

GRADING GENERAL NOTES

PROJECT ADDRESS: 3701 N. PACIFIC PLACE, LONG BEACH CA
PERMIT #:
WORK DESCRIPTION: CLEAR AND GRUB EXISTING SITE PRIOR TO CONSTRUCTION OF 3 STORY 51,000 SQUARE FOOT SELF STORAGE BUILDING AND PARKING LOT.

1. GRADING WORK SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE 2013 AND LOCAL AMENDMENTS ADOPTED BY THE CITY OF LONG BEACH.

2. RECOMMENDATIONS INCLUDED IN THE CONSULTANT SOILS AND GEOLOGY REPORT BY
CARL KIM GEOTECHNICAL, INC. NOVEMBER 14, 2019
(SOILS ENGINEER) (DATE)
945 BAILEYANA ROAD, HILLSBOROUGH, CA 94010 (949) 441-8143
(ADDRESS) (TELEPHONE)
AND ALL ADDENDA SHALL BE COMPLIED WITH AND ARE A PART OF THE GRADING PLANS AND SPECIFICATIONS.

3. YARDAGE QUANTITIES FOR PERMIT PURPOSES: **
CUT 45,900 CY, FILL 51,800 CY, IMPORT 5,900 CY
REMOVAL / RECOMPACTION 8,000± CY

4. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER. SHEETING, SHORING, AND BRACING FOR THE TRENCH EXCAVATION SHALL CONFORM TO THE REQUIREMENTS OF "CONSTRUCTION SAFETY ORDERS," TITLE 8, DIVISION OF INDUSTRIAL SAFETY, STATE OF CALIFORNIA.

5. FOR PROJECTS GREATER THAN 1 ACRE IN SIZE, A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WITH NOTICE OF INTENTION (NOI) MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.

6. ALL PROPERTY LINE AND CORNERS (LOT BOUNDARY) SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.

7. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.

8. FILL PLACEMENT AREAS SHALL BE INSPECTED AND APPROVED BY THE CONSULTANT GEOLOGIST AND SOILS ENGINEER PRIOR TO PLACEMENT OF ANY FILL.

9. THE CONSTRUCTION DOCUMENTS AND RELATED WORKS ARE REQUIRED AS FOLLOWS:
A. ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED.
B. NO FILL TO BE PLACED UNTIL CITY INSPECTORS HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
C. ALL FILL SHALL BE COMPACTED TO A MIN. RELATIVE COMPACTION OF 90%.
D. TEMPORARY EROSION CONTROL TO BE INSTALLED DURING CONSTRUCTION.

10. THE FOLLOWING BMPS SHALL BE USED AS APPLICABLE: BIOFILTRATION AND DETENTION SYSTEM
A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE CITY OF LONG BEACH DEVELOPMENT DEPARTMENT SERVICES CENTER WRITTEN CERTIFICATION OF COMPLETION IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO ISSUANCE OF THE BUILDING PERMIT. CERTIFICATIONS SHALL BE TO LINE, GRADE, ELEVATION AND LOCATION OF CUT AND FILL SLOPES.

11. GRADING SHALL BE DONE UNDER THE SUPERVISION OF A SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1 FOOT DEEP.

12. A CALIFORNIA REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION WHERE SPECIFIC ELEVATIONS ARE REQUIRED. THE ELEVATION WITH RESPECT TO MEAN SEA LEVEL SHALL BE GIVEN. IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED THE ACTUAL DISTANCE ABOVE THE ADJACENT GROUND SHALL BE GIVEN.

13. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15). THE CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES AND TEMPORARY DRAINAGE FACILITIES TO PROTECT ADJOINING PROPERTIES AND THE PUBLIC RIGHT-OF-WAY FROM MUD, SILT AND STORM WATERS ORIGINATING ON OR DIVERTED FROM THE CONSTRUCTION SITE. CONSTRUCT TEMPORARY DESILTING BASIN FOR TRAPPING MUD, DEBRIS, ETC., AND TO CLEAR THE WATER PRIOR TO DEWATERING BY ANY ACCEPTABLE MEANS LIKE PUMPING. WHEN WATER HAS BEEN CLEARED, PUMPING CAN BE MADE DIRECTLY INTO THE EXISTING PUBLIC STORM DRAIN SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SAID STORM DRAIN AFTER COMPLETION OF DEWATERING. DEWATERING OR PUMPING DIRECTLY, OR SHEET FLOW OVER PUBLIC SIDEWALK AND ROAD SURFACE, WILL NOT BE PERMITTED. DEWATERING OR PUMPING INTO THE LOS ANGELES COUNTY OR CALTRANS STORM DRAIN SYSTEM MAY REQUIRE PERMITS FROM SAID AGENCIES. THEY SHALL BE CONSULTED BEFORE DOING THE WORK.

14. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATION.

15. ANY MODIFICATIONS OF OR CHANGES IN APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.

16. FINAL GRADING MUST BE COMPLETED BEFORE OCCUPANCY OF BUILDING WILL BE ALLOWED.

17. FOR SITES SUSPECTED TO CONTAIN HAZARDOUS MATERIALS OR FOR THE PURPOSE OF DETERMINING APPLICABILITY OF THE HAZARDOUS WASTE CONTROL LAWS, THE CONTRACTOR/ DEVELOPER PRIOR TO STARTING OF GRADING OPERATIONS SHALL FILE APPLICATIONS FOR SITE CHARACTERIZATION PERMIT WITH THE DEPARTMENT OF HEALTH. ALL SITE REMEDIATION IF REQUIRED SHALL CONFORM WITH ALL APPLICABLE LOCAL AND STATE REGULATORY AGENCIES AND CONTRACTOR/ DEVELOPER SHALL OBTAIN THE NECESSARY PERMITS. FOR ADDITIONAL INFORMATION, PLEASE CONTACT THE FIRE PREVENTION BUREAU AT (562) 570-2560.

18. WHEN GRADING OCCURS DURING THE WET SEASON (OCTOBER 1 THROUGH APRIL 15), THE CONTRACTOR SHALL CONDUCT AND DOCUMENT SELF ON-SITE INSPECTIONS DURING RAIN EVENTS EXCEEDING 0.1 INCH OVER 24 HOUR PERIOD. IN ADDITION, SUSCEPTIBLE SLOPES SHALL BE COVERED.

19. A LID OBSERVATION REPORT FORM IS REQUIRED TO BE SUBMITTED TO THE INSPECTOR AT SIGNIFICANT CONSTRUCTION STAGES AND AT COMPLETION OF THE PROJECT BY THE ENGINEER.

ADDITIONAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY POINTS OF CONNECTION TO PIPES, INLETS, CURBS, GUTTERS, ETC. AND NOTIFY TRUXAW AND ASSOCIATES OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. REFER TO INSITE PACIFIC SELF STORAGE ARCHITECTURAL PLANS PREPARED BY ARCHITECTS ORANGE FOR BUILDING DIMENSIONS, BUILDING SETBACKS, CONCRETE COLORS AND FINISHES, STRUCTURAL DETAILS, WALKWAYS, EXPANSION JOINT LOCATIONS, UTILITIES, ETC.
4. ALL WORK SHALL BE DONE IN STRICT CONFORMANCE WITH CURRENT CITY OF LONG BEACH AND SPWPC STANDARDS. WORK SHALL ALSO CONFORM TO APPLICABLE BUILDING CODES (CA BUILDING CODE, CA PLUMBING CODE, ETC.) AS INTERPRETED BY THE CITY OF LONG BEACH.
5. ALL CONTRACTORS PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM THEIR OPERATIONS, WHETHER OR NOT SHOWN ON THESE PLANS.
6. EXISTING UNDERGROUND UTILITY LINE LOCATIONS WERE TAKEN FROM AVAILABLE RECORDS. OTHER UTILITIES MAY EXIST THAT ARE NOT PLOTTED HEREON.
7. EXISTING UNDERGROUND UTILITIES ARE TO BE RELOCATED AS REQUIRED TO AVOID CONFLICT WITH PROPOSED STRUCTURES.
8. EXISTING PUBLIC UTILITY EASEMENTS IN CONFLICT WITH PROPOSED STRUCTURES ARE TO BE QUITCLAIMED WITH THE APPROVAL OF THE UTILITY COMPANY. NEW EASEMENTS ARE TO BE GRANTED AT PROPOSED UTILITY LOCATIONS.
9. CALL UNDERGROUND SERVICE ALERT AT 811 FOR UNDERGROUND LOCATIONS 48 HOURS BEFORE YOU DIG.

CONCEPTUAL IMPROVEMENT PLANS

INSITE PACIFIC SELF STORAGE

3701 N. PACIFIC PLACE, LONG BEACH, CA 90806

ADDITIONAL NOTES CONTINUED

10. THE CONTRACTOR SHALL RENEW OR REPLACE ANY EXISTING TRAFFIC STRIPING AND/OR PAVEMENT MARKINGS, WHICH DURING HIS OPERATIONS HAVE BEEN EITHER REMOVED OR THE EFFECTIVENESS OF WHICH HAS BEEN REDUCED.
11. THE CONTRACTOR SHALL COMPLY WITH THE SOILS REPORT (AND ADDENDA) FOR THIS PROJECT AND ALL RECOMMENDATIONS FROM THE SOILS ENGINEER.
12. ALL TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM AN TOPOGRAPHIC AND BOUNDARY SURVEY DATED AUGUST 28, 2019 BY TRUXAW AND ASSOCIATES, INC.
13. THESE PLANS ARE BASED ON THE SITE PLAN PROVIDED TO TRUXAW & ASSOCIATES BY KSP STUDIO, DATED FEBRUARY 21, 2020.
14. ALL STORM DRAIN AND SEWER PIPE SHALL BE PLACED BEGINNING AT THE DOWNSTREAM POINT OF CONNECTION AND CONTINUING TO THE UPSTREAM TERMINUS. PIPE PLACEMENT SHALL BE CONTINUOUS. DEVIATIONS FROM THIS SEQUENCE WILL NOT BE PERMITTED. POTHOLING INFORMATION, WHERE REQUIRED, SHALL BE OBTAINED AND PROVIDED TO TRUXAW AND ASSOCIATES PRIOR TO CONSTRUCTION.
15. ALL IMPROVEMENTS BEYOND THE LIMITS OF GRADING ARE TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE.

*TITLE REPORT

THIS SURVEY AND EASEMENTS SHOWN HEREON ARE BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT PREPARED BY:

TICOR TITLE
1500 QUAIL STREET, 3RD FLOOR
NEWPORT BEACH, CA 92660
(714) 289-3300

ORDER/FILE NUMBER: 00527310-021-DN1
DATED: JULY 8, 2019 AMENDED JULY 24, 2019, AMENDMENT NO. 2
TITLE OFFICER: DAVID NOBLE

*LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
PARCEL A:
THOSE PORTIONS OF LOTS 3 AND 4 OF TRACT NO. 1400, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 96 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF SAID LOT 3 WITH THE WESTERLY LINE OF THE PACIFIC ELECTRIC RAILWAY COMPANY'S 70 FOOT RIGHT OF WAY, AS DESCRIBED IN DEED RECORDED IN BOOK 3991, PAGE 88, OF OFFICIAL RECORDS; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT 3 TO ITS INTERSECTION WITH THE EASTERLY LINE OF THE LOS ANGELES COUNTY FLOOD CONTROL CHANNEL; THENCE NORTHERLY ALONG THE EASTERLY LINE OF FLOOD CONTROL CHANNEL TO ITS INTERSECTION WITH THE SOUTHWESTERLY LINE OF PACIFIC ELECTRIC RAILWAY COMPANY'S 120 FOOT RIGHT OF WAY, AS DESCRIBED IN DEED RECORDED IN BOOK 5596, PAGE 175 OF DEEDS; THENCE SOUTHEASTERLY ALONG AFORESAID SOUTHWESTERLY LINE OF RIGHT OF WAY TO ITS INTERSECTION WITH THE WESTERLY LINE OF PACIFIC ELECTRIC RAILWAY COMPANY'S 70 FOOT RIGHT OF WAY, AS DESCRIBED IN DEED RECORDED IN BOOK 3991, PAGE 88, OF OFFICIAL RECORDS; THENCE SOUTHERLY AND WESTERLY ALONG AFORESAID WESTERLY LINE OF SAID 70 FOOT RIGHT OF WAY TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION OF SAID LAND LYING SOUTHERLY OF THE NORTHERLY LINE OF THE LAND DESCRIBED IN PARCEL 1 OF THE DEED TO THE STATE OF CALIFORNIA, RECORDED MAY 12, 1958 AS INSTRUMENT NO. 1464, IN BOOK D96, PAGE 899, OF OFFICIAL RECORDS OF SAID COUNTY.

APN: 7140-014-019 AND 7140-014-032

PARCEL B:
THAT PORTION OF LOT 4 OF TRACT NO. 1400, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18, PAGE 96 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED IN PARCEL 1 OF DEED (STATE PARCEL 7905) RECORDED JULY 12, 1960 AS INSTRUMENT NO. 1584, IN BOOK D907, PAGE 268 OF OFFICIAL RECORDS, IN SAID OFFICE, LYING NORTHERLY OF THE WESTERLY PROLONGATION OF THE NORTHERLY LINE OF PARCEL 1 OF HIGHWAY RIGHT OF WAY (REL-429) RELINQUISHED TO THE COUNTY OF LOS ANGELES BY RESOLUTION OF THE CALIFORNIA HIGHWAY COMMISSION, A CERTIFIED COPY OF WHICH RESOLUTION IS RECORDED NOVEMBER 30, 1965 AS INSTRUMENT NO. 4557, IN BOOK R2434, PAGE 453, OF SAID OFFICIAL RECORDS, AND AS SHOWN OF MAP FILED IN BOOK 1, PAGE 97 OF STATE HIGHWAY MAPS, IN SAID OFFICE.

EXCEPT THEREFROM, ALL OIL, MINERALS, NATURAL GAS, AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN THAT MAY BE WITHIN OR UNDER THE HEREIN CONVEYED PARCEL OF LAND, AND THE RIGHTS THERE TO, TOGETHER WITH CERTAIN OTHER CONDITIONS, AS EXPECTED AND RESERVED IN SAID DEED (STATE PARCEL 7905) RECORDED JULY 12, 1960 AS INSTRUMENT NO. 1584, IN BOOK D907, PAGE 268, OF SAID OFFICIAL RECORDS.
APN: 7140-014-033

*EASEMENTS

7. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
8. AN OIL AND GAS LEASE FOR THE TERM THEREIN PROVIDED WITH CERTAIN COVENANTS, CONDITIONS AND PROVISIONS, TOGETHER WITH EASEMENTS, IF ANY, AS SET FORTH THEREIN DATED DECEMBER 1, 1936, OIL OPERATORS, INCORPORATED, A CALIFORNIA CORPORATION, AS LESSOR AND UNION OIL COMPANY OF CALIFORNIA, A CALIFORNIA CORPORATION, AS LESSEE, RECORDED FEBRUARY 27, 1936 AS INSTRUMENT NO. 46, IN BOOK 14010, PAGE 66 OF OFFICIAL RECORDS.

NO ASSURANCE IS MADE AS TO THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE, NOR AS TO OTHER MATTERS AFFECTING THE RIGHTS OR INTERESTS OF THE LESSOR OR LESSEE IN SAID LEASE.

NOT A SURVEY ITEM.

9. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: SEWER, SEWER PIPELINE AND INCIDENTAL PURPOSES
RECORDING DATE: JULY 6, 1946
RECORDING NO: BOOK 23355, PAGE 385 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF THE LAND

10. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC HIGHWAY SLOPES AND INCIDENTAL PURPOSES
RECORDING DATE: MAY 12, 1958
RECORDING NO: 1464 BOOK D96, PAGE, 899 OF OFFICIAL RECORDS
AFFECTS: A PORTION OF THE LAND

11. THE FACT THAT THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM A PUBLIC STREET OR HIGHWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN SEVERED FROM SAID LAND BY THE DOCUMENT RECORDED MAY 12, 1958 AS INSTRUMENT NO. 1464 IN BOOK D96, PAGE 899 OF OFFICIAL RECORDS.

*EASEMENTS CONTINUED

12. ANY POSSIBLE RIGHTS, TITLE OR INTEREST THAT TIDEWATER OIL COMPANY, A DELAWARE CORPORATION, MAY HAVE BY REASON OF AN 8" PIPELINE (DELINEATED ON A DRAWING ATTACHED TO LICENSE AGREEMENT RECORDED MARCH 22, 1967 AS INSTRUMENT NO. 2958, OFFICIAL RECORDS) PASSING THROUGH THE LAND.

EASEMENT APPEARS TO HAVE EXPIRED. SEE DOCUMENT FOR FULL PARTICULARS.

13. THE FACT THAT SAID LAND IS INCLUDED WITHIN A PROJECT AREA OF THE NORTH LONG BEACH REDEVELOPMENT PROJECT, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT RECORDED JULY 17, 1996 AS INSTRUMENT NO. 96-1152104 OF OFFICIAL RECORDS.

PARCELS A & B APPEAR TO BE WITHIN A PROJECT AREA OF THE NORTH LONG BEACH REDEVELOPMENT PROJECT.

14. ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.

