

SHEET INDEX
PLANNING SUBMITTAL

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NOT FOR
CONSTRUCTION

PLANNING
SUBMITTAL

CHRISP LAW
OFFICE
BUILDING

21137 CALISTOGA ROAD
MIDDLETOWN, CA 95461

PRELIM. PROJECT DATA

PROPOSED BUILDING
DESCRIPTION: THE PROPOSED PROJECT IS A NEW 1-STORY LAW OFFICE BUILDING OF 6,200 GROSS SQUARE-FEET, AND ASSOCIATED SITE WORK INCLUDING ON-SITE PARKING FACILITIES AND OFF-SITE STREET FRONTAGE IMPROVEMENTS.

PROPERTY INFORMATION:
APN: 024-368-01
ADDRESS: 21137 CALISTOGA ROAD (HIGHWAY 29), MIDDLETOWN
SIDE STREETS: YOUNG STREET (NORTH), BUSH STREET (WEST)

PLANNING INFORMATION:
ZONING: C2-DR-P-SC (ARTICLES 19, 53, 40, 34)
GENERAL PLAN LAND USE: CC - COMMERCIAL
EXISTING USE: COMMERCIAL / VACANT
PROPOSED USE: COMMERCIAL OFFICE
SPECIFIC PLAN: MIDDLETOWN AREA PLAN
DESIGN REVIEW REQUIREMENT: YES
USE PERMIT PERMITTING: 5000-8000 SF MINOR USE PERMIT REQUIRED
PARKING REQUIREMENT (ARTICLE 46)
REQUIRED FOR LAW OFFICE: 1:300 SF
6,200 / 300 = 21 STALLS REQUIRED
PROPOSED PARKING = 14 ONSITE + 8 STREET = 22 PROPOSED
BICYCLE PARKING: MIN. 1 RACK REQUIRED
EXISTING UTILITIES: PUBLIC WATER AND SEWER
MIN. YARD REQUIREMENTS: FRONT, REAR AND SIDE = NONE
YARDS/SETBACKS PROVIDED:
FRONT: 0'-6"
REAR: +/-72'-0"
SIDE - NORTH: 2'-0"
SIDE - SOUTH: +/-8'-0"

AREA SUMMARY:
PROPOSED FLOOR AREA: 6,200 GSF
SITE AREA: 0.44 ACRES (19,146 SF)
SITE COVERAGE MAX.: 100%
PROPOSED SITE COVERAGE: APPROX. 32.4%

BUILDING INFORMATION
APPLICABLE BUILDING CODE: 2019 CBC
BUILDING OCCUPANCY: BUSINESS GROUP B
OCCUPANCY TYPE: PROFESSIONAL SERVICES, ATTORNEYS
CONSTRUCTION TYPE: V-B, 1-STORY, SPRINKLERED
MAX. BUILDING HEIGHT ALLOWED: 35' (CONTROLLED BY ZONING)
ACTUAL MAX. BUILDING HEIGHT: APPROX. 20'

ADDITIONAL INFORMATION:
CA CLIMATE ZONE: 02 (38.75° N LATITUDE, 1,099 FT. ELEV.)
SEISMIC CATEGORY: D / E
BASIC WIND DESIGN SPEED: 110 MPH, EXPOSURE C
FLOOD ZONE: NOT IN FEMA FLOOD ZONE
FIRE HAZARD SEVERITY ZONE: YES, WITHIN SRA

