

Appendix A

Project Site Plans, September 5, 2019

7028 SANTA TERESA BLVD,
SAN JOSE, CALIFORNIA 95139

TOTAL
SHEETS

57

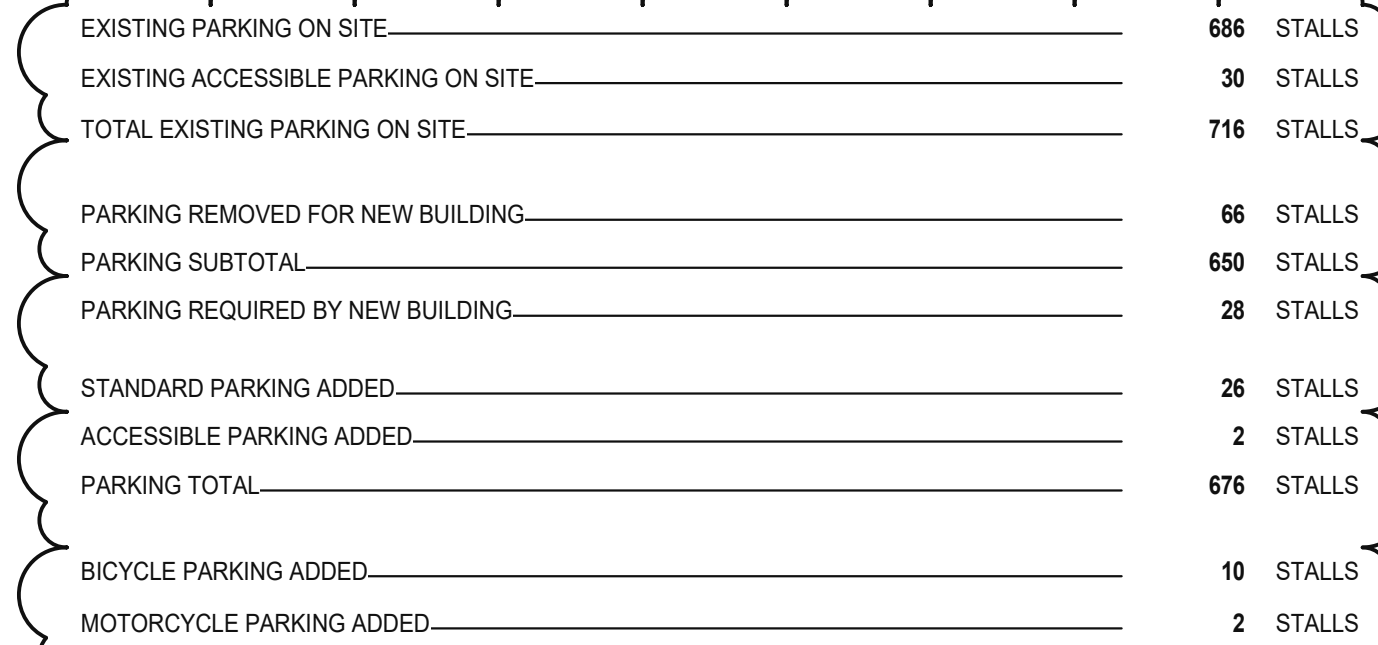
CIVIL

LANDSCAPE

EXISTING SITE INFORMATION

TENANT NAME	SUITE NUMBER	SQUARE FOOTAGE
EXPO NAILS	7036	635
SANTA TERESA BARBERS	7038	560
BASKIN-ROBBINS 31 FLAVORS	7040	1140
SUBWAY	7042	1165
JENNIFER'S CLEANERS	7044	1550
KHUNYING THAI RESTAURANT	7048	1800
SANTA TERESA PURE WATER	7050	1200
MAILBOX & MORE	7052	1200
FASHION PLUS	7054	1750
RISTORANTE ITALIANO	7056	3550
BARRAL BAGELS AND COFFEE	7068	1900
SANTA TERESA BOTTLE SHOP	7068	4000
EL AMIGO RESTAURANT	7090	2186
GOODWILL	7098	14000
PYRAMID TATTOO	7034	1250
HIS AND HER'S HAIR BAR	7026-20	1225
SIDELINE SPORTS BAR & GRILL	7026	3150
BONCHON	7026-30	1132
STARBUCKS CORPORATION #25447	7026-10	2284
CARL'S JR. RESTAURANT	172	2799
TACO BELL	170	1653
SHAPES FITNESS FOR WOMEN (NOT OPEN)	7080	8435
GROCERY OUTLET (NOT OPEN)	7076	24650
AVAILABLE	7118 (AVAILABLE)	1050
PYRAMID TATTOO	7032	1400
KRAGEN AUTO PARTS	7102	5440
GOLDEN HOUSE CHINESE RESTAURANT	7108	1508
CIGARETTE PLUS	7110	1440
BUBBLE FACTORY	7112	2800
SUN NAILS & HAIR	7116	1400
DOLLAR TREE-STORE # 6337	7122	8000
SUSHI BOAT TOWN	7130	2520
GENIUS KIDS	7136	4630
SUNSHINE VALLEY VETERINARY SPECIALISTS	7160	4500
FLAMES COFFEE SHOP	7170	4854
TECH ROCKS	PA-1	0.0000
KUMON MATH & READING CENTER OF SANTA TERESA	7120	1061
EXISTING COMMERCIAL	N/A	0.10
EXISTING COMMERCIAL	N/A	10.387
		124306 (2.85 ACRES)

PARKING INFORMATION



TITLE SHEET

	DATE	
	03.21.2019	PLANNING RESUBMITTAL
	05.17.2019	PLANNING RESUBMITTAL
A	09.05.2019	PLANNING RESUBMITTAL

PA/PM:	J. BABINE
DRAWN BY.:	A.K.
JOB NO.:	SNR18-0062-00

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BERGMAN
DEVELOPMENT SERVICES

SANTA TERESA VILLAGE

7028 SANTA TERESA BLVD,
SAN JOSE, CALIFORNIA 95139

CALIFORNIA GREEN BUILDINGS STANDARDS CODE - NON-RESIDENTIAL MANDATORY MEASURES

TABLE 5.504.4.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS
GRAMS OF VOC PER LITER OF COATING, LESS WATER
AND LESS EXEMPT COMPOUNDS

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATING	50
NONFLAT COATING	100
NONFLAT HIGH GLOSS COATING	150
SPECIALTY COATING	
ALUMINUM ROOF COATING	400
BASEMENT SPECIALTY COATING	40
BITUMINOUS ROOF COATING	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM/RELEASE COMPOUND	250
GRAPHIC ART COATINGS (SIGN PAINT)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS	120
MAGNETIC CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	500
METALLIC PIGMENTED COATINGS	500
MULTICOLORS COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS AND UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	50
ROOF COATINGS	250
SELF PREVENTATIVE COATINGS	250
SHELLACS	750
CLEAR	350
OPAQUE	550
SPECIALTY PRIMERS, SEALERS AND UNDERCOATERS	100
STAINES	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATING	340
TRAFFICS MARKING COATINGS	100
TUB AND TILE REFINISH COATINGS	420
WATER PROOFING MEMBRANES	250
WOOD COATING	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

SEE FUTURE PROJECT SPECIFICATIONS 099113 AND 099123 - EXTERIOR AND INTERIOR PAINTING, RESPECTIVELY AND SECTION 075423 - ROOFING.

5.504.4.3.1 AEROSOL PAINTS AND COATINGS.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PWMIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(c)(2) AND (c)(3) AND (c)(4) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 49.

SEE FUTURE PROJECT SPECIFICATIONS 099113 AND 099123 - EXTERIOR AND INTERIOR PAINTING, RESPECTIVELY.

5.504.4.3.2 VERIFICATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS

SUBMITTAL AVAILABLE UPON REQUEST

5.504.4.4 CARPET SYSTEMS.

ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE STANDARDS LISTED IN SECTION 5.504.4.4.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.4.1 CARPET CUSHION.

ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTES GREEN LABEL PROGRAM.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.4.2 CARPET ADHESIVE.

ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.5. COMPOSITE WOOD PRODUCTS.

HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 5.504.4.5.

TABLE 5.504.4.5 FORMALDEHYDE LIMITS MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION.		
PRODUCT	CURRENT LIMIT	
HARDWOOD PLYWOOD VENEER CORE	0.05	
HARDWOOD PLYWOOD COMPOSITE CORE	0.05	
PARTICLE BOARD	0.09	
MEDIUM DENSITY FIBERBOARD	0.11	
THIN MEDIUM DENSITY FIBERBOARD	0.13	

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.5.3 DOCUMENTATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE ITEMS 1 THROUGH 5 LISTED IN THIS SECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.6 RESILIENT FLOORING SYSTEMS.

FOR 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALLED RESILIENT FLOORING SHALL MEET AT LEAST ONE OF THE ITEMS 1 THROUGH 4 LISTED IN THIS SECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4.6.1 VERIFICATION OF COMPLIANCE.

DOCUMENTATION SHALL BE PROVIDED VERIFIABLE THAT RESILIENT FLOORING MATERIALS MEET THE PERMITTED EMISSION LIMITS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.5.3 FILTERS.

IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MERV OF 8. MERV 8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.5.3.1 LABELING.

INSTALLED FILTERS SHALL BE CLEARLY LABELED BY THE MANUFACTURER INDICATING THE MERV RATING.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL.

WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS, OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE CAMPUS, OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT, WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN VIOLATION, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

NO DESIGNATED SMOKING/NO SMOKING AREAS INCLUDED IN THE SCOPE OF THIS PROJECT.

5.410.4.5.1 INSPECTIONS AND REPORTS.

INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

SECTION 5.503 FIREPLACES

5.503.1 GENERAL.

INSTALL ONLY A DIRECT-VENT SEALED-COMBUSTION GAS OR SEALED WOOD-BURNING FIREPLACE OR A SEALED WOODSTOVE AND REFER TO RESIDENTIAL REQUIREMENTS IN THE CALIFORNIA ENERGY CODE, TITLE 24, PART 6, SUBCHAPTER 7, SECTION 150.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.503.1.1 WOODSTOVES.

WOODSTOVES SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

SECTION 5.504 POLLUTANT CONTROL

5.504.1.3 TEMPORARY VENTILATION.

THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.

5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.

AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL.

FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.4.

SEE FUTURE PROJECT SPECIFICATION SECTIONS 079200, 099113 AND 099123

5.504.4.1 ADHESIVES, SEALANTS AND CAULKS.

ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS:

1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANT, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL, OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAGM0 RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW.
2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

TABLE 5.504.4.1

ADHESIVE VOC LIMIT

LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILES ADHESIVES	65
DCT AND ASPHALTS TILE ADHESIVES	50
VECTALING AND PANEL ADHESIVES	50
VECTALING AND PANEL ADHESIVES	50
VECTALING AND PANEL ADHESIVES	50
MULTI PURPOSE CONSTRUCTION ADHESIVES	50
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVE NOT SPECIFICALLY USED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	60
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBRANE ADHESIVE	140
TOP AND TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	30
POROUS MATERIAL (CEPT WOOD)	50
WOOD	30
FIBREGLASS	60

SEE FUTURE PROJECT SPECIFICATION SECTION 079200 - JOINT SEALANTS

TABLE 5.504.4.2

SEALANT VOC LIMIT

LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER

SEALANT	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	700
NONMEMBRANE ROOF	350
ROADWAY	450
SINGLE - PLY ROOF MEMBRANE	250
OTHER	420
SEALANT PRIMERS	250
ARCHITECTURAL NONPOROUS	450
ARCHITECTURAL POROUS	775
MODIFIED BITUMINOUS	760
MARINE DECK	760
OTHER	750

SEE PROJECT SPECIFICATION SECTION 079200 - JOINT SEALANTS

5.504.4.3 PAINTS AND COATINGS.

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.3 AS WELL AS THE VOC LIMITS IN LOCAL LAWS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY LASIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 SHALL APPLY.

SECTION 5.410 BUILDING MAINTENANCE AND OPERATION

5.410.1 RECYCLING BY OCCUPANTS.

PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NONHAZARDOUS MATERIALS FOR RECYCLING, INCLUDING AT A MINIMUM, PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS AND METALS OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE.

5.410.1.1 ADDITIONS. [AI]

ALL ADDITIONS CONDUCTED WITHIN A 12-MONTH PERIOD UNDER SINGLE OR MULTIPLE PERMITS, RESULTING IN AN INCREASE OF 30 PERCENT OR MORE IN FLOOR AREA, SHALL PROVIDE RECYCLING AREAS ON SITE.

EXCEPTION:
ADDITIONS WITHIN A TENANT SPACE RESULTING IN LESS THAN A 30-PERCENT INCREASE IN THE TENANT SPACE FLOOR AREA.

5.410.1.2 SAMPLE ORDINANCE.

SPACE ALLOCATION FOR RECYCLING AREAS SHALL COMPLY WITH CHAPTER 18, PART 3, DIVISION 30 OF THE PUBLIC RESOURCES CODE, CHAPTER 18 IS KNOWN AS THE CALIFORNIA SOLID WASTE REUSE AND RECYCLING ACCESS ACT OF 1991 (ACT).

NOTE:
A SAMPLE ORDINANCE FOR USE BY LOCAL AGENCIES MAY BE FOUND IN APPENDIX A OF THE DOCUMENT AT THE CALRECYCLE'S WEB SITE.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.410.2 COMMISSIONING.

FOR NEW BUILDINGS 10,000 SQUARE FEET AND OVER, BUILDING COMMISSIONING SHALL BE INCLUDED IN THE DESIGN AND CONSTRUCTION PROCESS OF THE BUILDING PROJECT TO VERIFY THAT THE BUILDING SYSTEMS AND COMPONENTS MEET THE OWNERS OR OWNER REPRESENTATIVES' PROJECT REQUIREMENTS. BUILDING COMMISSIONING SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION BY TRAINED PERSONNEL WITH EXPERIENCE ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. COMMISSIONING REQUIREMENTS SHALL INCLUDE ITEMS 1 THROUGH 7 LISTED IN THIS SECTION.

1. UNCONDITIONED WAREHOUSES OF ANY SIZE
2. AREAS UNDER 10,000 SQUARE FEET USED FOR OFFICES OR OTHER CONDITIONED ACCESSORY SPACES WITH UNCONDITIONED WAREHOUSES
3. TENANT IMPROVEMENTS UNDER 10,000 SQUARE FEET AS DESCRIBED IN SECTION 303.1.1
4. COMMISSIONING REQUIREMENTS FOR ENERGY SYSTEMS COVERED BY THE 2013 CALIFORNIA ENERGY CODE
5. ALL BUILDING OPERATING SYSTEMS COVERED BY TITLE 24, PART 6, AS WELL AS PROCESS EQUIPMENT AND CONTROLS, AND RENEWABLE ENERGY SYSTEMS SHALL BE INCLUDED IN THE SCOPE OF THE COMMISSIONING REQUIREMENTS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.2.1 OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. [OPRI]

THE EXPECTATIONS AND REQUIREMENTS OF THE BUILDING APPROPRIATE TO ITS PHASE SHALL BE DOCUMENTED BEFORE THE DESIGN PHASE OF THE PROJECT COMMENCES. THIS DOCUMENTATION SHALL INCLUDE ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.2.2 BASIS OF DESIGN (BOD).

A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED AT THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER ITEMS 1 THROUGH 6 LISTED IN THIS SECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.2.3 COMMISSIONING PLAN

A COMMISSIONING PLAN DESCRIBING HOW THE PROJECT WILL BE COMMISSIONED SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.3.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.2.4 FUNCTIONAL PERFORMANCE TESTING.

FUNCTIONAL PERFORMANCE TEST SHALL DEMONSTRATE THE CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM-TO-SYSTEM INTERFACE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. FUNCTIONAL PERFORMANCE TESTING REPORTS SHALL CONTAIN INFORMATION ADDRESSING EACH OF THE BUILDING COMPONENTS TESTED, THE TESTING METHODS UTILIZED, AND INCLUDE ANY READINGS AND ADJUSTMENTS MADE.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.2.5 DOCUMENTATION AND TRAINING.

A SYSTEM MANUAL AND SYSTEMS OPERATIONS TRAINING ARE REQUIRED INCLUDING OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS IN CALIFORNIA CODE OF REGULATIONS, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.2.5.1 SYSTEMS MANUAL.

THE SYSTEMS MANUAL SHALL BE DELIVERED TO THE BUILDING OWNER OR REPRESENTATIVE AND FACILITIES OPERATOR AND SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.5.1.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.2.5.2 SYSTEMS OPERATIONS TRAINING.

A PROGRAM FOR TRAINING OF THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DEVELOPED AND SHALL INCLUDE ITEMS LISTED IN SECTION 5.410.2.5.2.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.2.6 COMMISSIONING REPORT.

A REPORT OF COMMISSIONING PROCESS ACTIVITIES UNDERTAKEN THROUGH THE DESIGN AND CONSTRUCTION PHASES OF THE BUILDING PROJECT SHALL BE COMPLETED AND PROVIDED TO THE OWNER OR REPRESENTATIVE.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.4 TESTING AND ADJUSTING.

TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR BUILDINGS LESS THAN 10,000 SQUARE FEET OR NEW SYSTEMS TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 303.1

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.4.2 SYSTEMS.

DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT, THE SYSTEMS LISTED IN SECTION 5.410.4.2.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.4.3 PROCEDURES.

PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS ON EACH SYSTEM.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.4.3.1 HVAC BALANCING.

BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE IN ACCORDANCE WITH THE PROCEDURES DEFINED BY NATIONAL STANDARDS LISTED IN SECTION 5.410.4.3.1 OR AS APPROVED BY THE ENFORCING AGENCY.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.4.4 REPORTING.

AFTER COMPLETION OF TESTING, ADJUSTING, AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.410.4.5 OPERATION AND MAINTENANCE MANUAL.

PROVIDE THE BUILDING OWNER WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/WARRANTIES FOR EACH SYSTEM PRIOR TO FINAL INSPECTION.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT PER EXCEPTION NO.1. IN SECTION 5.410.2

5.303.3.4.5 METERING FAUCETS FOR WASH FOUNTAINS

METERING FAUCETS FOR WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.20 GALLONS PER MINUTE/20 (RPM SPACE (INCHES) AT 60 PSI)

NOTE:
WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

5.303.4 COMMERCIAL KITCHEN EQUIPMENT.

5.303.4.1 FOOD WASTE DISPOSER

DISPOSERS SHALL EITHER MODULATE THE USE OF WATER TO NO MORE THAN 1 GPM WHEN THE DISPOSER IS NOT IN USE (NOT ACTIVELY GRINDING FOOD WASTE/NO-LOAD) OR SHALL AUTOMATICALLY SHUT OFF AFTER NO MORE THAN 10 MINUTES OF INACTIVITY. DISPOSERS SHALL USE NO MORE THAN 0.5 GPM OF WATER.

