1006 N Seward Street
Los Angeles
CA 90038

Drawing
10th Floor Plan

Scale @ Arch D As indicated	Date 01/15/2020
Drawn By RF	Checked By MO
Job Number 190176	
Sheet No. A110	

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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20



1 Roof Plan
1/16" = 1'-0"

Key

— Property Line
- - - Dedication Line

0 15' 30' 45'

Scale: 1/16" = 1'-0"

N

FAR schedule	
Retail	0 SF
Restaurant/ Hospitality/ Entertainment	0 SF
Commercial	0 SF
External terraces (covered by min. 4' overhang)	0 SF
Total FAR	0 SF

Architect of Record

GRUENASSOCIATES
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Lead Designer

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1000 Seward Street
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Drawing
Roof Plan

Scale @ Arch D As indicated	Date 01/15/2020
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Job Number 190176	
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No.	Description	Date
	Entitlements Package	02/14/20

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1000 Seward
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Drawing
EAST ELEVATION

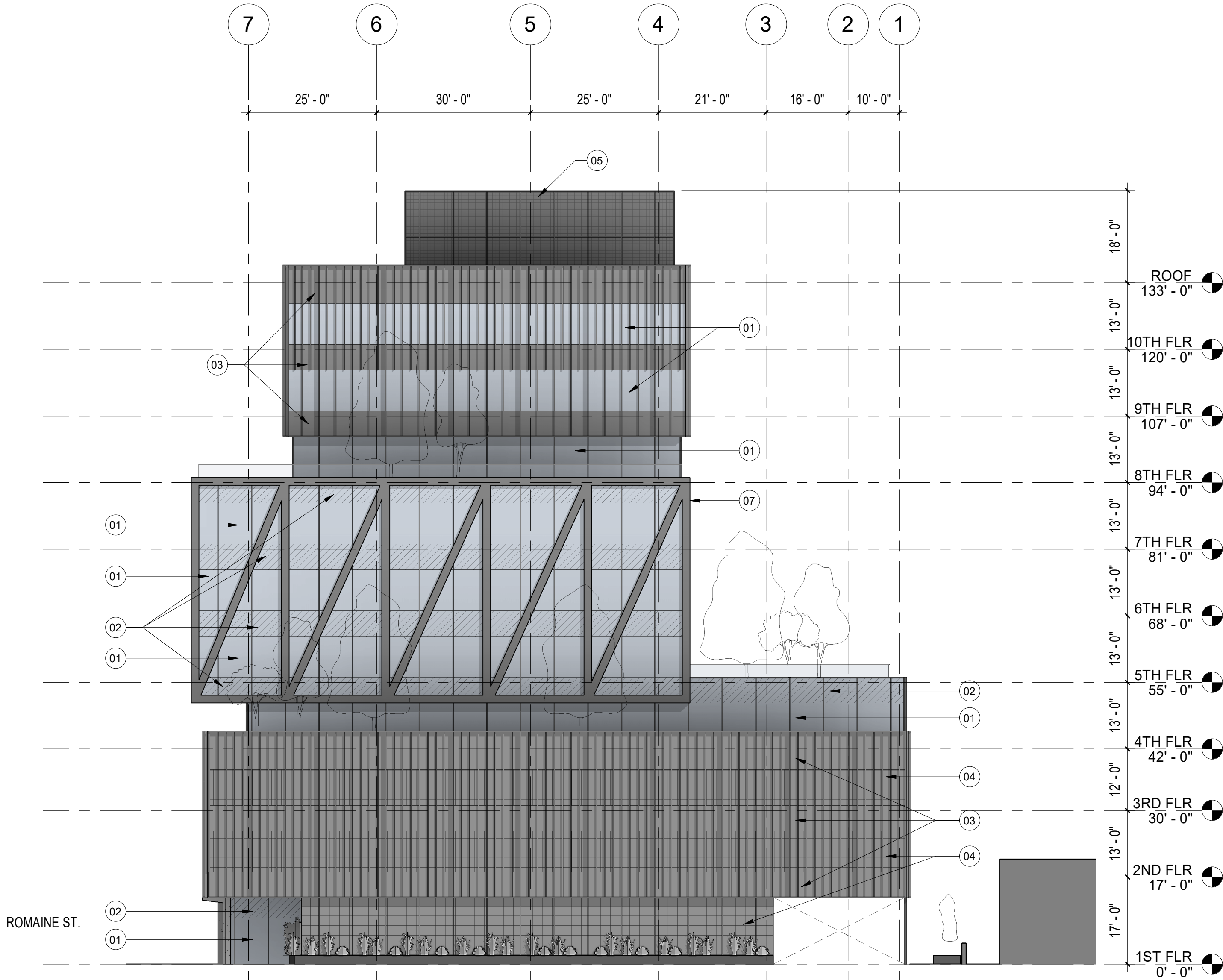
Scale @ Arch D As indicated	Date 02/14/20
Drawn By MM	Checked By LS