REV. #	DESCRIPTION	DATE
1	PLANNING SUBMITTAL REV.	5/20/20

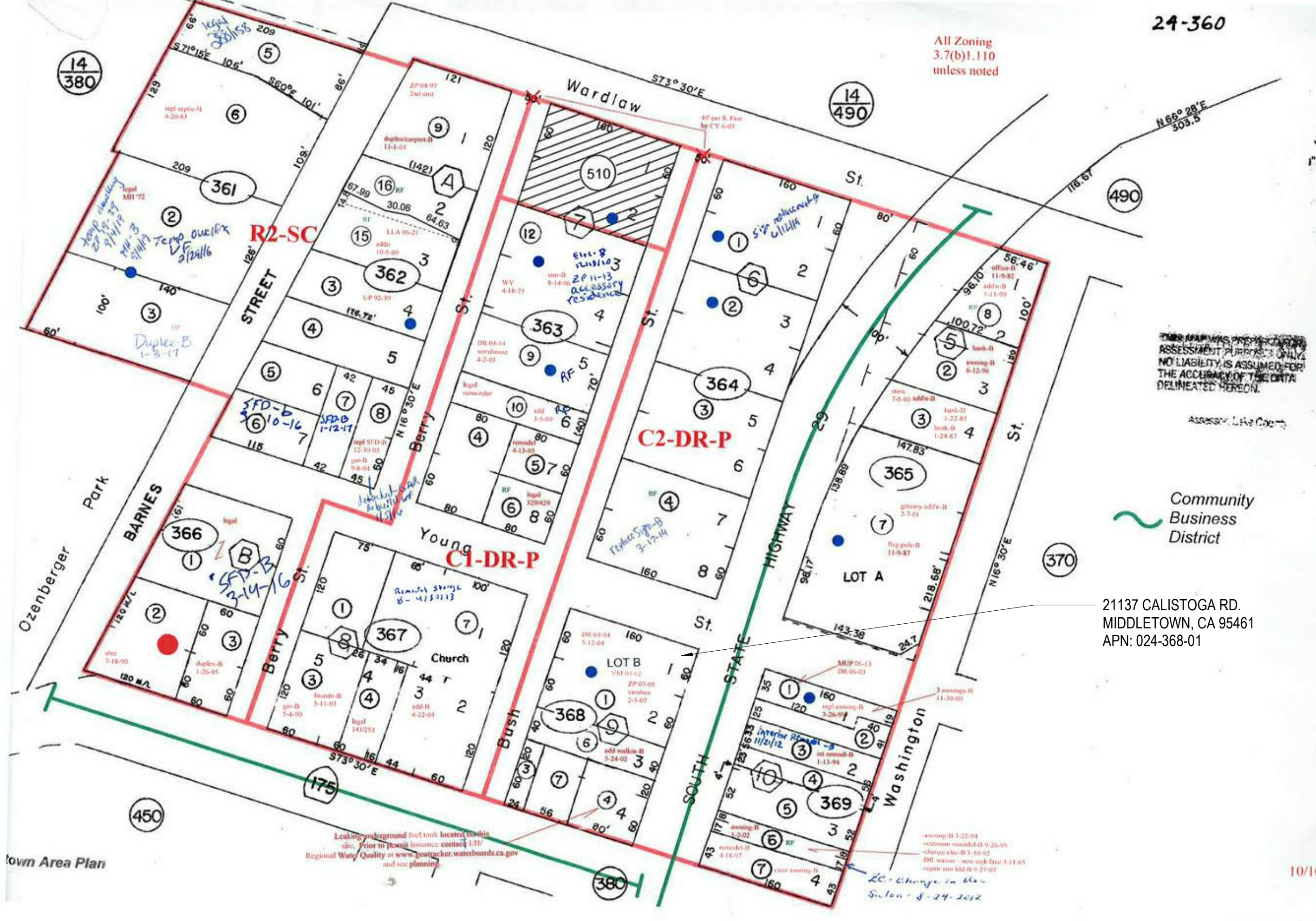
COVER SHEET

PROJECT NUMBER	19027.00
DATE	MAR. 10, 2020
DRAWN BY	NB/APS
CHECKED BY	NB

A01



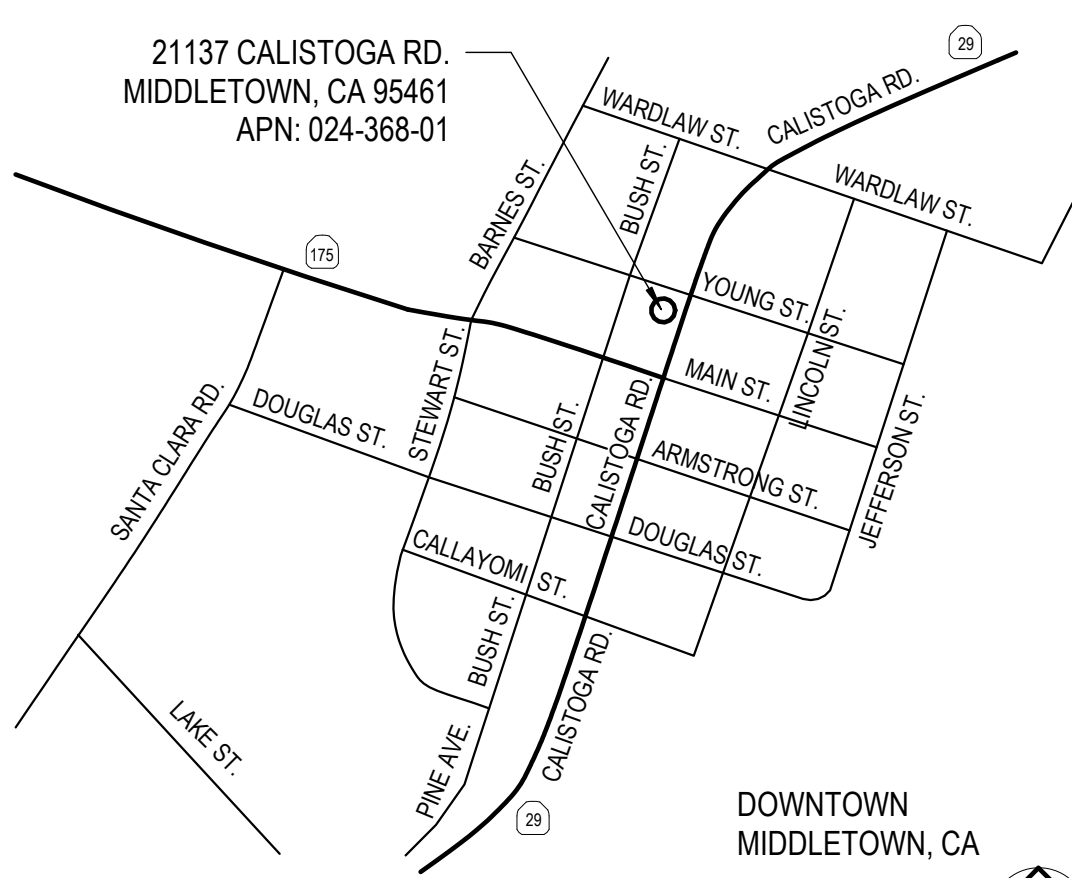
ASSESSOR'S PARCEL MAP

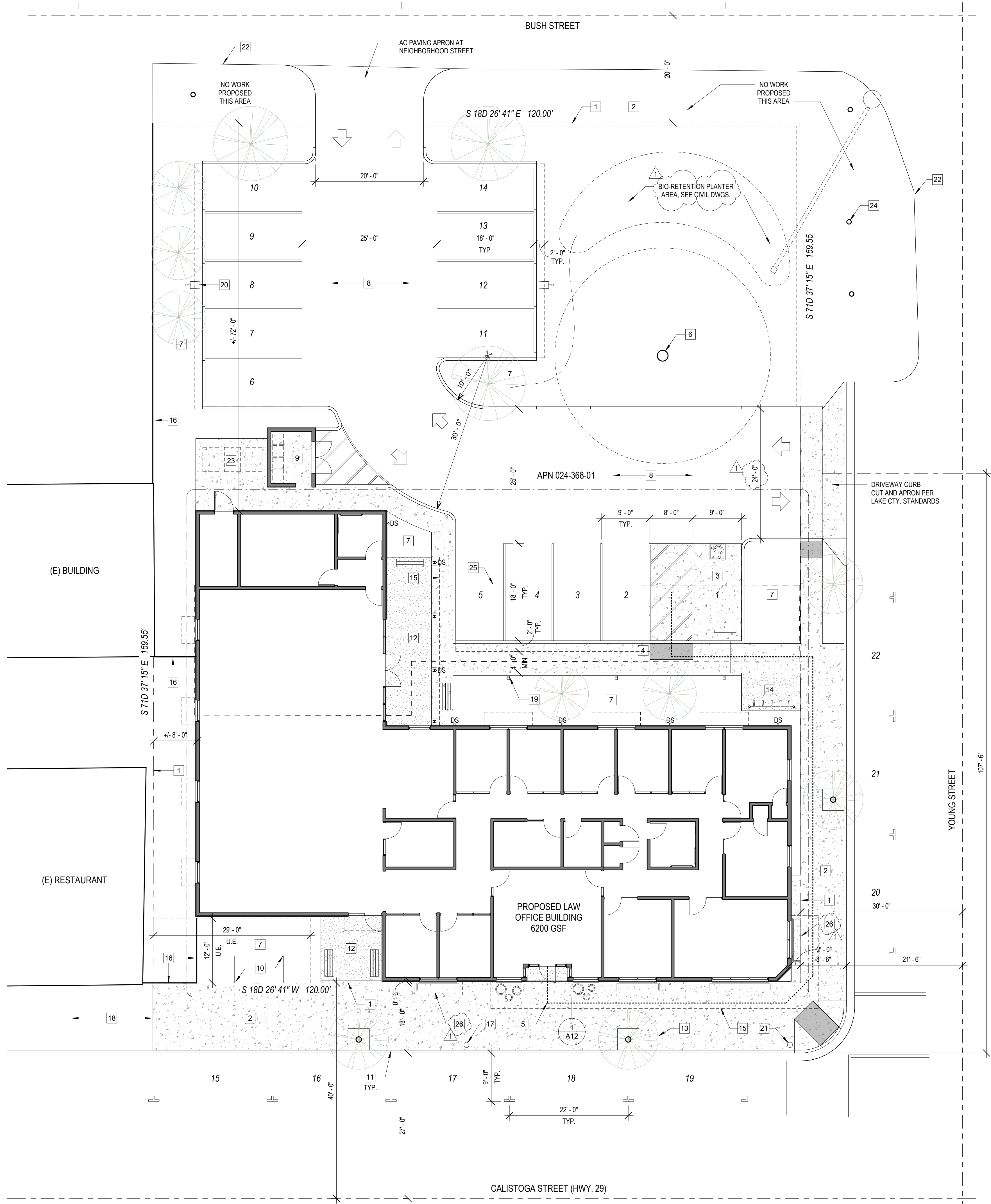


AERIAL PHOTO



VICINITY MAP





1 PRELIMINARY SITE PLAN
1" = 10'-0"

PRELIM. SITE PLAN DRAWING NOTES

- 1 PROPERTY BOUNDARY
- 2 CONC. SIDEWALK PER CALTRANS AND COUNTY STANDARDS, TYP.
- 3 VAN ACCESSIBLE PARKING STALL
- 4 DETECTABLE WARNING PAVERS, TYP.
- 5 ACCESSIBLE PATH OF TRAVEL TO MAIN ENTRY
- 6 (E) OAK TREE, PROTECT IN PLACE
- 7 LANDS. AREA W/ PLANTINGS & AREA DRAIN(S),TIE-IN TO STORM DRAIN, TYP.
- 8 PARKING LOT AND DRIVE AISLE, AC PAVING, TYP.
- 9 TRASH & RECYCLING ENCLOSURE
- 10 (E) PG&E VAULT AND EASEMENTS TO REMAIN
- 11 CONC. CURB & GUTTER, PER CALTRANS AND COUNTY STANDARDS, TYP.
- 12 PAVED PATIO AREA W/ BENCHES
- 13 STREET TREE, "FLOWERING PEAR" OR SIMILAR APPROVED SPECIES, TYP., W/ TREE WELL AND COVER PER CALTRANS AND COUNTY STANDARDS, TYP.
- 14 BIKE PARKING LOCATION, MIN. 1 RACK REQUIRED
- 15 CANOPY ABOVE, TYP.
- 16 7' HIGH SOLID WOOD FENCING SCREEN, SIMILAR TO EXISTING
- 17 APPROX. LOCATION (E) STREET LAMP TO REMAIN
- 18 CONFORM TO (E) CONC. SIDEWALK, ACCESSIBLE TRANSITION
- 19 WALKWAY BOLLARD LIGHT FIXTURE, DARK-SKY COMPLIANT
- 20 PARKING LOT POLE LIGHT FIXTURE, DARK-SKY COMPLIANT
- 21 STREET LAMP, MATCH TOWN STANDARD, TYP.
- 22 (E) EDGE IF PAVING TO REMAIN
- 23 APPROX. LOCATION HVAC CONDENSING UNIT(S)
- 24 (E) POWER POLES TO REMAIN, U.O.N., TYP.
- 25 (E) COMMERCIAL BLDG. FOOTPRINT, TO BE REMOVED
- 26 PLANTER BOXES AT FRONT WINDOWS AND MAIN ENTRY

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FLOOD ZONE: NOT IN FEMA FLOOD ZONE
FIRE HAZARD SEVERITY ZONE: YES, WITHIN SRA

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REV. #	DESCRIPTION	DATE
1	PLANNING SUBMITTAL REV.	5/20/20

PRELIMINARY SITE
PLAN

PROJECT NUMBER	19027.00
DATE	MAR. 10, 2020
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PRELIM. FLOOR PLAN DRAWING NOTES

- 1 MAIN ENTRY
- 2 EXT. ALUM. STOREFRONT WINDOW SYSTEM, THERMALLY-BROKEN, TYP.
- 3 EXT. ALUM. STOREFRONT ENTRY SYSTEM, THERMALLY-BROKEN, TYP.
- 4 INT. ALUM. STOREFRONT DOOR, SIDELITE, AND TRANSOM SYSTEM, TYP.
- 5 COUNTER TOP, W/ BASE AND UPPER CABINETS
- 6 WORKSTATION FURNITURE SYSTEMS BY OWNER, TYP.
- 7 HIGH-DENSITY SHELVING SYSTEM BY OWNER
- 8 SERVICE SINK
- 9 ACCESSIBLE WATER STATION
- 10 LINE OF EXTERIOR CANOPY ABOVE, TYP.
- 11 STEEL CANOPY COLUMN, TYP.
- 12 ACCESSIBLE RECEPTION, FURNITURE SYSTEM BY OWNER

PRELIM. FLOOR PLAN NOTES

- 1. TYPICAL INTERIOR PARTITION ASSEMBLY: 2"x6" STUD @ 16" O.C., SOUND ATTENUATION BATT INSUL., 5/8" TYPE-X GYP. BD. EA. SIDE
- 2. SEE PRELIMINARY FINISH SCHEDULE FOR ADDTL. INFO
- 3. SEE EXTERIOR ELEVATIONS FOR ADDTL INFO.
- 4. AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED, PERMITTED, AND INSTALLED PER 2019 CBC SEC 903 AND 2019 CFC UNDER A SEPARATE PERMIT. CONTRACTOR SHALL OBTAIN FIRE SPRINKLER PERMIT PRIOR TO BUILDING PERMIT ISSUANCE.