*BENCHMARK

CITY OF LONG BEACH BENCHMARK NO. 1720
ELEVATION = 52.680 FEET (NGVD 29 MSL 1985)

WARDLOW RD @ PACIFIC PLACE
BRASS DISC. FLUSH; STAMPED "CLB BM 1720 2000"
586' N/N CURB/WARDLOW RD.; 1' E/CURB

*BASIS OF BEARINGS

THE BEARING NORTH 00°02'45" EAST FOR THE CENTERLINE OF GOLDEN AVENUE AS SHOWN ON RECORD OF SURVEY, FILED IN BOOK 277, PAGE 53, IN THE CITY OF LONG BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

*FLOOD_ZONE

COMMUNITY NUMBER: 060136 1955F, EFFECTIVE DATE: 9/26/2008

ZONE X

PROPERTY NOT IN A SPECIAL FLOOD HAZARD AREA, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. FLOOD INSURANCE IS AVAILABLE, BUT NOT REQUIRED.

INFORMATION OBTAINED FROM CERTIFIED FLOOD SYSTEMS, INC. ON 8/16/2019

*LAND AREA

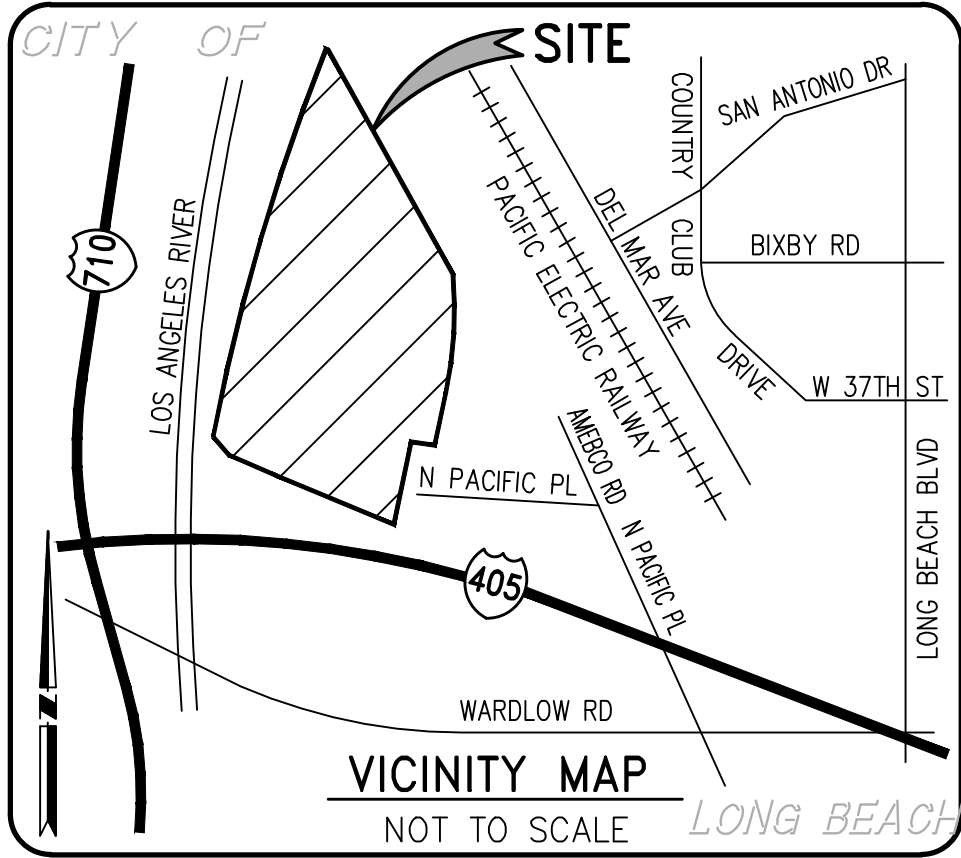
PARCEL A = 565,414 S.F. OR 12.980 AC
PARCEL B = 41,774 OR 0.959 AC

*RECORD DATA

(R) - TRACT NO. 1400, BOOK 18, PAGE 96
(R1) - RECORD OF SURVEY, BOOK 277, PAGE 53
(R2) - RECORD OF SURVEY, BOOK 152, PAGE 71

UTILITY PROVIDERS:

WATER.....LONG BEACH WATER DEPARTMENT.....(562) 570-2300
SEWER.....LONG BEACH WATER DEPARTMENT.....(562) 570-2300
+STORM DRAIN.....LOS ANGELES COUNTY FLOOD CONTROL DISTRICT.....(626) 458-5100
GAS.....CITY OF LONG BEACH RESOURCES DEPARTMENT.....(562) 570-2000
+TELEPHONE.....FRONTIER COMMUNICATIONS.....
+ELECTRIC.....SOUTHERN CALIFORNIA EDISON.....
TV.....CHARTER COMMUNICATIONS.....(805) 458-4349
+INFORMATION NOT AVAILABLE AT TIME OF SURVEY



SHEET INDEX

- 1 - TITLE SHEET
- 2 - CONCEPTUAL GRADING PLAN
- 3 - CONCEPTUAL PUBLIC ACCESS ROAD
- 4 - CONCEPTUAL SECTIONS AND DETAILS
- 5 - CONCEPTUAL WALL PLAN
- 6 - CONCEPTUAL WALL SECTIONS
- 7 - CONCEPTUAL UTILITY PLAN
- 8 - CONCEPTUAL STORM DRAIN SECTIONS
- 9 - CONCEPTUAL LID PLAN
- 10 - CONCEPTUAL LID FORM & DETAILS

REFERENCE PLANS

- *1-TITLE SHEET
- *2-BOUNDARY SURVEY
- *3-TOPOGRAPHIC SURVEY
- *4-TOPOGRAPHIC SURVEY

LEGEND

AB = AGGREGATE BASE
AC = ASPHALT CONCRETE
BLK = CONCRETE BLOCK
BS = BACK OF SIDEWALK
CB = CATCH BASIN
CF = CURB FACE
CL = CENTERLINE
CLF = CHAIN LINK FENCE
CO = CLEANOUT
DCV = DETECTOR CHECK VALVE
DS = ROOF DOWNSPOUT
EG = EDGE OF GUTTER
EP = EDGE OF PAVEMENT
FD = FOUND
FDC = FIRE DEPT. CONNECTION
FF = FINISHED FLOOR
FG = FINISHED GRADE
FH = FIRE HYDRANT
FL = FLOW LINE
FS = FINISHED SURFACE
GB = GRADE BREAK
GM = GAS METER
GR = TOP OF GRATE
GV = GAS VALVE
HP = HIGH POINT
HT = HEIGHT
ICV = IRRIGATION CONTROL VALVE
IP = IRON PIPE
LS = LIGHT STANDARD
L&T = LEAD & TAG
MH = MANHOLE
NG = NATURAL GROUND
N&T = NAIL & TAG
OHW = OVERHEAD WIRE
PB = PULL BOX
PCC = CONCRETE
PIV = POST INDICATOR VALVE
PL = PROPERTY LINE
RD = ROOF DRAIN
RWH = REDWOOD HEADER
SCB = SIGNAL CONTROL BOX
SMH = SEWER MANHOLE
SPK = SPIKE
SW = SIDEWALK
TC = TOP OF CURB
TE = TRASH ENCLOSURE
TP = TELEPHONE POLE
TRAN = TRANSITION
TRANS= TRANSFORMER

TRW = TOP OF RETAINING WALL
TW = TOP OF WALL
UG = UNDERGROUND
UP = UTILITY POLE
VAR = VARIABLE
W = WASHER
WDF = WOOD FENCE
WM = WATER METER
WV = WATER VALVE

N. = NORTH
S. = SOUTH
E. = EAST
W. = WEST
NLY = NORTHERLY
S'LY = SOUTHERLY
E'LY = EASTERLY
W'LY = WESTERLY
N/O = NORTH OF
S/O = SOUTH OF
E/O = EAST OF
W/O = WEST OF
R = RADIUS
L = LENGTH
T = TANGENT
M = MEASURED DATA
C = CALCULATED DATA
(RAD)= RADIAL BEARING
PRO = PROPORTIONATE MEASUREMENT
(210.00' R) = RECORD DATA
210.00' M. = MEASURED DATA
210.00' PRO. = PRORATED DATA
210.00' C. = CALCULATED DATA
(427.00) TC = EXISTING ELEVATION
427.00 TC = DESIGN ELEVATION

___ CATV ___ = CABLE TV LINE
___ E ___ = ELECTRICAL LINE
___ G ___ = GAS LINE
___ GB ___ GB= GRADE BREAK LINE
___ R ___ R___ = RIDGE LINE
___ S ___ = SEWER LINE
___ SD ___ = STORM DRAIN LINE
___ T ___ = TELEPHONE LINE
___ W ___ = WATER LINE

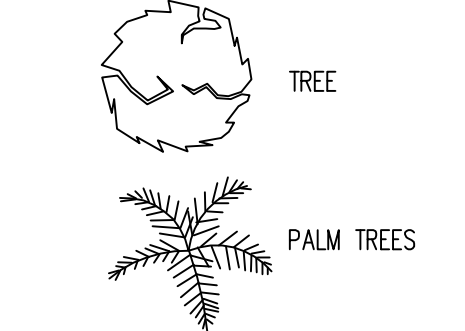
SYMBOLS

☼ FIRE HYDRANT
□ STREET LIGHT
⊕ TRAFFIC SIGNAL
⚡ TRAFFIC SIGNAL ARM & POLE
☼ LIGHT STANDARD
— UTILITY POLE
— GUY WIRE & ANCHOR

WM WATER METER
GM GAS METER
WV WATER VALVE
GV GAS VALVE
PB PULL BOX
GI GRATE INLET
S SIGN
V VENT
SM SEWER MANHOLE
SDM STORM DRAIN MANHOLE
TM TELEPHONE MANHOLE
M MANHOLE
SC SEWER CLEANOUT
MW MONITORING WELL
HP HANDICAP PARKING STALL
LA LANDSCAPED AREA
P PROTECT IN PLACE
R REMOVE AND DISPOSE OFFSITE
R relocate
PE PLOTTABLE EASEMENT ITEM
No. PER TITLE REPORT

— (427.0) — EXIST. CONTOUR
— 427.0 — DESIGN CONTOUR

LOCATION OF "PROPOSED" ENVIRONMENTAL WELL/BORING SITE. PROPOSED LOCATION MARKERS SET BY ENVIRONMENTAL ENGINEER AT TIME OF FIELD SURVEY. NOT AN AS-BUILT LOCATION (TYP.)



*SOURCE OF TOPOGRAPHIC, BOUNDARY & EASEMENT INFORMATION.

INFORMATION SHOWN ON THESE PLANS WERE TAKEN FROM THE PLAN REFERENCED BELOW.
DATE OF SURVEY: AUGUST 28, 2019
ALTA SURVEY BY: TRUXAW AND ASSOCIATES, INC.
1915 W. ORANGEWOOD AVENUE, SUITE 101
ORANGE, CA 92668
(714) 935-0265
JOB # IPG19058



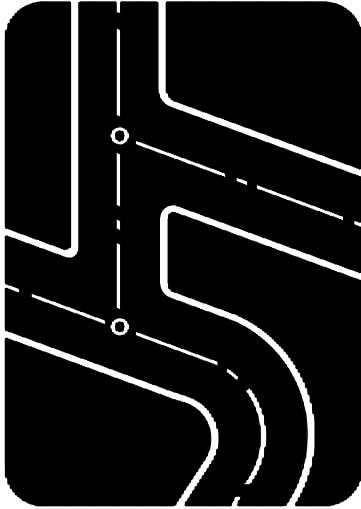
NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE
Section 4216 of the Government Code requires a Dig Alert identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert I.D. Number call Underground Service Alert CALL 811
Two working days before you dig.

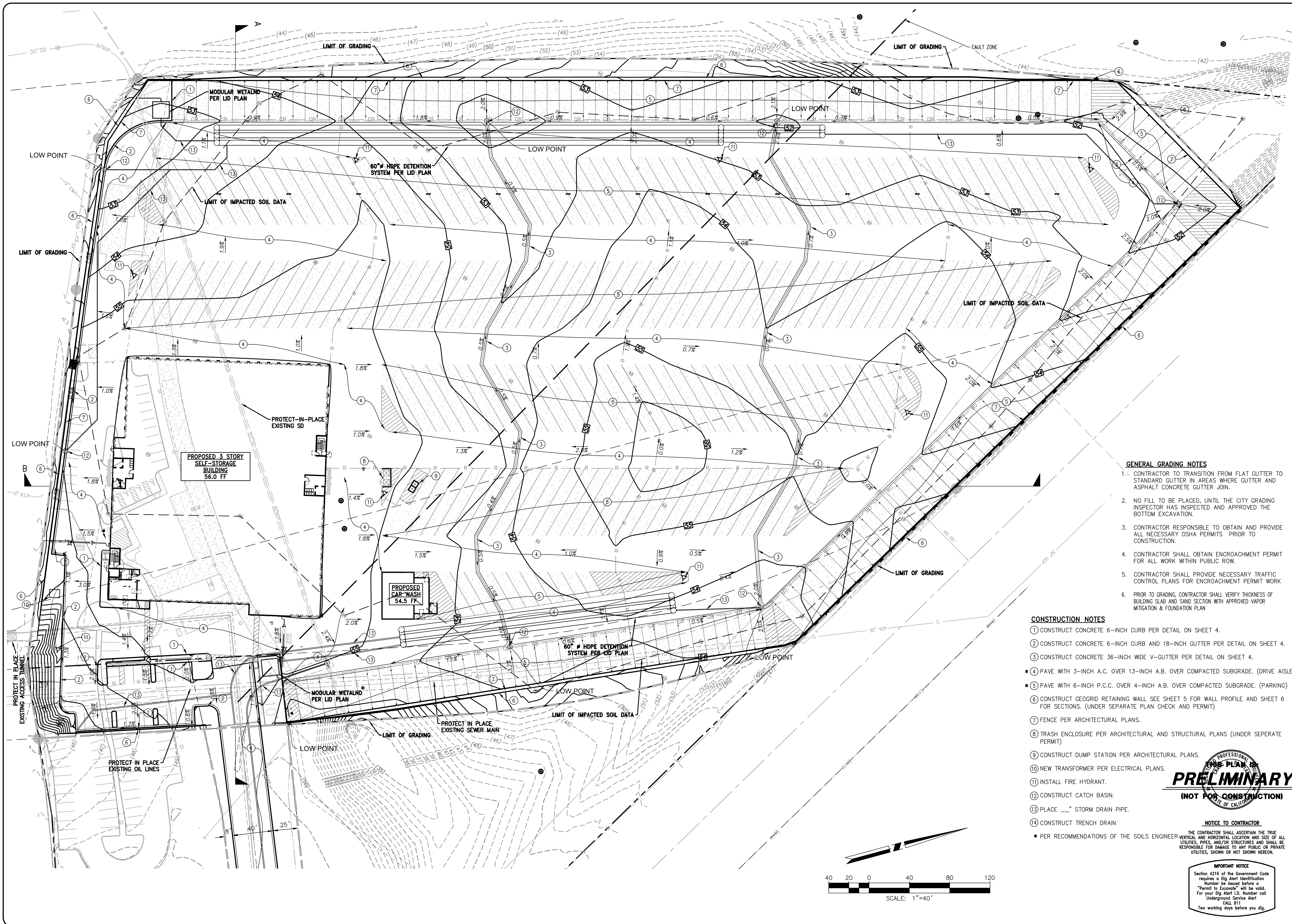
NO.	REVISIONS	DATE

Prepared by:
Joseph C. Truxaw and Associates, Inc.
Civil Engineers and Land Surveyors
1915 W. Orangewood Ave., Suite 101, Orange, CA 92668 (714) 935-0265 Truxaw.com



INSITE PACIFIC SELF STORAGE
3701 N PACIFIC PLACE, LONG BEACH, CA

DATE
3-6-20
DRAWN BY
GEOFFREY AYTON
CHECKED BY
CRAIG DI BIAS
JOB NO.
IPG19058
SHEET NO.
1
OF 10 SHEETS



GENERAL GRADING NOTES

1. CONTRACTOR TO TRANSITION FROM FLAT GUTTER TO STANDARD GUTTER IN AREAS WHERE GUTTER AND ASPHALT CONCRETE GUTTER JOIN.
2. NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
3. CONTRACTOR RESPONSIBLE TO OBTAIN AND PROVIDE ALL NECESSARY OSHA PERMITS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMIT FOR ALL WORK WITHIN PUBLIC ROW.
5. CONTRACTOR SHALL PROVIDE NECESSARY TRAFFIC CONTROL PLANS FOR ENCROACHMENT PERMIT WORK.
6. PRIOR TO GRADING, CONTRACTOR SHALL VERIFY THICKNESS OF BUILDING SLAB AND SAND SECTION WITH APPROVED VAPOR MITIGATION & FOUNDATION PLAN.