Job Number
190176

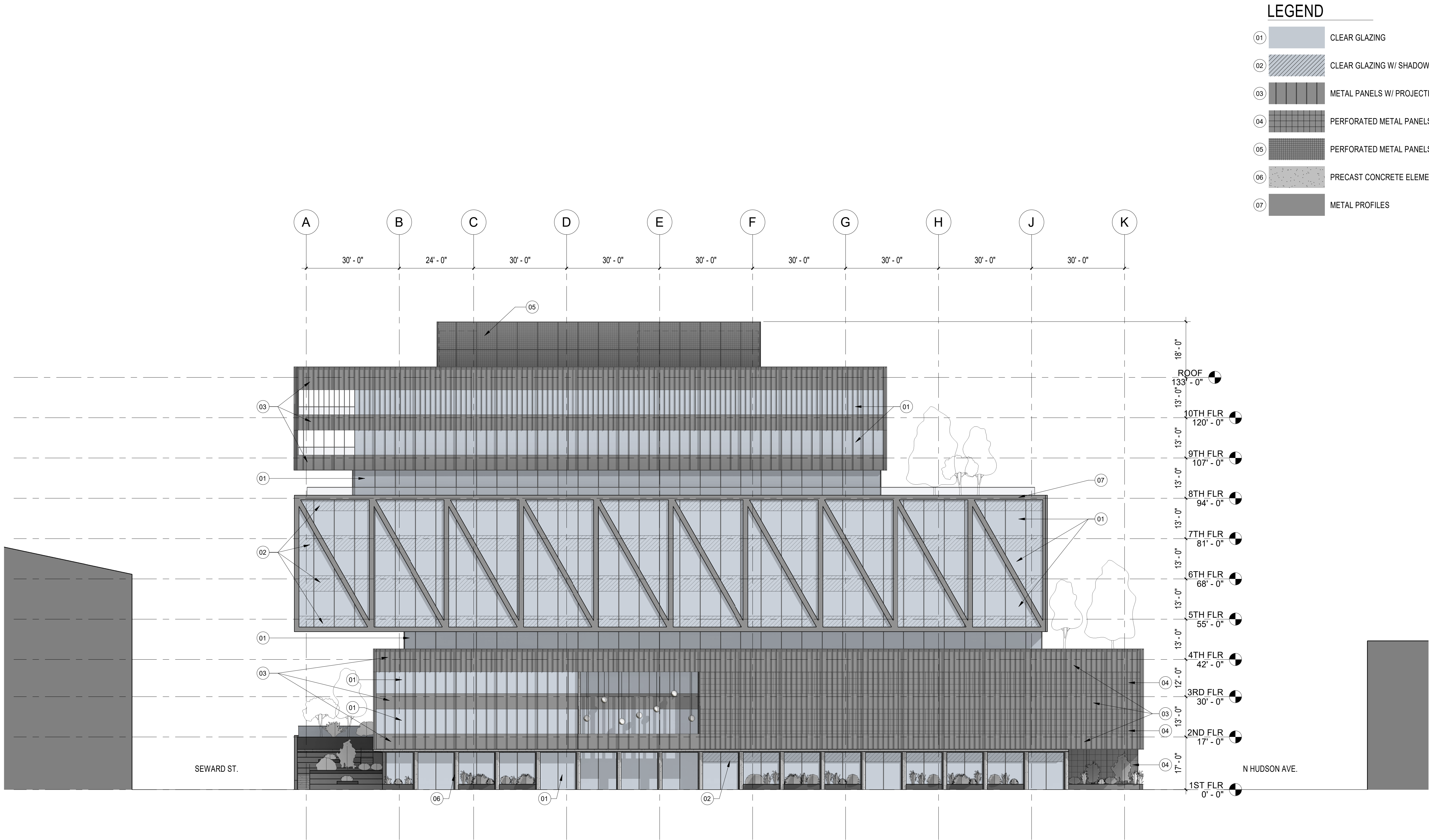
Sheet No.
A301

LEGEND

- 01 CLEAR GLAZING
- 02 CLEAR GLAZING W/ SHADOW BOX
- 03 METAL PANELS W/ PROJECTING FINS
- 04 PERFORATED METAL PANELS W/ BACKING
- 05 PERFORATED METAL PANELS
- 06 PRECAST CONCRETE ELEMENTS
- 07 METAL PROFILES



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

- LEGEND
- 01 CLEAR GLAZING
 - 02 CLEAR GLAZING W/ SHADOW BOX
 - 03 METAL PANELS W/ PROJECTING FINS
 - 04 PERFORATED METAL PANELS W/ BACKING
 - 05 PERFORATED METAL PANELS
 - 06 PRECAST CONCRETE ELEMENTS
 - 07 METAL PROFILES

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No.	Description	Date
Entitlements Progress		02/07/20
Entitlements Package		02/14/20

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Drawing
SOUTH ELEVATION

Scale @ Arch D As indicated	Date 02/07/20
Drawn By MM	Checked By LS
Job Number 190176	
Sheet No. A302	

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No.	Description	Date
Entitlements Progress		02/07/20
Entitlements Package		02/14/20

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Drawing
WEST ELEVATION

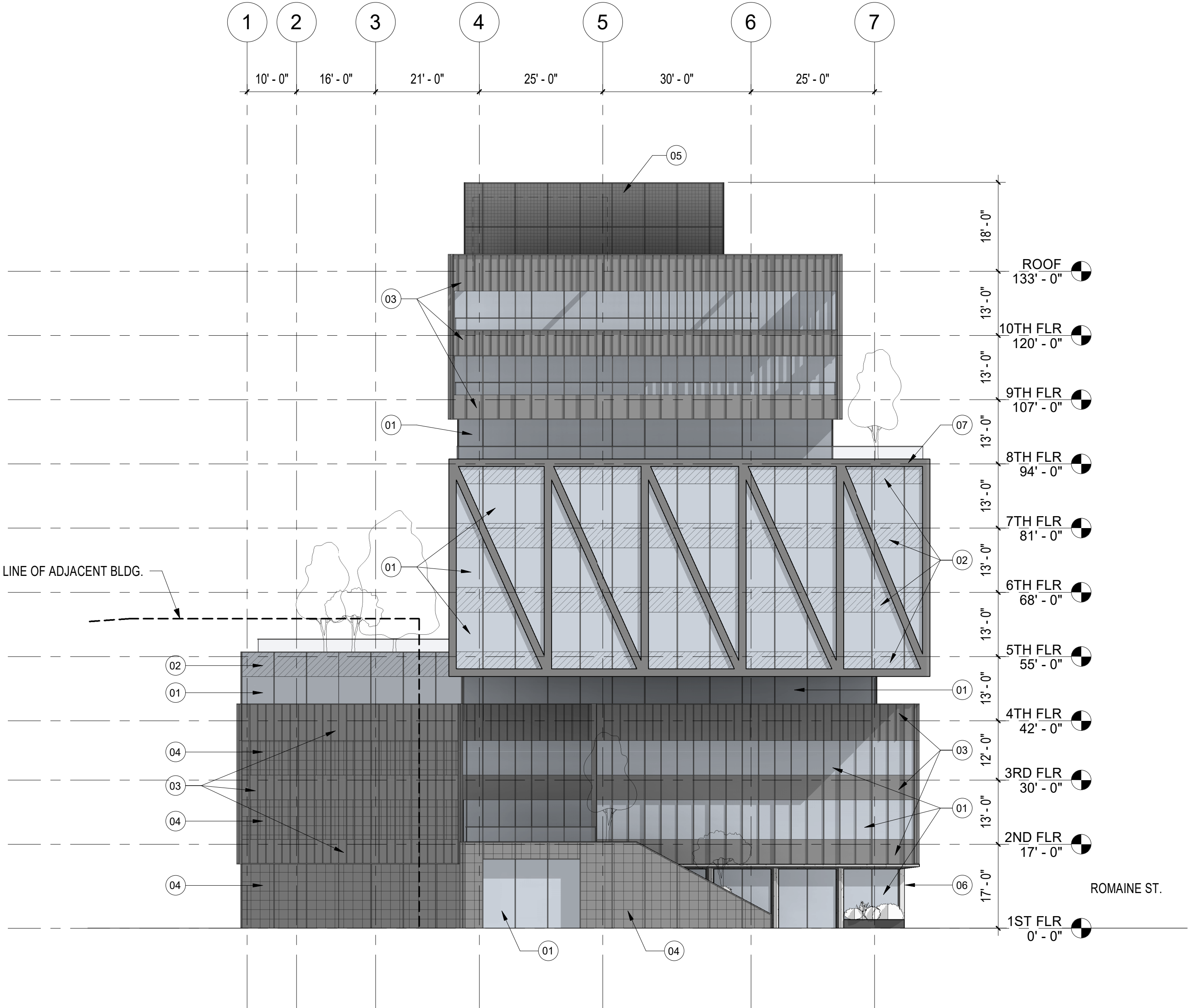
Scale @ Arch D As indicated	Date 02/07/20
Drawn By MM	Checked By LS