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1 PRELIMINARY FLOOR PLAN
1/8" = 1'-0"

REV. #	DESCRIPTION	DATE
1	PLANNING SUBMITTAL REV.	5/20/20

PRELIMINARY FLOOR
PLAN

PROJECT NUMBER	19027.00
DATE	MAR. 10, 2020
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CHECKED BY	NB

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PRELIM. CEILING PLAN LEGEND

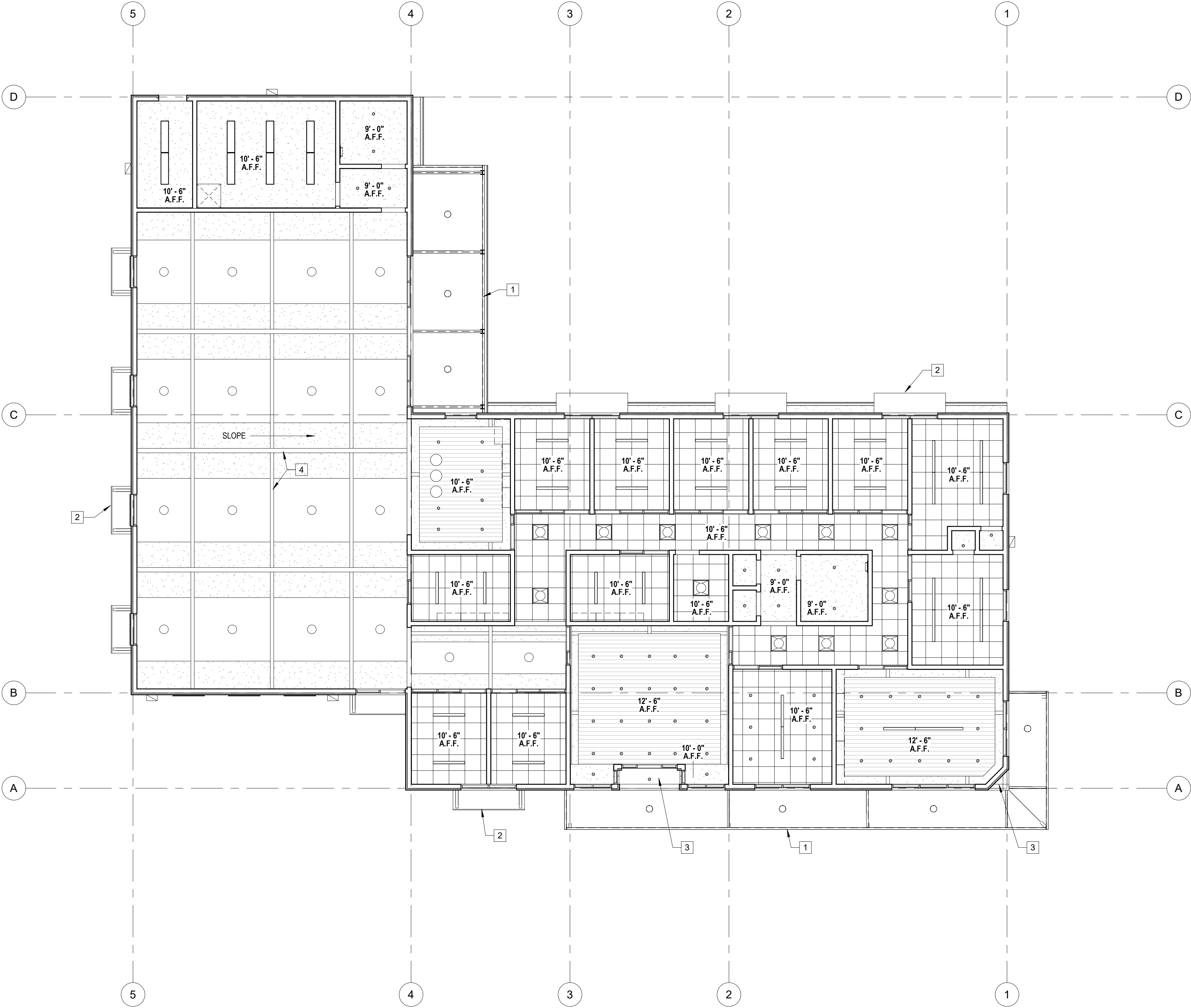
- GYPSUM BOARD CEILING, PAINTED FINISH
SMOOTH, MIN. LEVEL 4 FIN.
- SUPSPENDED ACOUSTICAL CEILING SYSTEM
- SUSPENDED ACOUSTICAL WOOD CEILING SYSTEM
- ACOUSTIC CEILING PANEL SYSTEM
TO UNDERSIDE OF ROOF ASSEMBLY
- LINEAR PENDANT LED LIGHT FIXTURE, DIRECT/INDIRECT
- 2' X 2' RECESSED LED LIGHT FIXTURE, CEILING INLAY
- 4" RECESSED LED DOWNLIGHT FIXTURE
- DECORATIVE PENDANT LED LIGHT FIXTURE, LARGE FORMAT
- EXT. SURFACE-MOUNTED LED LIGHT FIXTURE
- EXT. WALL-MOUNTED LED LIGHT FIXTURE
- INT. WALL-MOUNTED LED VANITY LIGHT FIXTURE
- 1' X 4' SURFACE-MOUNTED LED LIGHT FIXTURE

PRELIM. CEILING PLAN DRAWING NOTES

- 1 CANOPY COVERING W. STL. FRAME, POWDER COATED FIN., TYP.
- 2 WINDOW AWNING W/ STL. FRAME, POWDER COATED FIN., TYP.
- 3 EXTERIOR SOFFIT W/ CEMENT PLASTER, PAINTED FIN.
- 4 GLUE-LAM BEAM STRUCTURE ABOVE, STAINED FIN., USE EXPOSURE-GRADE FRMG.

PRELIM. CEILING PLAN NOTES

1. AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED, PERMITTED, AND INSTALLED PER 2019 CBC SEC 903 AND 2019 CFC UNDER A SEPARATE PERMIT. CONTRACTOR SHALL OBTAIN FIRE SPRINKLER PERMIT PRIOR TO BUILDING PERMIT ISSUANCE.
2. SEE ROOF PLAN AND EXTERIOR ELEVS. FOR ADDT'L INFO.
3. LIGHT FIXTURES SHALL BE LED, DIMMING, AND COMPLIANT WITH T-24 ENERGY CODES, TYP.
4. EXTERIOR LIGHT FIXTURES SHALL BE UL-LISTED FOR OUTDOOR USE AND DARK-SKY COMPLIANT FULL CUT-OFF, TYP.
5. TASK LIGHTING PLANNED AT WORKSTATIONS, COORD. W/ OWNER REQ'MTS.
6. PAINT CEILING/ROOF BEYOND WOOD SPECIALTY CEILING BLACK/DARK GRAY AT LOBBY, MAIN CONFERENCE ROOM, AND BREAK AREA.



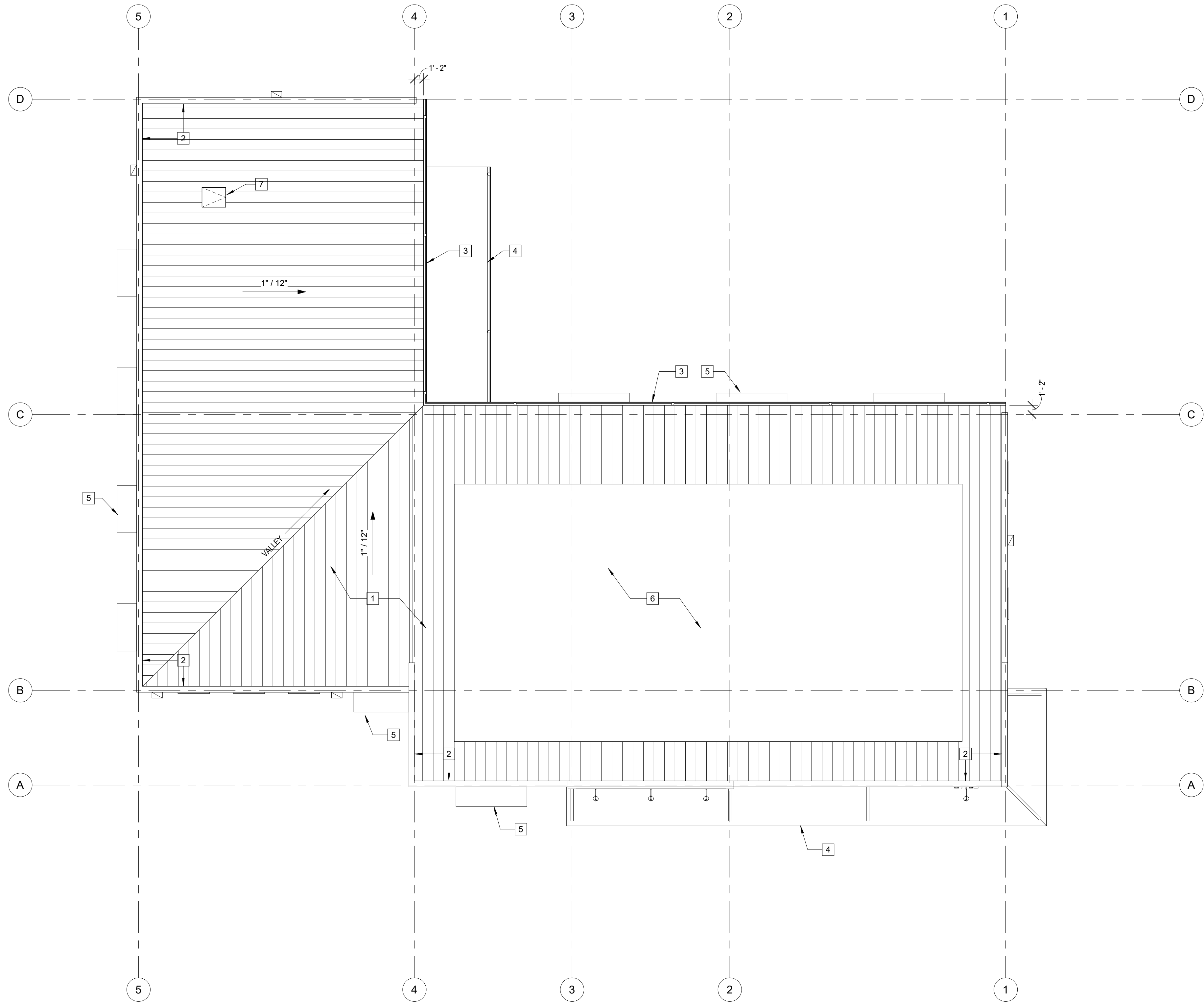
1 PRELIMINARY REFLECTED CLG. PLAN
1/8" = 1'-0"

REV. #	DESCRIPTION	DATE
1	PLANNING SUBMITTAL REV.	5/20/20

PRELIMINARY
REFLECTED CEILING
PLAN

PROJECT NUMBER	19027.00
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DRAWN BY	NB/APS
CHECKED BY	NB

A13



1 PRELIMINARY ROOF PLAN
1/8" = 1'-0"

PRELIM. ROOF PLAN DRAWING NOTES

- 1 STRUCTURAL STANDING SEAM METAL ROOFING SYSTEM, CLASS A, FACTORY FINISH SYSTEM, NON-REFLECTIVE
- 2 PARAPET W/ METAL COPING SYSTEM, FACTORY FINISH, NON-REFLECTIVE.
- 3 MTL. GUTTER, FINISH TO MATCH ROOFING, TIE-IN DOWNSPOUTS TO STORM DRAIN, TYP., DOWNSPOUTS FIN. TO MATCH WALL
- 4 STL. CANOPY BELOW, PROVIDE DRAINAGE, TIE-IN DOWNSPOUTS TO STORM DRAIN, TYP.
- 5 MTL. WINDOW AWNING W/ STL. FRAME, POWDER COATED FIN., TYP.
- 6 FUTURE SOLAR PV PANEL SYSTEM LOCATION, SLOPE TO MATCH ROOF PITCH, SIZE AND CONFIG. TBD, MAINTAIN FIRE ACCESS CLEARANCES
- 7 ROOF ACCESS HATCH W/ CURB, PROVIDE FALL PROTECTION

