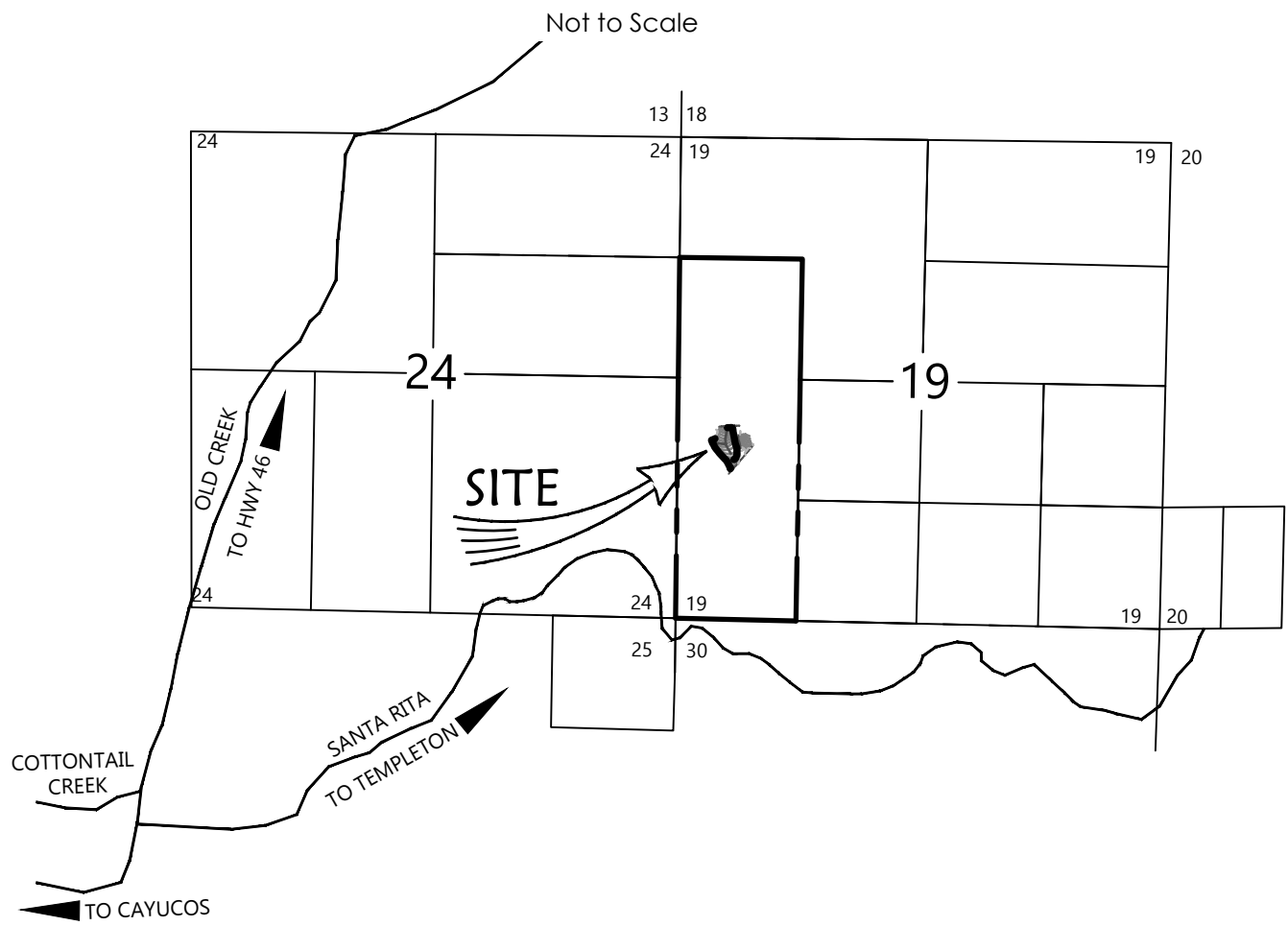


VICINITY MAP



LEGAL DESCRIPTION

PARCEL ACCORDING TO V.M. 2003-130208, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA
APN 046-131-046

BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS WGS84 ACCORDING TO GPS OBSERVATION AND ORTHOMETRIC HEIGHT CALCULATION PROVIDED BY UNAVCO ONLINE SOFTWARE.