Job Number
190176

Sheet No.
A303

LEGEND

- 01 CLEAR GLAZING
- 02 CLEAR GLAZING W/ SHADOW BOX
- 03 METAL PANELS W/ PROJECTING FINS
- 04 PERFORATED METAL PANELS W/ BACKING
- 05 PERFORATED METAL PANELS
- 06 PRECAST CONCRETE ELEMENTS
- 07 METAL PROFILES



1 WEST ELEVATION
SCALE: 1/16" = 1'-0"

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No.	Description	Date
	Entitlements Package	02/14/20

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Drawing
NORTH ELEVATION

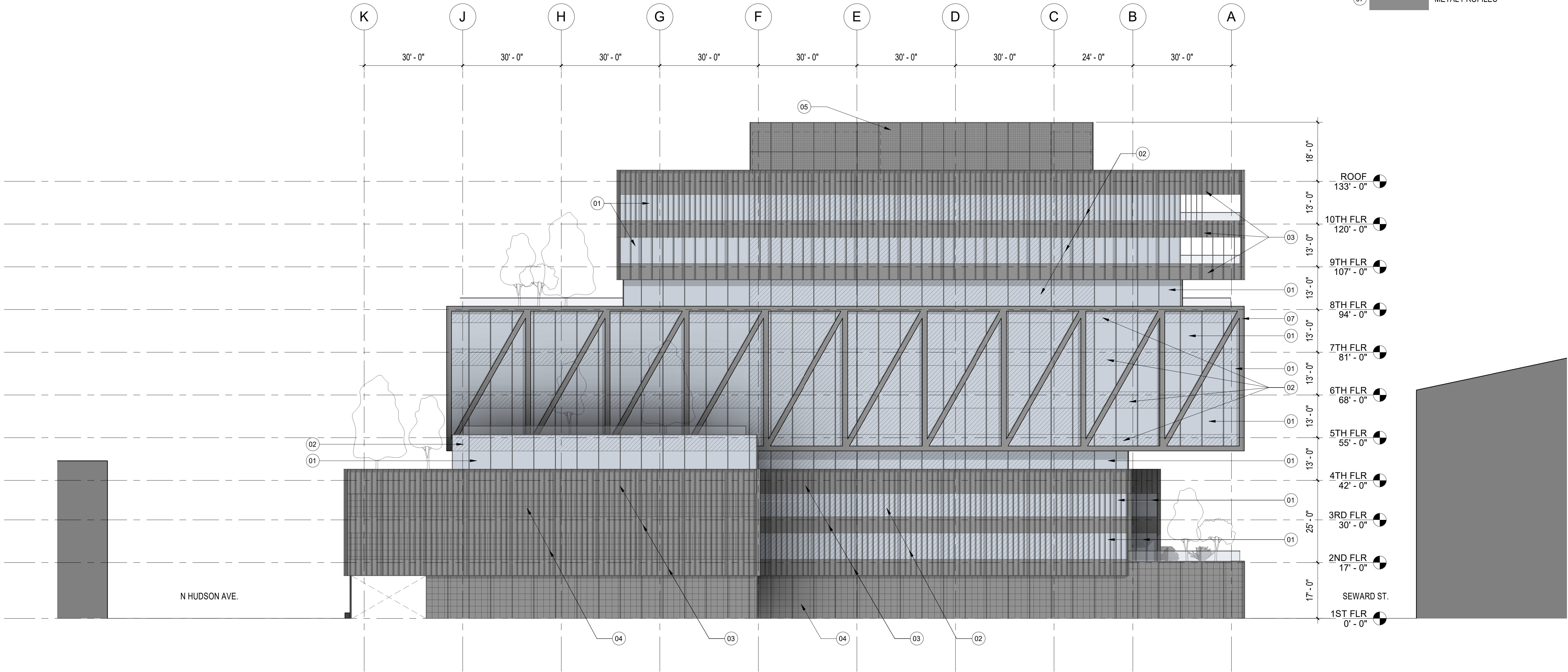
Scale @ Arch D As indicated	Date 02/14/20
Drawn By MM	Checked By LS

Job Number
190176

Sheet No.
A304

LEGEND

- 01 CLEAR GLAZING
- 02 CLEAR GLAZING W/ SHADOW BOX
- 03 METAL PANELS W/ PROJECTING FINS
- 04 PERFORATED METAL PANELS W/ BACKING
- 05 PERFORATED METAL PANELS
- 06 PRECAST CONCRETE ELEMENTS
- 07 METAL PROFILES