5.303.5 AREAS OF ADDITION OR ALTERATION.

FOR THOSE OCCUPANCIES WITHIN THE AUTHORITY OF CALIFORNIA BUILDING STANDARDS COMMISSION AS SPECIFIED IN SECTION 103, THE PROVISIONS OF SECTION 5.303.3 SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS.

PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1 OF THE CALIFORNIA PLUMBING CODE AND IN CHAPTER 6 OF THIS CODE.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

SECTION 5.304 OUTDOOR WATER USE

5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SF.

5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SF.

5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SF OR LESS.

5.304.5

CALIFORNIA GREEN BUILDINGS STANDARDS CODE - NON-RESIDENTIAL MANDATORY MEASURES

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL

BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1203 AND CHAPTER 14.1

SEE SHEET A2.1 THROUGH A3.1, AND SHEETS A8.2 FOR ENVELOPE WEATHER RESISTANCE.

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY

FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 (REQUIREMENTS FOR VENTILATION) OF THE 2013 CALIFORNIA ENERGY CODE, OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 5

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.506.1 CARBON DIOXIDE (CO2) MONITORING

FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, CCR, SECTION 121(C).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL

EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH STC VALUES DETERMINED IN ACCORDANCE WITH ASTM E 90 AND ASTM E 413 OR OITC DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.507.4.1 OR 5.507.4.2

SEE SHEET A2.1 THROUGH A3.1, AND SHEETS A8.1 FOR ENVELOPE WEATHER RESISTANCE.

5.507.4.1 EXTERIOR NOISE TRANSMISSION, PRESCRIPTIVE METHOD

WALL AND FLOOR-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING ENVELOPE SHALL HAVE EXTERIOR WALL AND ROOF CEILING ASSEMBLIES MEETING A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40 WITH EXTERIOR WINDOWS OF A MINIMUM STC 40 OR OITC OF 30 IN THE LOCATIONS DESCRIBED IN ITEMS 1 AND 2.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE FOR WICH EXCEPTION IN SECTION 5.507.4 APPLIES

5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE

BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 dB Leq-1HR DURING ANY HOUR OF OPERATION SHALL HAVE EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OITC 30).

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE FOR WICH EXCEPTION IN SECTION 5.507.4 APPLIES

5.507.4.2 PERFORMANCE METHOD

FOR BUILDINGS LOCATED AS DEFINED IN SECTION 5.507.4.1 OR 5.507.4.1.1, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (L eq - 1HR) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.

5.507.4.2.1 SITE FEATURES

EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE FOR WICH EXCEPTION IN SECTION 5.507.4 APPLIES

5.507.4.2.1 DOCUMENTATION OF COMPLIANCE

AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.507.4.3 INTERIOR SOUND TRANSMISSION

WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS.

INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.

SEE FIRE PROTECTION DRAWINGS - SUBMITTED UNDER SEPERATE PERMIT.

5.508.1.1 CHLOROFLUOROCARBONS (CFCs).

INSTALL HVAC AND REFRIGERATION EQUIPMENT THAT DOES NOT CONTAIN CFCs.

THIS MEASURE NOT APPLICABLE TO THIS PROJECT'S COLD DARK SHELL SCOPE.

5.508.1.2 HALONS.

INSTALL FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.

SEE FIRE PROTECTION DRAWINGS - SUBMITTED UNDER SEPERATE PERMIT.

5.508.2 SUPERMARKET REFRIGERANT LEAK REDUCTION.

NEW COMMERCIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION WHEN INSTALLED IN RETAIL FOOD STORES 8,000 SQUARE FEET OR MORE CONDITIONED AREA, AND THAT UTILIZE EITHER REFRIGERATED DISPLAY CASES, OR WALK-IN COOLERS OR FREEZERS CONNECTED TO REMOTE COMPRESSOR UNITS OR CONDENSING UNITS. THE LEAK REDUCTION MEASURES APPLY TO REFRIGERATION SYSTEMS CONTAINING HIGH-GLOBAL WARMING POTENTIAL (HIGH-GWP) REFRIGERANTS WITH A GWP OF 150 OR GREATER. NEW REFRIGERATION SYSTEMS INCLUDE BOTH NEW FACILITIES AND THE REPLACEMENT OF EXISTING REFRIGERATION SYSTEMS IN EXISTING FACILITIES.

NOTE: NOT APPLICABLE.

CAL GREEN NOTES

REMARKS

PLANNING RESUBMITTAL

DATE

08/05/2019

A

PA/PM:

P. NORCROSS

DRAWN BY.:

A.K.

JOB NO.:

SNR18-0062-00

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SANTA TERESA VILLAGE

7028 SANTA TERESA BLVD,
SAN JOSE, CALIFORNIA 95139

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OVERALL SITE PLAN

DATE		REMARKS
03.21.2019	PLANNING RESUBMITTAL	
05.17.2019	PLANNING RESUBMITTAL	
09.02.2019	PLANNING RESUBMITTAL	
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DRAWN BY: A.K.

JOB NO.: SNR18-0062-00

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SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- PROPERTY LINE.
- LANDSCAPE AND IRRIGATION AREA.
- FIRE LANE (HATCHED)
- PARKING STALL COUNT TOTAL.
- NEW POLE LIGHTING. SEE PHOTOMETRICS
- EXISTING POLE LIGHTING. SEE PHOTOMETRICS

OVERALL SITE PLAN

SCALE: 1" = 50'-0"

1

1.9 AC

TENANT NAME	SUITE NUMBER	SQUARE FOOTAGE
EXPLO NAILS	7036	635
SANTA TERESA BARBERS	7038	560
BASKIN-ROBBINS 31 FLAVORS	7040	1140
SUBWAY	7042	1165
JENNIFER'S CLEANERS	7044	1550
KHUNYING THAI RESTAURANT	7048	1800
SANTA TERESA PURE WATER	7050	1200
MAILBOX & MORE	7052	1200
FASHION PLUS	7054	1750
RISTORANTE ITALIANO	7058	3550
BARRAL BAGELS AND COFFEE	7064	1900
SANTA TERESA BOTTLE SHOP	7068	4000
EL AMIGO RESTAURANT	7090	2196
GOODWILL	7098	14000
PYRAMID TATTOO	7034	1250
HIS AND HERS HAIR BAR	7026-20	1225
SIDELINE SPORTS BAR & GRILL	7028	3150
BONCHON	7028-30	1132
STARBUCKS CORPORATION #25447	7026-10	2284
CARL'S JR. RESTAURANT	172	2759
TACO BELL	170	1653
SHAPES FITNESS FOR WOMEN (NOT OPEN)	7080	8435
GROCERY OUTLET (NOT OPEN)	7076	24650
AVAILABLE	7118 (AVAILABLE)	1050
PYRAMID TATTOO	7032	1400
KRAGEN AUTO PARTS	7102	5400
GOLDEN HOUSE CHINESE RESTAURANT	7108	1508
CIGARETTE PLUS	7110	1400
BUBBLE FACTORY	7112	2800
SUN NAILS & HAIR	7116	1400
DOLLAR TREE-STORE # 6337	7122	8600
SUSHI BOAT TOWN	7130	2520
GENIUS KIDS	7136	4639
SILICON VALLEY VETERINARY SPECIALISTS	7160	4504
FLAMES COFFEE SHOP	7170	4850
PL1	10.0000	
KUMON MATH & READING CENTER OF	7120	1061
SANTA TERESA		
EXISTING COMMERCIAL	N/A	10,190
EXISTING COMMERCIAL	N/A	10,387
EXISTING COMMERCIAL	N/A	124,306 (2.85 ACRES)

1" = 50'-0"

0 25' 50' 100' 250'

BERNAL ROAD

CHANTILLEY LANE

SANTA TERESA BOULEVARD

EXISTING PUBLIC/QUASI-PUBLIC
PARCEL 1
486 M 30

EXISTING RESIDENTIAL
TRACT NO 7821
846 M 36

EXISTING RESIDENTIAL
TRACT NO 6346
421 M 31

PARCEL I
386 M 52
9.7 ACRES

PARCEL II
386 M 52
4.2 ACRES

PARCEL B
374 M 52
1.8 ACRES

EXISTING RESIDENTIAL
FACILITY IDENTIFIER: 3650

EXISTING INDUSTRIAL
PARK
FACILITY IDENTIFIER: 3084

EXISTING INDUSTRIAL
PARK
FACILITY IDENTIFIER: 7763

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NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

100. ACCESSIBLE ENTRY SIGNAGE.
101. ACCESSIBLE PARKING STALL WITH SIGNAGE.
102. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.
103. PAINTED PARKING STRIPING PER CITY STANDARDS.
104. PRECAST CONCRETE WHEELSTOP.
105. ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
106. FIRELANE CURB, DASHED LINE INDICATES EXTENT OF CONTINUOUS CURB TO BE PAINTED RED.
107. NEW BIKE RACKS.
108. EXISTING MONUMENT SIGN.
109. TRASH ENCLOSURE WITH RECYCLE BIN.
110. ACCESSIBLE LOADING ZONE.
111. NEW CONCRETE WALKWAY.
112. PROPERTY LINE.
113. LANDSCAPE AND IRRIGATION AREA.
114. NEW STAMPED COLORED CONCRETE CROSSWALK.
115. NEW SITE LIGHTING. SEE PHOTOMETRICS PLAN.

SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
--- PROPERTY LINE.
LANDSCAPE AND IRRIGATION AREA.
FIRE LANE (HATCHED)
PARKING STALL COUNT TOTAL
NEW POLE LIGHTING. SEE PHOTOMETRICS
EXISTING POLE LIGHTING. SEE PHOTOMETRICS

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ENLARGED SITE PLAN

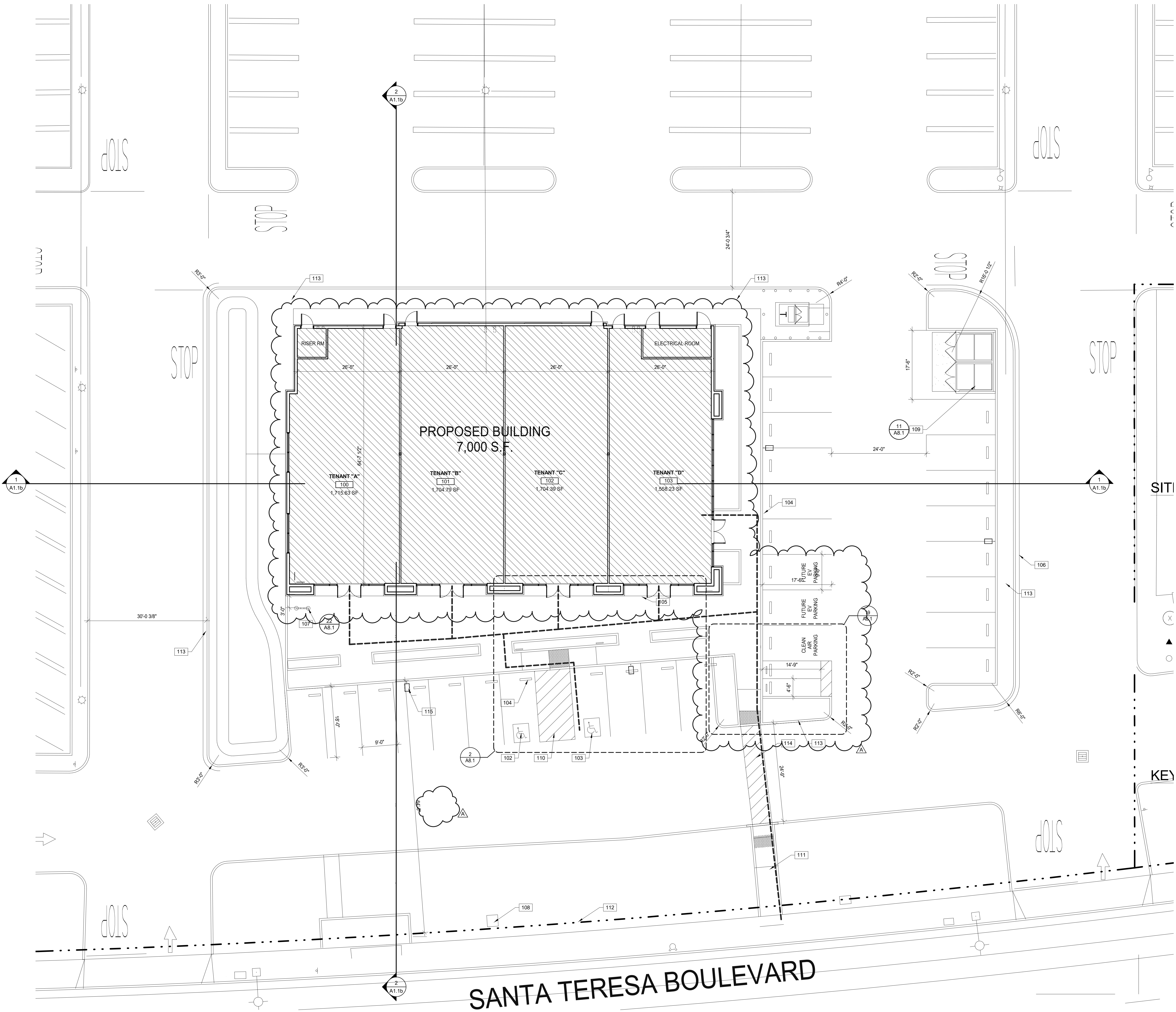
DATE	REMARKS
03.21.2019	PLANNING RESUBMITTAL
05.17.2019	PLANNING RESUBMITTAL
09.02.2019	PLANNING RESUBMITTAL
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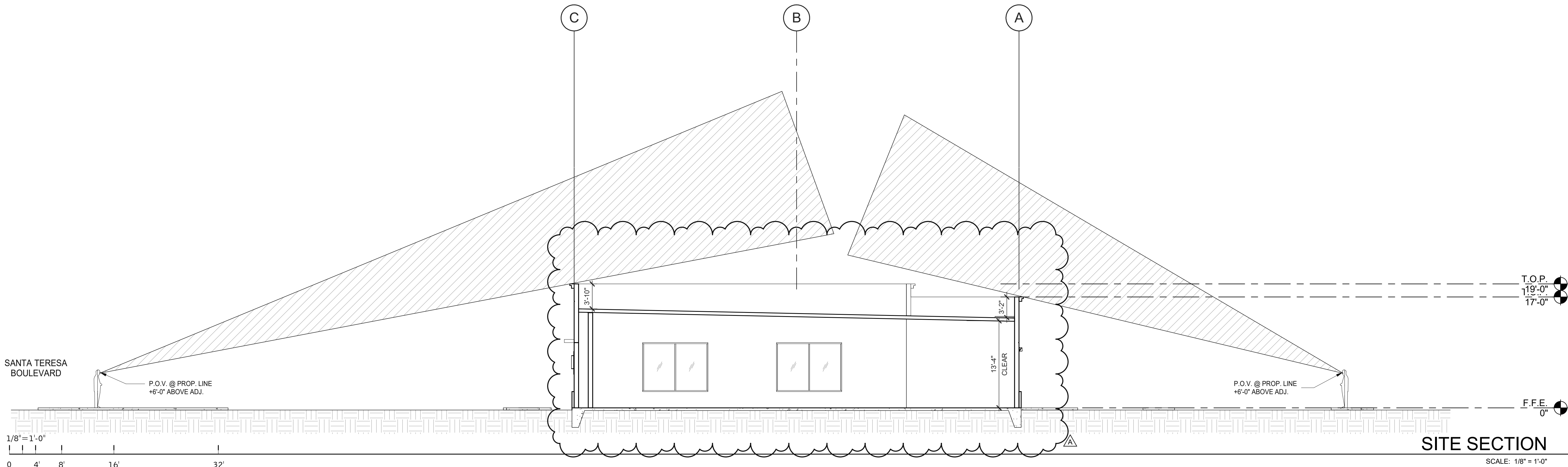
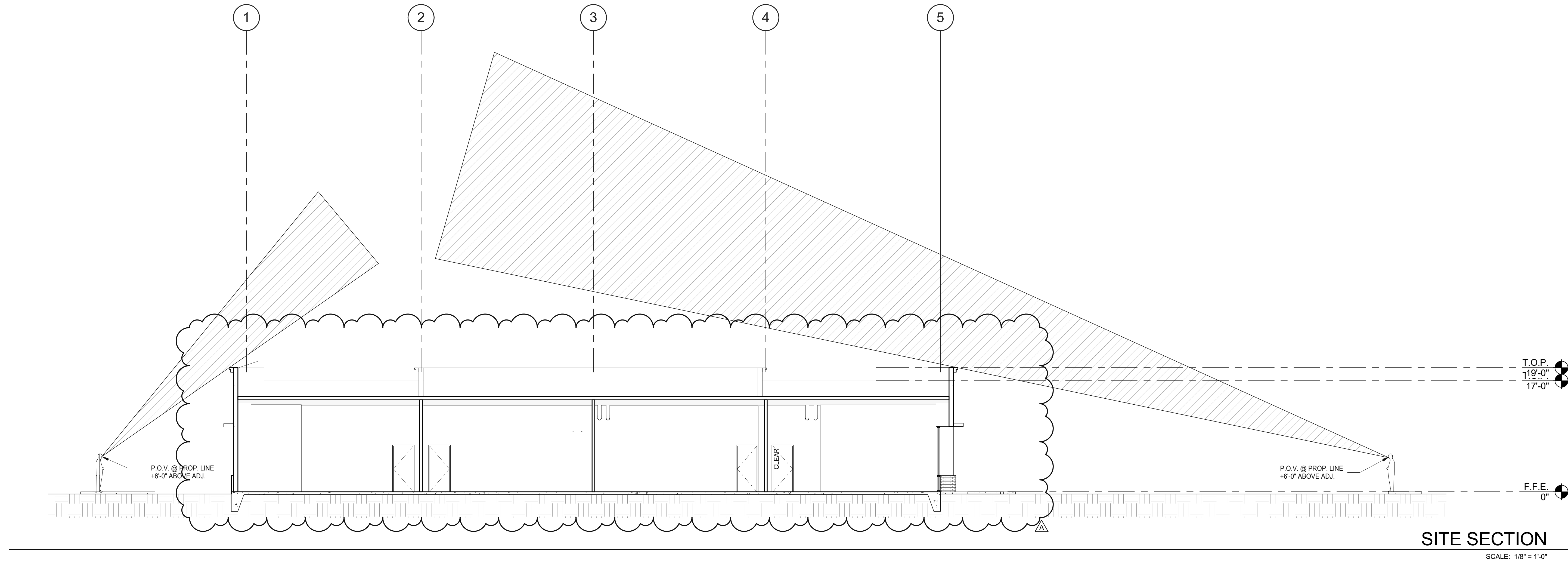