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REV. #	DESCRIPTION	DATE
1	PLANNING SUBMITTAL REV.	5/20/20

PRELIMINARY ROOF
PLAN

PROJECT NUMBER	19027.00
DATE	MAR. 10, 2020
DRAWN BY	NB/APS
CHECKED BY	NB

A14

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CONSTRUCTION

PLANNING
SUBMITTAL

CHRISP LAW
OFFICE
BUILDING

21137 CALISTOGA ROAD
MIDDLETOWN, CA 95461

REV. #	DESCRIPTION	DATE
1	PLANNING SUBMITTAL REV.	5/20/20

PRELIMINARY
EXTERIOR
ELEVATIONS

PROJECT NUMBER	19027.00
DATE	MAR. 10, 2020
DRAWN BY	NB/APS
CHECKED BY	NB

A21

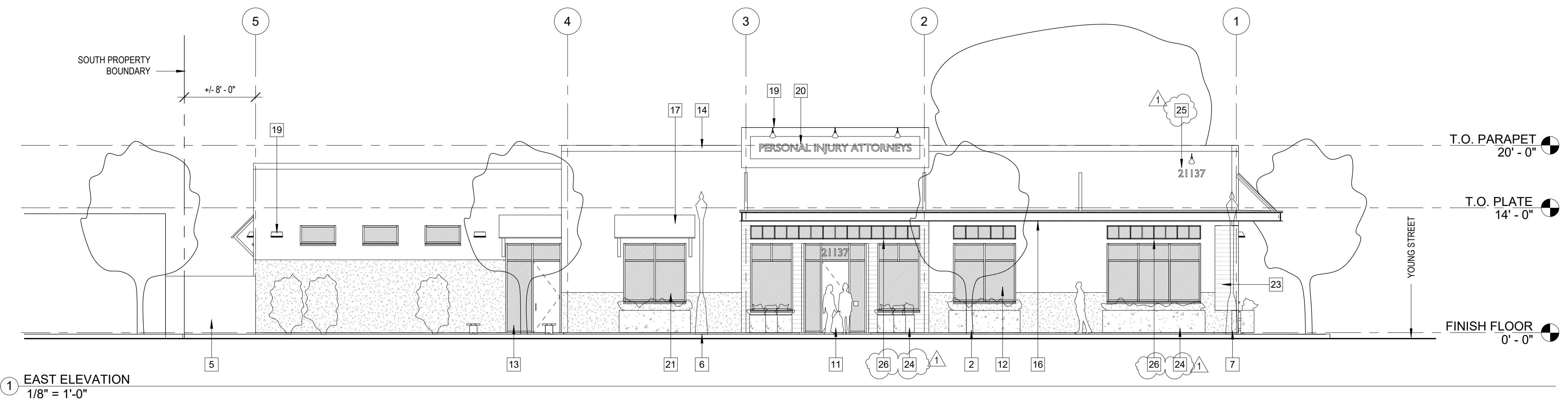
PRELIM. EXTERIOR MATERIALS LEGEND

- STRUCTURAL STANDING SEAM METAL ROOFING SYSTEM
CLASS A, FACTORY FINISH, NON-REFLECTIVE
COLOR: "ZINC GRAY"
- EXTERIOR CEMENT PLASTER SYSTEM, MAIN BODY FIN.
SMOOTH SAND TEXTURE OR SIMILAR
COLOR: BM "COVENTRY GRAY" HC-169
- EXTERIOR CEMENT PLASTER SYSTEM, BASE WAINSCOT FIN.
FINE SAND TEXTURE OR SIMILAR
COLOR: BM "KENDALL CHARCOAL" HC-166
- EXTERIOR METAL WALL PANEL SYSTEM
CLASS A, FACTORY FINISH, NON-REFLECTIVE
COLOR: "MATTE BLACK"
- RECLAIMED VALLEY FIRE OAK WOOD CLADDING
GYP. SHEATHING UNDERLAYMENT, CLEAR FINISH

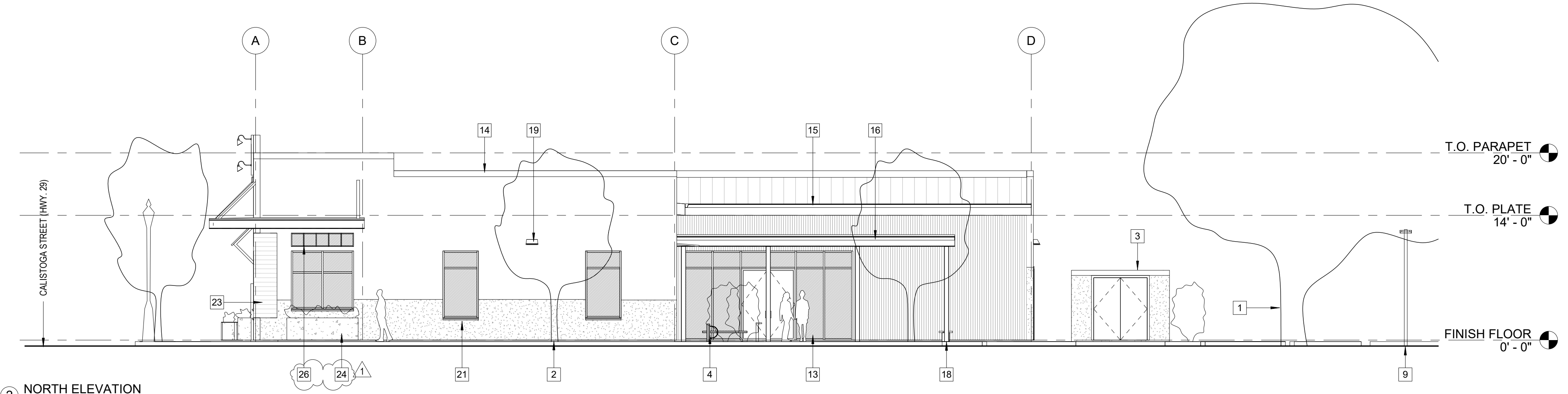
- EXTERIOR MATERIALS LEGEND NOTES:
- MIN. R-21 BATT INSUL. @ WALLS W/ MIN. R-9, 1-1/2" RIGID PERMETER INSUL.
 - MIN. R-30 BATT INSUL. @ ROOF W/ MIN. R-18, 3" RIGID INSUL. ABOVE
 - THERMALLY-BROKEN ALUM. STOREFRONT WINDOW SYSTEMS, TYP.
 - MIN. 1" CLEAR INSULATED GLAZING UNITS, TEMPERED, TYP.
 - EXT. FINISHES AND SYSTEMS SHALL BE COMPLIANT WITH BUILDING AND FIRE CODES FOR WILDLAND URBAN INTERFACE (WUI), TYP.
 - FOR EXTERIOR MATERIALS & COLORS, SEE SHEET A9.2

PRELIM. EXT. ELEVS. DRAWING NOTES

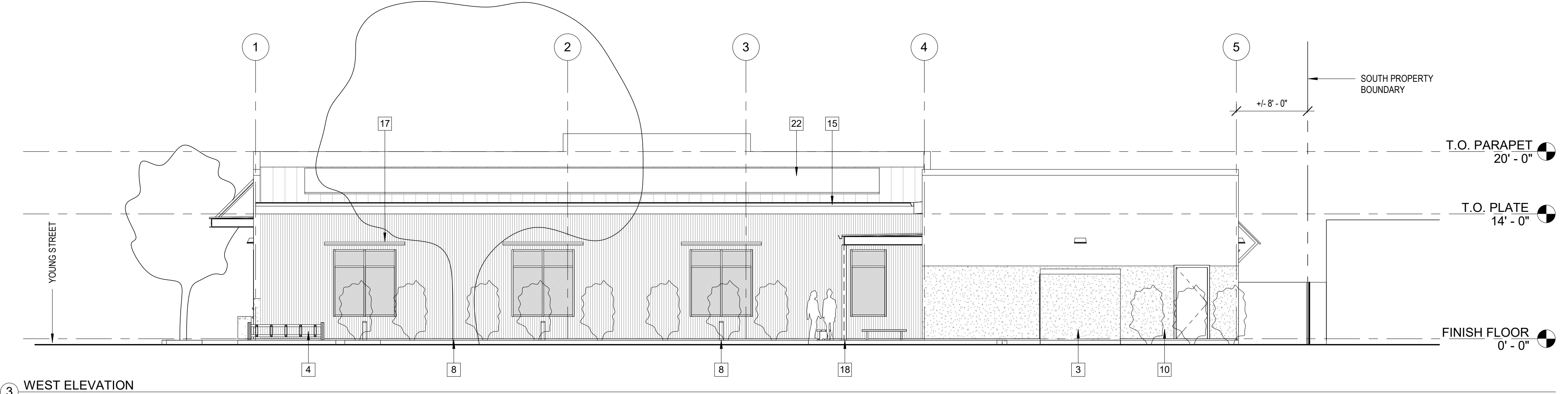
- (E) OAK TREE, PROTECT IN PLACE.
- STREET TREE, "FLOWERING PEAR" OR SIMILAR APPROVED SPECIES, TYP., W/ TREE WELL AND COVER PER CALTRANS AND COUNTY STANDARDS, TYP.
- TRASH & RECYCLING ENCLOSURE
- BIKE PARKING LOCATION, MIN. 1 RACK REQUIRED
- 7' HIGH SOLID WOOD FENCING SCREEN, SIMILAR TO EXISTING
- APPROX. LOCATION (E) STREET LAMP TO REMAIN
- STREET LAMP, MATCH TOWN STANDARD, TYP.
- WALKWAY BOLLARD LIGHT FIXTURE, DARK-SKY COMPLIANT
- PARKING LOT POLE LIGHT FIXTURE, DARK-SKY COMPLIANT
- APPROX. LOCATION HVAC CONDENSING UNIT(S), SCREEN W/ LANDS.
- MAIN ENTRY, RECESSED, W/ VALLEY FIRE RECLAIMED OAK SURROUND
- EXT. ALUM. STOREFRONT WINDOW SYSTEM, THERMALLY-BROKEN, TYP.
- EXT. ALUM. STOREFRONT ENTRY SYSTEM, THERMALLY-BROKEN, TYP.
- PARAPET W/ METAL COPING SYSTEM, FACTORY FINISH, NON-REFLECTIVE.
- MTL. GUTTER, FINISH TO MATCH ROOFING, TIE-IN DOWNSPOUTS TO STORM DRAIN, TYP., DOWNSPOUTS FIN. TO MATCH WALL
- STL. CANOPY COVERING W/ STL. FRAME, POWDER COATED FIN., TYP.
- METAL WINDOW AWNING W/ STL. FRAME, POWDER COATED FIN., TYP.
- STL. CANOPY COLUMN, GALVANIZED FIN., TYP.
- EXT. LIGHT FIXTURE, WEATHER PROTECTED, FULL CUT-OFF, PROVIDE MIN. 80" CLR. A.F.F. TO FIXT. WHERE ABOVE WALK SURFACES, TYP.
- TENANT SIGNAGE AT BLDG. ENTRY WALL SIGN, PER TOWN STANDARDS
- SLOPED PRE-CAST CONC. SILL TRIM DETAIL AT WINDOWS, TYP.
- FUTURE SOLAR PV PANEL SYSTEM LOCATION, SLOPE TO MATCH ROOF PITCH, SIZE AND CONFIG. TBD, MAINTAIN FIRE ACCESS CLEARANCES
- VALLEY FIRE RECLAIMED OAK CLADDING CORNER FEATURE
- PLANTER BOXES AT FRONT WINDOWS AND MAIN ENTRY
- ILLUMINATED ADDRESS SIGNAGE PER COUNTY FIRE STANDARDS
- HISTORICAL TRANSOM GLASS DETAIL OVER FRONT WINDOWS AND MAIN ENTRY