CONSTRUCTION NOTES

1. CONSTRUCT CONCRETE 6-INCH CURB PER DETAIL ON SHEET 4.
2. CONSTRUCT CONCRETE 6-INCH CURB AND 18-INCH GUTTER PER DETAIL ON SHEET 4.
3. CONSTRUCT CONCRETE 36-INCH WIDE V-GUTTER PER DETAIL ON SHEET 4.
- * 4. PAVE WITH 3-INCH A.C. OVER 13-INCH A.B. OVER COMPACTED SUBGRADE. (DRIVE AISLE)
- * 5. PAVE WITH 6-INCH P.C.C. OVER 4-INCH A.B. OVER COMPACTED SUBGRADE. (PARKING)
6. CONSTRUCT GEOGRID RETAINING WALL SEE SHEET 5 FOR WALL PROFILE AND SHEET 6 FOR SECTIONS. (UNDER SEPARATE PLAN CHECK AND PERMIT)
7. FENCE PER ARCHITECTURAL PLANS.
8. TRASH ENCLOSURE PER ARCHITECTURAL AND STRUCTURAL PLANS (UNDER SEPARATE PERMIT)
9. CONSTRUCT DUMP STATION PER ARCHITECTURAL PLANS.
10. NEW TRANSFORMER PER ELECTRICAL PLANS.
11. INSTALL FIRE HYDRANT.
12. CONSTRUCT CATCH BASIN.
13. PLACE ___" STORM DRAIN PIPE.
14. CONSTRUCT TRENCH DRAIN

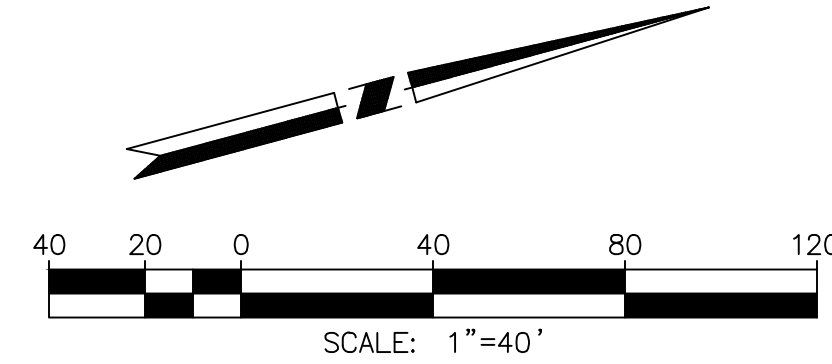
* PER RECOMMENDATIONS OF THE SOILS ENGINEER VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

PRELIMINARY
(NOT FOR CONSTRUCTION)

NOTICE TO CONTRACTOR

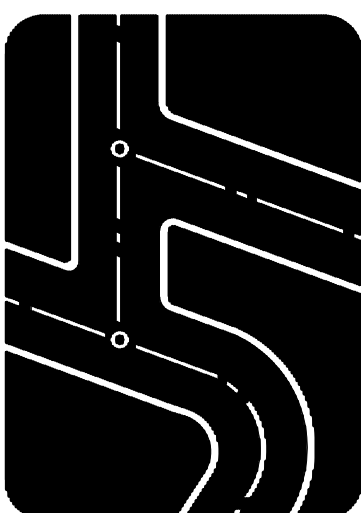
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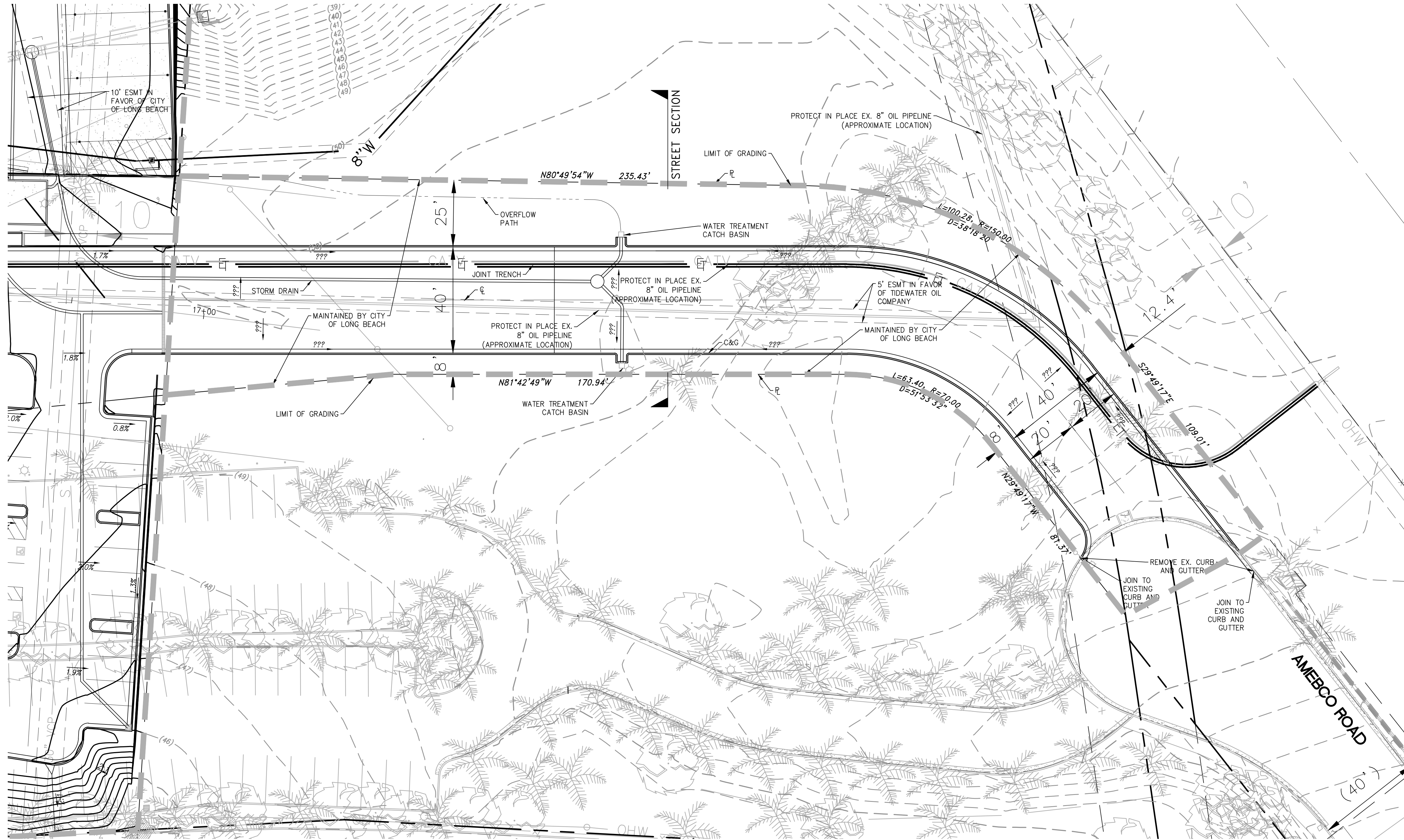
NO.	REVISIONS	DATE

Prepared by:
Joseph C. Truxaw and Associates, Inc.
Civil Engineers and Land Surveyors
1915 W. Orangewood Ave., Suite 101, Orange, CA 92668 (714) 935-0265 Truxaw.com



CONCEPTUAL GRADING PLAN
INSITE PACIFIC SELF STORAGE
3701 N PACIFIC PLACE, LONG BEACH, CA

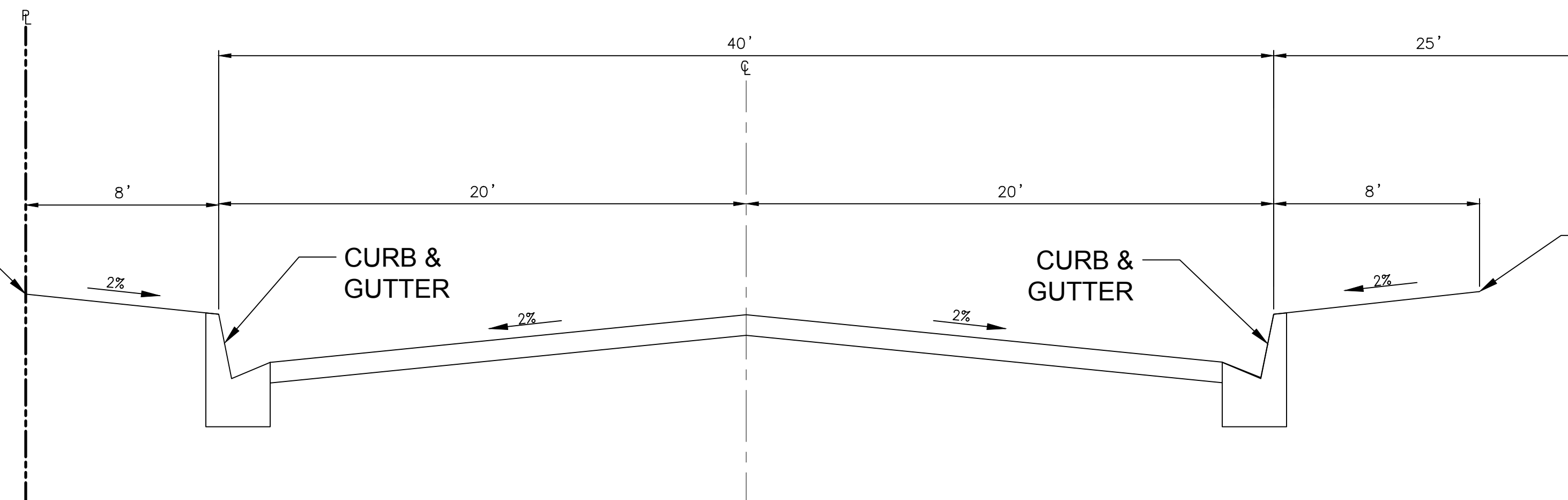
DATE 3-6-20
DRAWN BY GEOFFREY AYTON
CHECKED BY CRAIG DI BIAS
JOB NO. IPG19058
SHEET NO. 2
OF 10 SHEETS



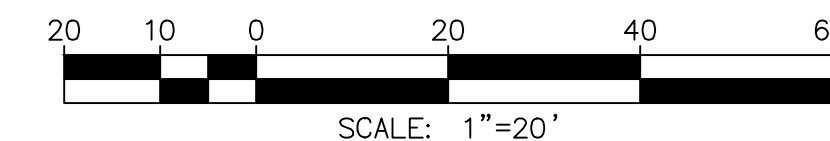
GENERAL GRADING NOTES

1. CONTRACTOR TO TRANSITION FROM FLAT GUTTER TO STANDARD GUTTER IN AREAS WHERE GUTTER AND ASPHALT CONCRETE GUTTER JOIN.
2. NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
3. CONTRACTOR RESPONSIBLE TO OBTAIN AND PROVIDE ALL NECESSARY OSHA PERMITS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMIT FOR ALL WORK WITHIN PUBLIC ROW.
5. CONTRACTOR SHALL PROVIDE NECESSARY TRAFFIC CONTROL PLANS FOR ENCROACHMENT PERMIT WORK
6. IMPROVEMENTS WITHIN CITY OF LONG BEACH ACCESS EASEMENT SHALL BE OWNED AND MAINTAINED BY THE CITY OF LONG BEACH

SLOPE TO JOIN
2:1 MAX



STREET SECTION
NTS



PRELIMINARY
(NOT FOR CONSTRUCTION)

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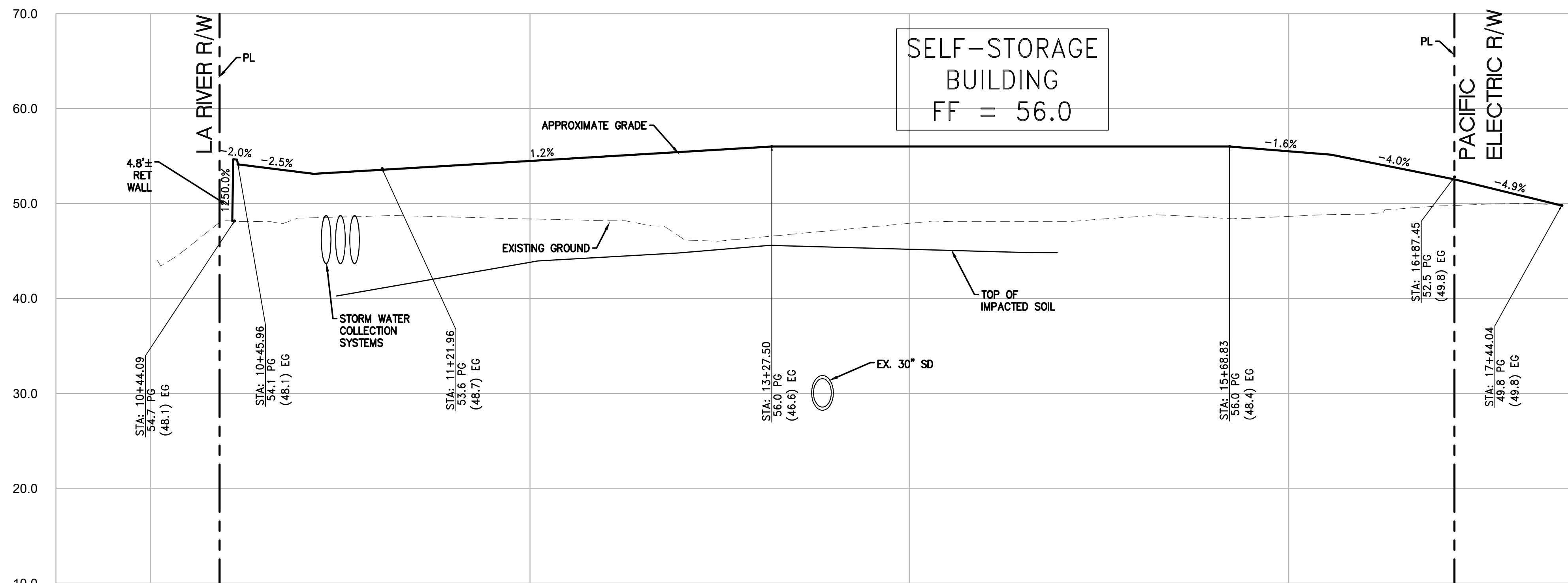
CONCEPTUAL PUBLIC ACCESS ROAD INSITE PACIFIC SELF STORAGE 3701 N PACIFIC PLACE, LONG BEACH, CA

DATE
3-6-20
DRAWN BY
GEOFFREY AYTON
CHECKED BY
CRAIG DI BIAS
JOB NO.
IPG19058
SHEET NO.

3
OF 10 SHEETS

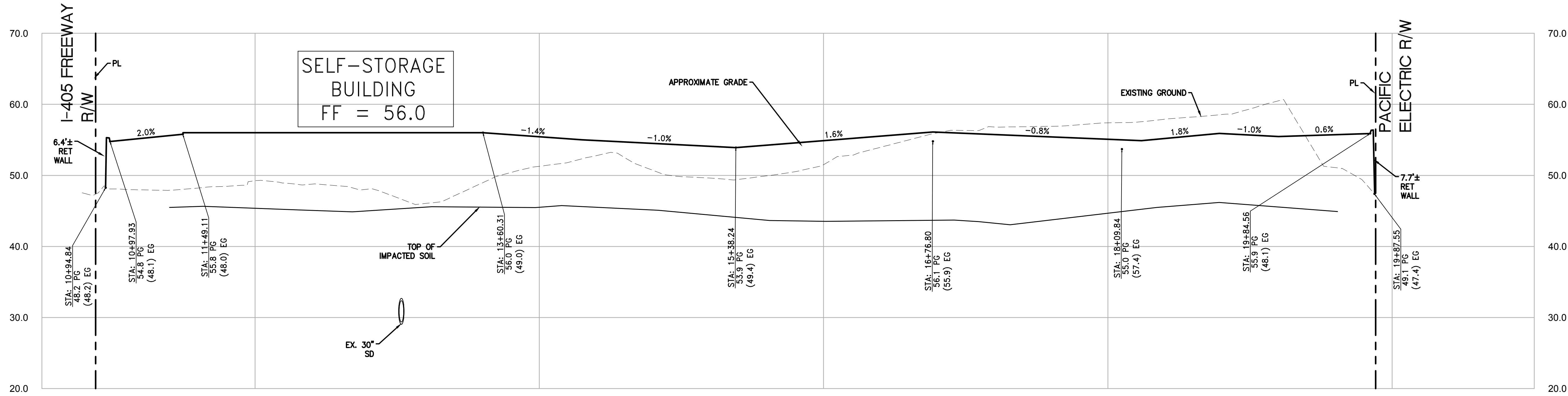
Prepared by:
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1915 W. Orangewood Ave., Suite 101, Orange, CA 92668 (714) 935-0265 Truxaw.com

NO.	REVISIONS	DATE



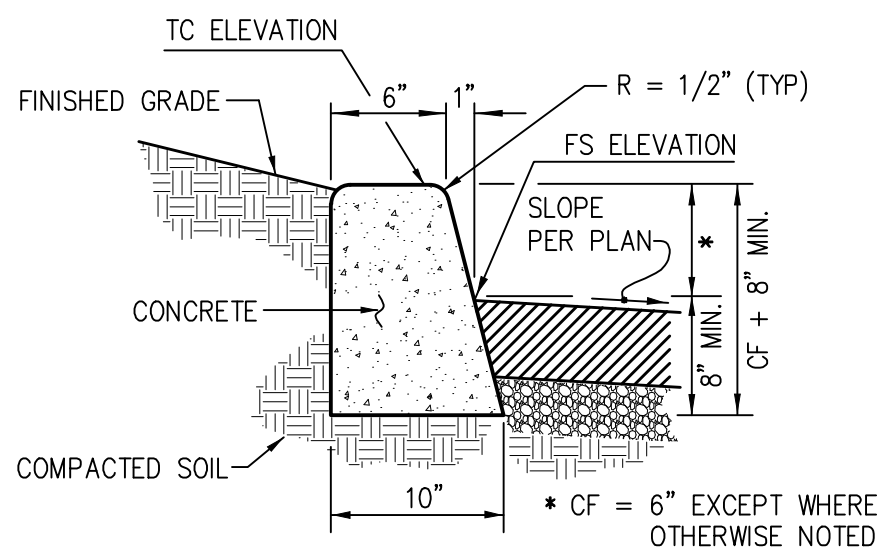
SECTION A-A

SCALE: 1"=40' (HORIZONTAL)
1"=8' (VERTICAL)