ENLARGED SITE PLAN

SCALE: 1" = 10'-0"

1

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NOTES

SITE SECTIONS

DATE	REMARKS
03.21.2019	PLANNING RESUBMITTAL
05.17.2019	PLANNING RESUBMITTAL
09.05.2019	PLANNING RESUBMITTAL
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SITE PHOTOMETRICS

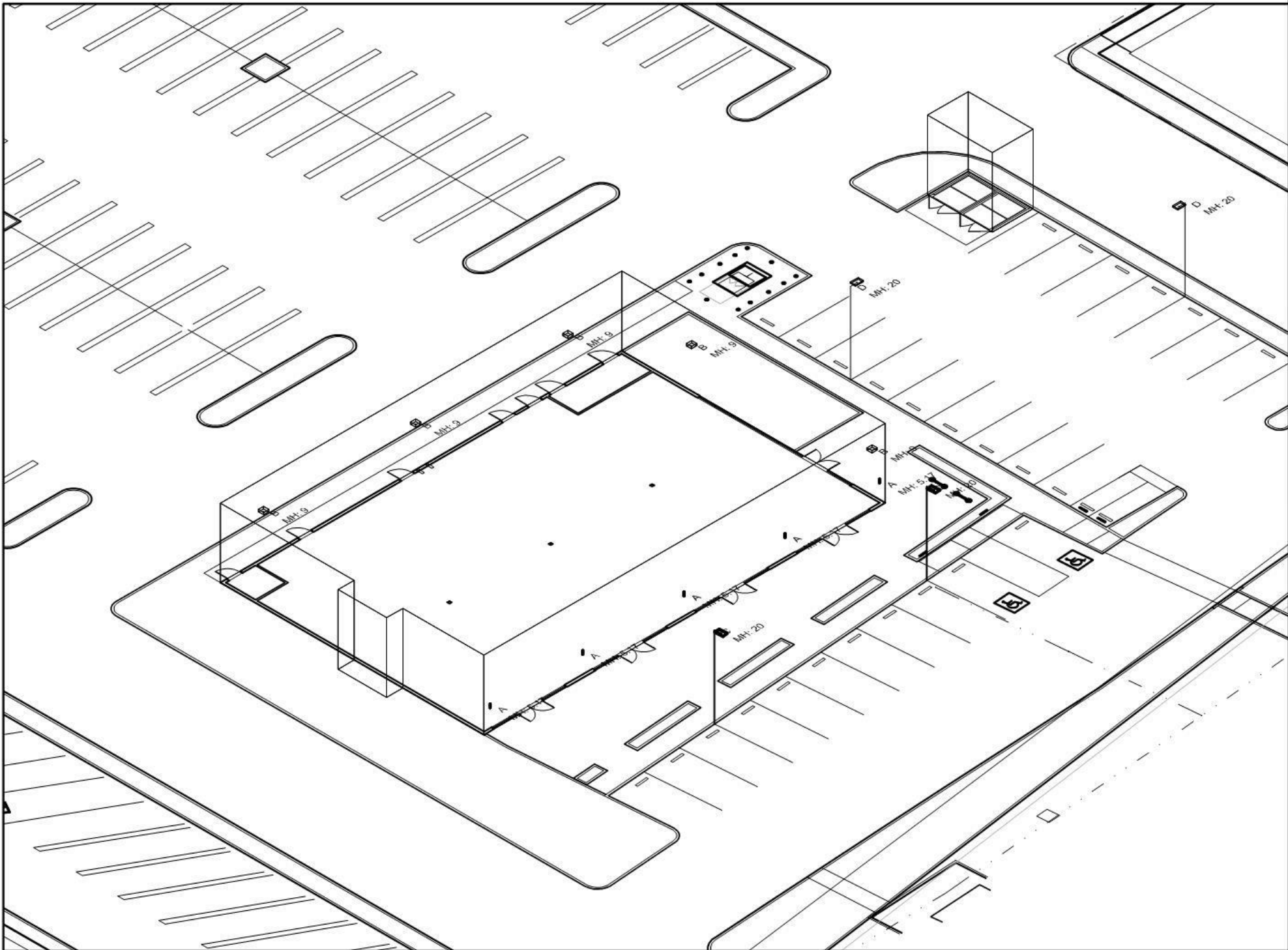
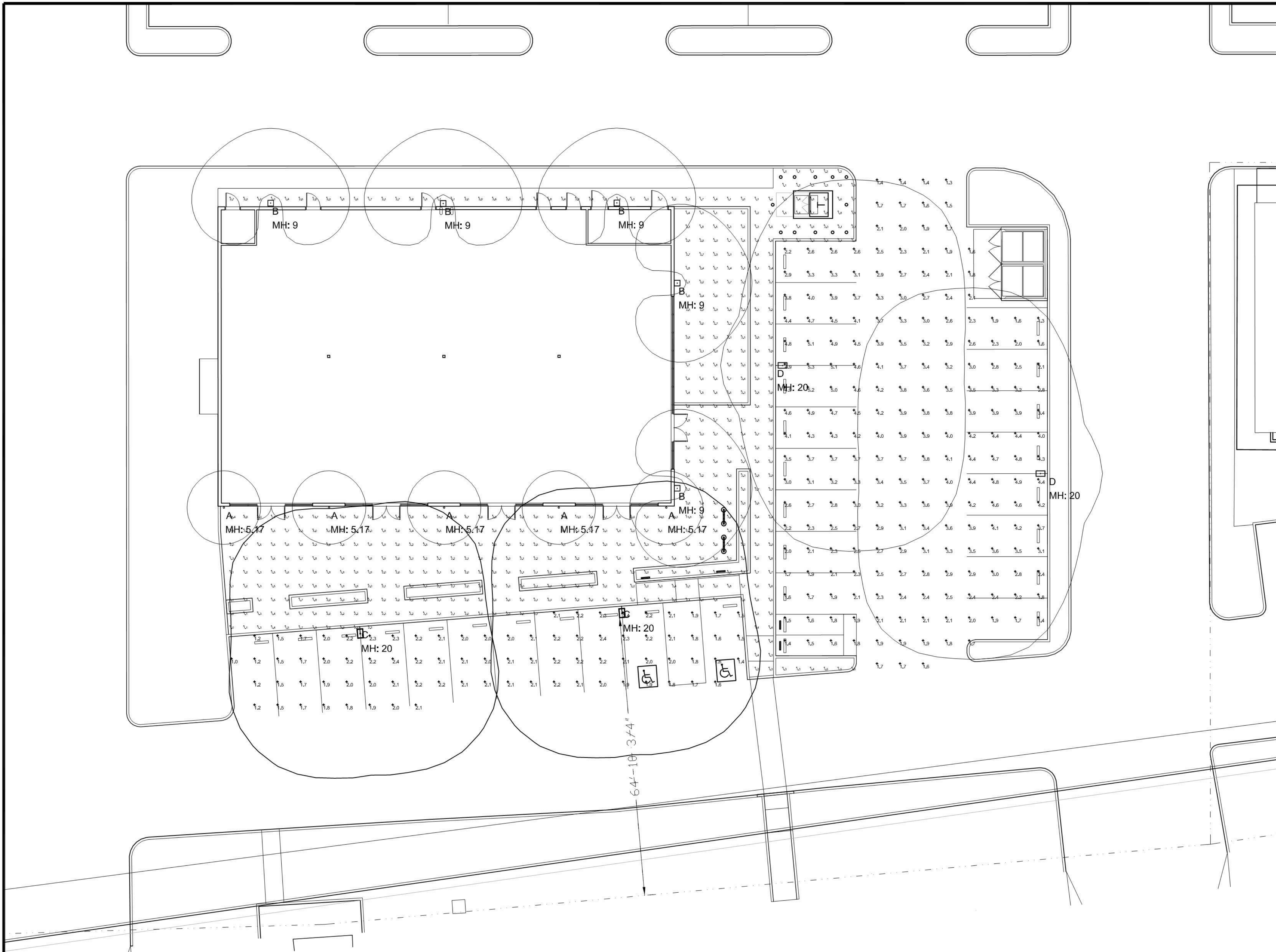
DATE	REMARKS
03.21.2019	PLANNING RESUBMITTAL
05.17.2019	PLANNING RESUBMITTAL

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ISOMETRIC VIEW NOT TO SCALE

Luminaire Schedule									
Symbol	Qty	Tag	Description	Lum. Lumens	LLD	LDD	UDF	LLF	File Name
	5	A	DMF Lighting DCC2-WW-L-20-35-xx @ 5'-2"	2050	0.944	0.900	1.000	0.850	DCC2xxx2035WH.ies
	5	B	Philips Gardco PureForm Comfort Sconce PWS-140L-450-NW-G2-3-UNV @ 9'-0"	2516	0.944	0.900	1.000	0.850	PWS-140L-450-NW-G2-3-UNV.ies
	2	C	Philips Gardco PureForm P26-48L-700-NW-G2-5W @ 20'-0"	14819	1.000	1.000	1.000	0.850	P26-48L-700-NW-G2-5W.ies
	2	D	Philips Gardco PureForm P26-48L-700-NW-G2-3 @ 20'-0"	13834	0.944	0.900	1.000	0.850	P26-48L-700-NW-G2-3.ies

Calculation Summary									
Label	Grid Z	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Parking - East	0	Illuminance	Fc	3.07	5.3	1.3	2.36	4.08	
Parking - South	0	Illuminance	Fc	1.94	2.4	1.0	1.94	2.40	
Sidewalk	0	Illuminance	Fc	2.75	28.6	1.0	2.75	28.60	

LIGHTING LAYOUT RECOMMENDATION

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.



ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARKER LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2008



REPORT FOR: WARE MALCOMB; MAX FISCHER
BY: APPLICATIONS ENGINEERING; ERIN COLCORD, LC, LEED GA
SALES REPRESENTATIVE; ALR; CATHY JOHNSON, LC

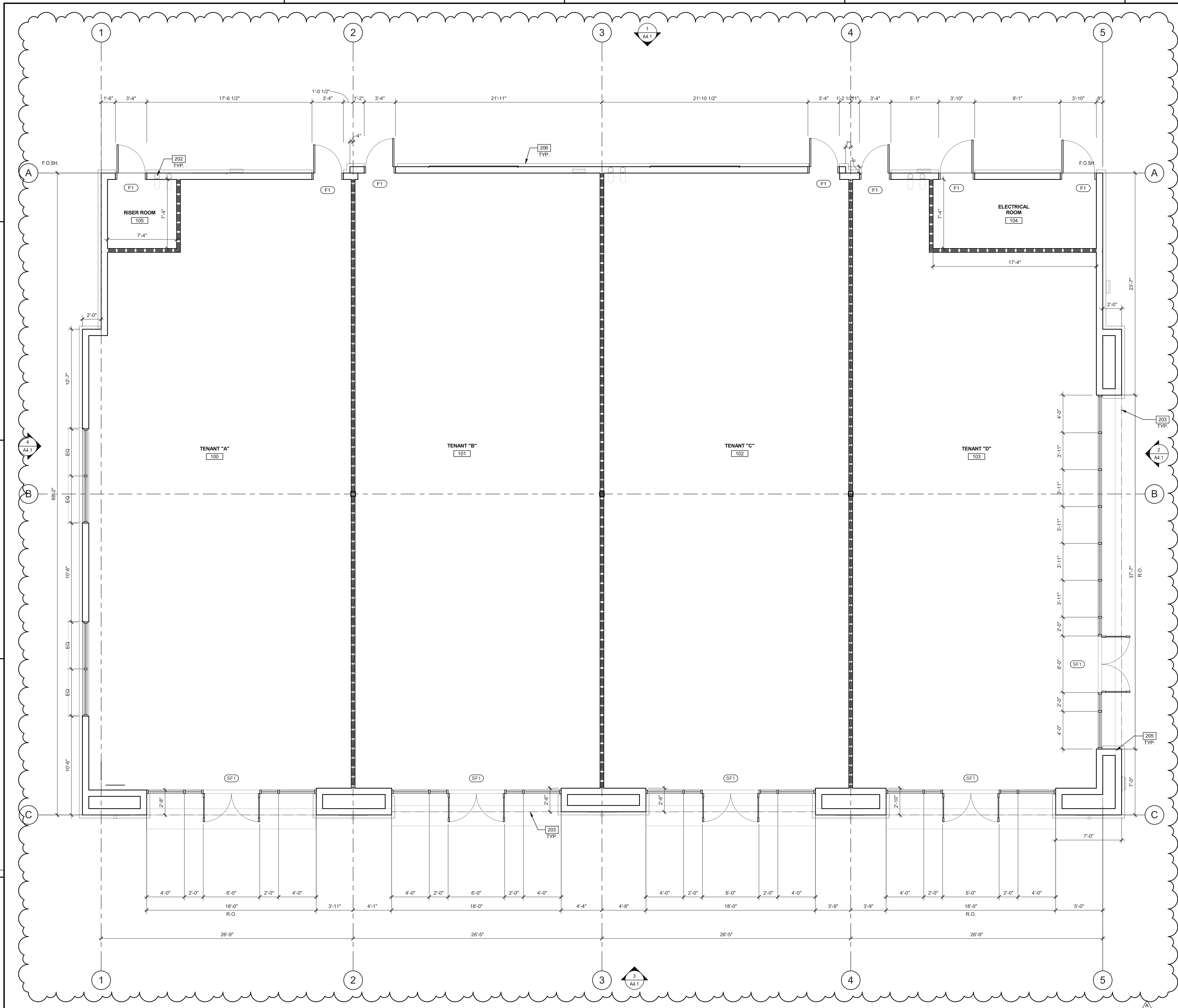
AG32 VERSION 18.2
AGI (C) 1999-2018 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL RD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION
SANTA TERESA VILLAGE - SITE
SAN JOSE, CA

DRAWING NO. / INPUT FILE
16250GOT REV 1.DWG / .A32

SCALE	SHEET	DATE	REV
1" = 10'-0"	1 OF 1	5 / 17 / 2019	1

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NOTES

- 202 PRIMARY AND SECONDARY ROOF DRAIN AND DRAIN LEADERS.
203 OUTLINE OF OVERHANG ABOVE.
205 PLASTER OVER DENS GLASS OVER METAL STUD WALL.
206

DOOR TYPES

- (SF1) 6'-0" x 8'-0" (PAIR)
CLEAR ANOD. ALUM. STOREFRONT
DOOR WITH TEMPERED GLAZING
(NARROW STYLE)
FRAME: MANUFACTURER
HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL
NOTE: WEATHERSEAL BY DOOR
MANUFACTURER
(F1) 3'-0" x 7'-0"
PAINTED INSULATED
HOLLOW METAL DOOR
HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HWY DUTY FLOOR STOP

DOOR NOTES

- BUTT HINGES:**
3055 - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED
EQUAL
ALL EXTERIOR OUTSWING DOOR BUTTS SHALL BE MADE OF NON-FERROUS
MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS
VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL
STOPS: TRIMCO W/200 SERIES DOOR STOP
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR
GUARD

WALL LEGEND

- PLASTER EXTERIOR WALL
1HR RATED CONSTRUCTION

FIRST FLOOR

DATE	REMARKS
03.21.2019	PLANNING RESUBMITTAL
05.17.2019	PLANNING RESUBMITTAL
06.02.2019	PLANNING RESUBMITTAL
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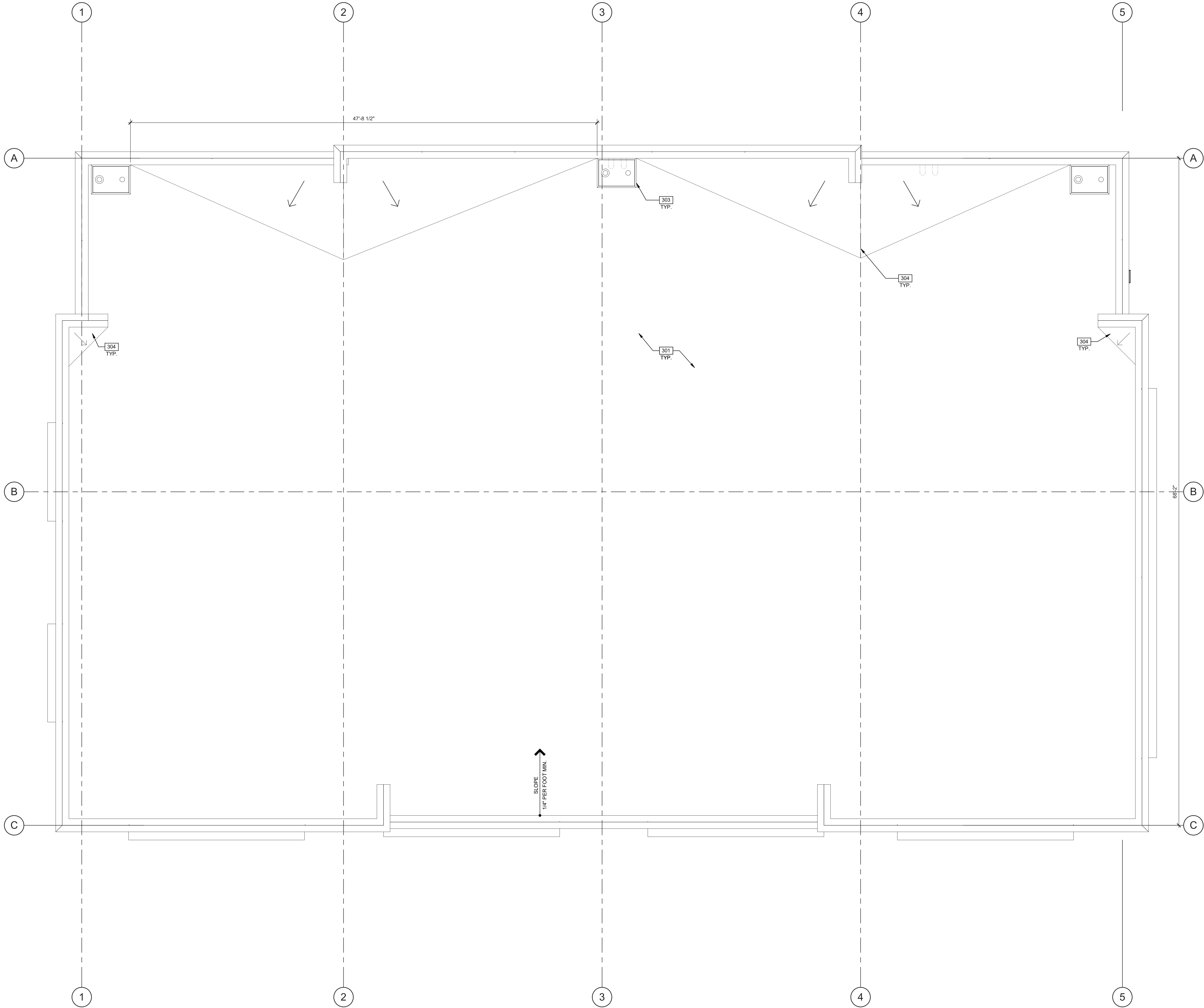
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ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTES

- 301 SINGLE PLY ROOFING.
303 INTERIOR DOWNSPOUT & OVERFLOW.
304 ROOF CRICKET AT 1/4" SLOPE MIN.