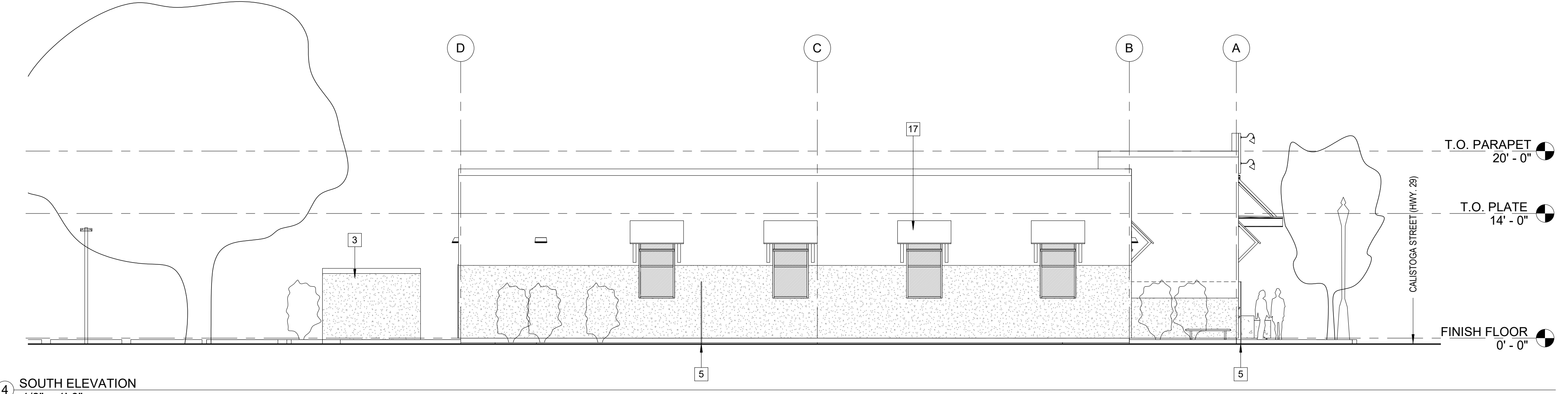
1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

PRELIM. DOOR SCHEDULE									
#	Door					Hardware	Frame		Comments
	Width	Height	Thickness	Material	Finish		Material	Finish	
01	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	CUSTOM FRONT DOOR
02	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
03	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
04	3' - 0"	8' - 0"	0' - 2"	ALUM.	MANUF.		ALUM.	MANUF.	TEMP. GLAZING.
05	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
06	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
07	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
08	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
09	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
10	2' - 8"	7' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
11	2' - 8"	7' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
12	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
13	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
14	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
15	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
16	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
17	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
18	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
19	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
20	3' - 0"	8' - 0"	0' - 2"	ALUM.	MANUF.		ALUM.	MANUF.	TEMP. GLAZING
21	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
22	3' - 0"	8' - 0"	0' - 2"	ALUM.	MANUF.		ALUM.	MANUF.	TEMP. GLAZING
24	3' - 0"	8' - 0"	0' - 2"	ALUM.	MANUF.		ALUM.	MANUF.	TEMP. GLAZING
25A	6' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
25B	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
26	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
27	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
28	3' - 0"	8' - 0"	0' - 1 3/4"	WD.	STAIN		ALUM.	MANUF.	
29	3' - 6"	8' - 0"	0' - 1 3/4"	STL.	PAINTED		MTL.	PAINTED	
30	6' - 0"	7' - 0"	0' - 1 3/4"	STL.	PAINTED		MTL.	PAINTED	TRASH ENCLOSURE GATE

PRELIM. FINISH SCHEDULE						
RM #	RM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
001	LOBBY	C1, CPT1	B1	P1, P3	AC3	SPECIALTY FIN. BEHIND RECEPT.
002	MEETING	CPT2	B2	P1, WC1	AC2	
003	MEETING	CPT2	B2	P1, WC1	AC3	
004	PRINT	RF1	B2	P1	AC2	
005	SERV.	RF2	B2	P1	AC2	
006	CLO.	CPT2	B2	P1	P1	
007	CUST.	RF1	B2	FRP1, P2	P2	
008	RESTROOM	T1	B3	T3, P2	P2	
009	OFFICE	CPT2	B2	P1	AC2	
010	CLO.	CPT2	B2	P2	P2	
011	CLO.	CPT2	B2	P2	P2	
012	OFFICE	CPT2	B2	P1	AC2	
013	OFFICE	CPT2	B2	P1	AC2	
014	OFFICE	CPT2	B2	P1	AC2	
015	OFFICE	CPT2	B2	P1	AC2	
016	OFFICE	CPT2	B2	P1	AC2	
017	OFFICE	CPT2	B2	P1	AC2	
018	OFF/MEET	CPT2	B2	P1	AC2	
019	OFF/MEET	CPT2	B2	P1	AC2	
020	PRINT	RF1	B2	P1	AC2	
021	BREAK	C1	B1	P1, T5, WC1	AC3	
022	HALL	CPT2	B2	P1	AC2	
023	HALL	CPT2	B2	P1	AC2	
024	HALL	C1	B1	P1	AC1	
025	WORKSPACE	C1, CPT2	B1, B2	P1, P4	AC1	CONC. FLOOR/WD. BASE IN CIRC. AREA
026	HALL	RF1	B2	P2	P2	
027	RESTROOM	T2	B3	T4, P2	P2	
028	STORAGE	RF1	B2	P2	P2	
029	ELEC	-	-	P2	P2	SEALED CONC. FLOOR

FINISH CODE LIST		
MARK	DESCRIPTION / LOCATION	COLOR / NOTES
BASE		
B1	6" WOOD BASE, PAINTED FINISH	COLOR: TBD, EGGSHELL
B2	RESILIENT BASE	BY ROPPE OR SIM., COLOR: TBD
B3	METAL COVE BASE AT RESTROOM TILE	BY SCHLUTER, FINISH: TBD
CASEWORK		
CW1	BASE AND UPPER CABINETS: BREAK ROOM	MATERIAL: PL. LAM., COLOR: TBD
CW2	BASE AND UPPER CABINETS: PRINT ROOMS	MATERIAL: PL. LAM., COLOR: TBD
CW3	BASE AND UPPER CABINETS: MEETING ROOM	MATERIAL: PL. LAM., COLOR: TBD
CW4	RECEPTION COUNTER	WOOD FINISH, STAIN COLOR TBD
CEILING		
AC1	ACOUSTIC CEILING PANEL	BY TECTUM, 1" THK. PANELS W/ BEVEL EDGE, COLOR: TBD, PROVIDE FURRING
AC2	SUSPENDED ACOUSTICAL CEILING TILE SYSTEM	STYLE: TBD, COLOR: TBD
AC3	SUSPENDED ACOUSTICAL WOOD CEILING SYSTEM	BY RULON OR SIM., STYLE: TBD, FINISH: TBD
COUNTER TOP MATERIAL		
CT1	QUARTZ SOLID SURFACING: LOBBY, MEETING, AND BREAK ROOM	COLOR: TBD
CT2	QUARTZ SOLID SURFACING: CLIENT RESTROOM	COLOR: TBD
CT3	PLASTIC LAMINATE: PRINT ROOMS	COLOR: TBD
FLOORING		
C1	POLISHED CONCRETE, STAINED	COLOR: TBD, GLOSS FINISH
CPT1	WALK-OFF MAT CARPETING	STYLE: TBD, COLOR: TBD
CPT2	TILE CARPETING	STYLE: TBD, COLOR: TBD
RF1	RESILIENT FLOORING	COLOR: TBD
RF2	RESILIENT FLOORING, STATIC DISSAPATIVE	COLOR: TBD
T1	PORCELAIN TILE: CLIENT RESTROOM FLOOR	STYLE: TBD, COLOR: TBD, GROUT: TBD
T2	PORCELAIN TILE: STAFF RESTROOM FLOOR	STYLE: TBD, COLOR: TBD, GROUT: TBD
WALL		
FRP1	FIBERGLASS REINFORCED PANEL	COLOR: WHITE
P1	FIELD PAINT	COLOR: TBD, FLAT
P2	FIELD PAINT, WET AREAS	COLOR: TBD, EGGSHELL
P3	ACCENT PAINT	COLOR: TBD, FLAT
P4	ACCENT PAINT	COLOR: TBD, FLAT
T3	CERAMIC TILE: CLIENT RESTROOM	STYLE: TBD, COLOR: TBD, GROUT: TBD
T4	CERAMIC TILE: STAFF RESTROOM	STYLE: TBD, COLOR: TBD, GROUT: TBD
T5	CERAMIC TILE: BREAK ROOM BACKSPLASH	STYLE: TBD, COLOR: TBD, GROUT: TBD
WC1	WALL COVERING, LOCATIONS TBD	STYLE AND COLOR TBD