OWNER

Bob Blanchard
12520 Santa Rita Road
Cayucos, CA 93430

SURVEYOR

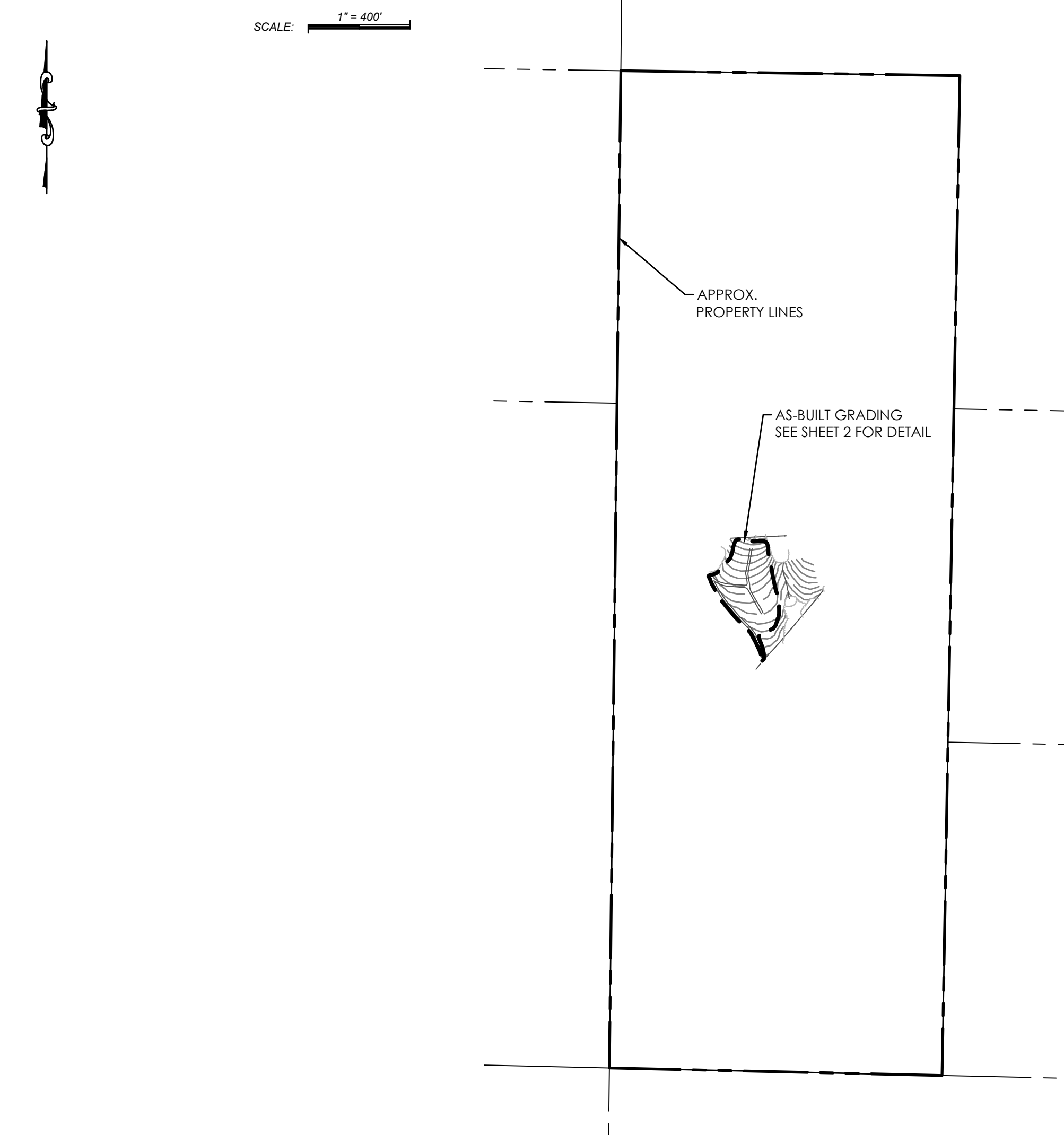
Dakos Land Surveys, Inc.
7600 Morro Road
Atascadero, CA 93422
(805) 466-2445

APPLICABLE CODES

- 2016 California Building Code, Vols 1 & 2
- 2016 California Residential Code
- 2016 California Plumbing Code
- 2016 California Mechanical Code
- 2016 California Electrical Code
- 2016 California Energy Code
- 2016 California Green Building Code
- 2016 California Fire Code
- 2016 California Reference Standards Code
- County Building and Construction Ordinance - Title 19
- County Coastal Zone Land Use Ordinance - Title 23
- County Fire Code Ordinance - Title 16
- County Land Use Ordinance - Title 22