ROOF PLAN

DATE	REMARKS
03.21.2019	PLANNING RESUBMITTAL
05.17.2019	PLANNING RESUBMITTAL

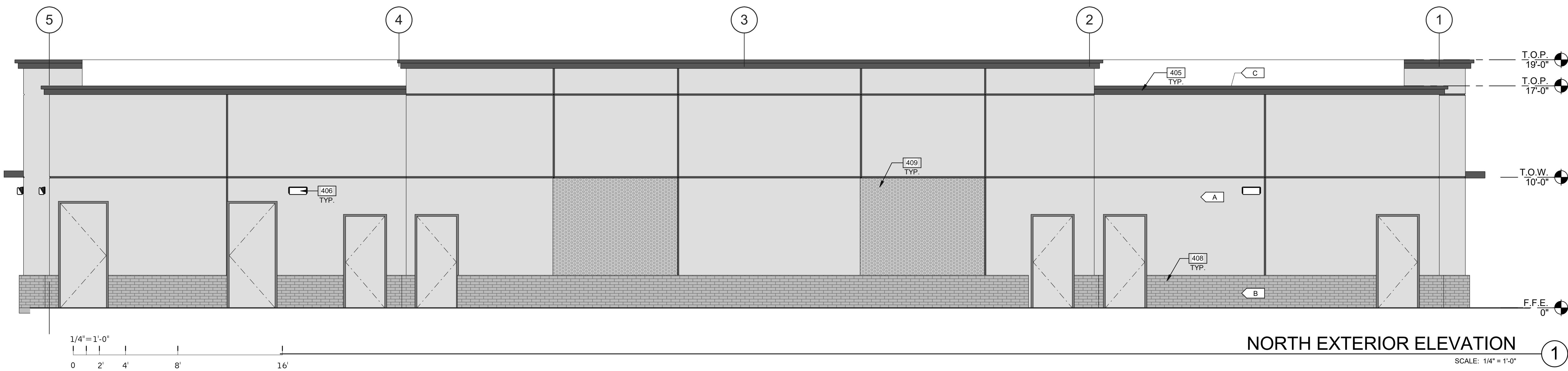
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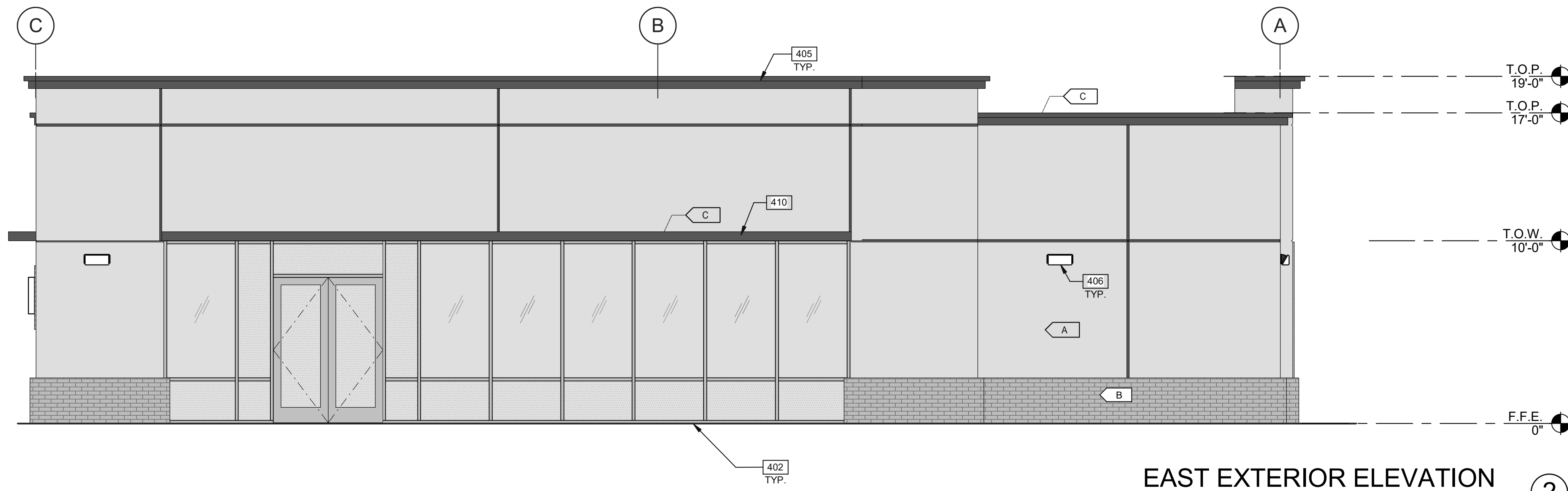
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NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

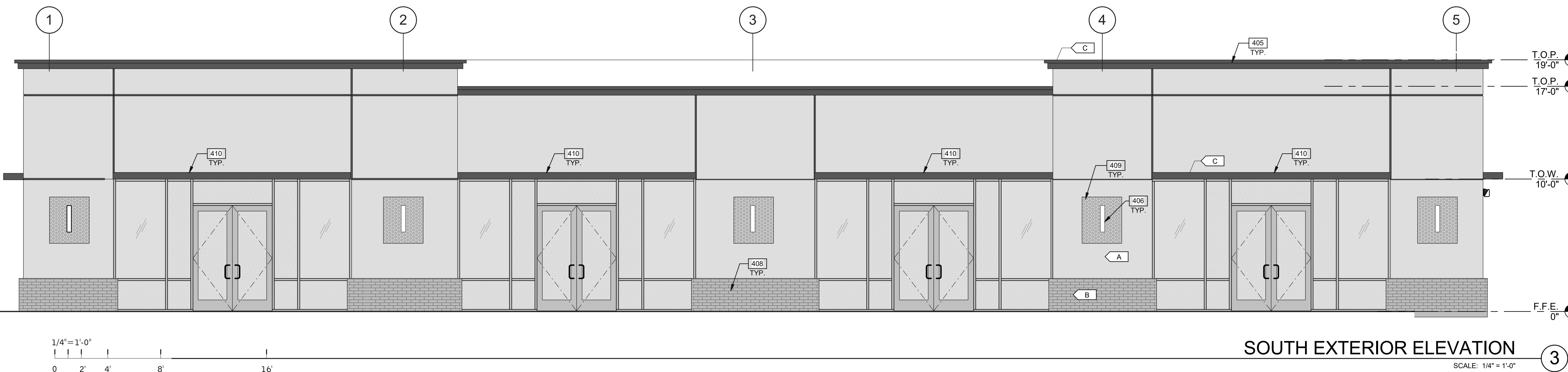
1



EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

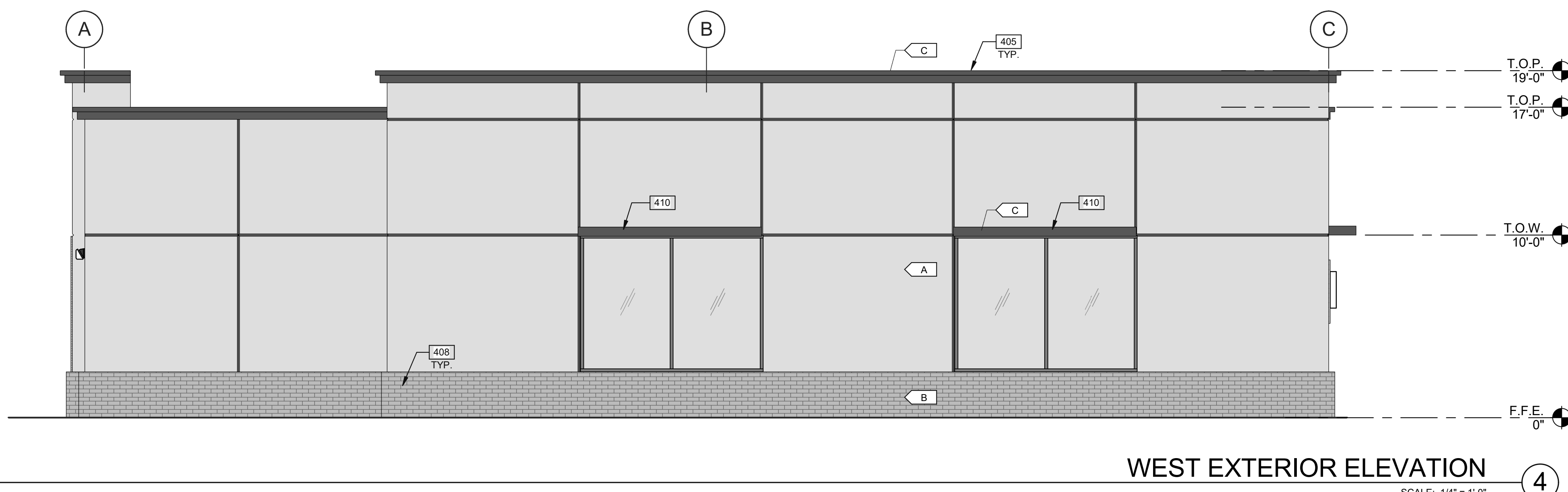
2



SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

3



WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

4

NOTES

- 402 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 405 EIFS ROOF CORNICE.
- 406 WALL SCOFF.
- 408 BRICK VENEER LOW WALL.
- 409 PERFORATED METAL PANEL.
- 410 PAINTED METAL CANOPY.

LEGEND

- GLASS:
- VISION GLASS
 - TEMPERED GLASS

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A BASE COLOR: SHORTBREAD - DE6134
- B SECONDARY COLOR: GRAHAM CRACKER - DE6144
- C ACCENT COLOR: BISCUIT - SW6112