NOT FOR
CONSTRUCTION

PLANNING
SUBMITTAL

CHRISP LAW
OFFICE
BUILDING

21137 CALISTOGA ROAD
MIDDLETOWN, CA 95461

REV. #	DESCRIPTION	DATE
1	PLANNING SUBMITTAL REV.	5/20/20

PRELIMINARY
SCHEDULES

PROJECT NUMBER	19027.00
DATE	MAR. 10, 2020
DRAWN BY	NB/APS
CHECKED BY	NB

A61

CHRISP LAW OFFICE BUILDING

PRELIMINARY PROJECT DESIGN NARRATIVE
AND 3D VIEWS

MARCH 10, 2020
Updated MAY 20, 2020

DESIGN NARRATIVE

Reference: Middletown Area Plan, Design Guidelines, 7.2
See Sheet A92, Exterior Project Materials & Colors
See attached Exterior Lighting Cutsheets

BUILDING MASSING AND ARRANGEMENT

The form of the new Law Office Building is designed to blend with the core of Middletown. The mass of the building is broken into two equal portions, with the public entry located at the back of the sidewalk near the middle of the property in the central form. The second portion, which is composed of employee office space and storage areas is pushed 12-feet away from the back of the sidewalk to offer relief where the property transitions to the neighboring restaurant building to the South. The 1-story structure utilizes parapet walls for a traditional, western feel along the Calistoga Road and Young Street frontages. The parapet break-ups the cornice line and adds variety to the building height. The rear of the building reveals a small-scale structure which gives preference to the street elevations, while offering a welcoming covered employee entry area. Parking areas are tucked behind the building, with vehicle entry at approximately mid-block along Young Street.

DETAILS AND CHARACTER

Overhanging canopies and window awnings create interest along the building facades. A primary steel canopy wraps the building corner, shelters pedestrians, and shades the front facade. The canopy breaks-up the tall corner of the building, while creating a unique building feature that guides building visitors to the main entry. Additional window awnings create shade and shadow and contribute to the rhythm of the elevations. The main entry is a traditional recessed doorway with windows wrapping the entry and a reclaimed wood finish to mark the passage into the building. The entry borrows details and its modest scale from traditional small-town merchant entryways. Overall, the arrangement of punched openings, canopies and awnings at the building exterior leaves the impression of a more nuanced, less symmetrical design. This is intended to provide variety to the streetscape and is consistent with Middletown's character.

MATERIALS AND COLORS - "TOWN AND COUNTRY"

The Law Office Building employs a straightforward materials palette which connects the project to the townscape, as well as the larger rural setting. Cement Plaster colors are used to break-up the building height. Plaster textures provide difference between the building base, which is a dark color with heavier texture, and the upper building wall which is a lighter color and smooth texture with the quality of a traditional hand-troweled wall. The primary color palette relates to the new hardware store building nearby without mimicry. This makes the building relatable, but also creates some difference which lends character to the town fabric. Accent materials of natural metals, core-ten steel (rust-color), and natural reclaimed oak siding are used in lieu of painted accent colors. Using natural finish materials rather than painted accents contributes to the timeless quality of the materials palette and connects to the rural setting. The rear of the building is clad in corrugated metal panels with a non-reflective finish to further relate to the agricultural tradition of Lake County.

OTHER DETAILS

The proposed project includes the development of the sidewalk frontage of Calistoga Road to match Middletown's core area in concrete finish, street tree placement, and historic light poles. The street frontage and sidewalk are proposed to wrap along Young street to provide connection to the parking area at the rear of the site. At the corner of Young and Bush Street, an existing Oak tree is to remain protected in place. Further, the frontages at the corner of the property and along Bush Street facing the neighborhood are intended to be left un-developed. This treatment of the frontage will maintain the rural feel of the area in a way consistent with the street frontages along the side and rear of the Town Hall and Library building. A traditional central building sign is located over the main entry at the parapet. Lighting for the signage will be shielded and decorative with a traditional, slightly agricultural feel.

CONCLUSION

Overall, the project design responds to the Design Guidelines within Middletown's Area Plan by adding character to the town in a complementary manner. Additional care and consideration are given to the local rural and agricultural feel.



DETAIL VIEWS OF MAIN ENTRY
AND EMPLOYEE ENTRY



OVERALL BUILDING MASSING AND VIEWS
AT STREET FRONTAGES



PROPOSED PARKING LOT
AND EMPLOYEE ENTRY

CHRISP LAW OFFICE BUILDING

EXTERIOR PROJECT MATERIALS & COLORS PRELIMINARY SELECTIONS

MARCH 10, 2020
Updated MAY 20, 2020

EXTERIOR FINISH LIST

CEMENT PLASTER FINISHES

- CP1 MAIN BODY FINISH: PAREX, SAND SMOOTH TEXTURE
COLOR: BM "COVENTRY GRAY" HISTORICAL COLOR HC-169
CP2 BASE FINISH: PAREX, SAND FINE TEXTURE
COLOR: BM "KENDALL CHARCOAL" HISTORICAL COLOR HC-166

METAL FINISHES

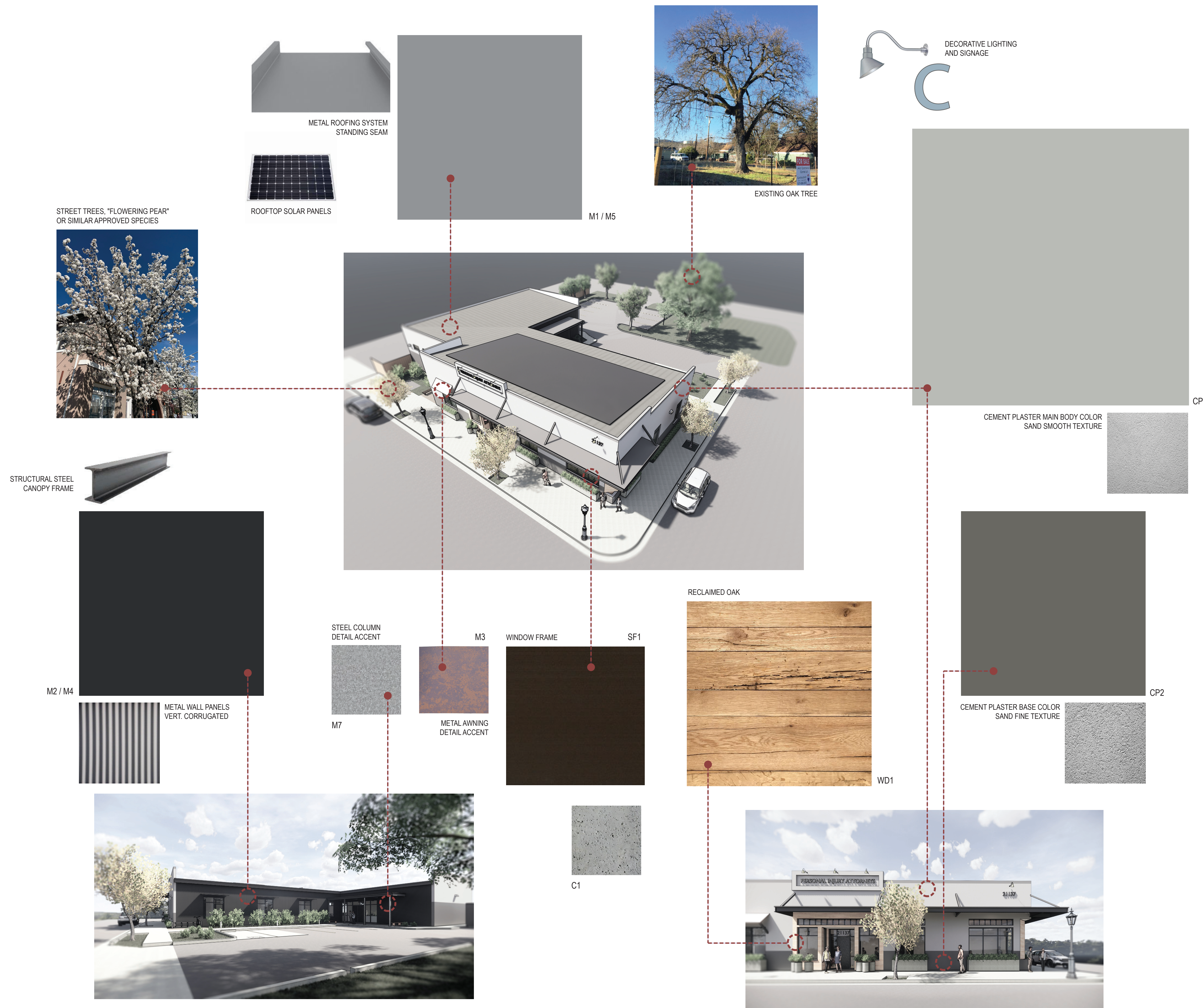
- M1 STRUCTURAL STANDING SEAM METAL ROOFING SYSTEM, CLASS A
FACTORY FINISH, NON-REFLECTIVE, COLOR: "ZINC GRAY"
M2 VERT. CORRUGATED METAL WALL PANEL SYSTEM, CLASS A
FACTORY FINISH, NON-REFLECTIVE, COLOR: MATTE BLACK
M3 METAL AWNING, FACTORY FINISH, COLOR: "FRESH RUST"
M4 STEEL CANOPY, BEAMS, AND AWNING FRAME SUPPORT STRUCTURE
POWDER COATED FINISH, COLOR: "MATTE BLACK"
M5 PARAPET METAL COPING, FACTORY FINISH, NON-REFLECTIVE, COLOR: "ZINC GRAY"
M6 DECORATIVE LED LIGHT FIXTURE, WALL MOUNTED, COLOR: "GALVANIZED"
M7 STEEL CANOPY COLUMN, GALVANIZED