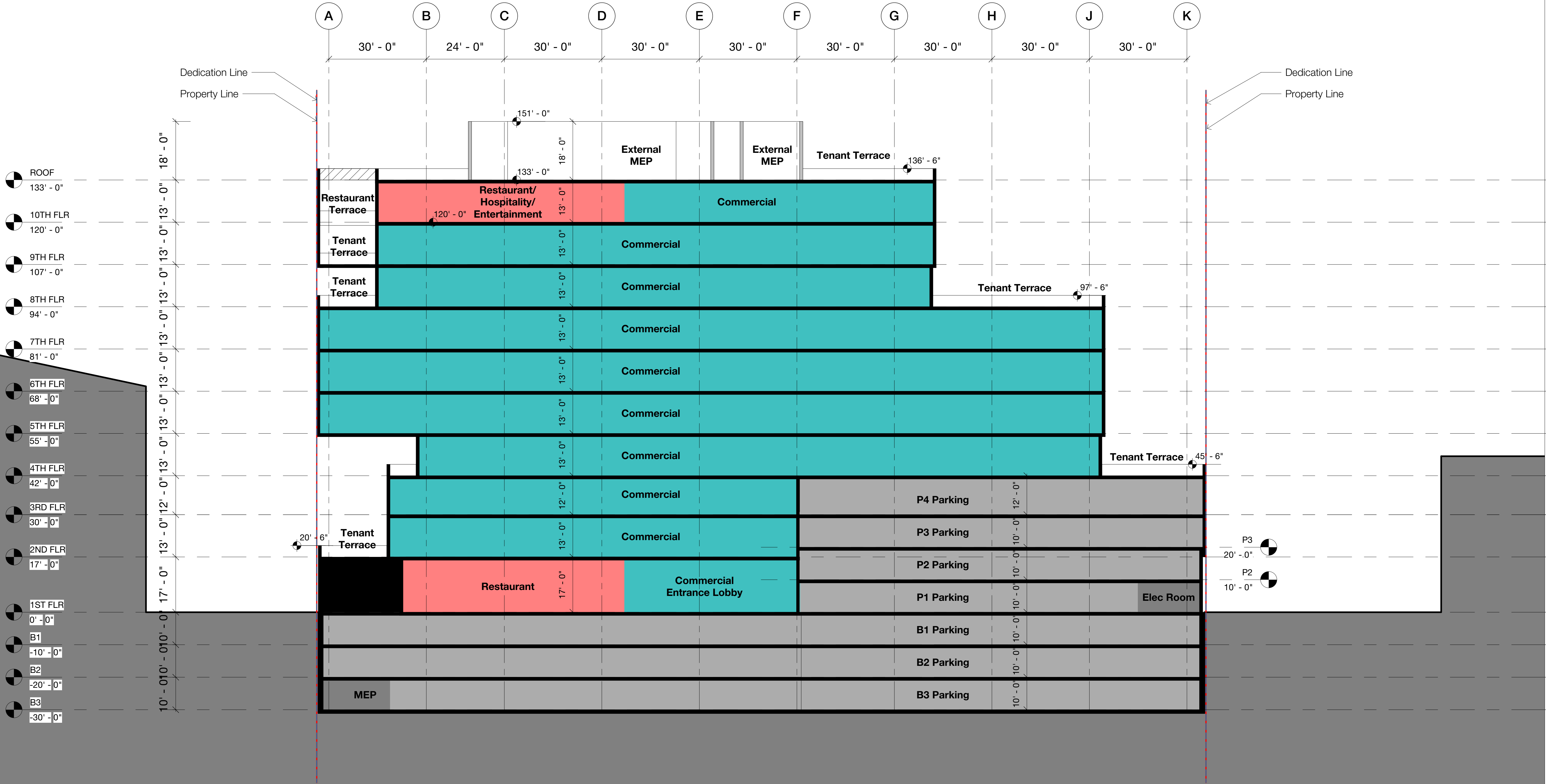
1 NORTH ELEVATION

SCALE: 1/16" = 1'-0"

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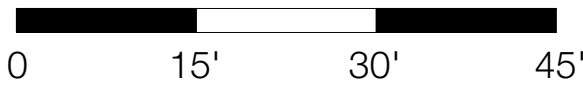
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No.	Description	Date
Entitlements Progress		01/15/20
Entitlements Progress		01/22/20
Entitlements Package		02/14/20
Entitlements Package		02/17/20



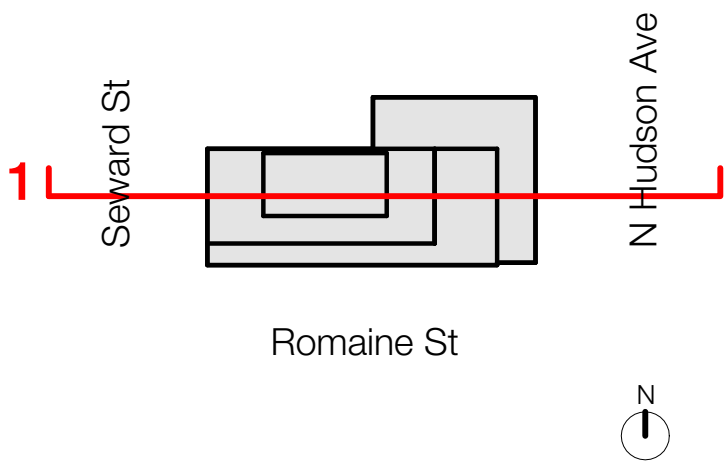
1 Section 1

1/16" = 1'-0"



Scale: 1/16" = 1'-0"