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SANTA TERESA VILLAGE

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ELEVATIONS

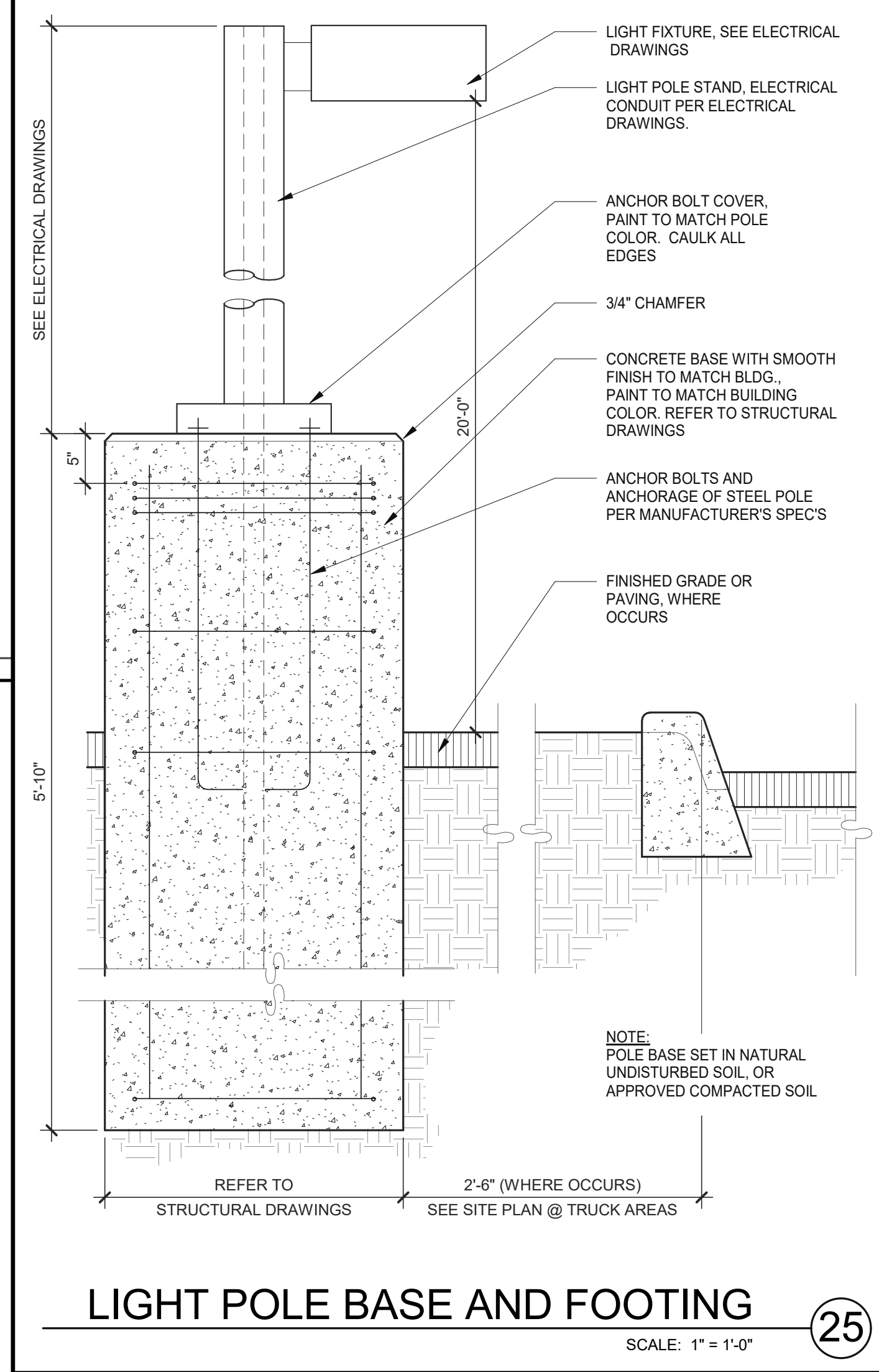
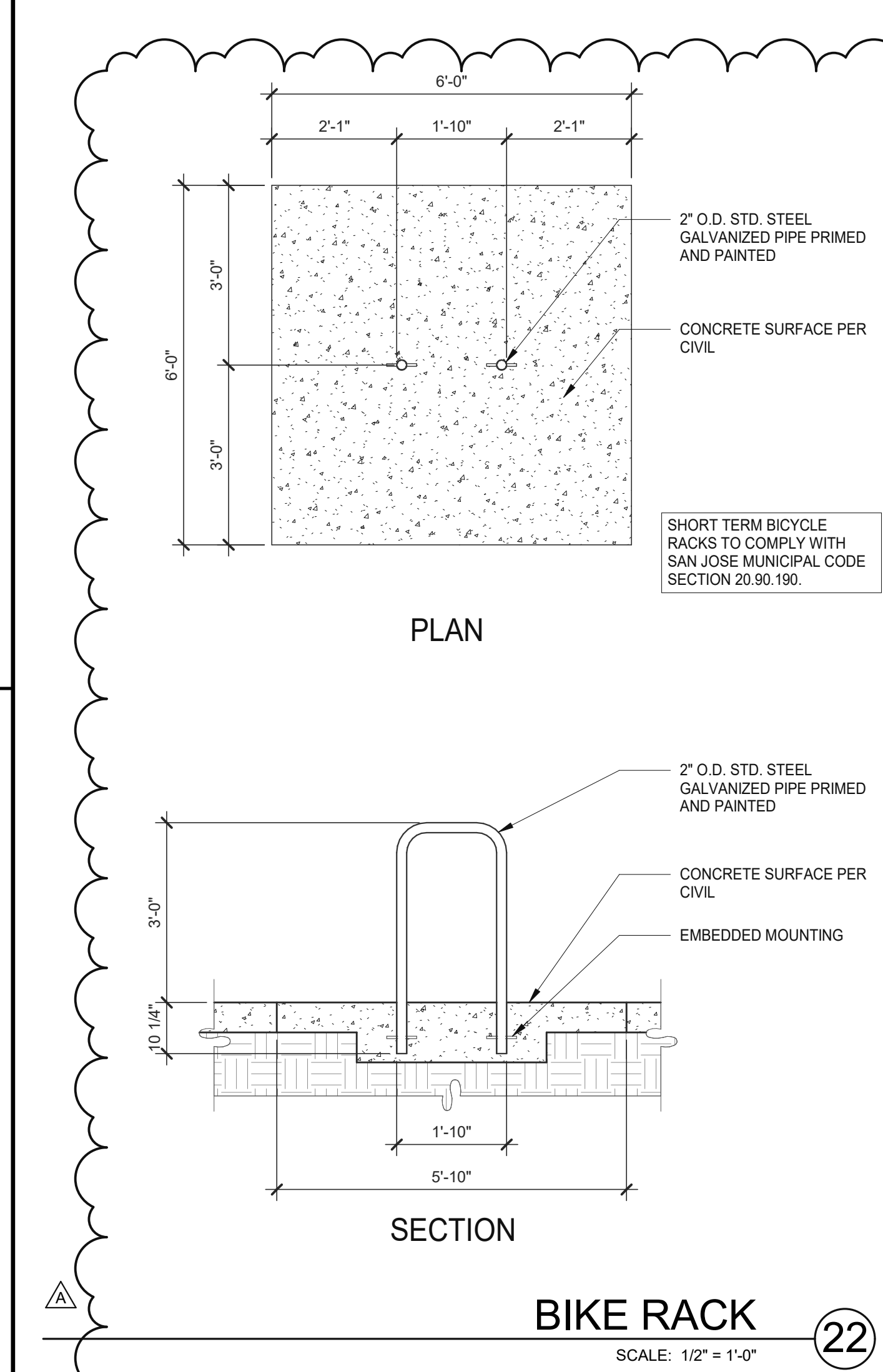
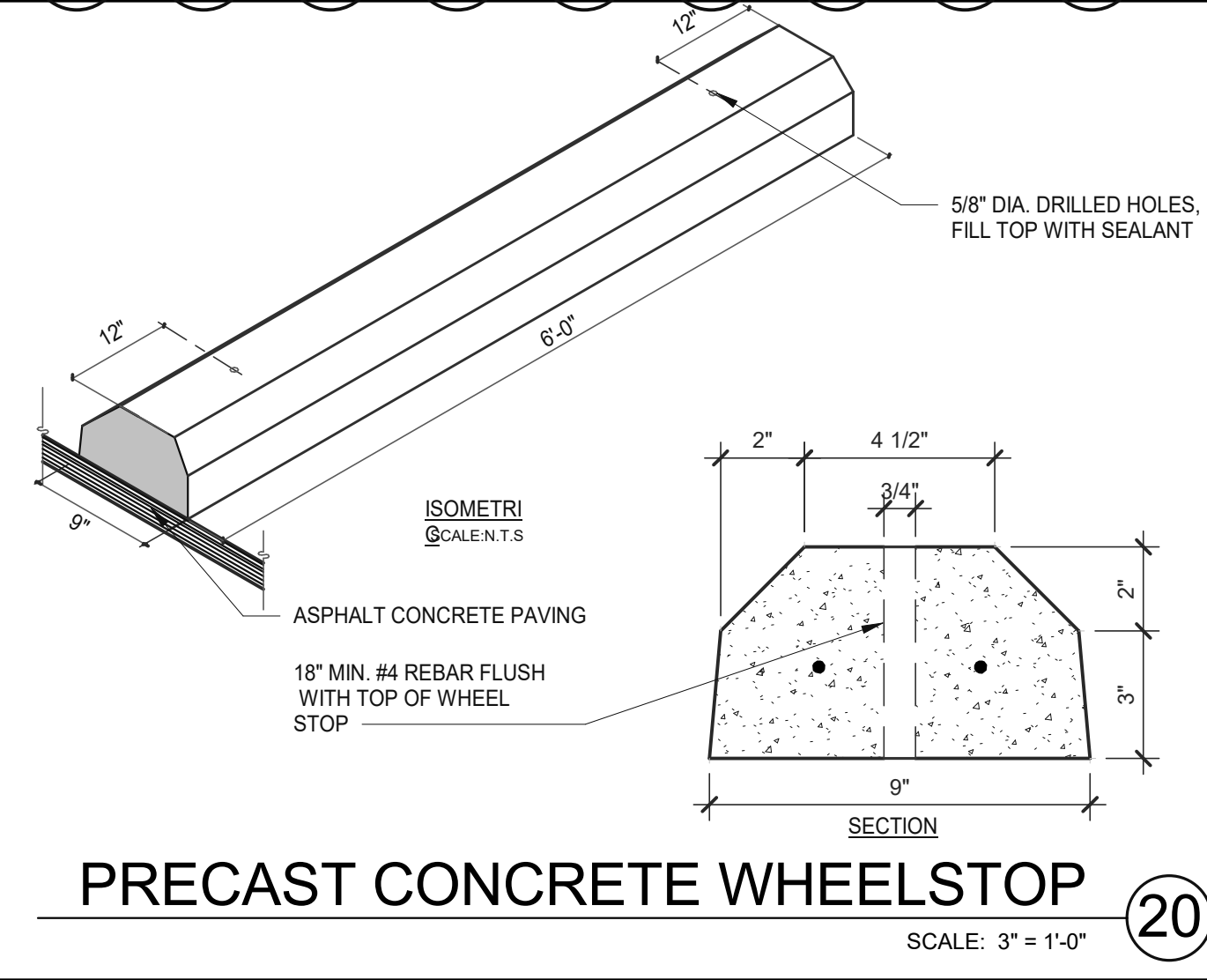
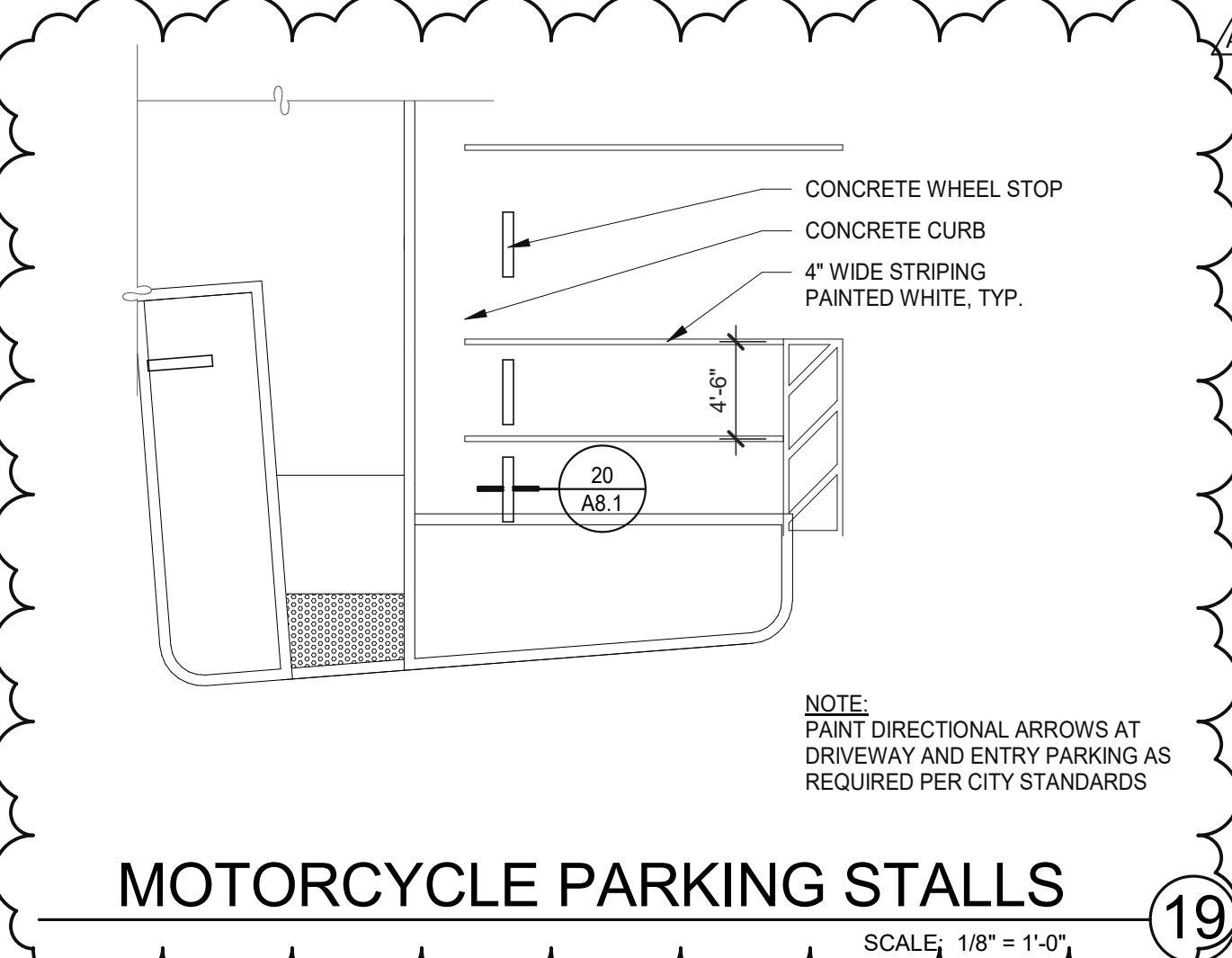
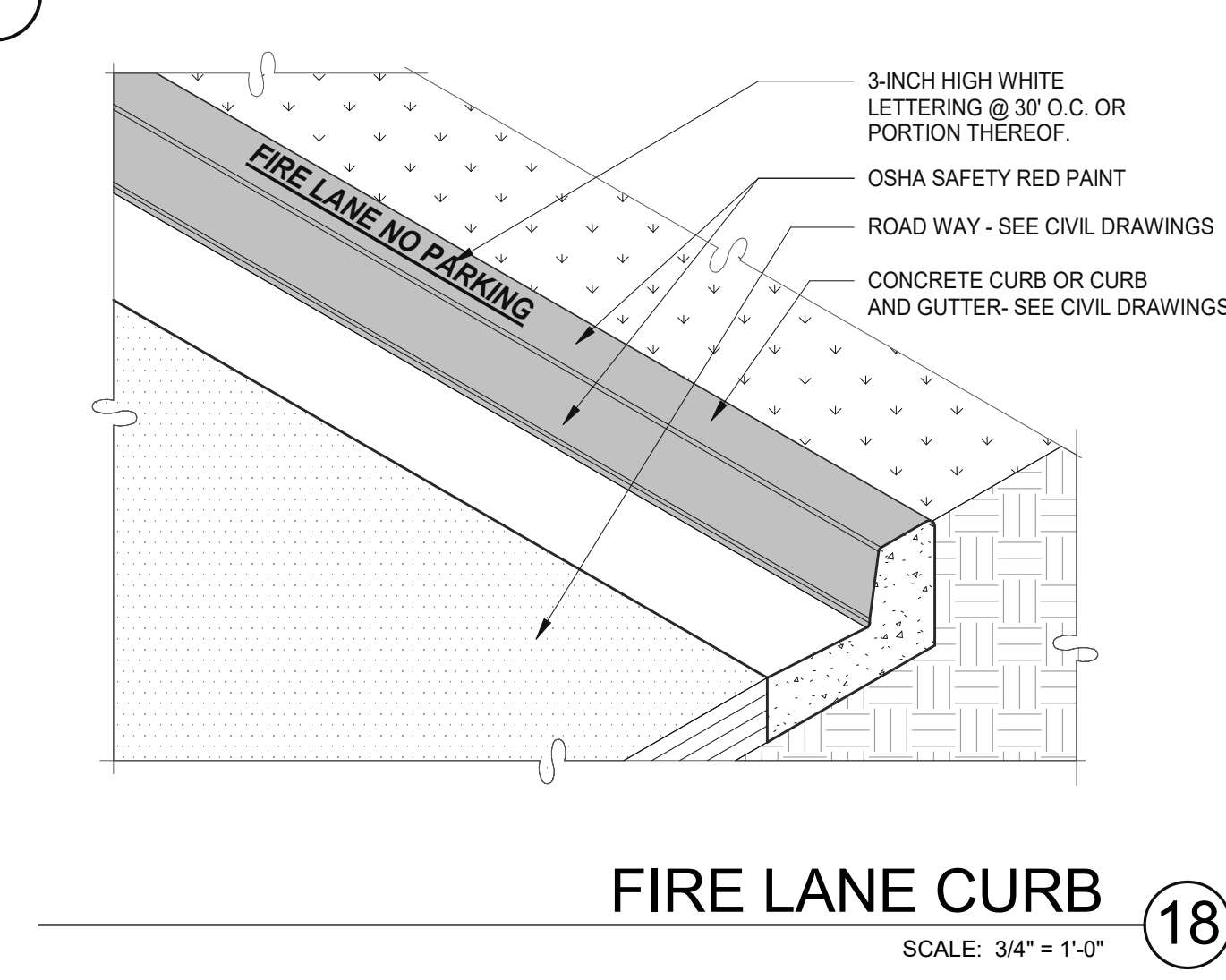