SECTION B-B

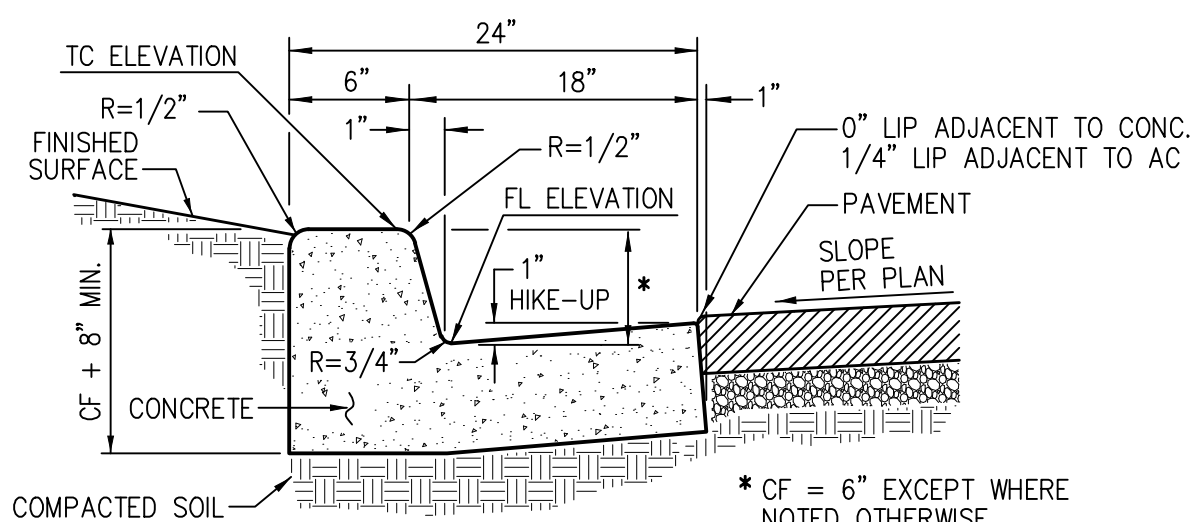
SCALE: 1"=40' (HORIZONTAL)
1"=8' (VERTICAL)



1. BOTTOM OF CURB TO BE SET ON COMPACTED SUB-GRADE OR NATURAL UNDISTURBED SOIL.
2. FINISH ALL EXPOSED CONCRETE SURFACES SMOOTH.
3. PROVIDE 1/2" EXPANSION JOINTS @ 25' O.C. MAXIMUM AT CURVES, TANGENTS AND CORNERS.
4. CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREEN BOOK) AND THE SPECIFIC REQUIREMENTS OF THE GOVERNING AGENCY.

6" CURB DETAIL

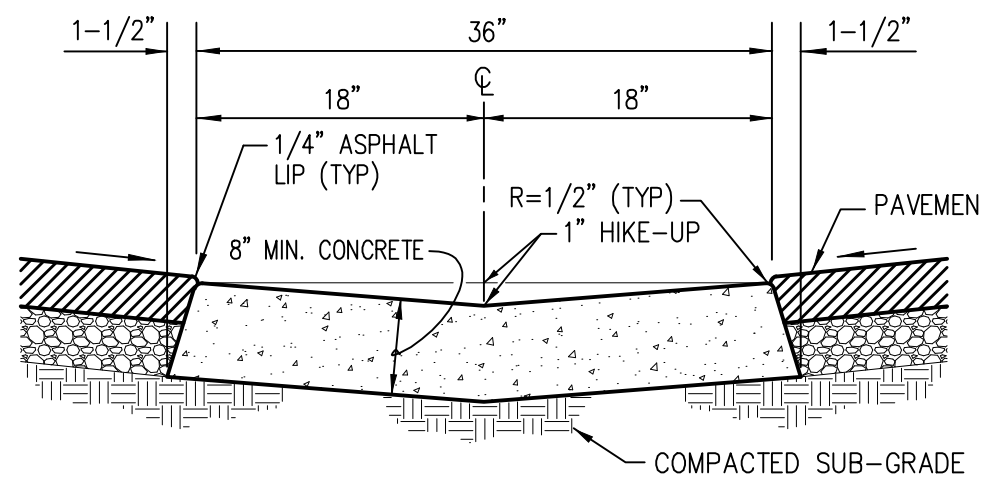
NOT TO SCALE



1. BOTTOM OF CURB TO BE SET ON COMPACTED SUB-GRADE OR NATURAL UNDISTURBED SOIL.
2. FINISH ALL EXPOSED CONCRETE SURFACES SMOOTH.
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6" CURB & 18" GUTTER DETAIL

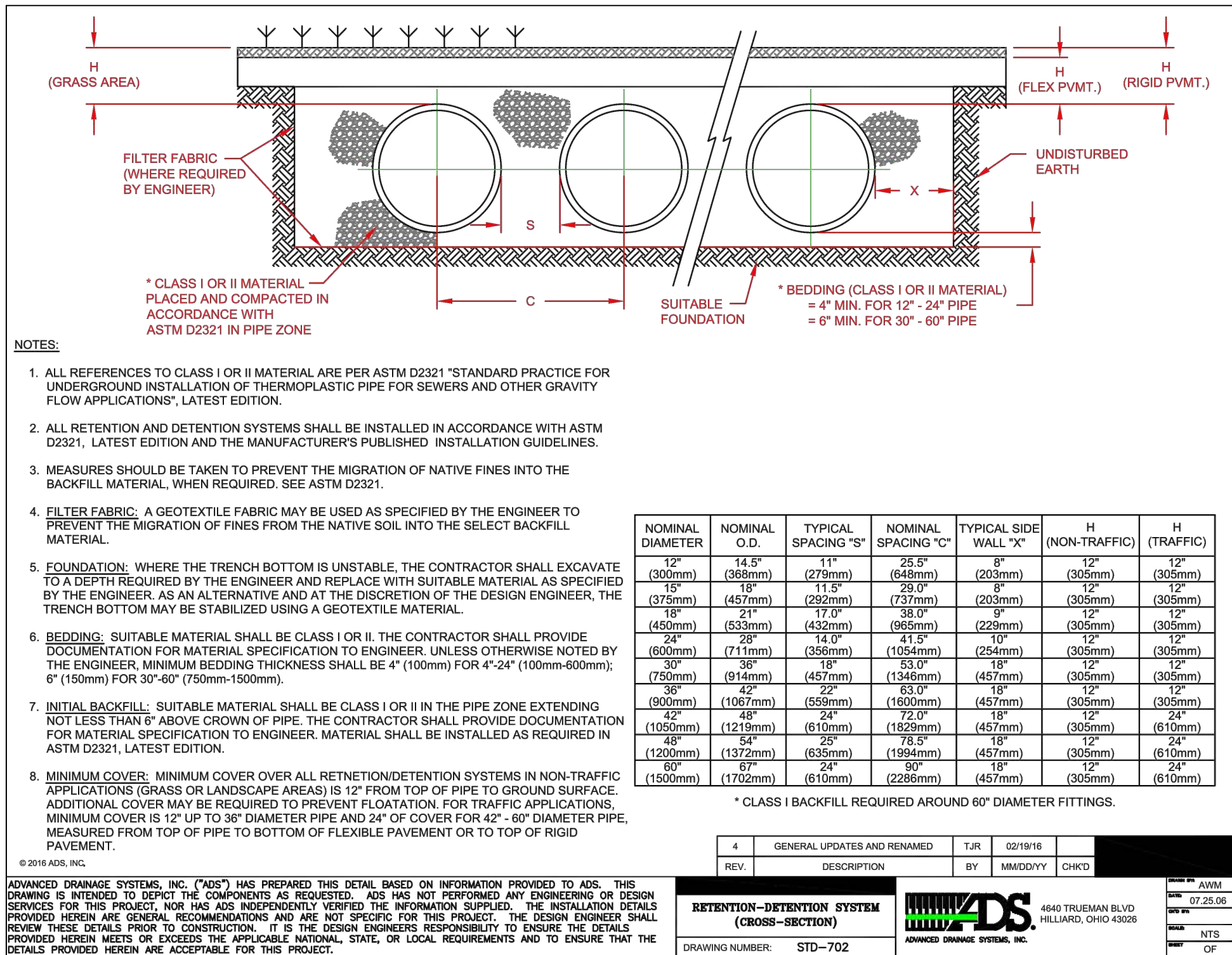
NOT TO SCALE



1. BOTTOM OF CONCRETE TO BE SET ON COMPACTED SUB-GRADE OR NATURAL UNDISTURBED SOIL.
2. FINISH ALL EXPOSED CONCRETE SURFACES SMOOTH.
3. PROVIDE 1/2" EXPANSION JOINTS @ 25' O.C. MAXIMUM AT CURVES, TANGENTS AND CORNERS.
4. CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREEN BOOK) AND THE SPECIFIC REQUIREMENTS OF THE GOVERNING AGENCY.

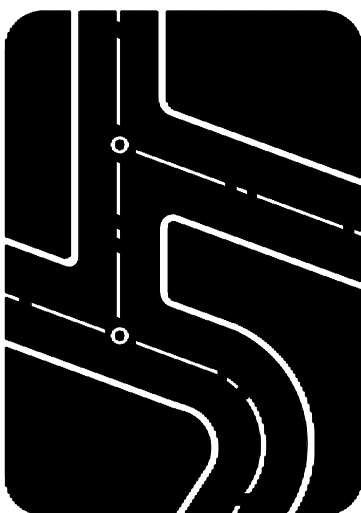
36" WIDE GUTTER DETAIL

NOT TO SCALE



NO.	REVISIONS	DATE

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CONCEPTUAL SECTIONS AND DETAILS
INSITE PACIFIC SELF STORAGE
3701 N PACIFIC PLACE, LONG BEACH, CA

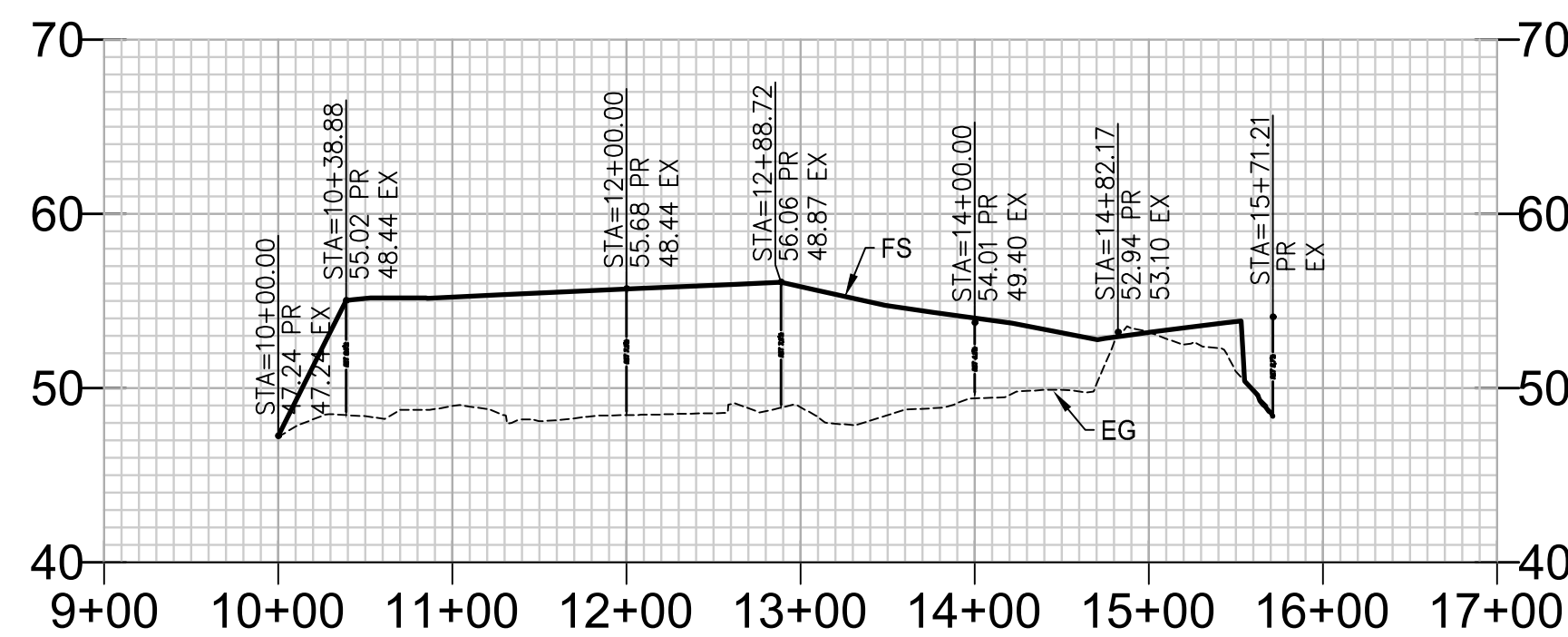
PRELIMINARY
(NOT FOR CONSTRUCTION)

NOTICE TO CONTRACTOR

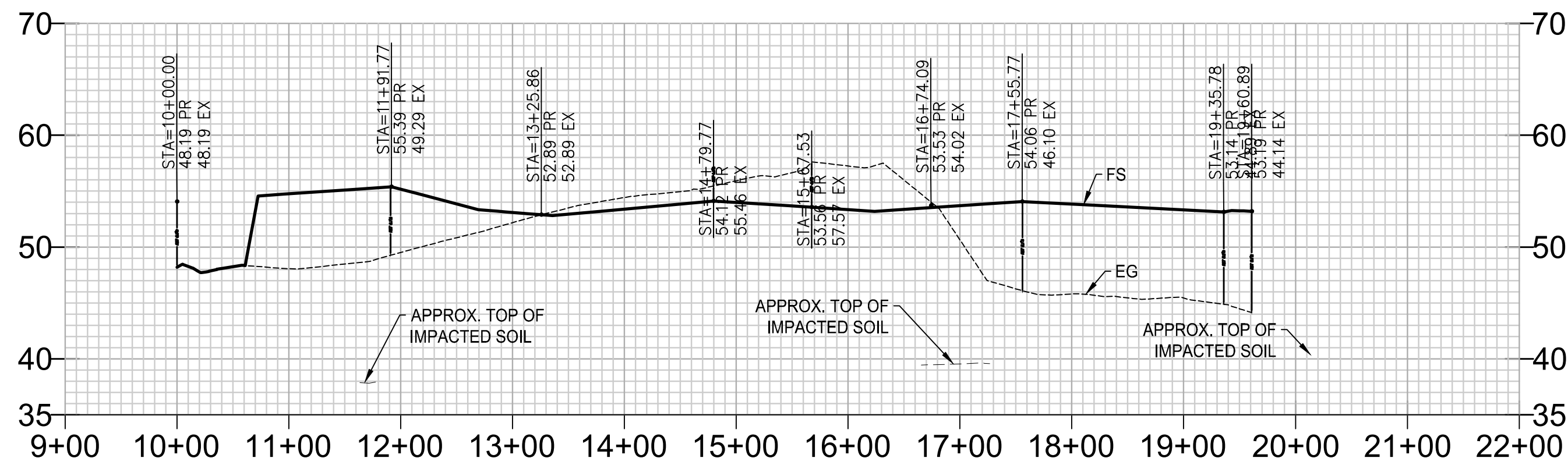
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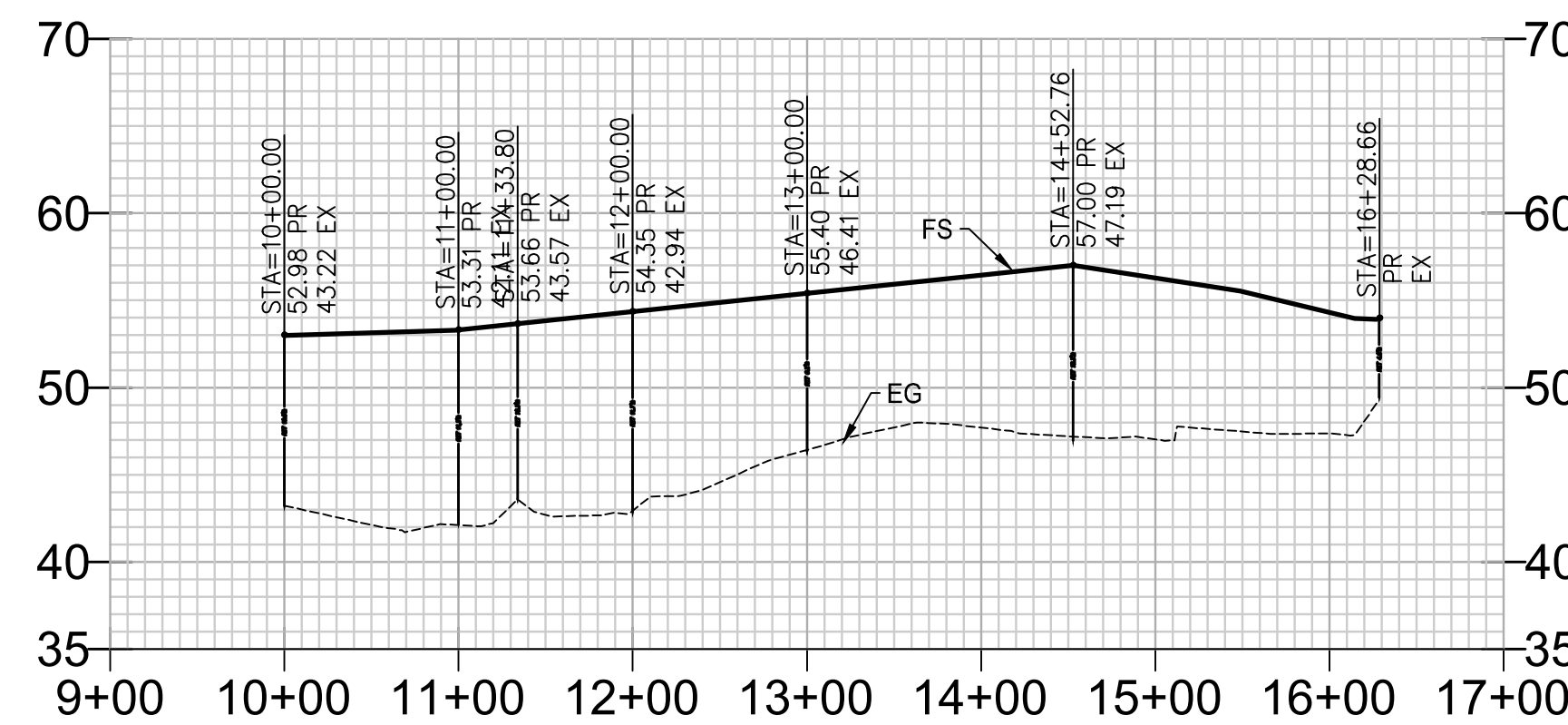
DATE
3-6-20
DRAWN BY
GEOFFREY AYTON
CHECKED BY
CRAIG DI BIAS
JOB NO.
IPG19058
SHEET NO.
4
OF 10 SHEETS