Location Key



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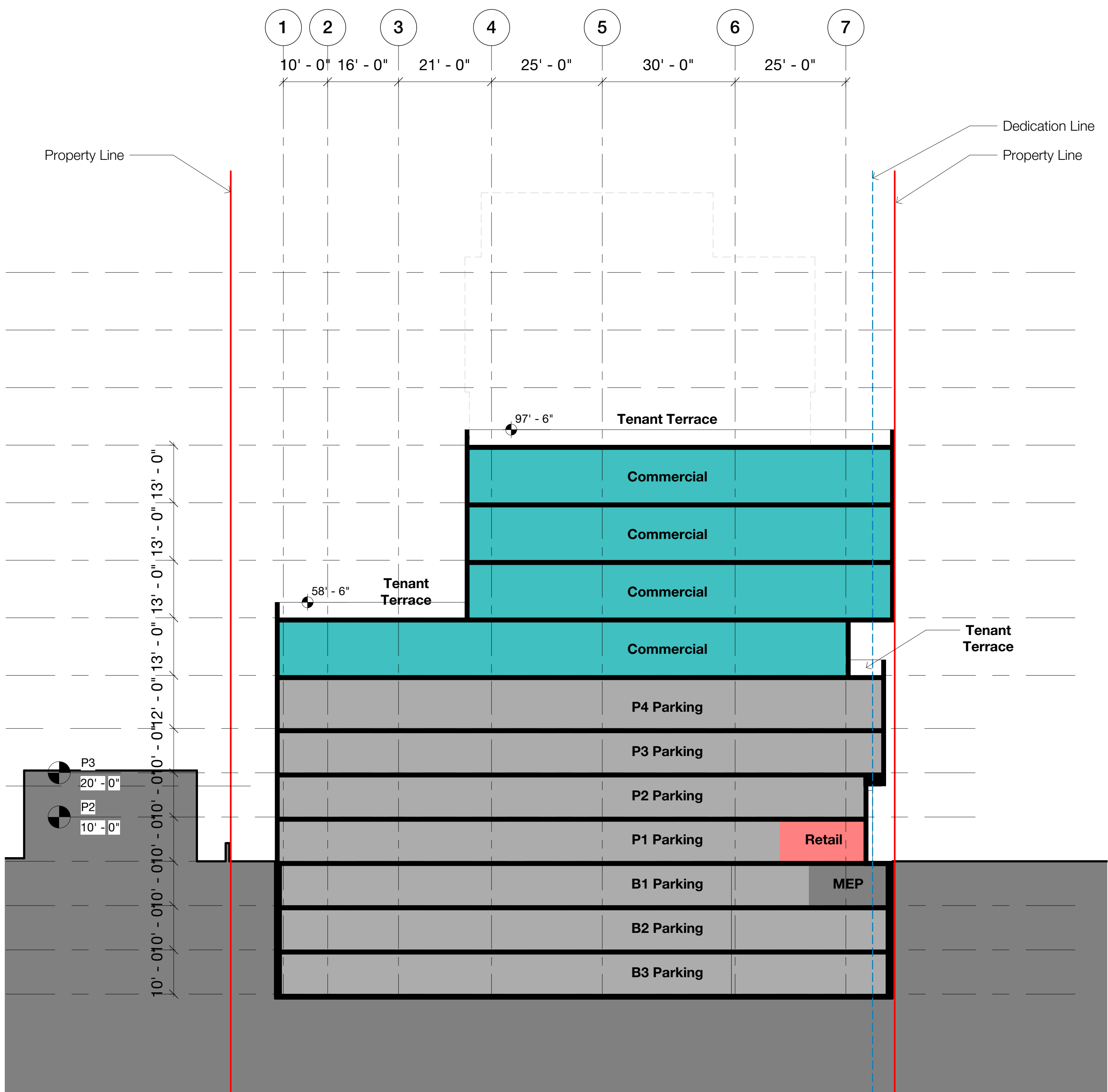
Drawing
Section 1

Scale @ Arch D As indicated	Date 01/15/2020
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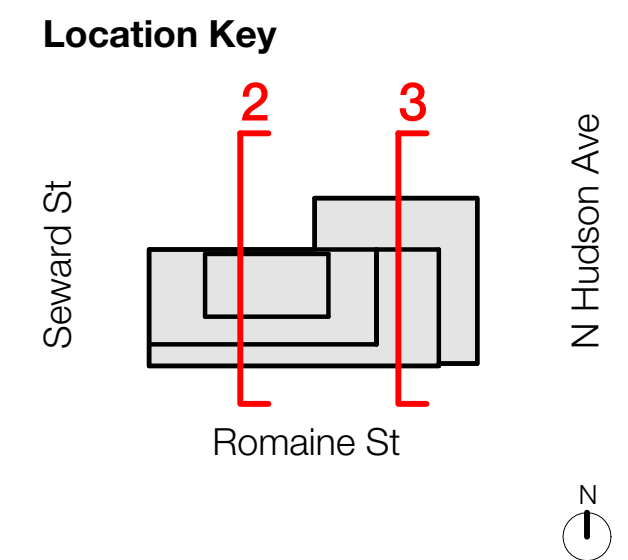
Drawn By RF	Checked By MO
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Job Number
190176