Blanchard - Santa Rita Creek Road - Grading, Drainage & Erosion Control Plan

SITE MAP



GENERAL NOTES

1. No construction shall be started without plans approved by the County Building Department. The Building Department shall be notified at least 24 hours prior to starting of construction and of the time location of the preconstruction conference. Any construction performed without approved plans or prior notification to the Building Department will be rejected and will be at the contractor's and/or owner's risk.
2. For any construction performed that is not in compliance with plans or permits approved for the project the Building Department may revoke all active permits and recommend that County Code Enforcement provide a written notice or stop work order in accordance with Section 22.52.140 [23.10] of the Land Use Ordinance.
3. All construction work and installations shall conform to the most current County of San Luis Obispo Public Improvement Standards and all work shall be subject to the approval of the Building Department.
4. The project owner and contractor shall be responsible for providing and/or maintaining all weather access at all times to existing properties located in the vicinity of work. Additionally, they shall be responsible for maintaining all existing services, including utility, garbage collection, mail distribution, etc., to all existing properties located in the vicinity of work.
5. On-site hazards to public safety shall be shielded by construction fencing. Fencing shall be maintained by the project owner and contractor until such time that the project is completed and occupied, potential hazards have been mitigated, or alternative protective measures have been installed.
6. Soils tests shall be done in accordance with the County Public Improvement Standards, Section 3.2.3. All tests must be made within 15 days prior to the placing material. The test results shall clearly indicate the location and source of the material.
7. Roadway compaction tests shall be made on subgrade material, aggregate base material, and material as specified by the Soils Engineer. Said tests shall be made prior to the placement of the next material lift.
8. Subgrade material shall be compacted to a relative compaction of 95% in the zone between finished subgrade elevation and a minimum of 1-foot below. All material in fill sections below the zone mentioned above shall be compacted to 90% relative compaction.
9. A registered civil engineer shall certify that the improvements when completed are in accordance with the plans prior to the request for a final inspection. Record Drawings shall be prepared after construction is completed. The civil engineer certifying the improvements and preparing as-built plans may be present when the final inspection is made by the County.
10. An Engineer of Work Agreement and an Engineer Checking and Inspection Agreement are required prior to the start of construction. The Building Department shall be notified in writing of any changes to the Engineer of Work Agreement. Construction shall not proceed without an Engineer of Work.
11. All utility companies shall be notified prior to the start of construction.
12. A County Encroachment Permit is required for all work done within the County right-of-way. The Encroachment Permit may establish additional construction, utility and traffic control requirements.
13. The County Inspector acting on behalf of the County Building Department may require revisions in the plans to solve unforeseen problems that may arise in the field. All revisions shall be subject to the approval of the Developer's Engineer of Work.
14. The structural section shall be based on soils tests taken at the time of construction and using a Traffic Index of for (road name). The structural section shall be approved by the Building Department prior to road construction.
15. Hydro-seeding or other permanent erosion control shall be placed and established with 90% coverage on all disturbed surfaces (other than paved or gravel surfaces) prior to the final inspection.
16. For any public improvements to be maintained by the County, if environmental permits from the U.S. Army Corps of Engineers, the California Regional Water Quality Control Board/State Water Resources Control Board, or the California Department of Fish & Game are required, the Developer shall: a. submit a copy of all such completed permits to the County Building Department OR, b. document that the regulatory agencies determined that said permit is not required; prior to acceptance of the completed improvements for County maintenance and release of improvement security. Any mitigation monitoring required by said permits will remain the responsibility of the Developer.
17. When the project site earthwork is not intended to balance then a separate grading permit for the sending or receiving property may be required. A copy of the permit/s or evidence that no permits are required shall be submitted to the Department prior to commencing project earthwork.
18. A final report from the designing engineer is required for the engineered leach field design.