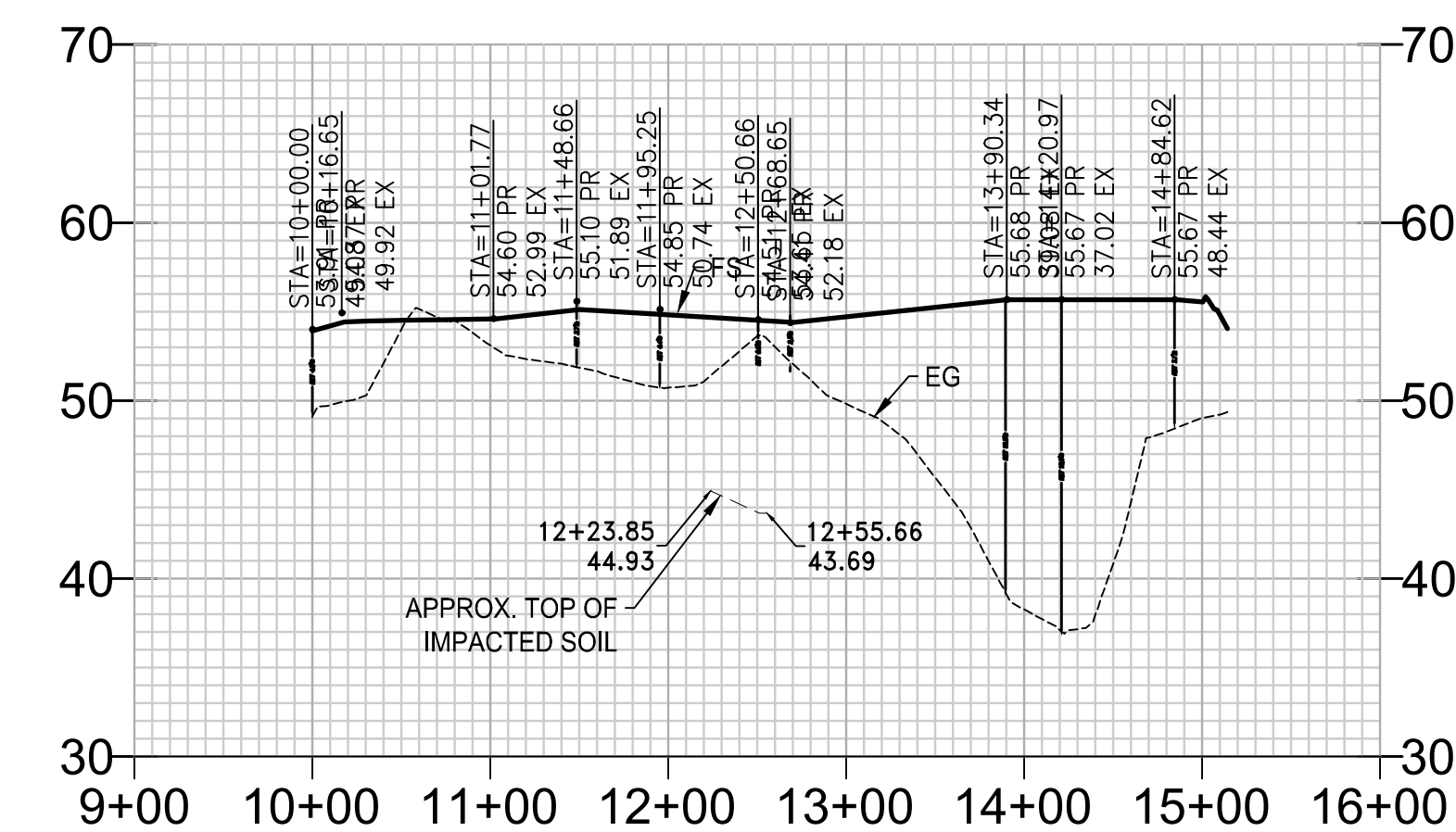
PROFILE ALONG WALL 'A'



PROFILE ALONG WALL 'B'

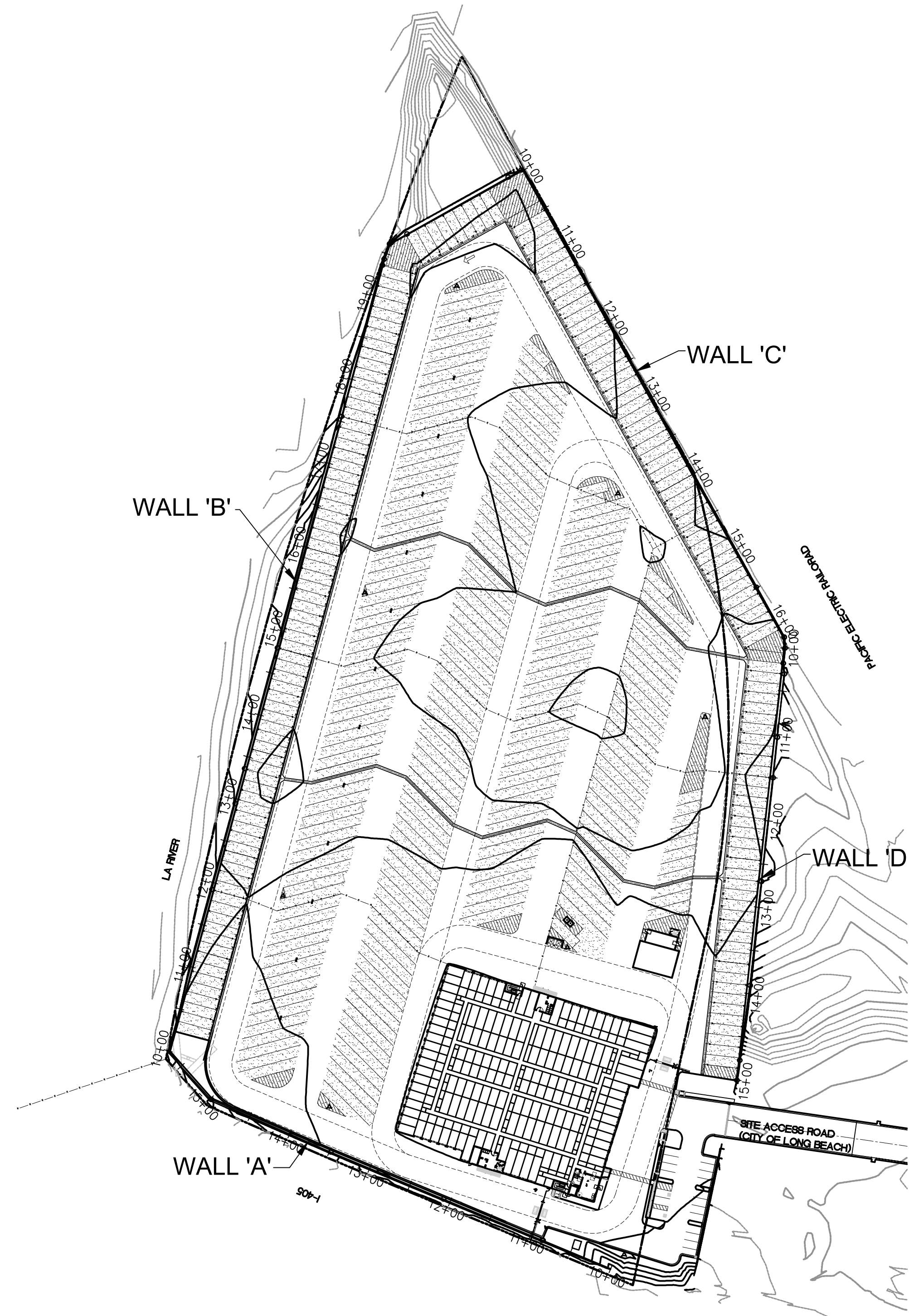


PROFILE ALONG WALL 'C'

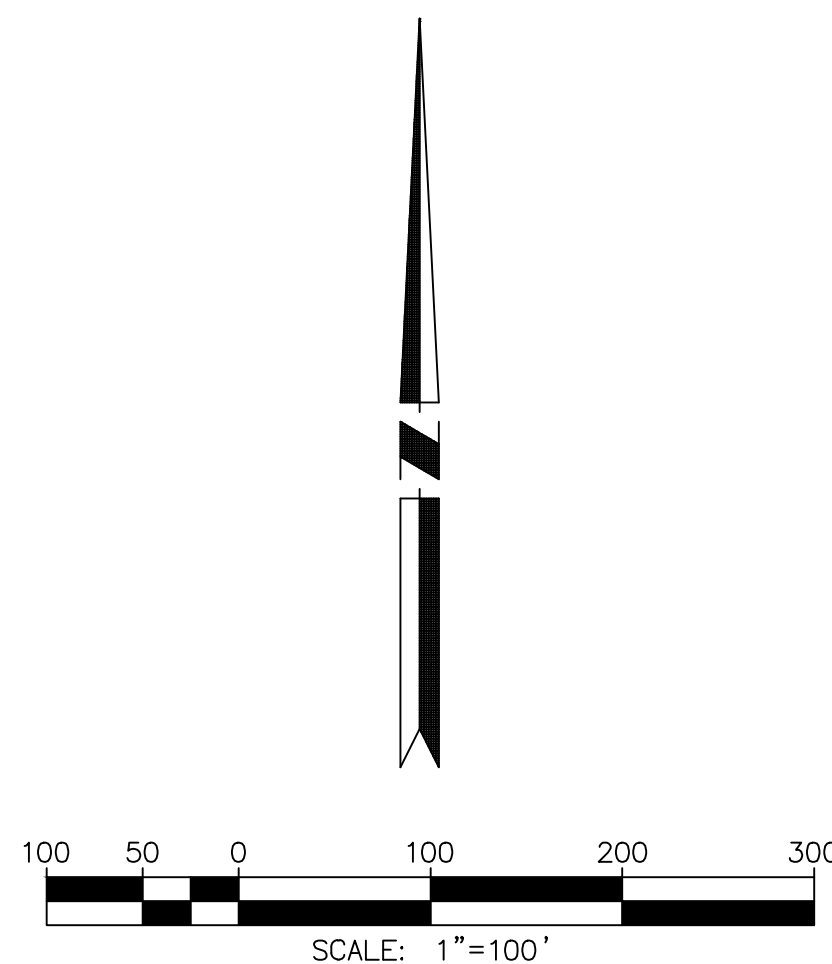


PROFILE ALONG WALL 'D'

PROFILE SCALES
HORIZONTAL: 1"=100'
VERTICAL: 1"=10'



INDEX MAP



PRELIMINARY
(NOT FOR CONSTRUCTION)

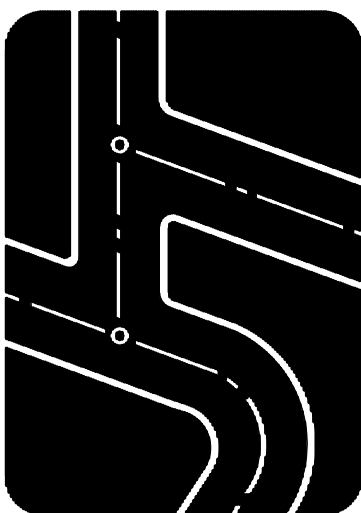
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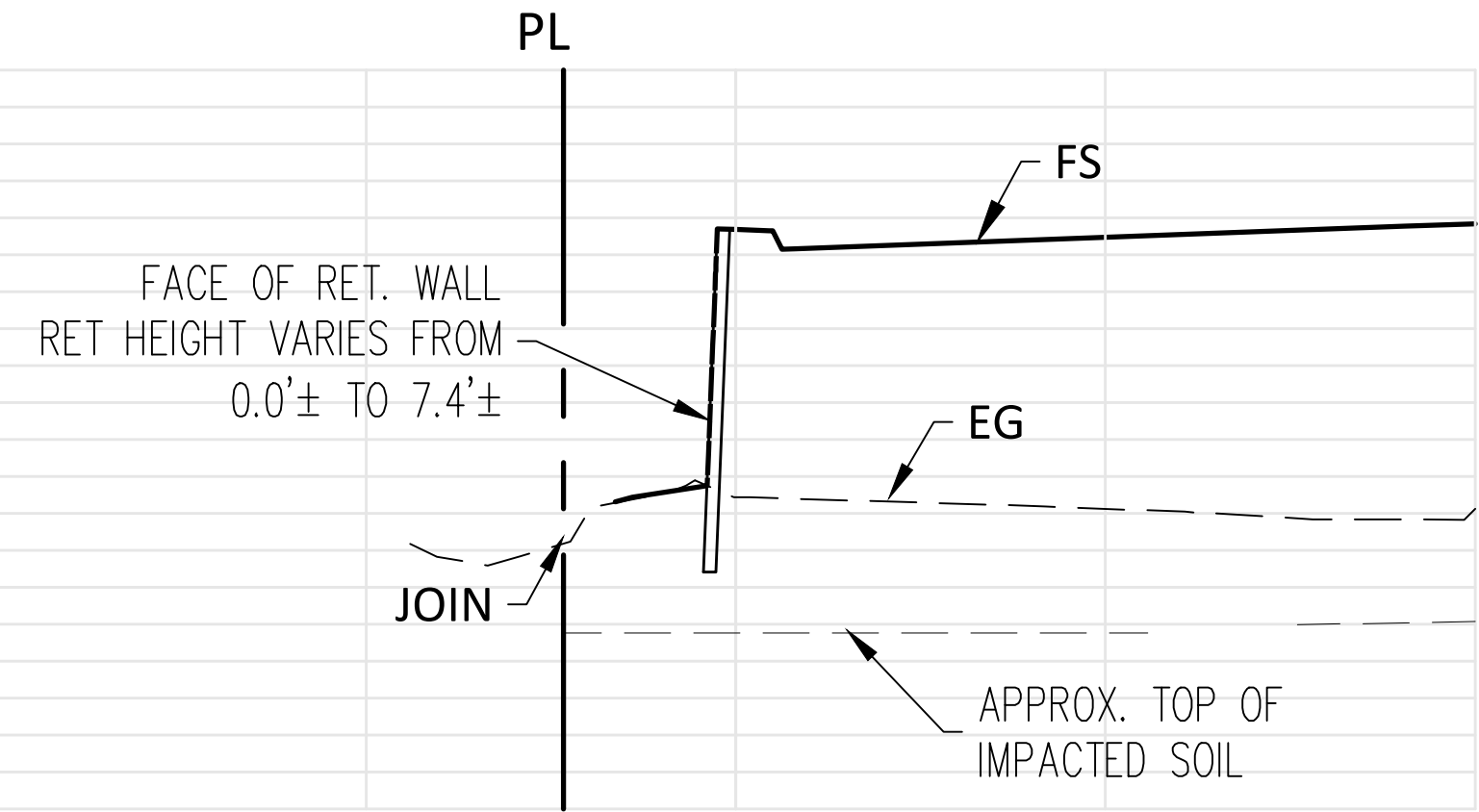
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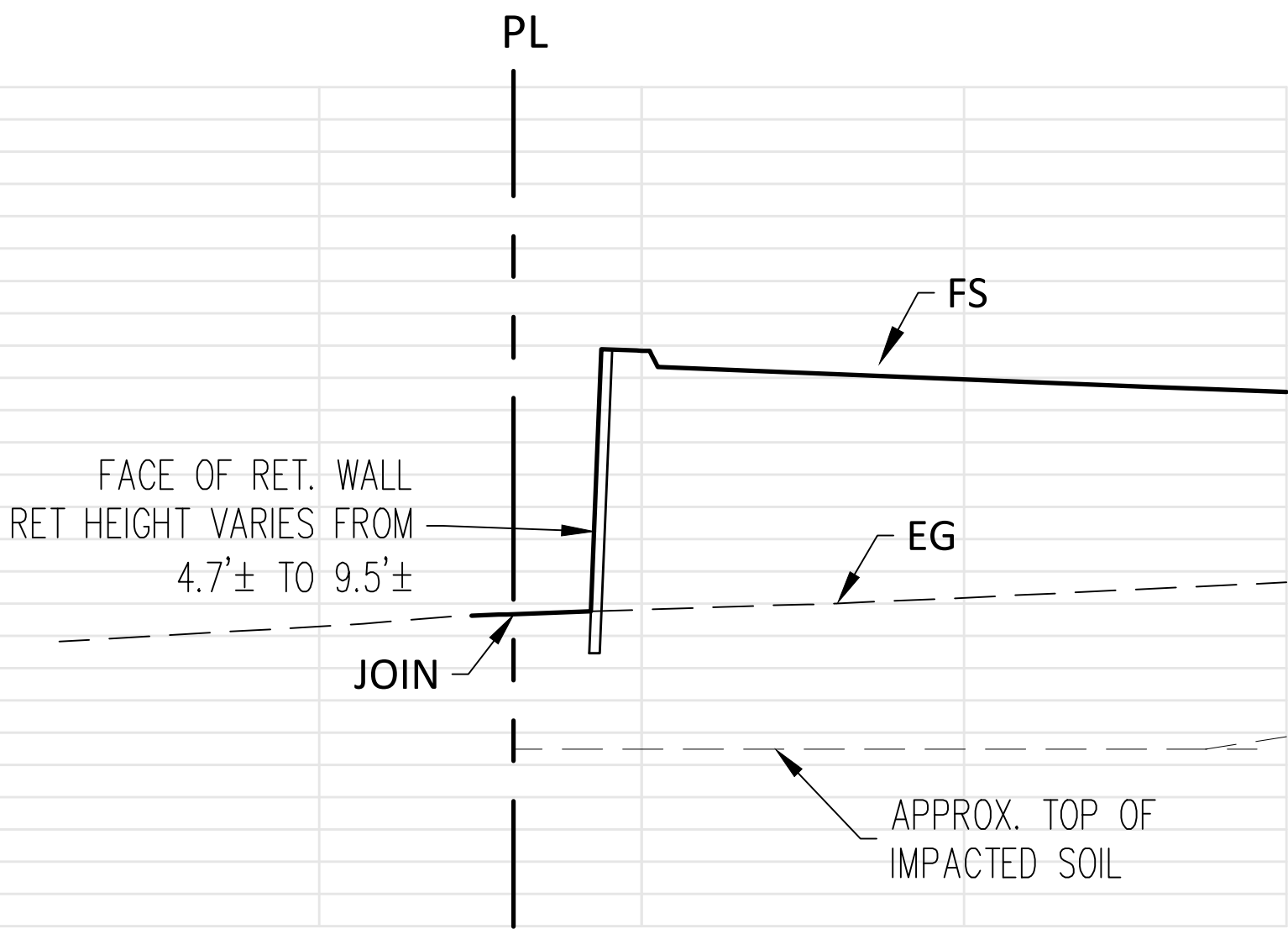
CONCEPTUAL WALL PLAN
INSITE PACIFIC SELF STORAGE
3701 N PACIFIC PLACE, LONG BEACH, CA