Sheet No.
A351

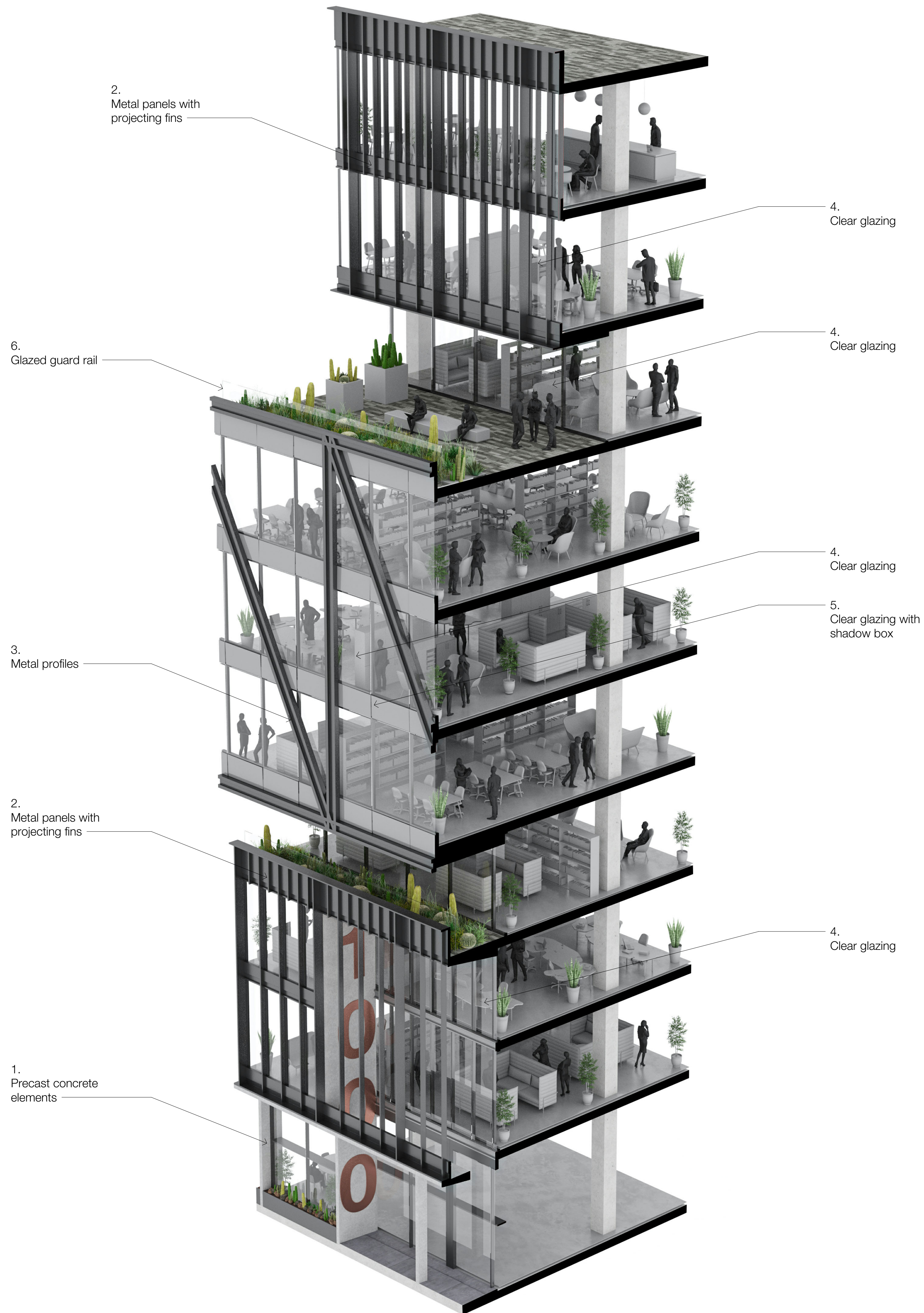


2 Section 3
1/16" = 1'-0"

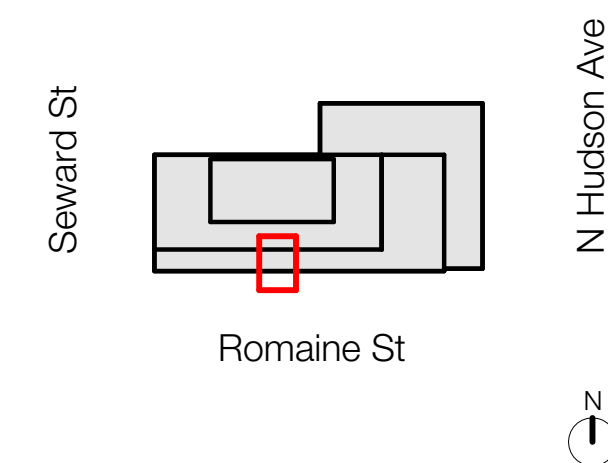


Sheet No.
A352

Facade assembly illustration



Location Key



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No.	Description	Date
Entitlements Package		02/14/20

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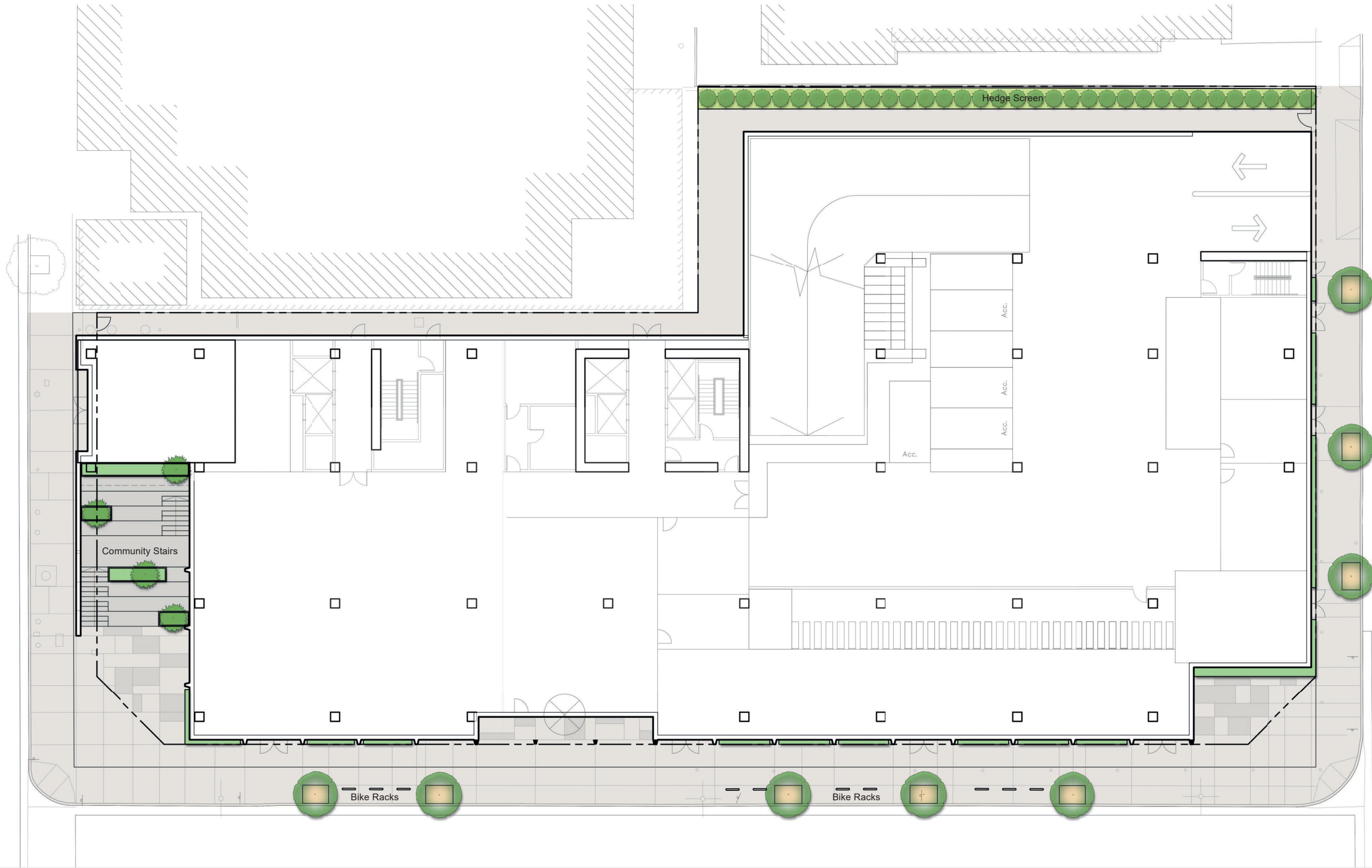
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Drawing
Facade Assembly