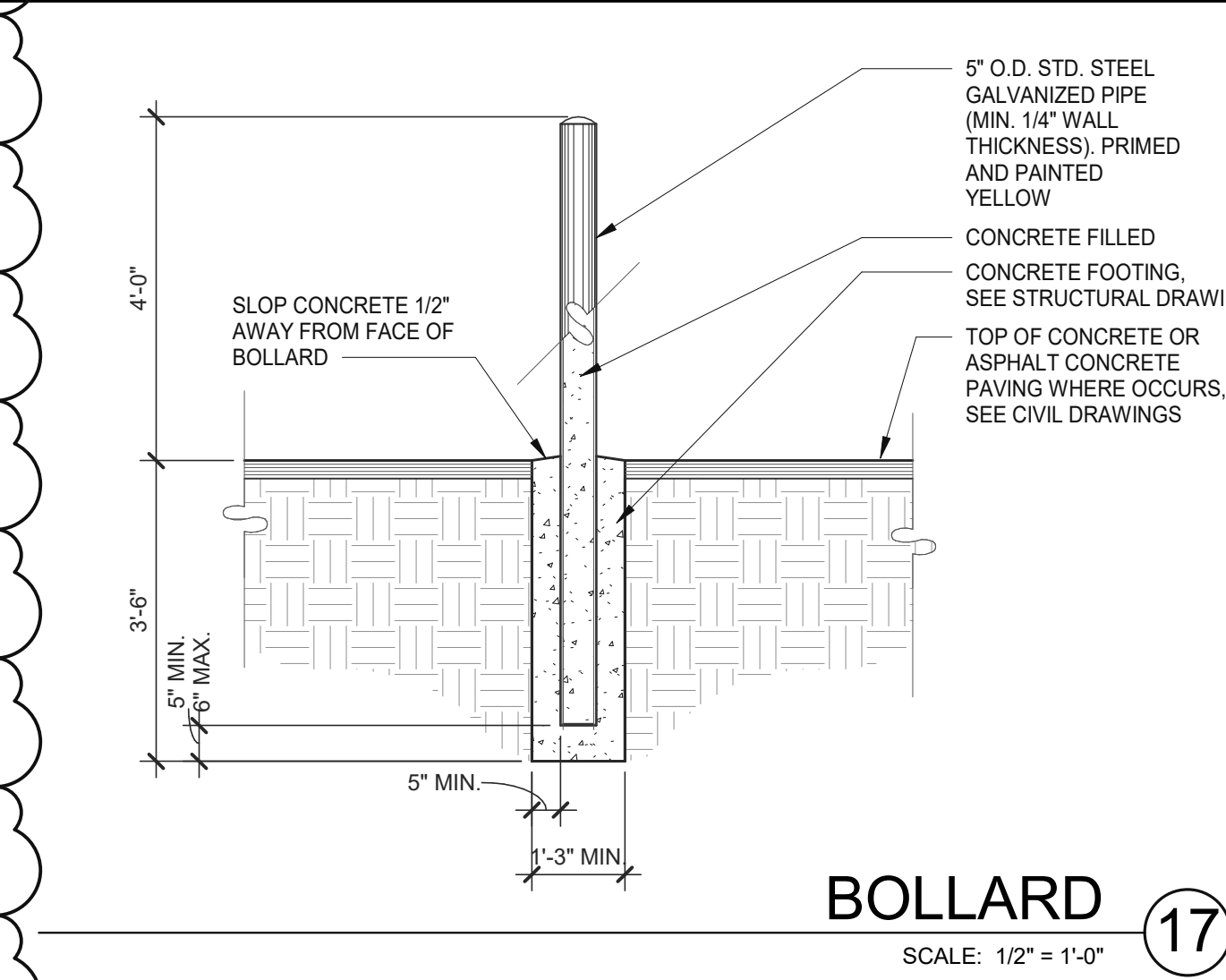
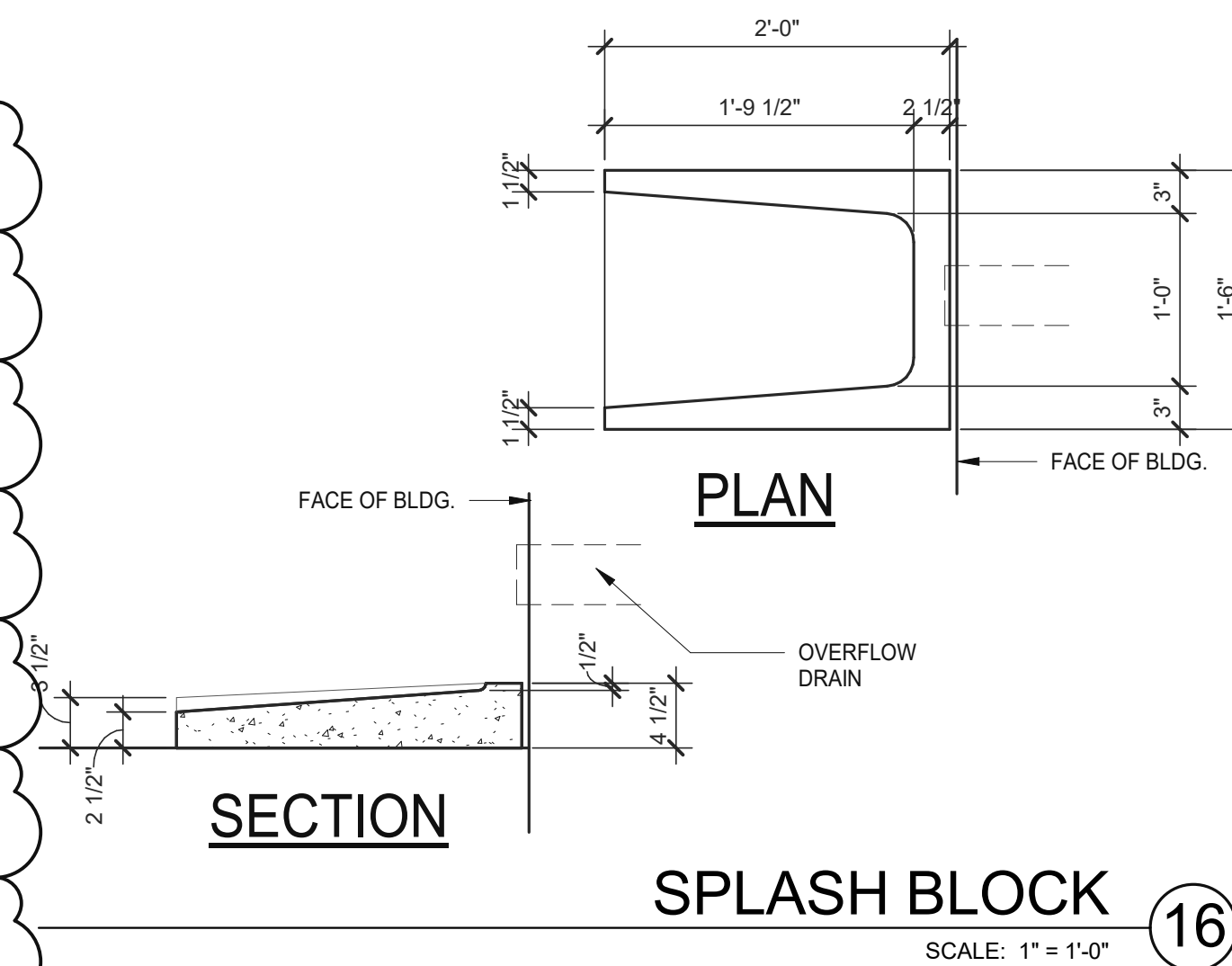
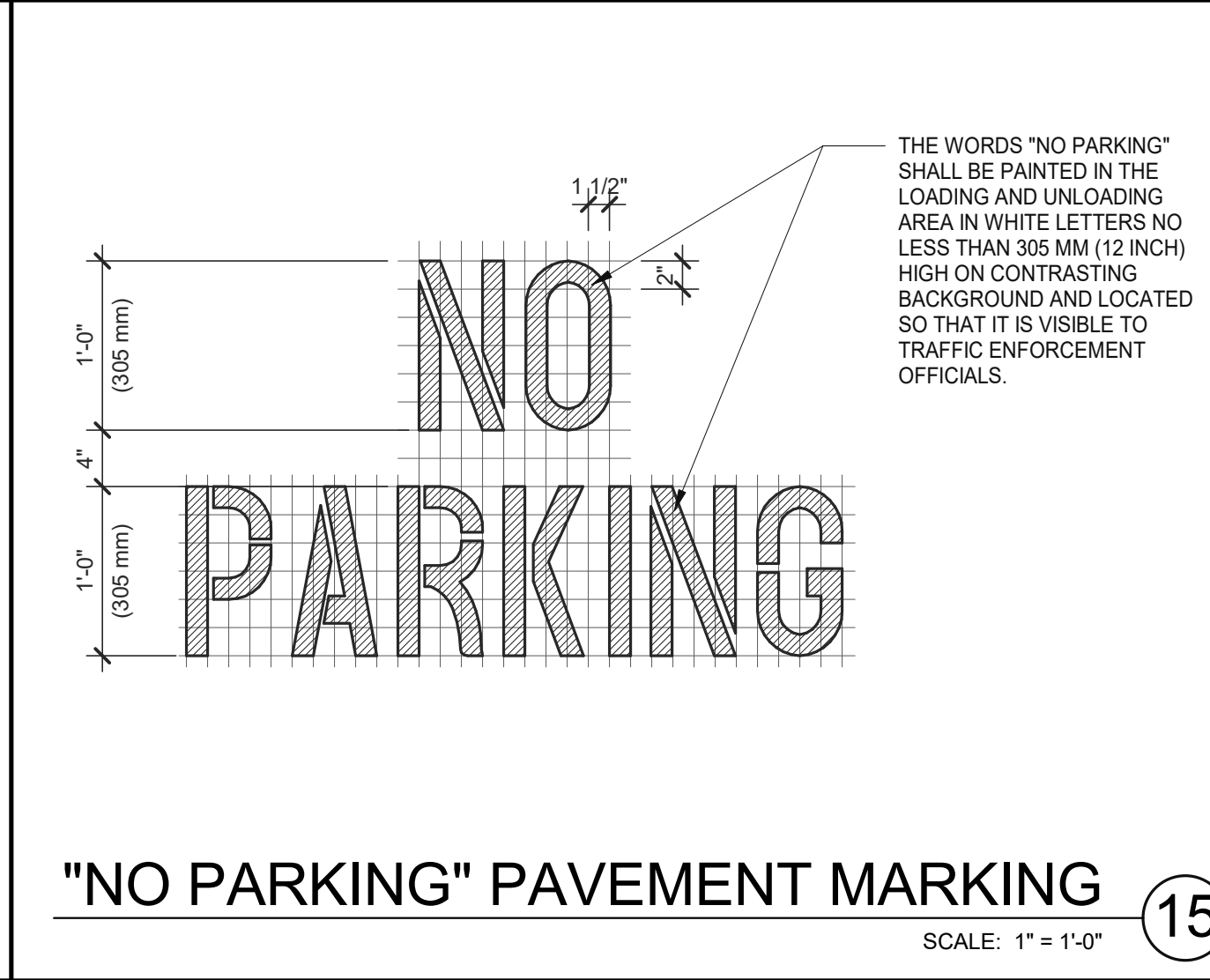
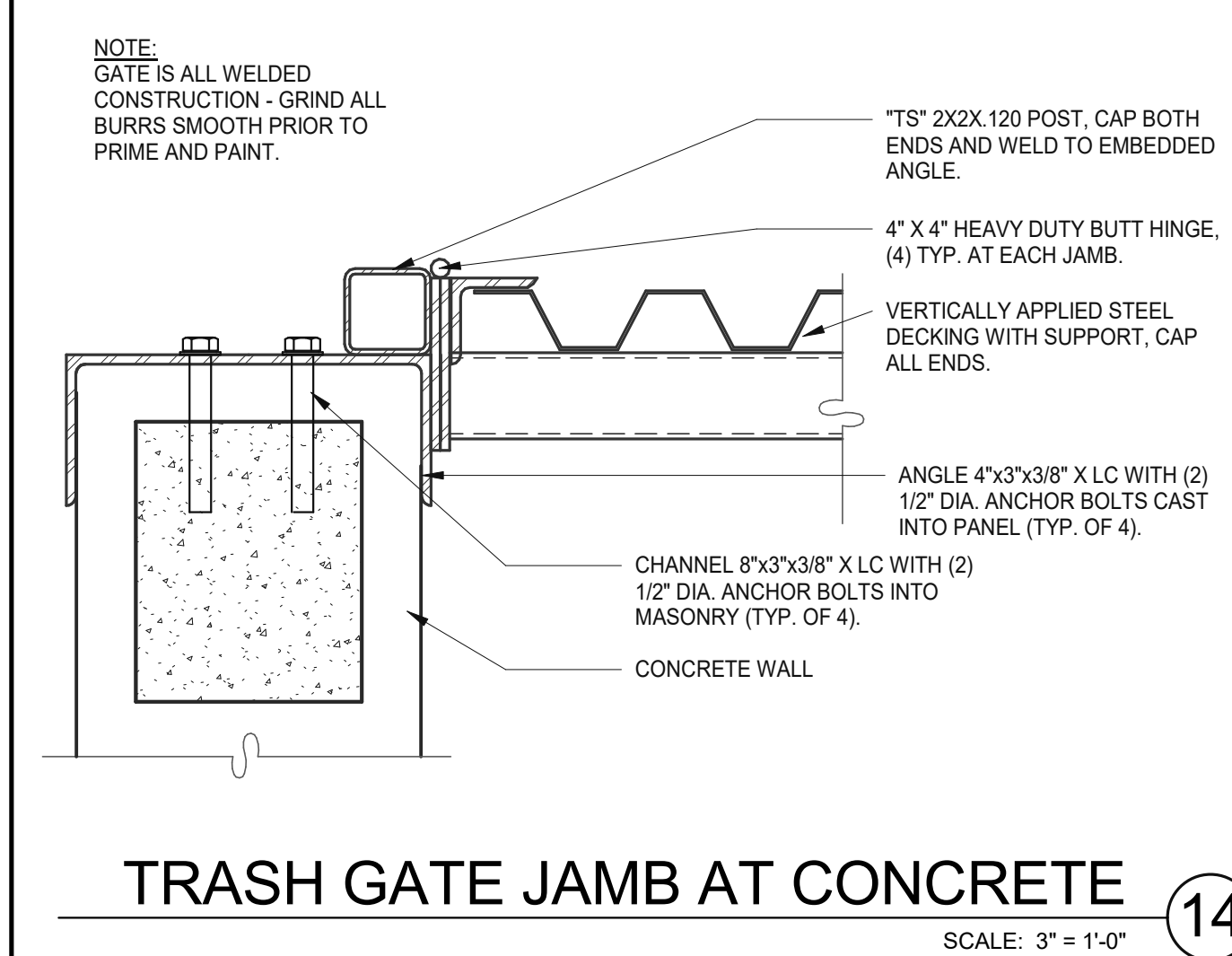
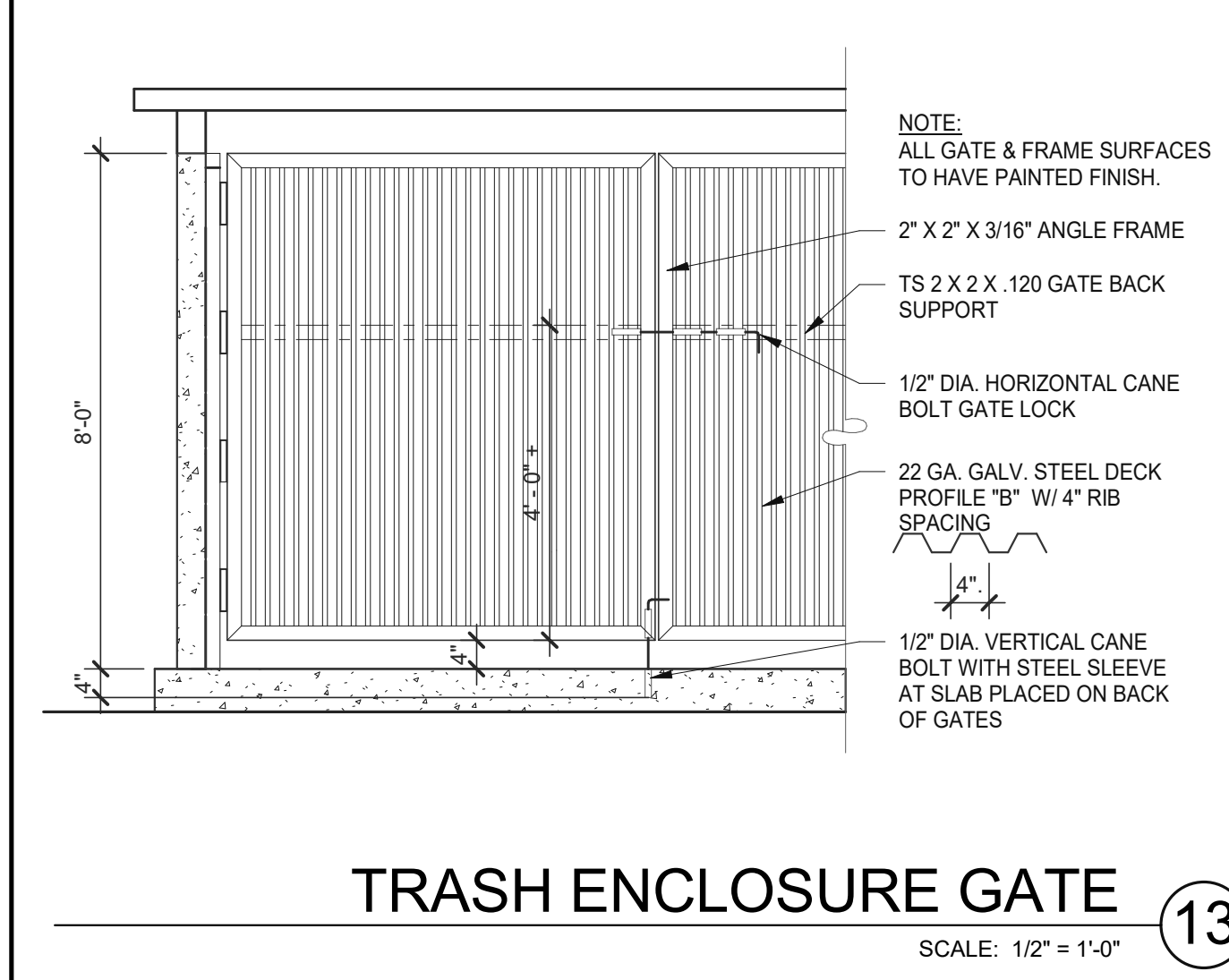
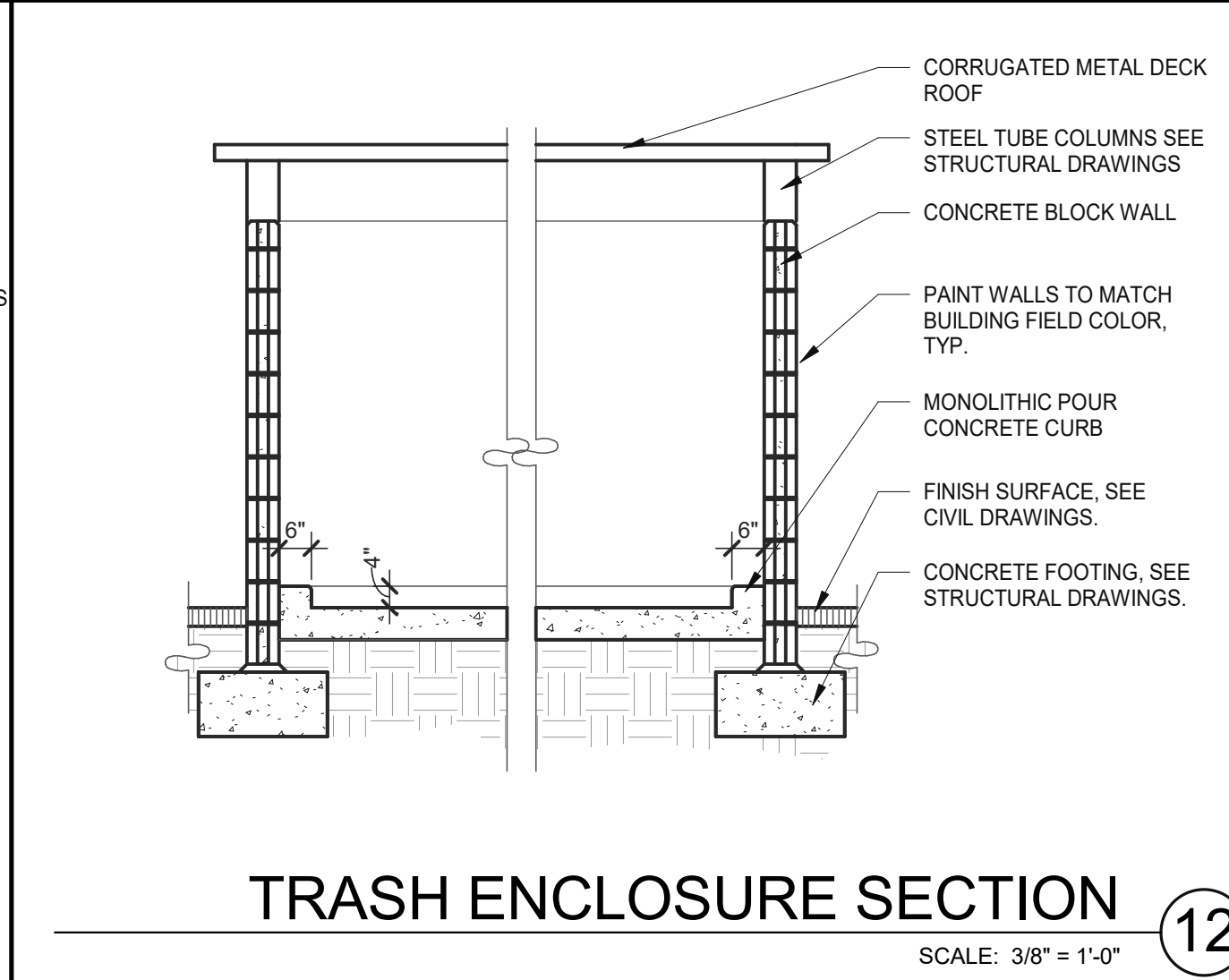
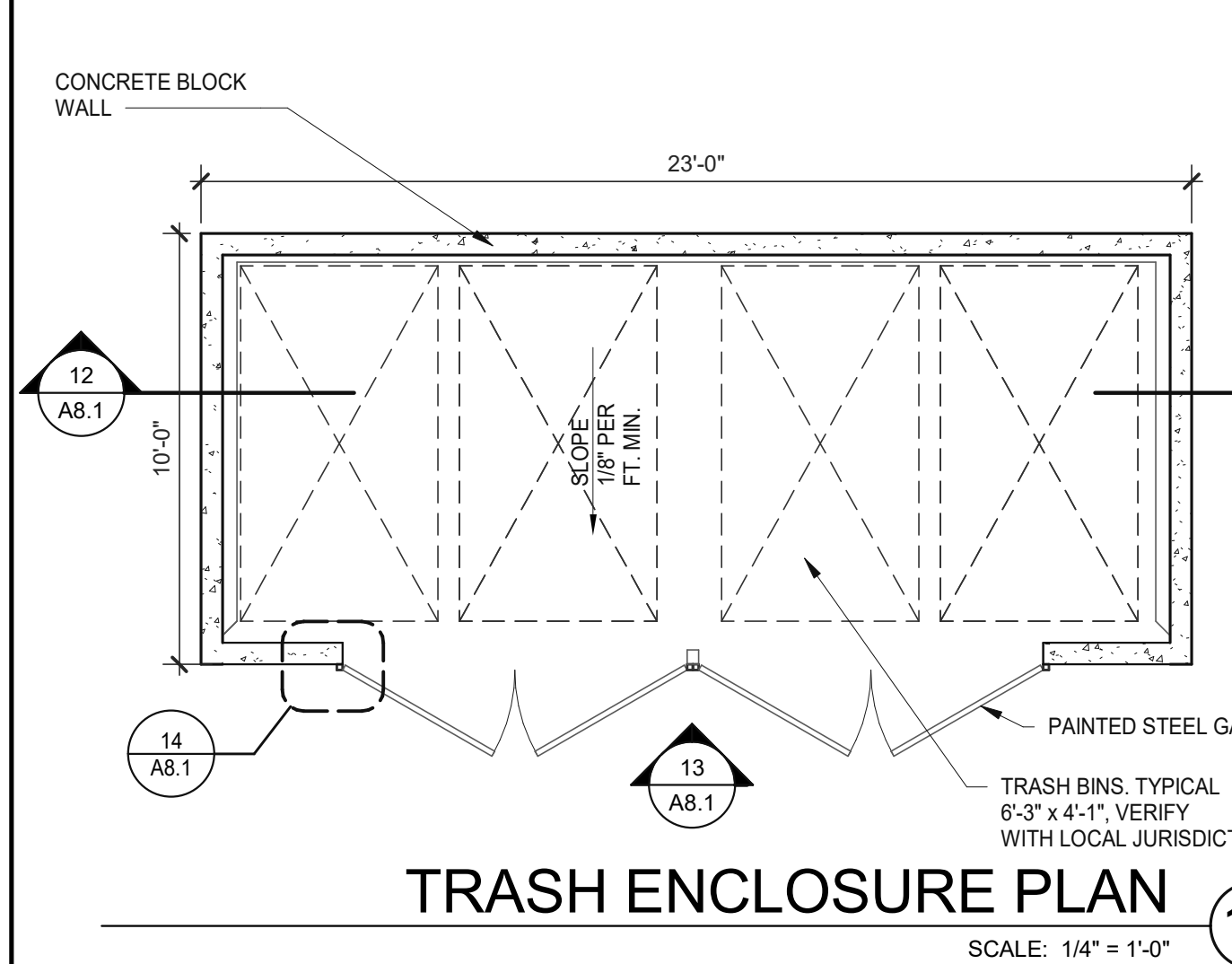
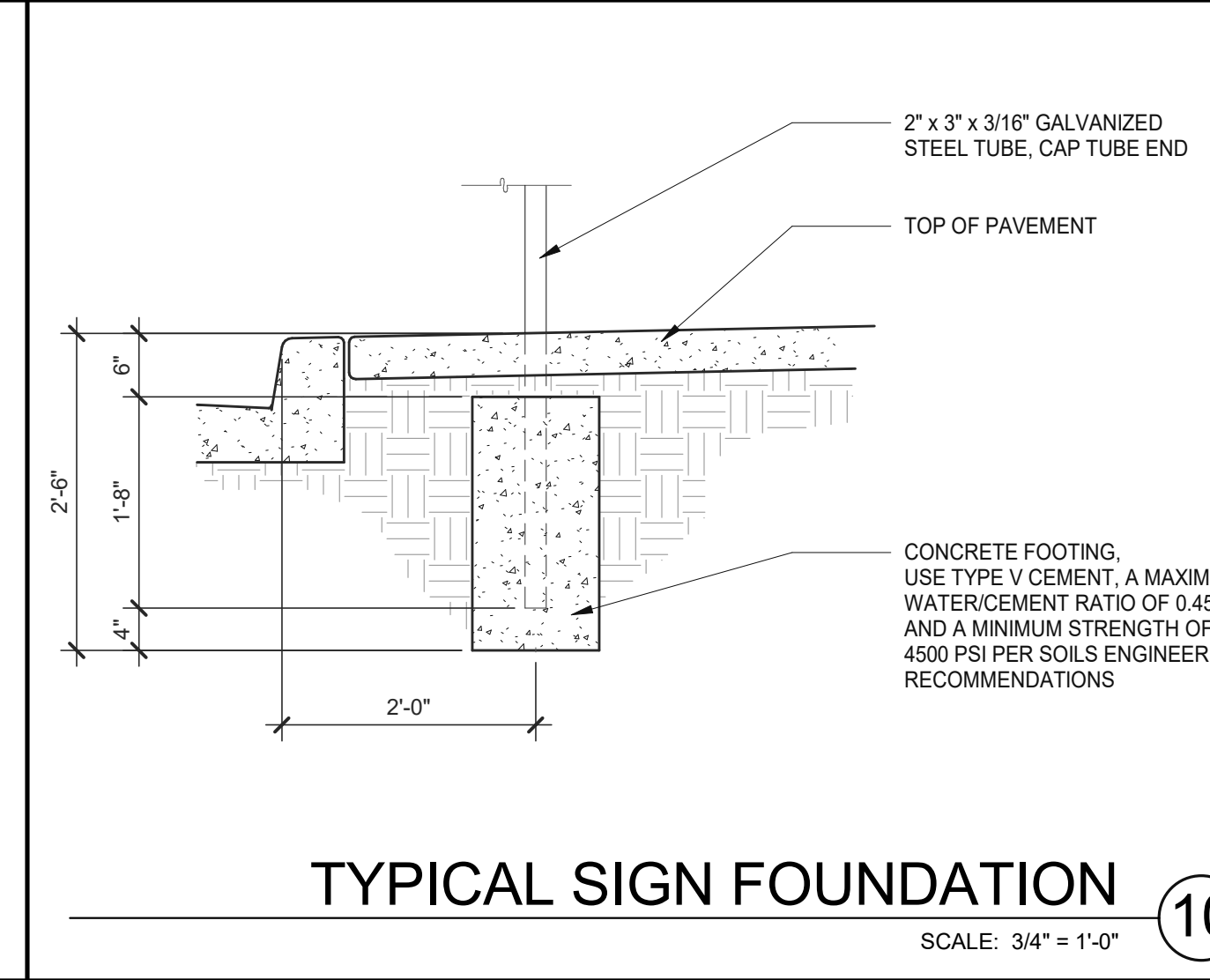
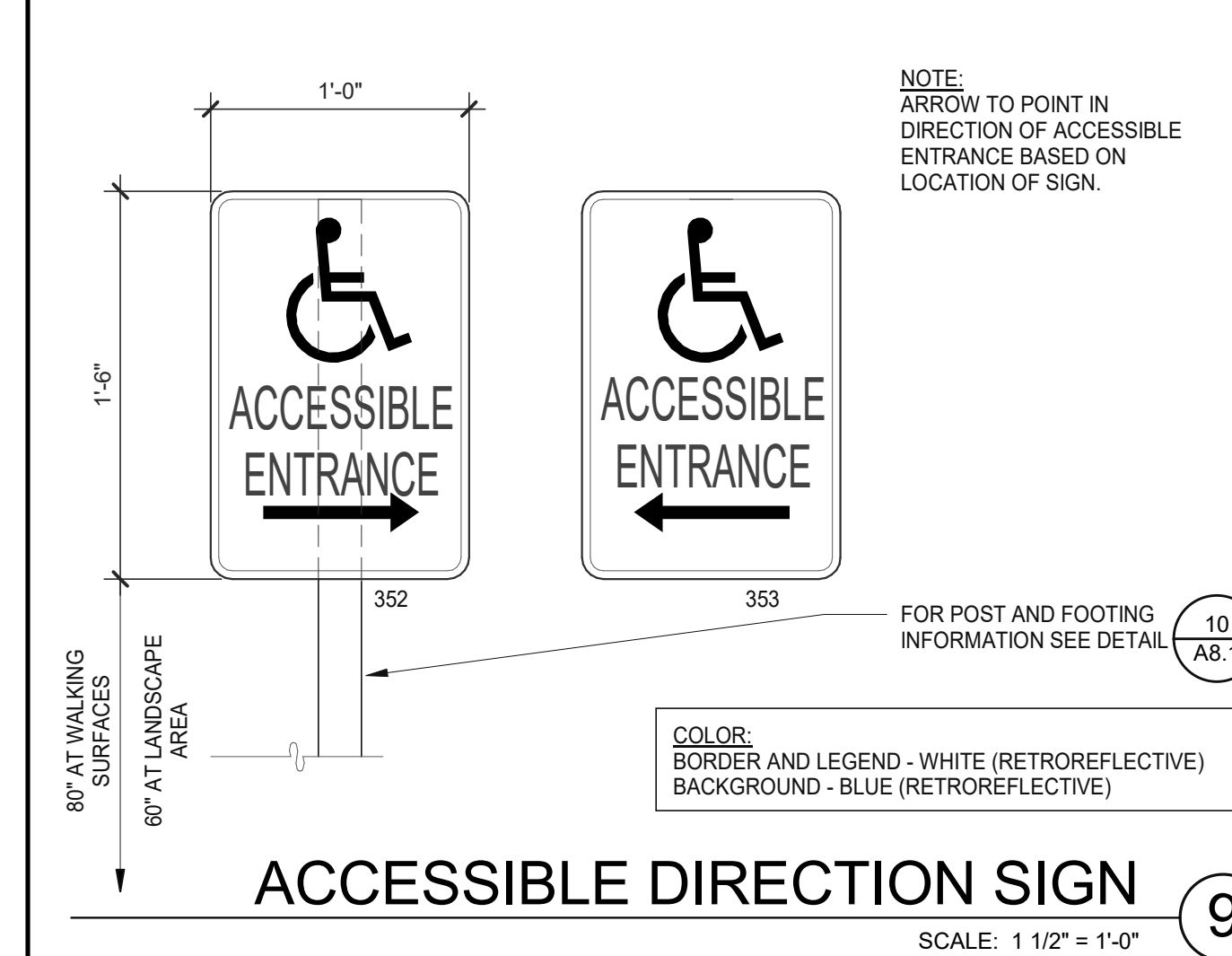