GRADING NOTES

1. All grading construction shall conform to the applicable codes as noted under "Applicable Codes" heading.
2. The developer shall be responsible for scheduling a pre-construction meeting with the County and other affected agencies. The contractor shall notify the County Building Department at least 24 hours prior to any work being performed, and arrange for inspection.
3. Grading shall comply with the recommendations of the preliminary soils report by N/A, filed with the County of San Luis Obispo.
4. Estimated earth quantities:
Cut: 700 CY± Fill: 700 CY±

Note: exact shrinkage, consolidation, and subsidence factors and losses due to clearing operations are not included. Estimated earthwork quantities are based upon the difference between existing ground surface and proposed finish grades, or sub grades as shown on the plan, and should vary according to these factors. The contractor shall be responsible for site inspection and quantity take off, and shall bid accordingly.
5. Soils engineer to determine the soil is suitable to support the intended structure. Such report including progress and/or compaction reports shall be submitted to the field inspector prior to final inspection when a soils report is obtained. The County policy regarding pad certification shall be followed. When applicable the engineer shall observe the grading operation(s) and provide the field inspector with required compaction reports and a report stating that the grading performed has been observed and is in conformance with the UBC and County ordinances.
6. No cut or fill slopes will be constructed steeper than two horizontal to one vertical (2:1).
7. Dust control is to be maintained at all times during construction.
8. Areas of fill shall be scarified, benched and recompacted prior to replacing fill and observed by a soil or civil engineer.
9. Fill material will be recompacted to 90% of maximum density.
10. Remove any deleterious material encountered before placing fill.
11. All disturbed areas shall be hydro seeded or planted with approved erosion control vegetation as soon as practical after construction is complete.
12. Minimum setback to creeks and bluffs shall be maintained. Minimum setback of two feet from all property lines will be maintained for all grading.
13. Minimum slope away from buildings shall be 5% for the first ten feet around perimeter.
14. The contractor shall be responsible for the protection of all existing survey markers during construction. All such monuments or markers disturbed shall be reset at the contractor's expense.
15. All contractors and subcontractors working within the right of way shall have an appropriate contractor's license, a local business license, and shall obtain an encroachment permit.
16. Engineering reports for cut or fill slope steeper than 2:1 shall be submitted to the field inspector.

UNDERGROUND UTILITY NOTES

1. An effort has been made to define the location of underground facilities within the job site. However, all existing utility and other underground structures may not be shown on this plan and their location where shown is approximate. The construction contractor agrees that he shall assume sole and complete responsibility for locating or having located all underground utilities and other facilities and for protecting them during construction.
2. All utility companies must be notified prior to the start of construction. The construction contractor shall contact underground service alert (USA) at 811 two to ten days prior to the start of excavation and shall verify the location of any known utilities and whether or not a representative of each company will be present during excavation.



PROJECT STATISTICS					
Earthwork*			Pre-Project Area (sf±)		
Cut (cy±)	700		Impervious	0	
Fill (cy±)	700		Total Project	69000	
Total (cy±)	1400		Post-Project Area (sf±)		
Max. cut (ft)	0.3		Total Impervious	0	
Max. fill (ft)	0.3		Pervious	69000	
Site			New Impervious	0	
Average slope	>10%		Removed Impervious	0	
Parcel Area (ac±)	119		Replaced Impervious	0	
			Total Site Disturbance	69000	

*Estimate based on an assumed disturbance depth of approximately 3'-4".

ABBREVIATIONS

AC	Asphalt Concrete Paving
BW	Bottom of Wall
CO	Clean-out
CL	Centerline
CONC	Concrete
CONST	Construction
DIA & Ø	Diameter
ELEV	Elevation
(E) & (I)	Existing
FF	Finished Floor
FS	Finished Surface
FH	Fire Hydrant
FL	Flow Line
G	Gas
GB	Grade Break
GR	Finished Grade
HDPE	High-Density Polyethylene
HP	High Point
INV	Invert Elevation
LT	Left
LF	Linear Feet
LP	Low Point
MH	Manhole
(N)	New or Proposed
P	Power
PC	Point Of Curvature
PL	Property Line
PRC	Point Of Reverse Curvature
PT	Point Of Tangency
PUE	Public Utility Easement
PVC	Polyvinyl Chloride
R	Radius
RT	Right
RW	Right-of-way
S	Slope
SD	Storm Drain
SS	Sanitary Sewer
STA	Station
T	Telephone
TC	Top of Curb
TW	Top Of Wall
TYP	Typical
W	Water