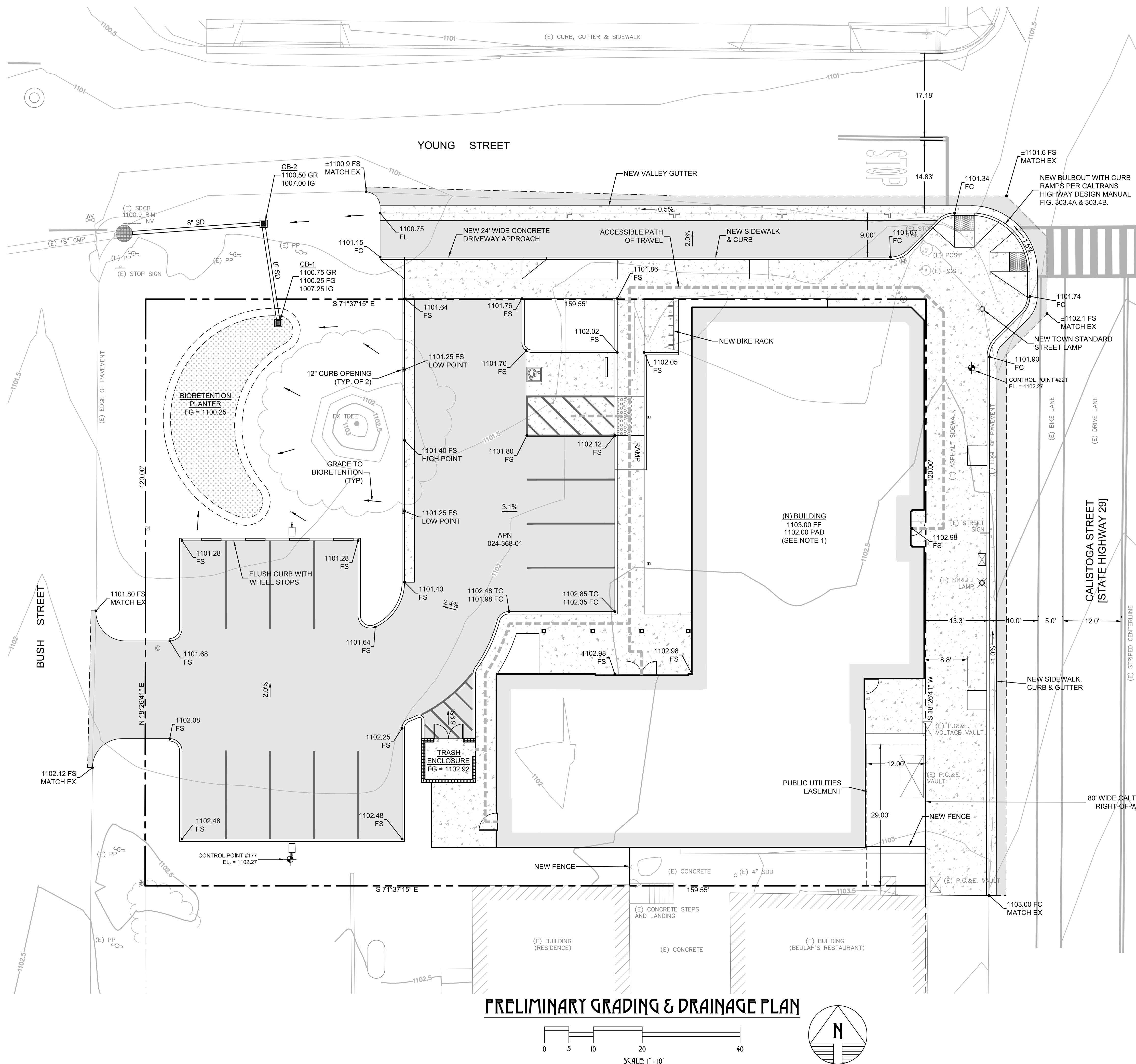
WOOD FINISH

- WD1 RECLAIMED VALLEY FIRE OAK WOOD CLADDING
GYP. SHEATHING UNDERLAYMENT, CLEAR FINISH

OTHER FINISHES

- SF1 EXT. ALUM. STOREFRONT WINDOW AND DOOR SYSTEMS
THERMALLY-BROKEN, COLOR: "DARK BRONZE"
GL1 PPG SOLARBAN 70XL: CLEAR LOW-E 1" INSULATED GLAZING UNITS
C1 PRE-CAST CONCRETE SILL TRIMS, NATURAL FINISH, COLOR: "FRENCH GRAY"



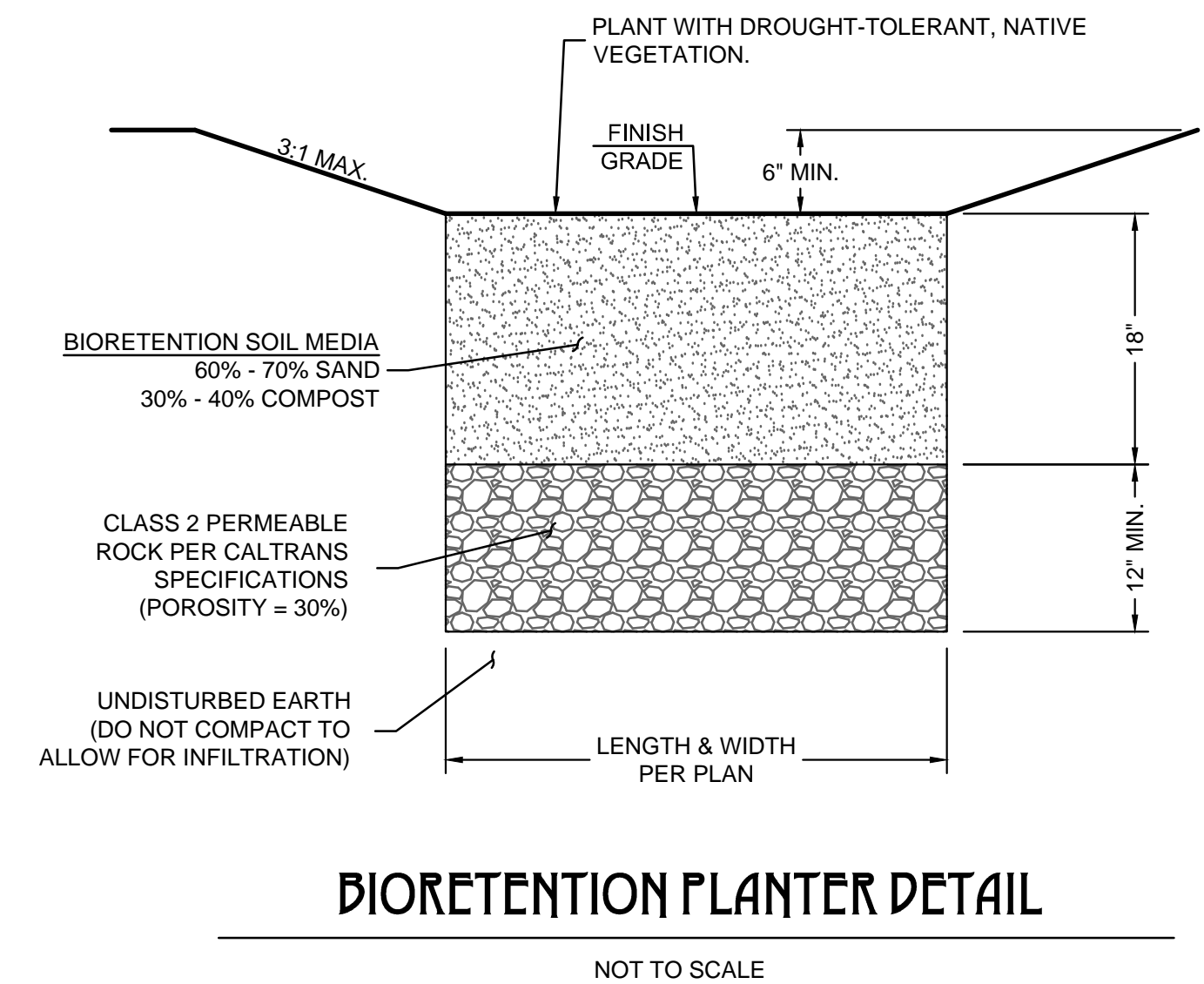


GRADING/PAVING LEGEND

ASPHALT

CONCRETE

- NOTES**
1. GRADING AND SOIL PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT SOILS REPORT PREPARED BY LACO ASSOCIATES, DATED MAY 5, 2020.
 2. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF SLABS.
 3. CONCRETE LANDINGS, PATIOS AND WALKWAYS ADJACENT TO BUILDINGS SHALL COMPLY WITH CALIFORNIA RESIDENTIAL CODE CRC SECTION R401.3 (2% MAX CROSS-SLOPE AND 5% MAX LONGITUDINAL SLOPE).
 4. GRADING ACTIVITIES SHALL NOT COMMENCE UNTIL APPLICABLE SEDIMENT BMPs HAVE BEEN INSTALLED.
 5. ALL RUNOFF FROM ROOF DOWNSPOUTS SHALL BE DIRECTED TO THE BIORETENTION PLANTER.