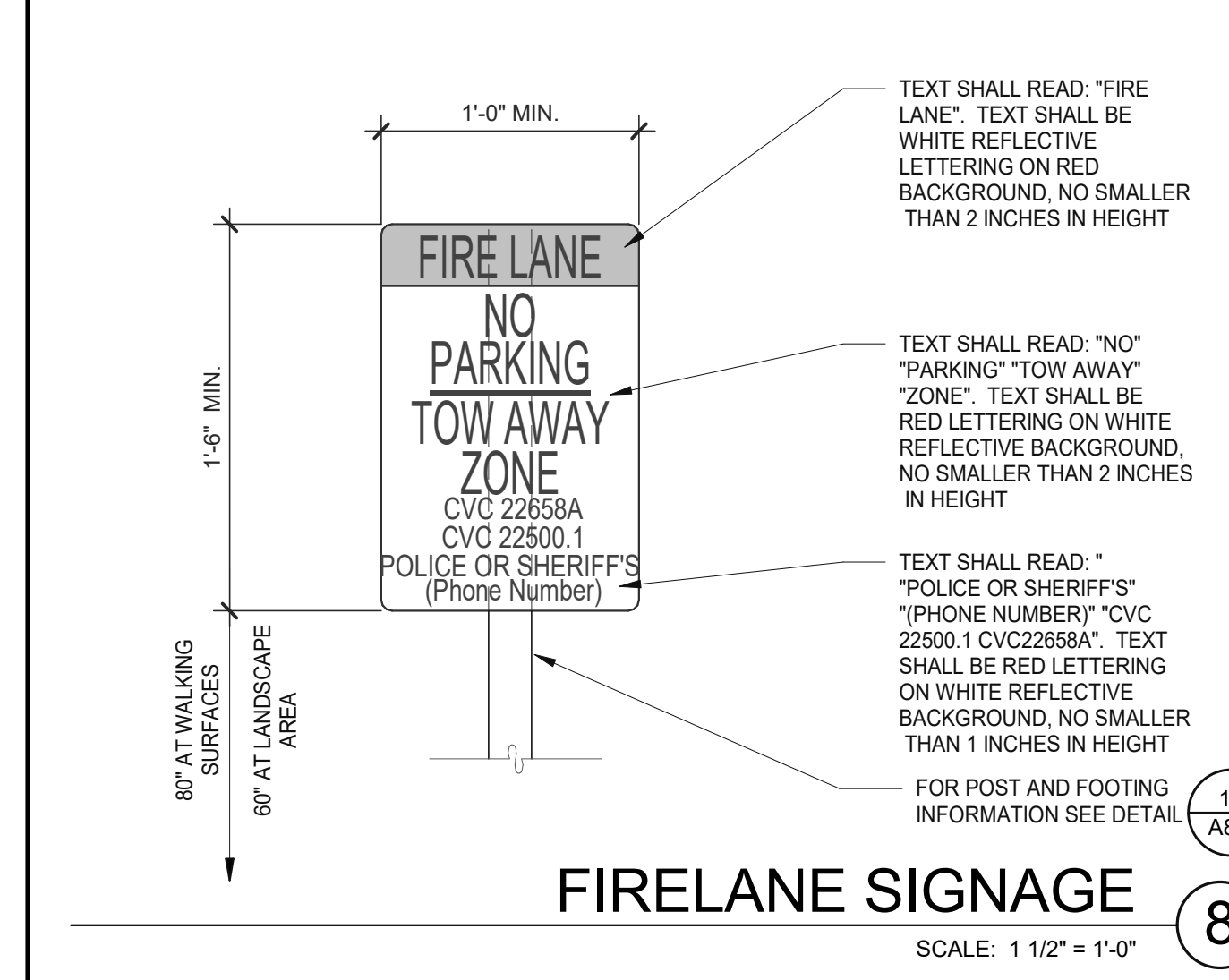
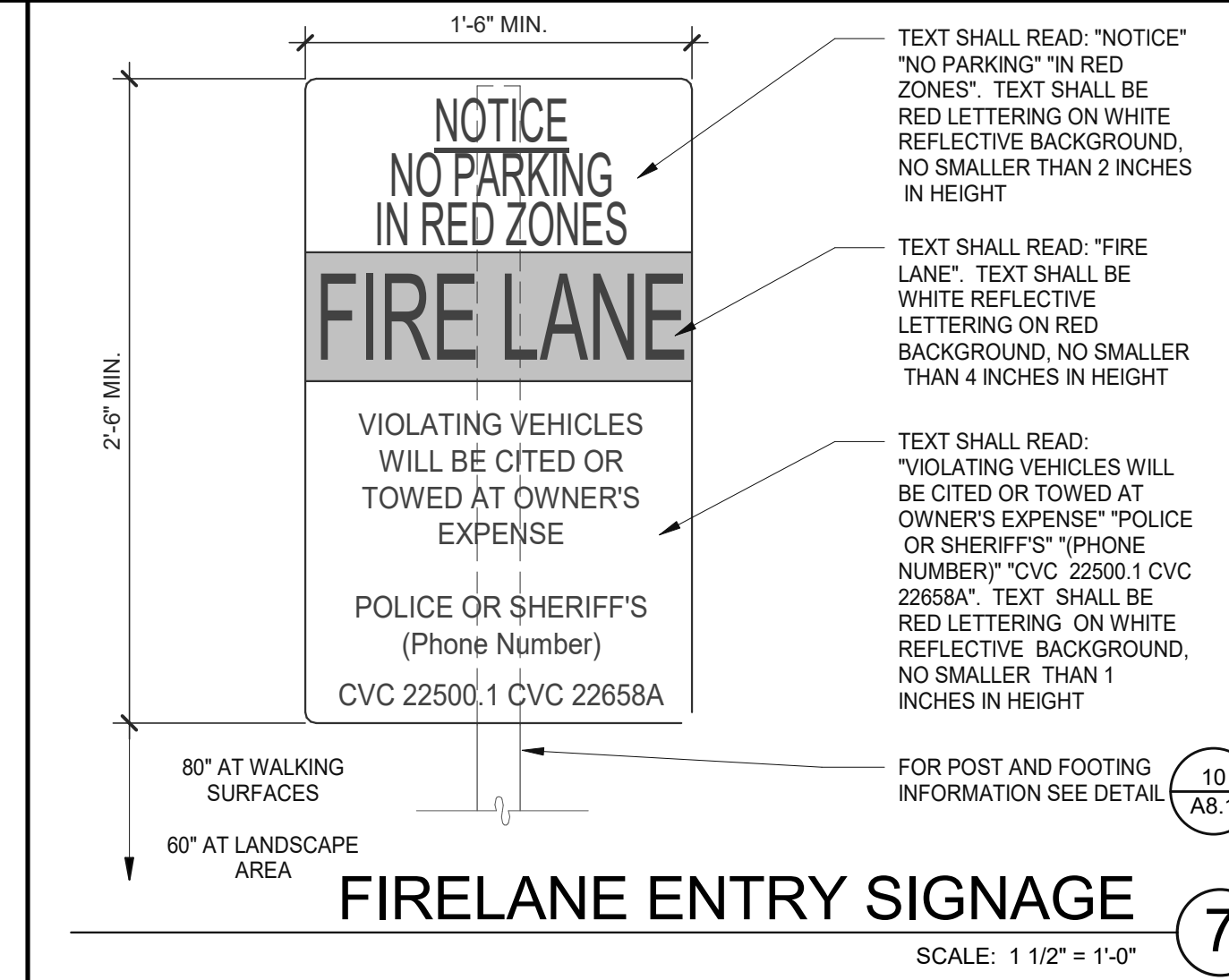
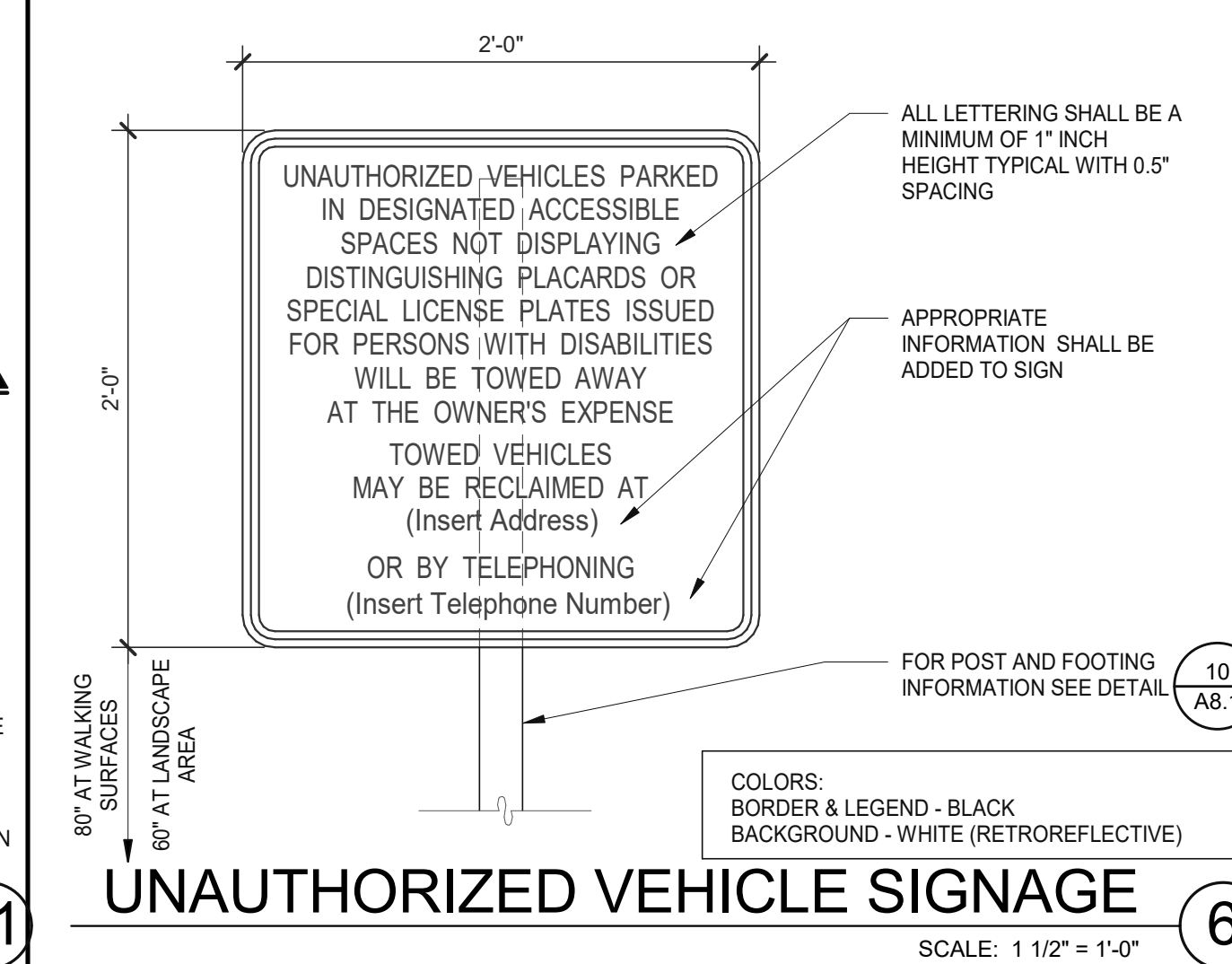
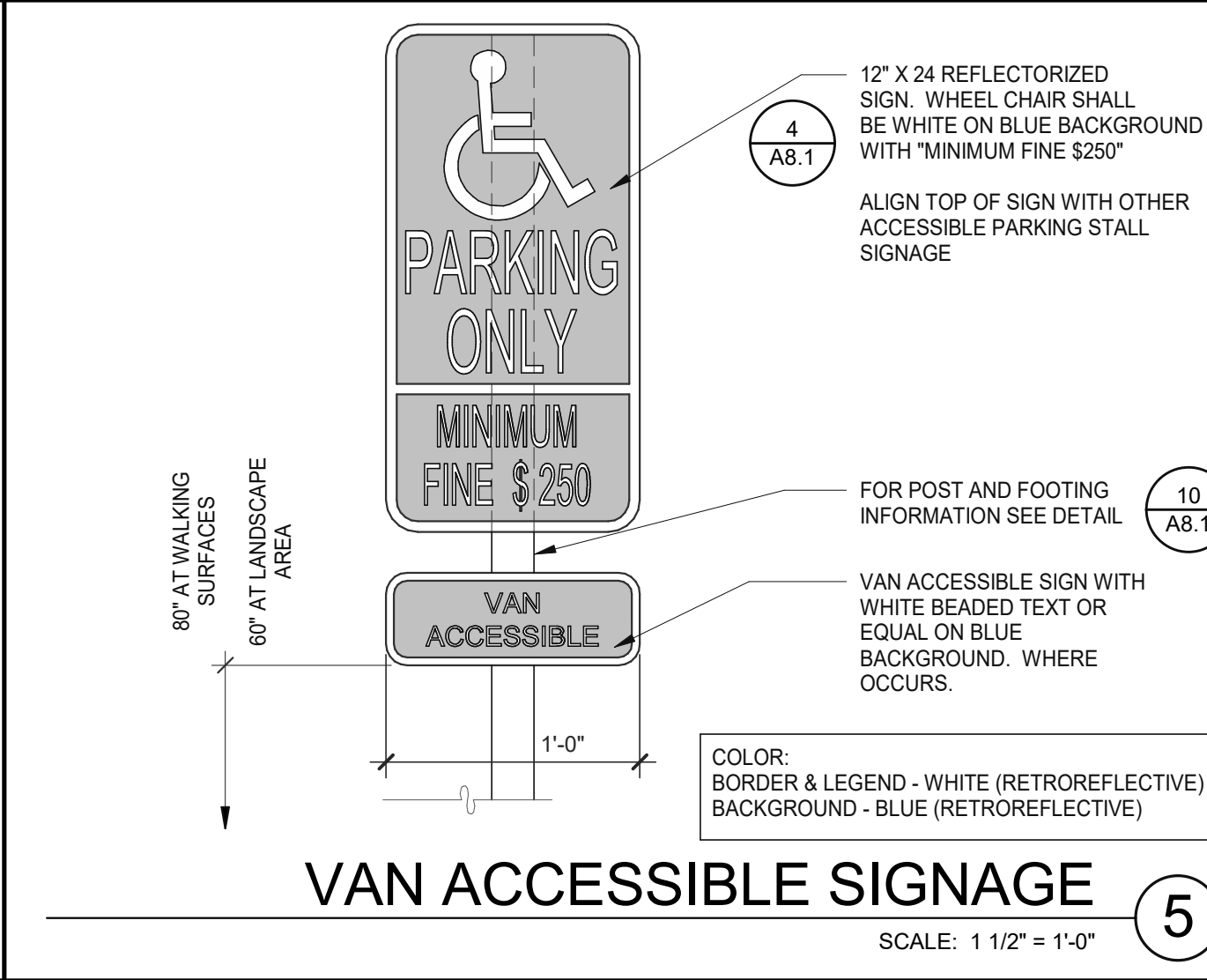
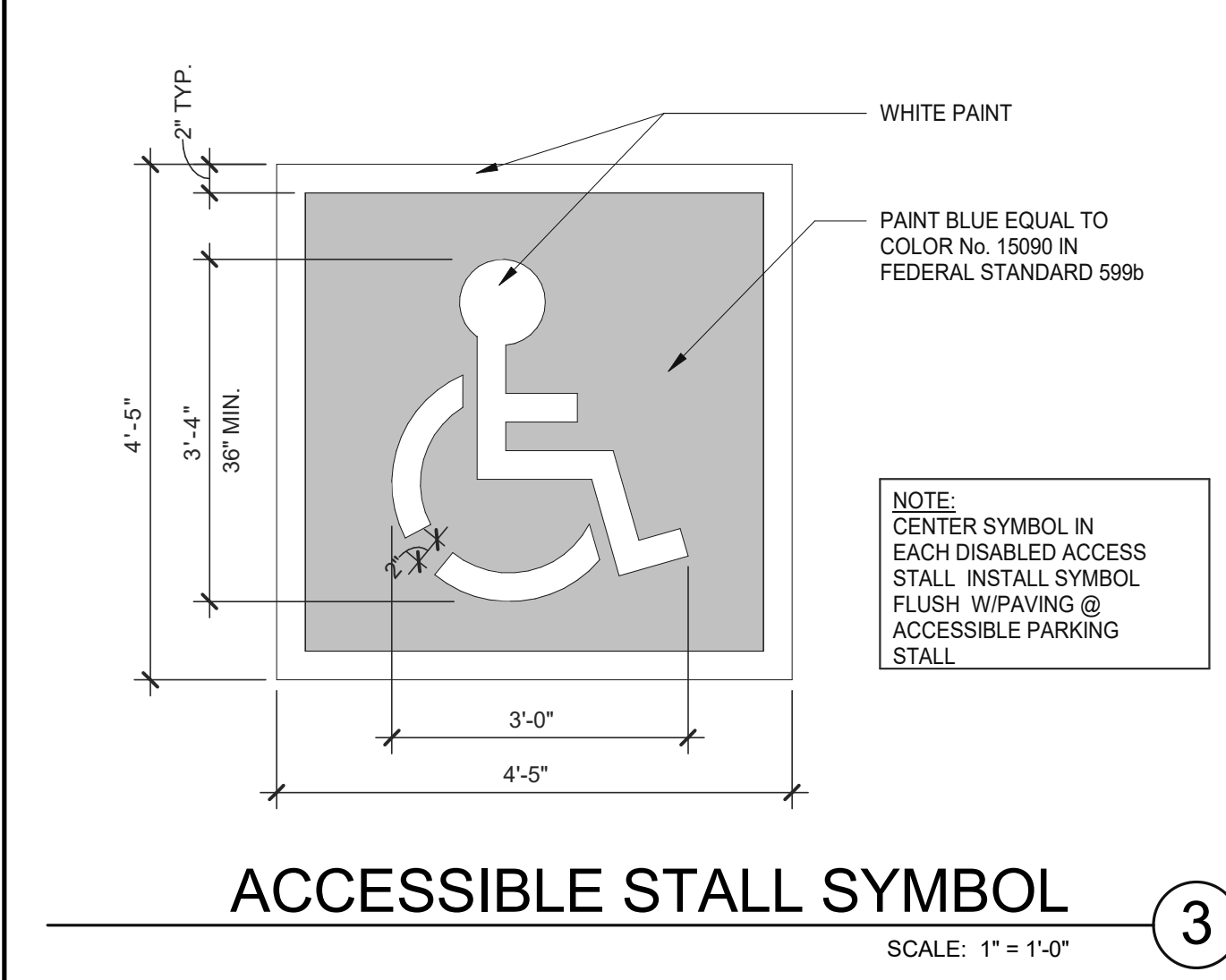
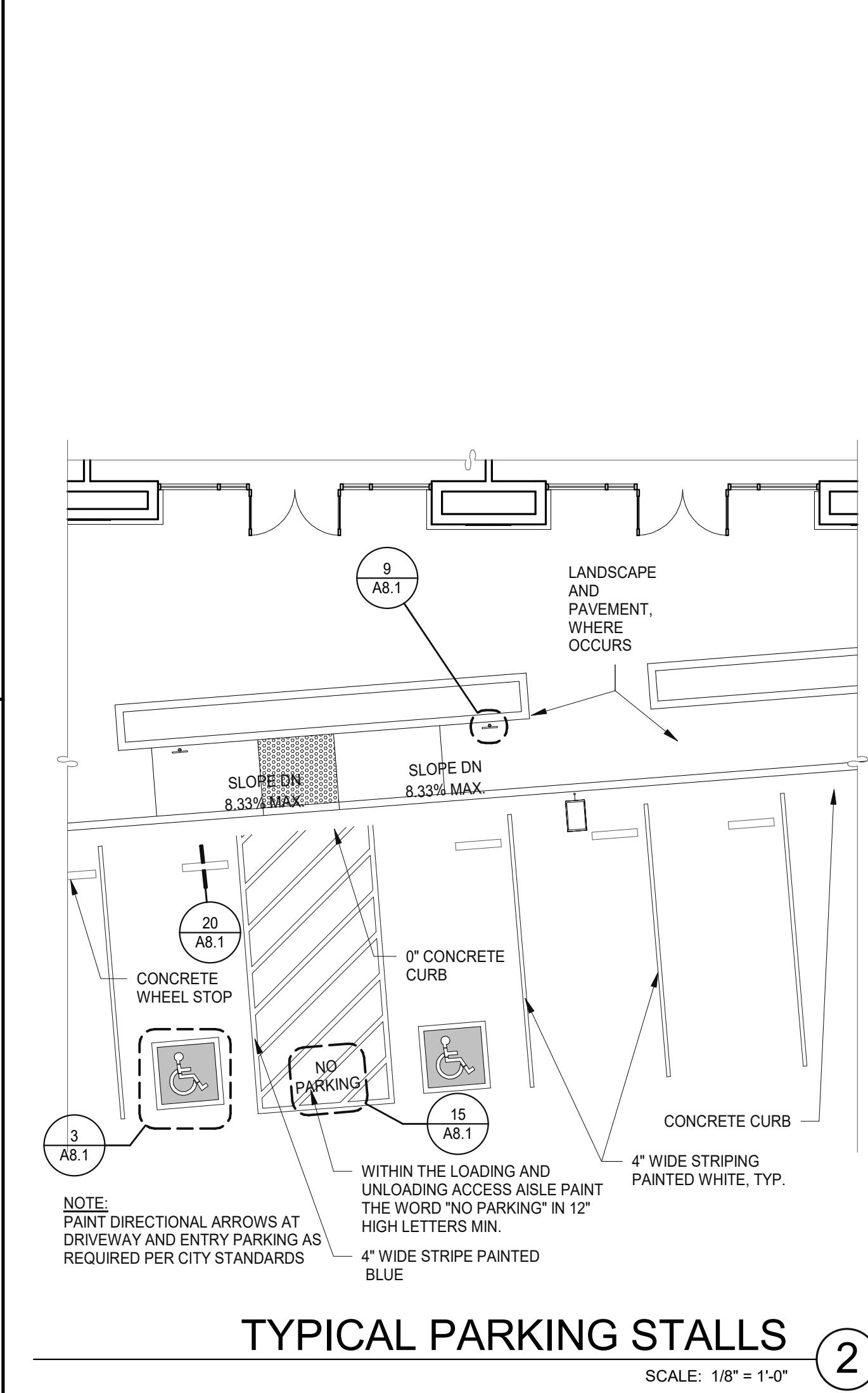
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03.21.2019	PLANNING RESUBMITTAL
05.17.2019	PLANNING RESUBMITTAL