LEGEND

---	Property Line
---	Centerline
---	Existing Ground Contour
---	Finish Grade Contour
---	Concrete
---	Edge of Pavement
---	Water Line
---	Water Valve
---	Fire Hydrant
---	Sanitary Sewer Main
---	Sanitary Sewer Force Main
---	Electrical Line
---	Overhead Line
---	Utility Pole
---	Guy Anchor
---	Elec. Vault / Pedestal / Pull Box
---	Telephone Line
---	Tele. Vault / Pedestal / Pull Box
---	Fence
---	Gas Main
---	Flowline
---	Proposed Grade & Direction
---	Construction Note Reference
---	Spot Elevation
---	Proposed Slope
---	Retaining Wall
---	Silt Fence

PROJECT HISTORY

The site was farmed continually with dry land hay until 1971. At that time avocados were planted. The site was disked annually for weed control. Due to poor soil and cold winter temperatures the crop performed poorly. In late 2016, the trees were removed. In the spring of 2017, seed beds were developed and cornobis was planted. The initial crop also performed poorly. In 2018 the site was reworked and small benches were created to set growing pots. The site was reseeded with wildflower mix and irrigated. County personnel visited the site in spring of 2018.

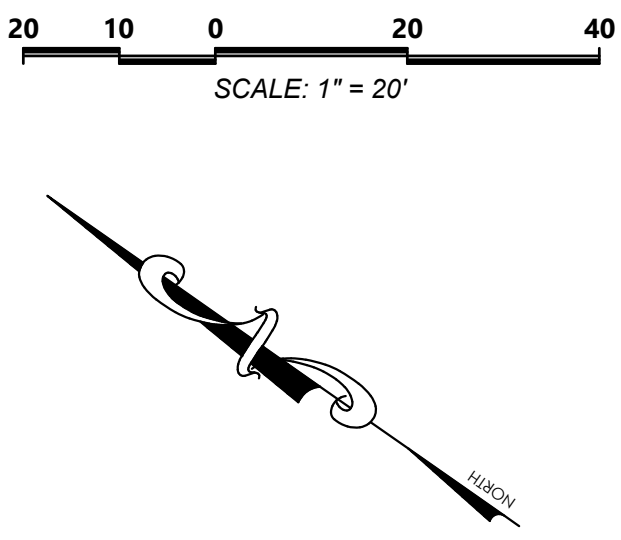
At that point Code Enforcement required the owner to obtain the necessary County permits. Since that time, the benches have softened through the cultivation to the point they are almost unnoticeable. Natural vegetation has become established and essentially eliminated the potential for erosion and sedimentation. The attached plan shows the area of cultivation and ag access roads. Earthwork quantities were extremely low and the site appears to be stabilized with no required remedial work.

PACIFIC MILEPOST
Drafting Services
linkedin.com/in/pacificmilepost

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Civil Engineer - RCE 35366
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Fax (805) 238-6148
Email tim@robertsenginc.com
Website robertsenginc.com

Record Drawings
Timothy P. Roberts, RCE 35366 exp 09/30/21 Date
Revisions This Sheet:
1
2
3
4
5
6

Design/Drawn	County Plan Checker	Approved for County Requirements
TR/JM		Development Services Engineer Date
Job #	County W.O. No.	11/14/2019 Date
1923		Timothy P. Roberts, RCE 35366 exp 09/30/21
California Coordinates (CCS83, Zone 5)	County Road #	Sheet
N 2374460 E 5717470		2 C-1



CONSTRUCTION NOTES

- 1 Approximate limits of disturbance, typ. Site is currently naturally vegetated and stabilized.
- 2 Existing seasonal swale.
- 3 Existing fence.
- 4 Existing ag road to remain.
- 5 Not used.

11/14/2019 9:01 AM

Roberts Engineering

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Email tim@robtsenginc.com
Website robtsenginc.com

Record Drawings	
Timothy P. Roberts, RCE 35366 exp 09/30/21	Date
Revisions This Sheet:	
1	
2	
3	
4	
5	
6	

Roberts Engineering, Inc.		
Blanchard - Santa Rita Creek Road		
As-Built Grading & Drainage Plan		
Design/Drawn	County Plan Checker	Approved for County Requirements
TR/JM		Development Services Engineer Date
Job #	County W.O. No.	Timothy P. Roberts, RCE 35366 exp 09/30/21 Date
1923		11/14/2019
California Coordinates (CCS83, Zone 5)	County Road #	Sheet
N 2374460 E 5717470		2

C-2