Scale @ Arch D As indicated	Date 02/14/20
Drawn By RF	Checked By MO
Job Number 190176	
Sheet No. A361	



1 Landscape Plan
3/32" = 1'-0"

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Drawing
Landscape Plan

Scale @ Arch D As indicated	Date 02/14/2020
Drawn By EB	Checked By DH

Job Number
190176

Sheet No.
L101

MATERIAL PALETTE

HARDSCAPE MATERIALS

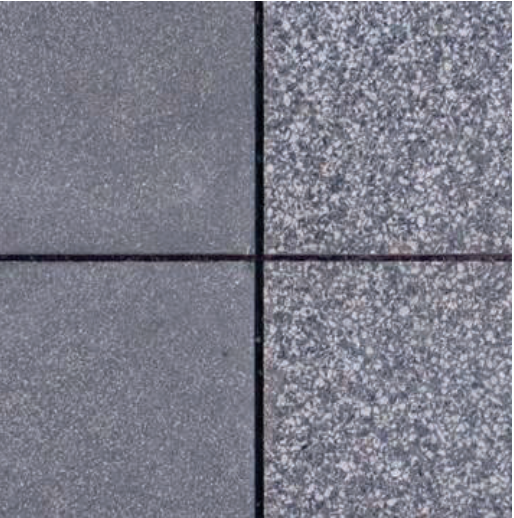
STREETSCAPE



Standard Grey Concrete- R/W



Decomposed Granite- R/W tree wells



Integral Color Concrete Texture- exposed aggregate



Integral Color Concrete banding



Standard Bike Rack - R/W

HARDSCAPE MATERIALS

COMMUNITY STAIRS



Stadium Stairs



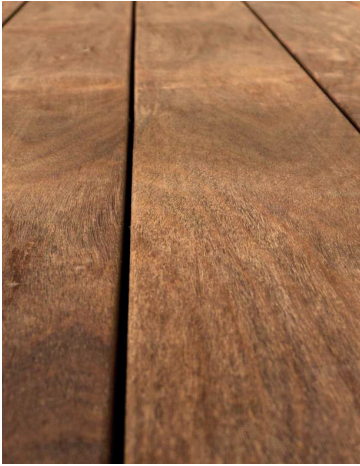
Blackened Steel Metal planters



Blackened Steel Metal Panel



Ipe wood bench



Ipe wood slats

HARDSCAPE MATERIALS

AMENITY DECKS



Precast Concrete Pedestal Pavers



Ipe decking



Synthetic Turf



Blackened Steel Planters



Lightweight Concrete Pots

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No.	Description	Date
	Entitlement Package	02/14/2020

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Drawing
Hardscape Materials

Scale @ Arch D As indicated	Date 02/14/2020
Drawn By EB	Checked By DH

Job Number
190176

Sheet No.
L201

MATERIAL PALETTE

TREES
STREET AND PLAZA PLANTING



Geijera parviflora
Australian Willow



Tabebuia impetiginosa
Trumpet Tree



Acacia stenophylla,
Shoestring Acacia



Parkinsonia x 'Desert Museum'
Palo Verde Tree



Arctostaphylos densiflora 'Howard McMinn'
Howard McMinn Manzanita



Bambusa sp.
Bamboo

SHRUBS
STREET AND AMENITY DECKS



Aloe x spinosissima
Spider Aloe



Aeonium x 'Sunburst'
Sunburst Aeonium



Aeonium urbicum
Saucer Plant



Agave shawii x attenuata 'Blue Flame'
Blue Flame Agave



Bouteloua gracilis 'Blonde Ambition'
Blonde Ambition Blue Grama



Cephalocereus senilis
Old Man Cactus



Cereus peruvianus
Peruvian Cactus



Crassula multicava
Cape Provence



Dianella 'Little Rev'



Echinocactus grusonii
Golden Barrel Cactus



Eriogonum fasciculatum 'Warriner Lytle'
Warriner Lytle Buckwheat



Muhlenbergia rigens
Deer Grass



Salvia apiana
White Sage



Senecio serpens
Blue Chalksticks



Senecio radicans
String of Bananas



Salvia x 'Pozo Blue'
Pozo Blue Sage



Thymus pseudolanuginosus
Woolly Thyme



Westringia fruticosa 'Grey Box'
Coast Rosemary

PRECEDENT IMAGERY
PLANTING SCHEMES



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Drawing
Planting Materials

Scale @ Arch D As indicated	Date 02/14/2020
Drawn By EB	Checked By DH

Job Number
190176

Sheet No.
L202

HISTORIC RESOURCES GROUP

Years of Experience: 17

Education

Master of Heritage Conservation,
University of Southern California,
Los Angeles

Bachelor of Arts Degree with High
Distinction, Art History, The
Pennsylvania State University,
State College, PA, Phi Beta Kappa

Honors and Awards

Los Angeles Conservancy
Preservation Award

- SurveyLA

Speaking Engagements

California Preservation Foundation

- Topics: CEQA, Historic
Resource Surveys, Context
Statements

University of Southern California

- Lecturer, Heritage
Conservation Summer
Course

Professional Affiliations

California Preservation Foundation

- Board of Trustees, 2016-
Present, Current President
- Education Committee Co-
Chair, 2015-Present

DOCOMOMO Southern
California

- Founding & Current Vice-
President

Los Angeles Conservancy

National Trust for Historic
Preservation

Society of Architectural Historians

CHRISTINE LAZZARETTO MANAGING PRINCIPAL



Experience Profile

Christine Lazzaretto is an Architectural Historian who has been working in historic preservation in Southern California since 2003 and at Historic Resources Group since 2008. At HRG, Christine works on environmental review, policy development, historic resources surveys, historic context statements, and federal tax credit projects. She has worked on numerous large-scale historic resources surveys, authored a wide range of historic context statements and successful National Register nominations. Her deep understanding of CEQA principles, significance, context and environmental impacts make her a leading expert in cultural resources analysis for environmental review and she is a frequent guest speaker at USC on CEQA. Christine also manages teams of professional colleagues on large-scale planning and mitigation efforts.