DATE
3-6-20
DRAWN BY
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CHECKED BY
CRAIG DI BIAS
JOB NO.
IPG19058
SHEET NO.

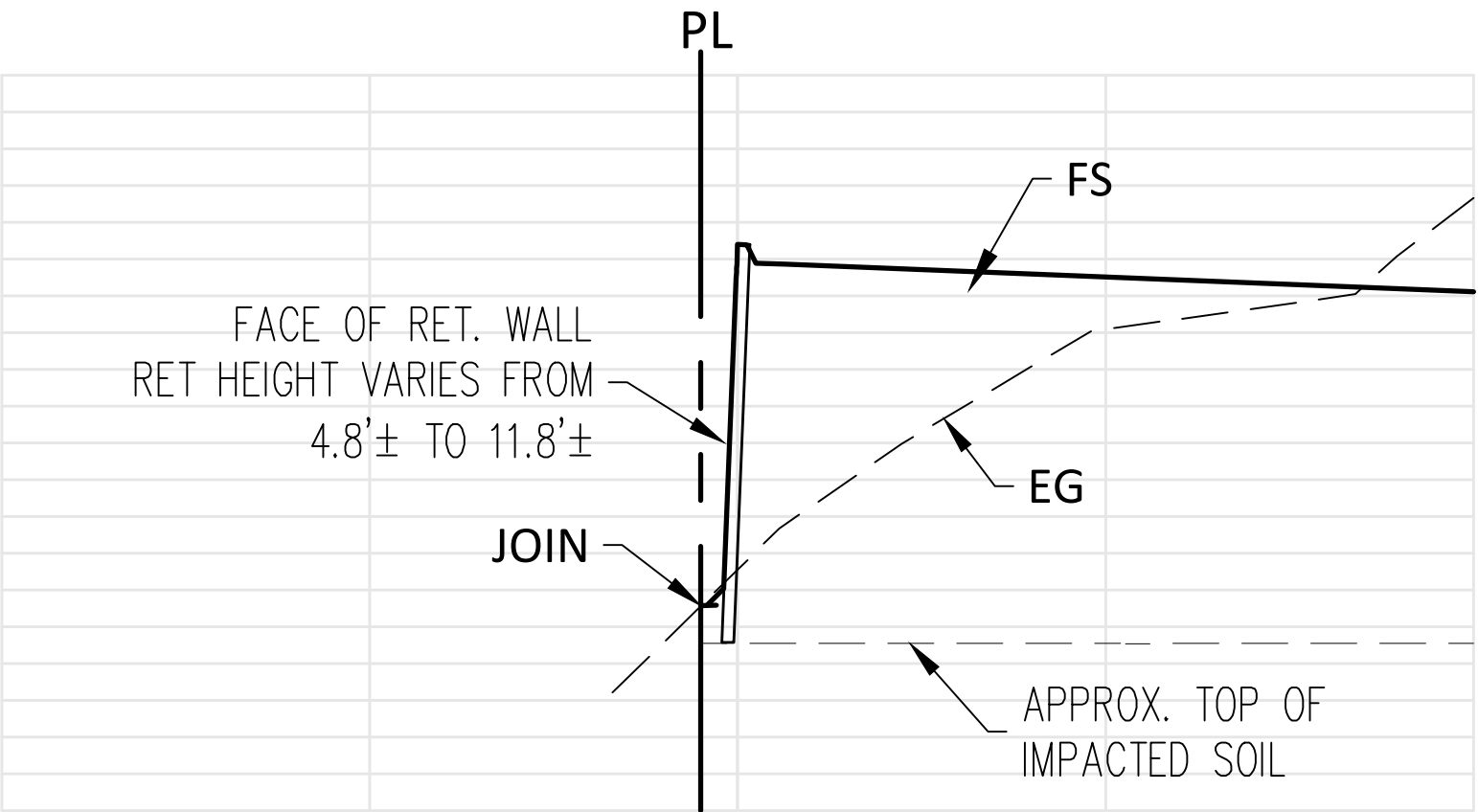
5
OF 10 SHEETS



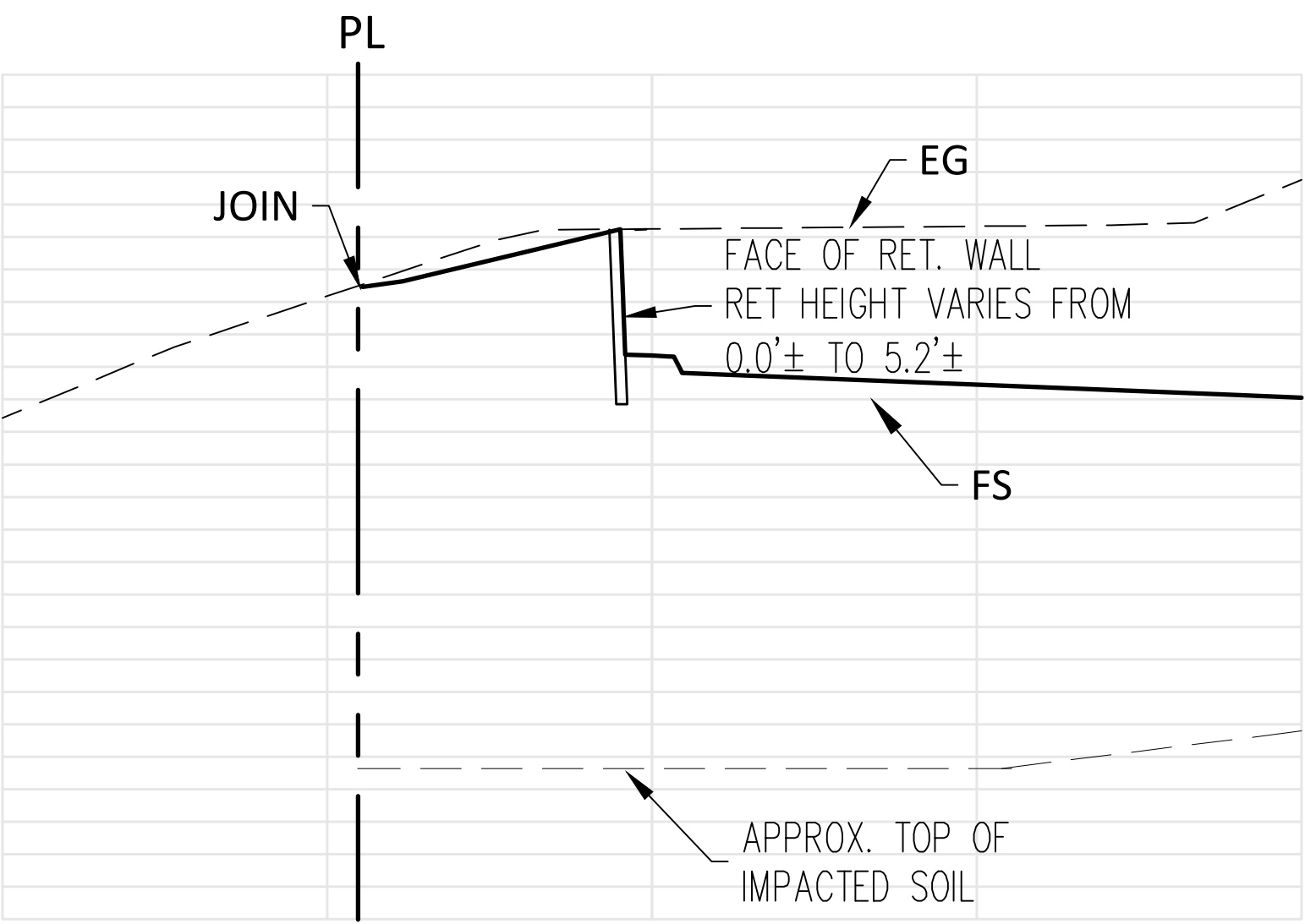
WALL A
STA 10+00.00 TO 14+60.37



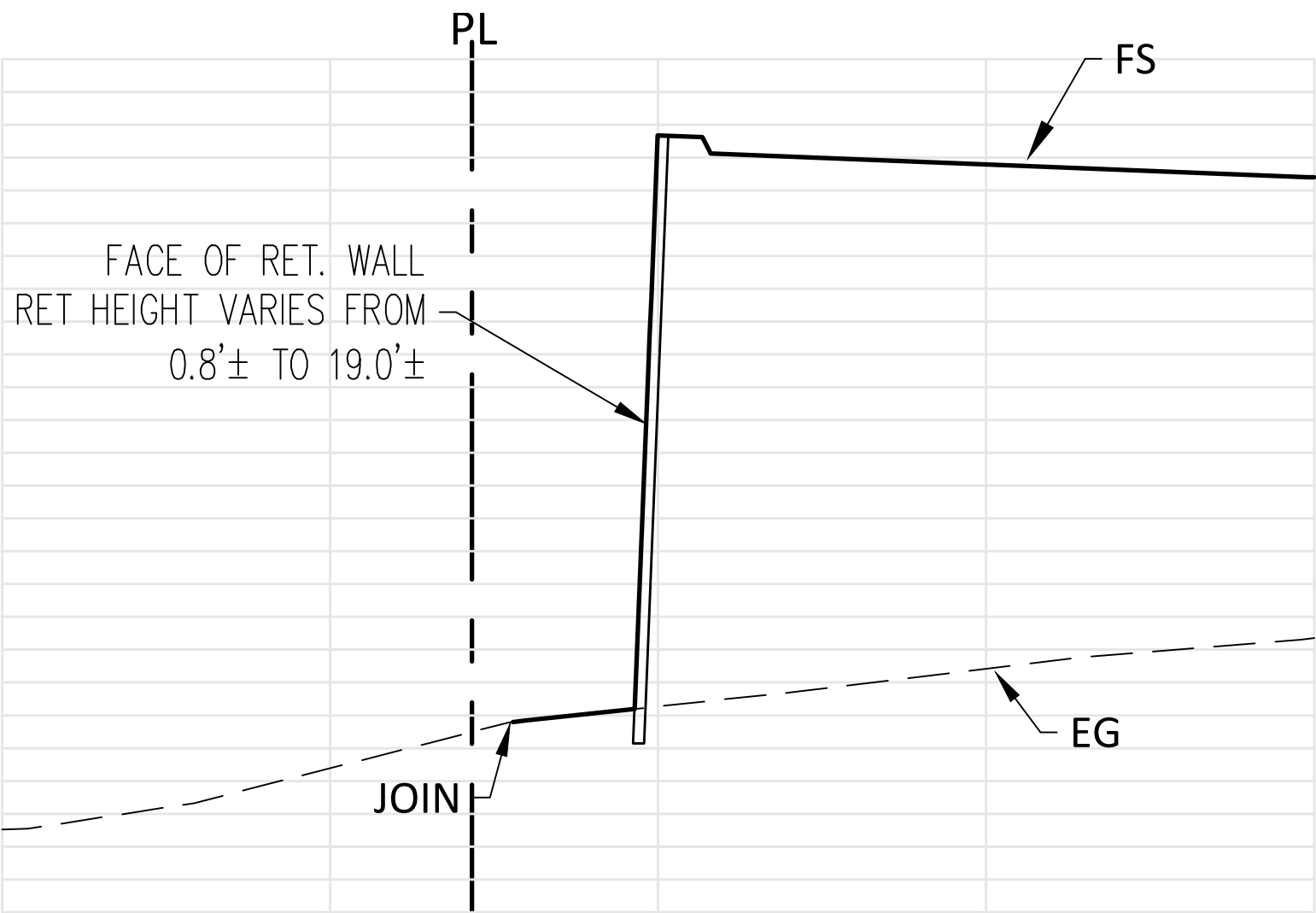
WALL B
STA 10+00.00 TO 13+25.86 AND 16+74.09 TO 19+60.91