BEAR FLAG

ENGINEERS + SURVEYORS

CIVIL ENGINEERING
LAND SURVEYING
SEPTIC SYSTEM DESIGN
PROJECT MANAGEMENT
LAND DEVELOPMENT
FORENSIC ENGINEERING

PO BOX 2193
SONOMA, CA 95476
PHONE: (707) 996-8449
CHAD@BEARFLAGCIVIL.COM

REGISTERED PROFESSIONAL ENGINEER
CHAD S. MOLL
No. C 79721
Exp. 9/30/20
CIVIL
STATE OF CALIFORNIA

CHAD S. MOLL
RCE 79721

PRELIMINARY GRADING + DRAINAGE PLAN

CHRISP LAW OFFICE BUILDING

21137 CALISTOGA ROAD, MIDDLETOWN, CA, 95461

APN: 024-368-01

REV	DATE	DESCRIPTION

DATE: 7/1/2020

DESIGN: RC

PROJECT: 20023

SHEET

C1

OF 2 SHEETS

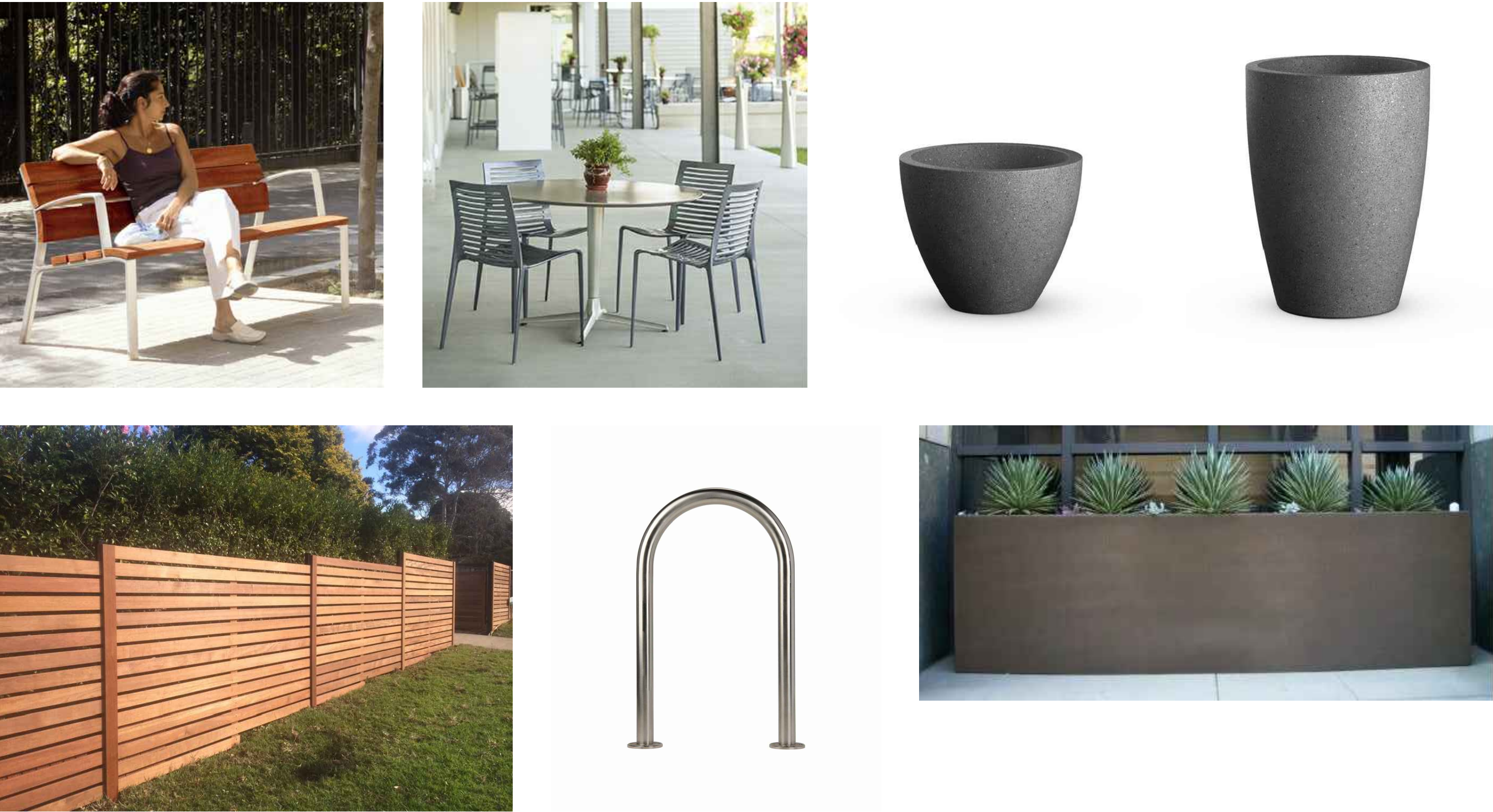


CANDIDATE TREE AND PLANTING IMAGERY



Planting Concept: Plants are arranged to maximize the contrast between their foliage colors; blue-green, cream, and dark green. Flowering plants are selected for their white and yellow flowers to complement the white flowers of the candidate trees.

REPRESENTATIVE IMAGERY: FURNITURE



CANDIDATE PLANT LIST

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
	GIN AUT	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree	24"box	Medium	Per Plan
	MAG LIT	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	24"box	Medium	Per Plan
	MAG ROY	Magnolia stellata 'Royal Star' / Royal Star Magnolia	24"box	Medium	Per Plan
	PYR KAW	Pyrus kawakamii / Evergreen Pear	24"box	Medium	Per Plan
	(QUE)	Quercus sp. (Ex) / Existing Oak to Remain	Existing	N/A	
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
	ARC HOW	Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Manzanita	15 gal	Low	Per Plan
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
	CHO TEC	Chondropetalum tectorum / Cape Rush	5 gal	Low	4" O.C.
	DIA REV	Dianella revoluta 'Little Rev' / Spreading Flax Lily	1 gal	Low	24" O.C.
	ELY CAN	Elymus condensatus 'Canyon Prince' / Canyon Prince Wild Rye	5 gal	Low	36" O.C.
	JUN ELK	Juncus patens 'Elk Blue' / Spreading Rush	5 gal	Medium	24" O.C.
	LOM PLA	Lomandra longifolia 'Platinum Beauty' / Platinum Beauty Mat Rush	1 gal	Low	30" O.C.
	MUH LIN	Muhlenbergia lindheimeri / Lindheimer's Muhly	1 gal	Low	36" O.C.
SHRUBS & GROUNDCOVERS	CODE	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
	ACA COU	Acacia cognata 'Cousin Ilt' / River Wattle	5 gal	Low	36" O.C.
	CIS PRO	Cistus salvifolius 'Prostratus' / Sageleaf Rockrose	5 gal	Low	5" O.C.
	LAV MLO	Lavandula allardii 'Meerlo' / Meerlo Lavender	5 gal	Low	30" O.C.
	MAH SOF	Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress	5 gal	Low	3.5" O.C.
	MYR COM	Myrtus communis 'Compacta' / Dwarf Myrtle	5 gal	Low	36" O.C.
	NAN LEM	Nandina domestica 'Lemon Lime' / Lemon Lime Nandina	5 gal	Low	3.5" O.C.
	POD MAK	Podocarpus macrophyllus 'Maki' / Maki Shrubby Yew Pine	5 gal	Medium	36" O.C.
	WES MOR	Westringia fruticosa 'Morning Light' / Morning Light Coast Rosemary	5 gal	Low	4" O.C.
SUCCULENTS	CODE	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
	AGA BLU	Agave x 'Blue Glow' / Blue Glow Agave	1 gal	Low	36" O.C.
	SED ANG	Sedum rupestre 'Angelina' / Yellow Stonecrop	1 gal	Low	Planter Pot
	YUC BRI	Yucca gloriosa 'Bright Star' / Bright Star Yucca	5 gal	Low	5" O.C.

PROJECT IRRIGATION CONCEPT & STATEMENT OF COMPLIANCE

All irrigation and planting design will comply with the criteria of local and state Water Resources Model Water Efficient Landscape Ordinances. The irrigation system will be comprised of subsurface drip irrigation for shrub and groundcover planting areas, on-grade deep watering bubblers for trees, and non-irrigated mulch area at an existing oak.

- The system will include the following items:
- Weather based, self-adjusting irrigation controller with a weather sensor
 - Trees to be placed on separate valves
 - Low and medium water use planting hydrozones to be placed on separate valves
 - Isolation valves to be installed at point of connection and before each valve or manifold
 - Check valves to be installed to prevent low point drainage

MAWA CALCULATIONS

Maximum Applied Water Allowance (MAWA)									
MAWA = (ETo) (0.62)[(0.6x LA) + (0.4 x SLA)]									
Where:									
ETo = Annual Net Reference Evapotranspiration (inches)									
0.6 = ET Adjustment Factor									
LA = Landscaped Area (square feet)									
0.62 = Conversion factor (to gallons per square foot)									
SLA = Portion of the landscape area identified as Special Landscape Area (square feet)									
0.4 = the additional ET adjustment factor for Special Landscape Area (1.0 - 0.6 = 0.4)									
A.) Net Evapotranspiration Calculation									
		45.40							
		(Annual ETo)							
		38.00		x	.25	=	9.50		
		(Annual Rainfall)					(Effective Rainfall)		
Net Evapotranspiration Calculation				=	Annual ETo	-	Effective Rainfall	=	35.90
B.) Adjusted Landscape Area Calculation									
		3884		x	0.6			=	2330.4
		(Landscaped Area)		Adjustment Factor					
		0		x	0.4			=	0
		(Special Landscaped Area)		Adjustment Factor					
		Sum of Adjusted Landscape Area						=	2330.4
MAWA =	35.90	x	0.62	x	2330.4	=	51870 gallons		
Estimated Total Water Use (ETWU)									
A.) Net Evapotranspiration Calculation									
Net Evapotranspiration Calculation		=	Annual ETo	-	Effective Rainfall	=	35.90		
B.) Adjusted Landscape Area Calculation									
		3456		x	0.3			=	1036.8
		(Low water use plant sqft)							
		428		x	0.6			=	256.8
		(Moderate water use plant sqft)							
		0		x	1.0			=	0
		(High water use plant sqft)							
		Sum of Adjusted Landscape Area						=	1,294
ETWU =	35.90	x	0.62	x	1,294	/	0.85	=	33874 gallons
Irrigation Efficiency Factor									
Percent of total landscape irrigated with Drip									
		0-25%						0.71	
		26-50%						0.75	
		51-75%						0.80	
		76-100%						0.85	

Preliminary Landscape Notes

Chrisp Law Office Building
21137 Calistoga Road
Middletown, CA 95461

May 19, 2020