Prior to joining HRG, Christine worked at Pasadena Heritage as Preservation Director and Program Director, where her responsibilities included administering the Preservation Easement Program; assisting with advocacy efforts; attending local hearings and advising neighborhood groups on preservation issues; conceiving, organizing and implementing all of the organization's highly successful educational tours and programs; conducting historic research; producing written architectural descriptions and detailed histories.

Christine Lazzaretto meets the *Secretary of the Interior's Professional Qualifications Standards* in History and Architectural History.

Selected Projects

Archer School for Girls Master Plan, Los Angeles

CBS Columbia Square Adaptive Reuse

City of Goleta Comprehensive Preservation Planning

City of Long Beach Historic Preservation Element

Forum Rehabilitation and Historic Tax Credit Project, Los Angeles

Fulton Corridor & Downtown Neighborhoods Specific Plans, Fresno

Herald-Examiner Technical Report, Los Angeles

Hill & Fifth Technical Report, Los Angeles

Hotel Cecil Historic Tax Credit Project, Los Angeles

Modernism in Riverside Survey

Paramount Pictures Master Plan, Los Angeles

SurveyLA, Los Angeles

University of Southern California Master Plan and Additional Services

Venice High School Modernization, Los Angeles

HISTORIC RESOURCES GROUP

Years of Experience: 6

Education

Master of Arts, Historic
Preservation,
University of Delaware
Bachelor of Arts, History
Bachelor of Music, Instrumental
Performance,
Chapman University, Orange, CA
Certificate, Photography,
Glendale Community College

Professional Affiliations

Los Angeles Conservancy
National Trust for Historic
Preservation
Preserve Orange County
Vernacular Architecture Forum
U.S. Green Building Council
California Preservation
Foundation, Guest Speaker

MOLLY IKER-JOHNSON **ASSOCIATE ARCHITECTURAL HISTORIAN** **STAFF PHOTOGRAPHER**



Experience Profile

Molly Iker-Johnson joined Historic Resources Group in 2014. She holds a Master of Arts in Historic Preservation from the University of Delaware, a Bachelor of Arts in History and a Bachelor of Music in Instrumental Performance from Chapman University, and a Certificate in Photography from Glendale Community College.

At Historic Resources Group, Molly works on historic resources surveys, historic context statements, historic resource assessments, historic resources technical reports, National Register nominations, Historic American Building Survey documentation, and landmark photography.

Prior to joining HRG, Molly worked at the Center for Historic Architecture and Design, a historic preservation organization located at the University of Delaware, as a Graduate Research Assistant. Her responsibilities included assisting with large format re-photography of early 20th century glass plate photographs taken by Delaware seed analyst Roydon Hammond, aiding in the compilation of inventories of historically significant sites along Delaware's Byways, and creating photographic databases of historic sites along Delaware's Byways and Newark, Delaware's Main Street.

Molly Iker-Johnson meets the *Secretary of the Interior's Professional Qualifications Standards* in History and Architectural History.

Selected Projects

City of Goleta Historic Preservation Program
City of Santa Monica Citywide Survey Update
City of South Pasadena Citywide Survey Update
Chapman University VPOA Packing House Adaptive Reuse
Peter Drucker House National Register Nomination
Lydia D. Killefer School National Register Nomination
Frank Thomas House National Register Nomination
Hulett C. Merritt Mansion Pasadena Landmark Nomination
W. Parker Lyon House Pasadena Landmark Nomination

HISTORIC RESOURCES GROUP

Years of Experience: 2

Education

Master of Science, Historic Preservation, University of Texas, Austin, TX

Bachelor of Science, Policy, Planning & Development, University of Southern California, Los Angeles

Honors and Distinctions

American Association of Geographers, Presenter, 2019

Preserving the Recent Past 3, Presenter, 2019

My Liveable City, Contributing Author, 2017

California Preservation Foundation, Presenter, 2017

Segal AmeriCorps Education Award, Recipient, 2014

Professional Affiliations

Docomomo_US

American Planning Association

American Association of Geographers

MORGAN QUIRK ASSOCIATE PRESERVATION PLANNER



Experience Profile

Morgan Quirk first joined Historic Resources Group as an intern in 2017 and returned after completing her graduate studies. She became a full-time staff member in 2019. She holds a Master of Science in Historic Preservation from the University of Texas School of Architecture and a Bachelor of Science in Policy, Planning & Development with an emphasis on Urban Planning from the University of Southern California Sol Price School of Public Policy.

At Historic Resources Group, Morgan supports staff with GIS mapping skills and performing research for historic resources surveys, historic context statements, historic resource assessments, historic structures reports, and nomination forms. In addition to her experience with architectural research methodologies, Morgan has advanced knowledge of geospatial statistical analysis in ArcGIS Desktop, relational database management, data manipulation using Microsoft Excel, and 3D modeling in Google SketchUp.

Prior to joining HRG, Morgan centered her graduate research on the nexus of geospatial statistical analysis and the designation of Los Angeles Historic Cultural Monuments. With ArcGIS, she conducted an independent survey of designated resources to build a predictive model using a geographically weighted regression. The mapped model aimed to increase inclusivity in local preservation practice by identifying Los Angeles neighborhoods that lack monument representation for historically marginalized communities.

Her strong appreciation for geospatial and data analysis is a product of her previous experience working in institutional advancement as a database and research associate for several organizations, including The Archer School for Girls and the Southern California Institute of Architecture (SCI-Arc). In these roles, she created custom relational database systems to support complex fundraising strategies while also developing comprehensive foundational and corporate grant programs surrounding STEM and arts education. While at SCI-Arc, Morgan helped raise grant funds for a design-built studio partnership with Habitat for Humanity Los Angeles.

Morgan Quirk meets the *Secretary of the Interior's Professional Qualifications Standards* in Architectural History.

Selected Projects

SurveyLA, Los Angeles

John Tracy Clinic Assessment Report

French Market Place Assessment Report