WALL C
STA 10+00.00 TO 16+28.66



WALL B
STA 13+25.86 TO 16+74.09



WALL D
STA 10+00.00 TO 14+84.62

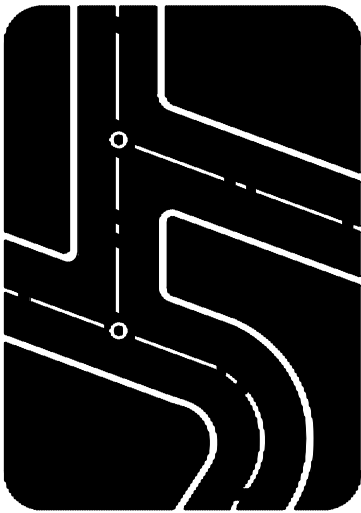
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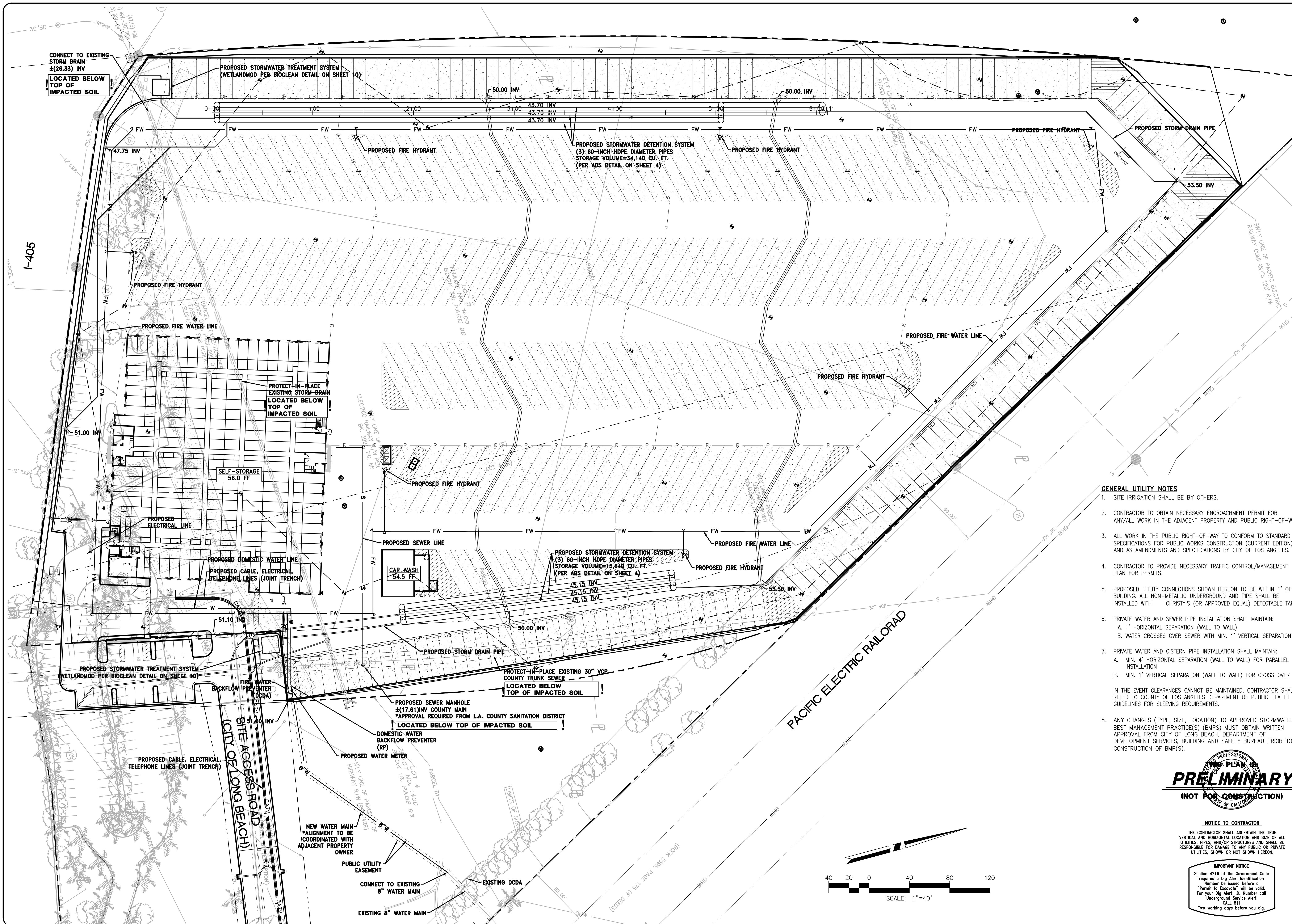
NO.	REVISIONS	DATE

Prepared by:
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Civil Engineers and Land Surveyors
1915 W. Orangewood Ave., Suite 101, Orange, CA 92668 (714) 935-0265 Truxaw.com



CONCEPTUAL WALL SECTIONS
INSITE PACIFIC SELF STORAGE
3701 N PACIFIC PLACE, LONG BEACH, CA

DATE 3-6-20
DRAWN BY GEOFFREY AYTON
CHECKED BY CRAIG DI BIAS
JOB NO. IPG19058
SHEET NO. 6 OF 10 SHEETS

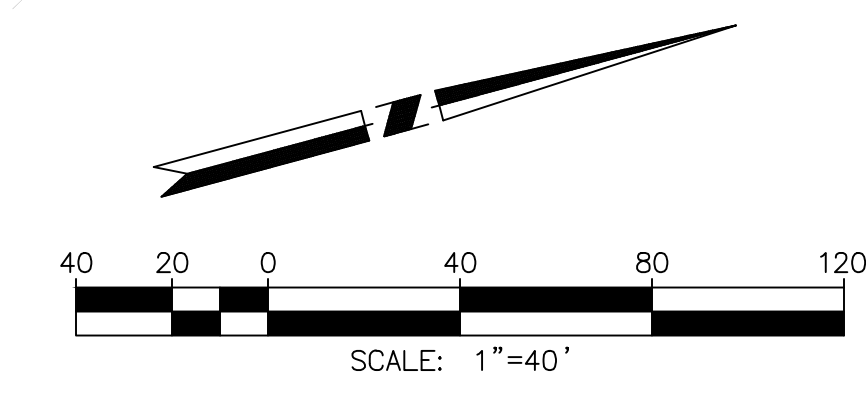


- GENERAL UTILITY NOTES**
1. SITE IRRIGATION SHALL BE BY OTHERS.
 2. CONTRACTOR TO OBTAIN NECESSARY ENCROACHMENT PERMIT FOR ANY/ALL WORK IN THE ADJACENT PROPERTY AND PUBLIC RIGHT-OF-WAY.
 3. ALL WORK IN THE PUBLIC RIGHT-OF-WAY TO CONFORM TO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CURRENT EDITION) AND AS AMENDMENTS AND SPECIFICATIONS BY CITY OF LOS ANGELES.
 4. CONTRACTOR TO PROVIDE NECESSARY TRAFFIC CONTROL/MANAGEMENT PLAN FOR PERMITS.
 5. PROPOSED UTILITY CONNECTIONS SHOWN HEREON TO BE WITHIN 1' OF BUILDING. ALL NON-METALLIC UNDERGROUND AND PIPE SHALL BE INSTALLED WITH CHRISTY'S (OR APPROVED EQUAL) DETECTABLE TAPE.
 6. PRIVATE WATER AND SEWER PIPE INSTALLATION SHALL MAINTAIN:
A. 1' HORIZONTAL SEPARATION (WALL TO WALL)
B. WATER CROSSES OVER SEWER WITH MIN. 1' VERTICAL SEPARATION
 7. PRIVATE WATER AND CISTERN PIPE INSTALLATION SHALL MAINTAIN:
A. MIN. 4" HORIZONTAL SEPARATION (WALL TO WALL) FOR PARALLEL INSTALLATION
B. MIN. 1' VERTICAL SEPARATION (WALL TO WALL) FOR CROSS OVER
 8. IN THE EVENT CLEARANCES CANNOT BE MAINTAINED, CONTRACTOR SHALL REFER TO COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC HEALTH GUIDELINES FOR SLEEVING REQUIREMENTS.
 9. ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORMWATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM CITY OF LONG BEACH, DEPARTMENT OF DEVELOPMENT SERVICES, BUILDING AND SAFETY BUREAU PRIOR TO CONSTRUCTION OF BMP(S).

PRELIMINARY
(NOT FOR CONSTRUCTION)

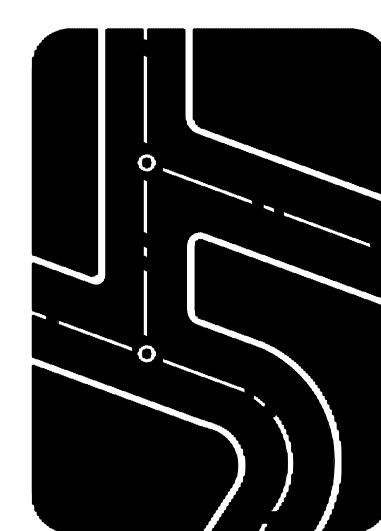
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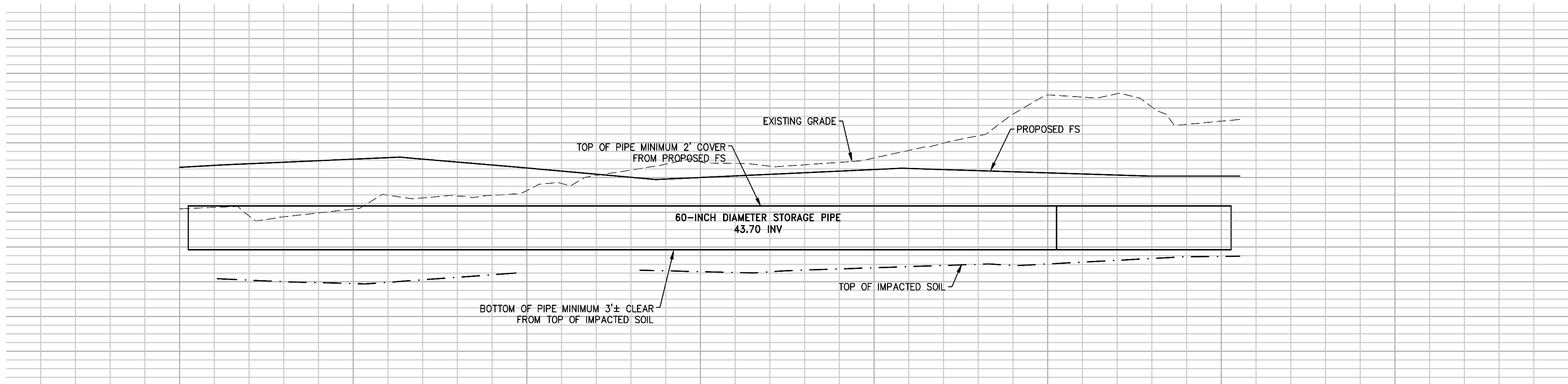
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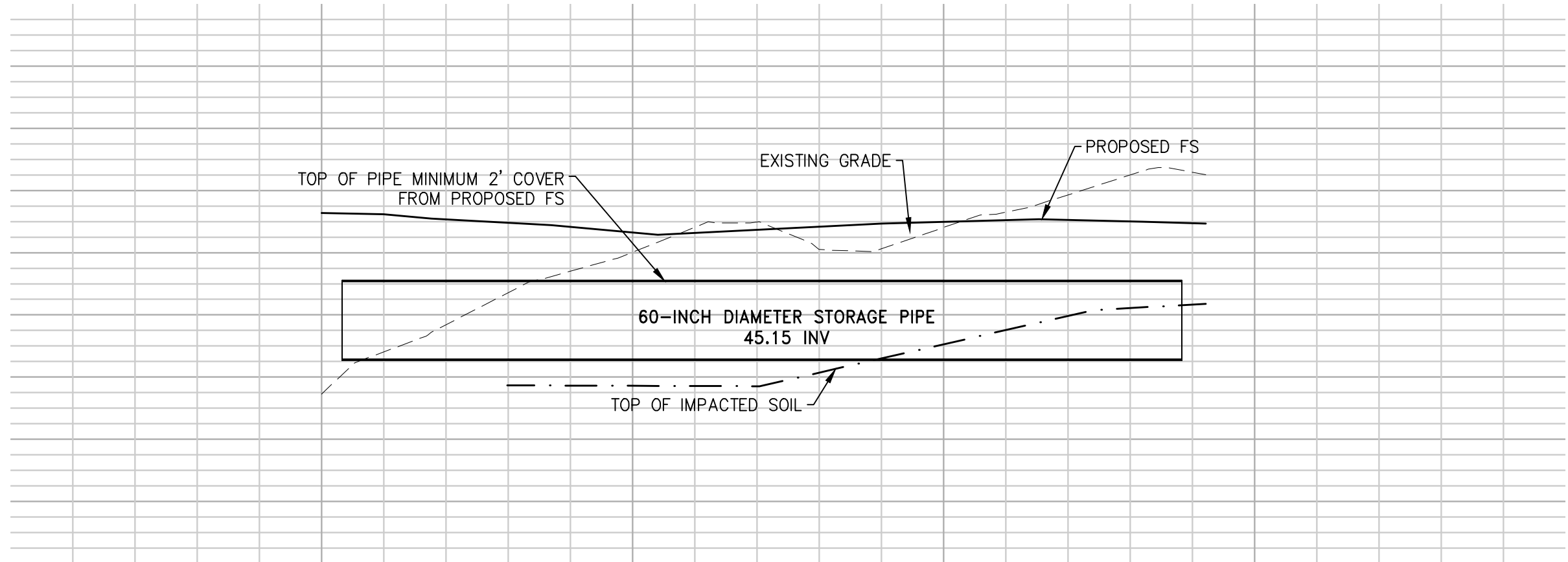


CONCEPTUAL UTILITY PLAN
INSITE PACIFIC SELF STORAGE
3701 N PACIFIC PLACE, LONG BEACH, CA

DATE 3-6-20
DRAWN BY GEOFFREY AYTON
CHECKED BY CRAIG DI BIAS
JOB NO. IPG19058
SHEET NO. 7
OF 10 SHEETS



SECTION CISTERN A
SCALE: 1"=40' (HORIZONTAL)
1"=8' (VERTICAL)



SECTION CISTERN B
SCALE: 1"=40' (HORIZONTAL)
1"=8' (VERTICAL)

PRELIMINARY
(NOT FOR CONSTRUCTION)

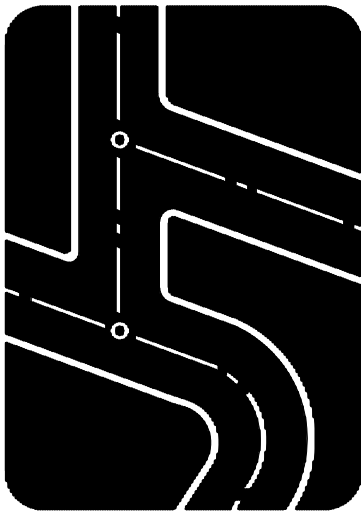
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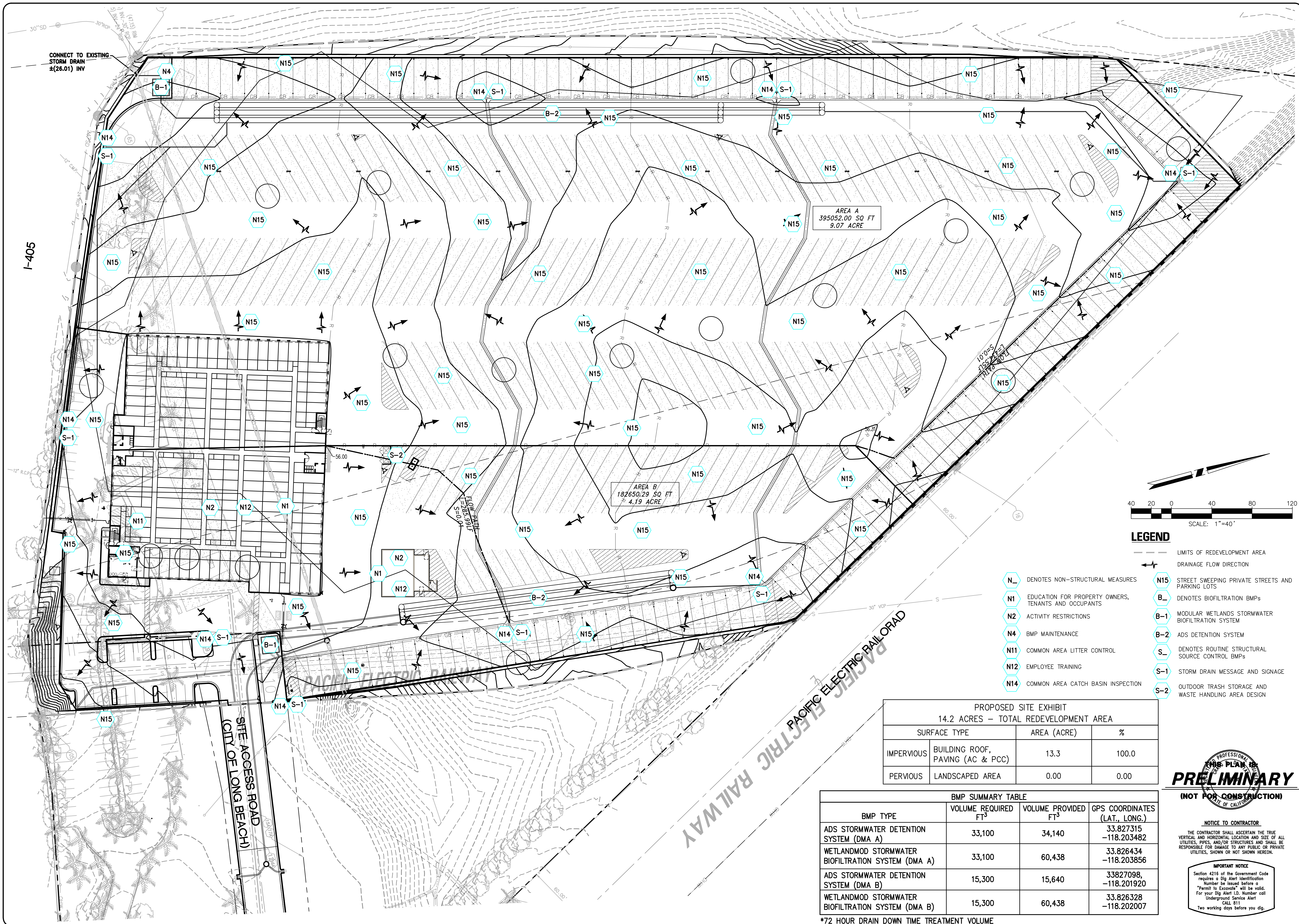
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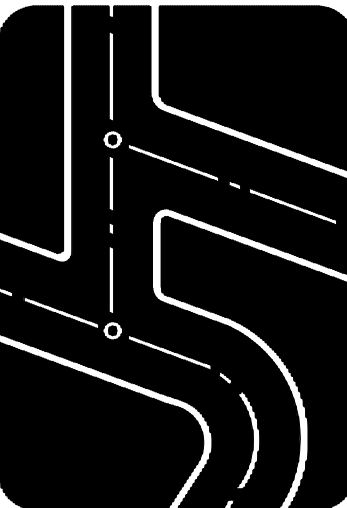
CONCEPTUAL STORM DRAIN SECTIONS
INSITE PACIFIC SELF STORAGE
3701 N PACIFIC PLACE, LONG BEACH, CA

DATE 3-6-20
DRAWN BY GEOFFREY AYTON
CHECKED BY CRAIG DI BIAS
JOB NO. IPG19058
SHEET NO. 8 OF 10 SHEETS



NO.	REVISIONS	DATE

Prepared by:
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Civil Engineers and Land Surveyors
1915 W. Orangewood Ave., Suite 101, Orange, CA 92668 (714) 935-0265 Truxaw.com



CONCEPTUAL LID PLAN
INSITE PACIFIC SELF STORAGE
3701 N PACIFIC PLACE, LONG BEACH, CA

DATE 3-6-20
DRAWN BY GEOFFREY AYTON
CHECKED BY CRAIG DI BIAS
JOB NO. IPG19058
SHEET NO. 9
OF 10 SHEETS

PROPOSED SITE EXHIBIT 14.2 ACRES - TOTAL REDEVELOPMENT AREA			
SURFACE TYPE		AREA (ACRE)	%
IMPERVIOUS	BUILDING ROOF, PAVING (AC & PCC)	13.3	100.0
PERVIOUS	LANDSCAPED AREA	0.00	0.00

BMP SUMMARY TABLE			
BMP TYPE	VOLUME REQUIRED FT ³	VOLUME PROVIDED FT ³	GPS COORDINATES (LAT., LONG.)
ADS STORMWATER DETENTION SYSTEM (DMA A)	33,100	34,140	33.827315 -118.203482
WETLANDMOD STORMWATER BIOFILTRATION SYSTEM (DMA A)	33,100	60,438	33.826434 -118.203856
ADS STORMWATER DETENTION SYSTEM (DMA B)	15,300	15,640	33.827098, -118.201920
WETLANDMOD STORMWATER BIOFILTRATION SYSTEM (DMA B)	15,300	60,438	33.826328 -118.202007

PRELIMINARY
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*72 HOUR DRAIN DOWN TIME TREATMENT VOLUME



City of Long Beach
Department of Development Services
333 West Ocean Blvd., 4th Floor
Long Beach, CA 90802
Phone: (562) 570-5237 Fax: (562) 570-6753
Website: www.lbds.info

LID Project Information

Applicant: Paul Brown		Date: 12/20/19																			
Project Address: 3701 N Pacific Place		Permit Number: TBD																			
Choose at least two LID Measures and provide the required information in each column:																					
<table><thead><tr><th colspan="6">LID BMP Measures</th></tr><tr><th>Rain Barrels (# 55 gal barrels)</th><th>Rain Gardens (Area)</th><th>Planter Boxes (Area)</th><th>Dry Wells (Gallons)</th><th>Permeable Pavement (Area)</th><th># of Trees</th></tr></thead><tbody><tr><td></td><td></td><td></td><td>FILL w/o FILL</td><td>1 ft subbase 2 ft subbase</td><td></td></tr></tbody></table>				LID BMP Measures						Rain Barrels (# 55 gal barrels)	Rain Gardens (Area)	Planter Boxes (Area)	Dry Wells (Gallons)	Permeable Pavement (Area)	# of Trees				FILL w/o FILL	1 ft subbase 2 ft subbase	
LID BMP Measures																					
Rain Barrels (# 55 gal barrels)	Rain Gardens (Area)	Planter Boxes (Area)	Dry Wells (Gallons)	Permeable Pavement (Area)	# of Trees																
			FILL w/o FILL	1 ft subbase 2 ft subbase																	
Off-Site Mitigation Fee \$ \$3.00 per sq ft of non-infiltrated or non-treated water (first ¾"). I hereby certify that the above information is true, accurate, and complete, to the best of my knowledge.																					
Owner's Signature _____ Date _____																					
Development Type (Check the appropriate category): New Development <input type="checkbox"/> Redevelopment <input checked="" type="checkbox"/>																					
Land Use (Check the appropriate category): Residential / 5-Units or More <input type="checkbox"/> Non-Residential <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Institutional <input type="checkbox"/> Transportation <input type="checkbox"/> Open Space <input type="checkbox"/> Mixed Use <input type="checkbox"/> Other <input type="checkbox"/> : _____																					
Off-Site Mitigation Fee \$ \$3.00 per sq ft of non-infiltrated or non-treated water (first ¾").																					
<table><thead><tr><th colspan="6">Project Information*</th></tr><tr><th>Total Drainage Area managed by Project (acres)</th><th>Average Imperviousness (%)</th><th>Average Perviousness (%)</th><th>Project Design Volume (cubic feet)</th><th>Total Volume Capacity of BMPs (cubic feet)</th><th>BMP Type (e.g. infiltration, biofiltration, harvest and use)</th></tr></thead><tbody><tr><td>13.3</td><td>100.0</td><td>0.0</td><td>48,400</td><td>49,780</td><td>Biofiltration</td></tr></tbody></table>				Project Information*						Total Drainage Area managed by Project (acres)	Average Imperviousness (%)	Average Perviousness (%)	Project Design Volume (cubic feet)	Total Volume Capacity of BMPs (cubic feet)	BMP Type (e.g. infiltration, biofiltration, harvest and use)	13.3	100.0	0.0	48,400	49,780	Biofiltration
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*Please provide the information requested in each column. The table is intended to represent the cumulative data of the project. If multiple LID BMPs are proposed, the data must be summed.																					
I certify that the volume capacities provided herein correspond with the approved Low Impact Development (LID) Plan and comply with the requirements established by the California Regional Water Quality Control Board and the State Water Resources Control Board for Low Impact Development (LID) Plans.																					
Affix Registered Design Professional Wet Ink Stamp Here:																					
Registered Design Professional's Signature _____ Date _____																					

LID Project Information.docx

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Rev: 09.27.18

Section 4: BMP Selection |24

Category 1 Screening (Feasible)	Category 2 Screening (Potentially Feasible)	Category 3 Screening (Infeasible)
<div>Description</div> <ul style="list-style-type: none">Underlying GroundwaterDepth of bottom of infiltration facility to seasonal high groundwater is > 10 ftSite SoilsInfiltration rate (K_{sat}) is > 0.5 in/hrGeotechnical hazardsSite Surroundings<ul style="list-style-type: none">Buildings or structures are at least 25 ft away from the potential infiltration BMPSite is not located within the designated hillside grading area.No continuous presence of dry weather flows	<div>Description</div> <ul style="list-style-type: none">Underlying Groundwater<ul style="list-style-type: none">Depth from bottom of infiltration facility to seasonal high groundwater is ≤ 10 ftUnconfined aquifer is present with beneficial uses that may be impaired by infiltration. Full treatment required if this is the caseGroundwater is known to be polluted.Site Soils<ul style="list-style-type: none">Infiltration rate is ≤ 0.5 in/hr but potential connectivity to higher K_{sat} soils is feasibleGeotechnical hazards such as liquefaction are a potential near the siteSite Surroundings<ul style="list-style-type: none">Buildings or structures are within 10 to 25 ft of the potential infiltration BMPHigh-risk areas such as service/gas stations, truck stops, and heavy industrial sites. Full treatment is required if this is the case, or high-risk areas must be separate from stormwater runoff mingling	<div>Description</div> <ul style="list-style-type: none">Underlying Groundwater<ul style="list-style-type: none">Depth from bottom of infiltration facility to seasonal high groundwater is ≤ 5 ftSites with soil and/or groundwater contamination** Infiltration is not feasibleSite Soils<ul style="list-style-type: none">Infiltration rate is ≤ 0.3 in/hr and connectivity to higher K_{sat} soils is infeasibleGeotechnical hazards such as liquefaction, collapsible soils, or expansive soils existSite Surroundings<ul style="list-style-type: none">Site is located on a fill siteSite is located on or within 50 feet upgradient of a steep slope (20% or greater) and has not been approved by a professional geotechnical engineer or geologist
<div>Instructions</div> If all of the above boxes are checked, they shall be confirmed by a site-specific geotechnical investigation report and/or hydrologic analysis conducted and certified by a State of California registered professional geotechnical engineer or geologist, verifying that infiltration BMPs are feasible at the site*. Otherwise, proceed to Category 2 screening.	<div>Instructions</div> If all of the above boxes are checked, or if corresponding boxes in Category 1 are checked in combination with the above boxes, a site-specific geotechnical investigation report and/or hydrologic analysis conducted and certified by a State of California registered professional geotechnical engineer or geologist shall be carried out to approve infiltration measures*. Otherwise, proceed to Category 3 screening.	<div>Instructions</div> If any of the above boxes are checked, a site-specific geotechnical investigation report and/or hydrologic analysis conducted and certified by a State of California registered professional geotechnical engineer or geologist shall be submitted to prove infiltration practices are not feasible.*

Table 4.1: Infiltration Feasibility Screening

* Geotechnical Reports shall be reviewed by Building and Safety Bureau and Public Works Department. See Geotechnical Report Requirements herein.

** The presence of soil and/or groundwater contamination and/or the presence of existing or removed underground storage tanks shall be documented by CEQA or NEPA environmental reports, approved geotechnical reports, permits on file with the City, or a review of the State of California's Geotracker website.

Section 4: BMP Selection |28

Category 1 Screening (Feasible)	Category 2 Screening (Potentially Feasible)	Category 3 Screening (Infeasible)
<div>Description</div> <ul style="list-style-type: none">Landscaped Area<ul style="list-style-type: none">Landscaped area categorization of 1 exists in accordance with Table 4.3Captured volume equal to or less than the Estimated Total Water Usage (ETWU) from October 1 - April 30.Site Soils<ul style="list-style-type: none">Geotechnical hazards are not a potential near the siteVector Control<ul style="list-style-type: none">Approved vector control measures will be implemented	<div>Description</div> <ul style="list-style-type: none">Landscaped Area<ul style="list-style-type: none">Landscaped area categorization of 2 exists in accordance with Table 4.3Captured volume greater than the Estimated Total Water Usage (ETWU) from October 1 - April 30.Site Soils<ul style="list-style-type: none">Geotechnical hazards such as liquefaction are a potential near the siteSoil hydraulic conductivities are sufficient for the designed water application rate; if not, soil amendments will be implemented	<div>Description</div> <ul style="list-style-type: none">Landscaped Area<ul style="list-style-type: none">Landscaped area categorization of 3 exists in accordance with Table 4.3Site Soils<ul style="list-style-type: none">Geotechnical hazards such as landsliding, collapsible soils, or expansive soils existSite Surroundings<ul style="list-style-type: none">Site is located on or within 50 feet of a steep slope (20% or greater) as determined by the Department of Building and Safety; irrigation within 3 days of a rain event could cause geotechnical instability
<div>Instructions</div> If all of the above boxes are checked, they shall be confirmed by a site-specific geotechnical investigation report and/or hydrologic analysis conducted and certified by a State of California registered professional civil engineer, geotechnical engineer, geologist, or landscape architect, verifying that capture and use BMPs are feasible at the site.* Otherwise, proceed to Category 2 screening.	<div>Instructions</div> If all of the above boxes are checked, or if corresponding boxes in Category 1 are checked in combination with the above boxes, a site-specific geotechnical investigation report and/or hydrologic analysis conducted and certified by a State of California registered professional civil engineer, geotechnical engineer, geologist, or landscape architect, shall be carried out to approve capture and use measures.* Otherwise, proceed to Category 3 screening.	<div>Instructions</div> If any of the above boxes are checked, a site-specific geotechnical investigation report and/or hydrologic analysis conducted and certified by a State of California registered professional geotechnical engineer, geologist, or landscape architect shall be submitted to prove capture & use practices are not feasible. *

Table 4.2: Capture and Use Feasibility Screening

* Geotechnical Reports shall be reviewed by the Building and Safety Bureau and Public Works Department. See Geotechnical Report Requirements contained in the Infiltration Feasibility section.

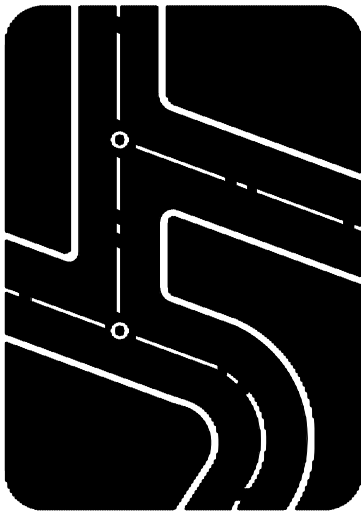
NO.	REVISIONS	DATE

Prepared by:

Joseph C. Truxaw and Associates, Inc.

Civil Engineers and Land Surveyors

1915 W. Orangewood Ave., Suite 101, Orange, CA 92668 (714) 935-0265 Truxaw.com



CONCEPTUAL LID FORM & DETAILS

INSITE PACIFIC SELF STORAGE

3701 N PACIFIC PLACE, LONG BEACH, CA

SITE SPECIFIC DATA		
PROJECT NUMBER	IPG19058	
PROJECT NAME	INSITE PACIFIC STORAGE	
PROJECT LOCATION	LONG BEACH, CA	
STRUCTURE ID	DMA A & DMA B	
TREATMENT REQUIRED		
VOLUME BASED (CF)	FLOW BASED (CFS)	
N/A	0.462	
PEAK BYPASS REQUIRED (CFS) – IF APPLICABLE	OFFLINE	
PIPE DATA	I.E. MATERIAL DIAMETER	
INLET PIPE 1	PER PLAN	HDPE PER PLAN
INLET PIPE 2	PER PLAN	HDPE PER PLAN
OUTLET PIPE	PER PLAN	HDPE PER PLAN
	PRETREATMENT	BIOFILTRATION DISCHARGE
RIM ELEVATION	PER PLAN	
SURFACE LOAD	PEDESTRIAN	
FRAME & COVER	2EA #30"	OPEN PLANTER #24"
NOTES: CONCEPTUAL DESIGN		

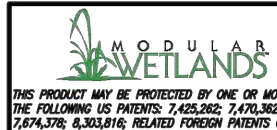
*PRELIMINARY NOT FOR CONSTRUCTION

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURERS SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURERS CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURERS STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- VEGETATION SUPPLIED AND INSTALLED BY OTHERS. ALL UNITS WITH VEGETATION MUST HAVE DRIP OR SPRAY IRRIGATION SUPPLIED AND INSTALLED BY OTHERS.
- CONTRACTOR RESPONSIBLE FOR CONTACTING BIO CLEAN FOR ACTIVATION OF UNIT. MANUFACTURERS WARRANTY IS VOID WITH OUT PROPER ACTIVATION BY A BIO CLEAN REPRESENTATIVE.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT BIO CLEAN.



PROPRIETARY AND CONFIDENTIAL:
THE INFORMATION CONTAINED IN THIS DOCUMENT IS THE SOLE PROPERTY OF FORTERRA AND ITS COMPANIES. THIS DOCUMENT, NOW ANY PART THEREOF, MAY BE USED, REPRODUCED OR MODIFIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF FORTERRA.



MWS-L-8-16-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

TREATMENT FLOW (CFS)	0.462
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	2.0
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0



City of Long Beach
Department of Development Services
Building and Safety Bureau
333 West Ocean Blvd., 4th Floor
Long Beach, CA 90802
tel: 562-570-LBDS fax: 562-570-6753
Website: <http://www.lbds.info>

LID OBSERVATION REPORT FORM

LID OBSERVATION means the visual observation of the Low Impact Development ("LID") and storm water related Best Management Practices (BMPs) for conformance with the approved LID Plan at significant construction stages and at completion of the project. LID observation does not include or waive the responsibility for the inspections required by Section 18.07.050 or other sections of the City of Long Beach Building Code.

LID OBSERVATION must be performed by the Registered Design Professional ("RDP") responsible for the approved LID Plan or designated staff in their employment.

LID OBSERVATION REPORT must be signed and stamped below by the RDP responsible for the approved LID Plan and submitted to the city prior to the Building Final or issuance of the certificate of occupancy.

Project Address: 3701 N Pacific Place	Building Permit No.: TBD
Name of RDP responsible for the approved LID Plan: Geoffrey Ayton	Phone Number: (714) 935-0265
Name of LID Observer:	Phone Number:

CHECK APPROPRIATE BOX

- ☐ Installation is approved and without deficiencies.
- ☐ Final lid observation for the project is 100% complete without any deficiencies.
- ☐ Observed deficiencies and comments:

I declare that the following statements are true to the best of my knowledge:

- I am the Registered Design Professional retained by the Owner to be in responsible charge for the approved LID plan, and
- I, or a designated staff under my responsible charge, has performed the required site visits at each significant construction stage and at completion to verify that the best management practices as shown on the approved LID plan have been constructed and installed in accordance with the approved LID plan.

SIGNATURE OF LID OBSERVER OF RECORD

DATE

STAMP OF LID OBSERVER OF RECORD

Updated: 11-27-12

1 of 1



NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE
Section 4216 of the Government Code requires a Dig Alert Identification Number be issued before a "permit to Excavate" will be valid. For your Dig Alert I.D. Number call Undergroud Service Alert CALL 811 Two working days before you dig.

DATE 3-6-20
DRAWN BY GEOFFREY AYTON
CHECKED BY CRAIG DI BIAS
JOB NO. IPG19058
SHEET NO. 10
OF 10 SHEETS