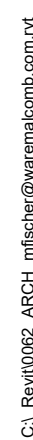
PA/PM:	J. BABINE
DRAWN BY:	A.K.
JOB NO.:	SNR18-0062-00

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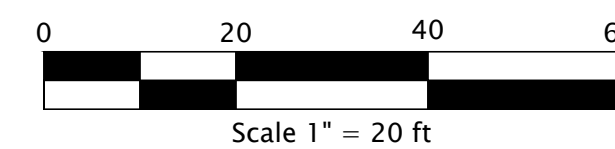
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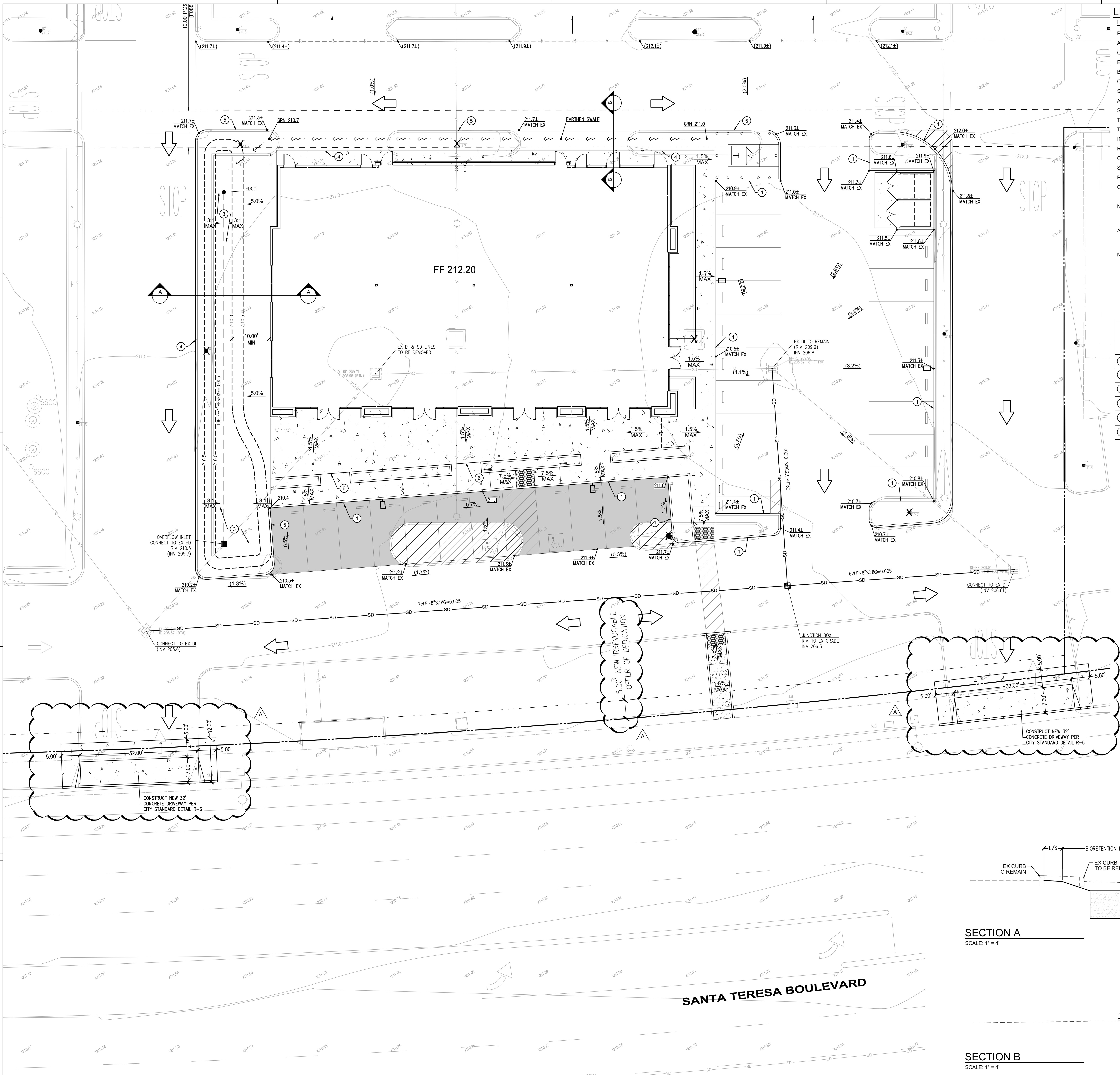


CB	CATCH BASIN
DI	DROP INLET
DR	DOOR
EW	EDGE OF WALK
FL	FLOW LINE
FW	FACE OF WALL
LIP	LIP OF GUTTER
MH	MANHOLE
PV	PAVEMENT
RE	RIM ELEVATION
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB



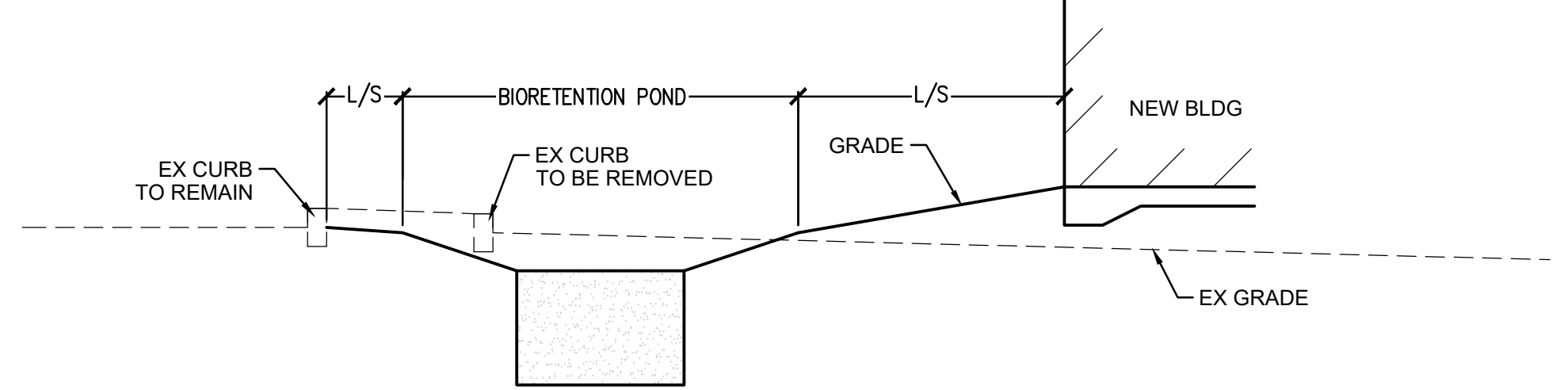
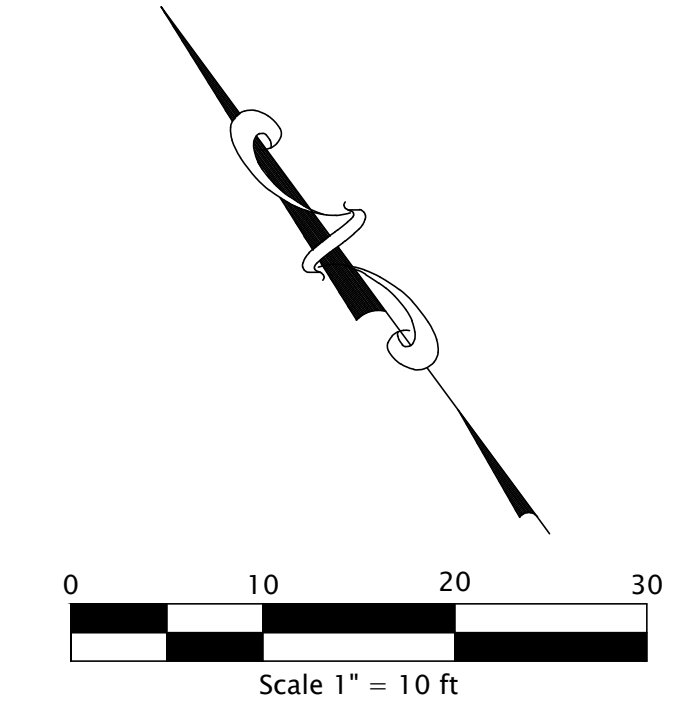
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SAN JOSE, CALIFORNIA 95139

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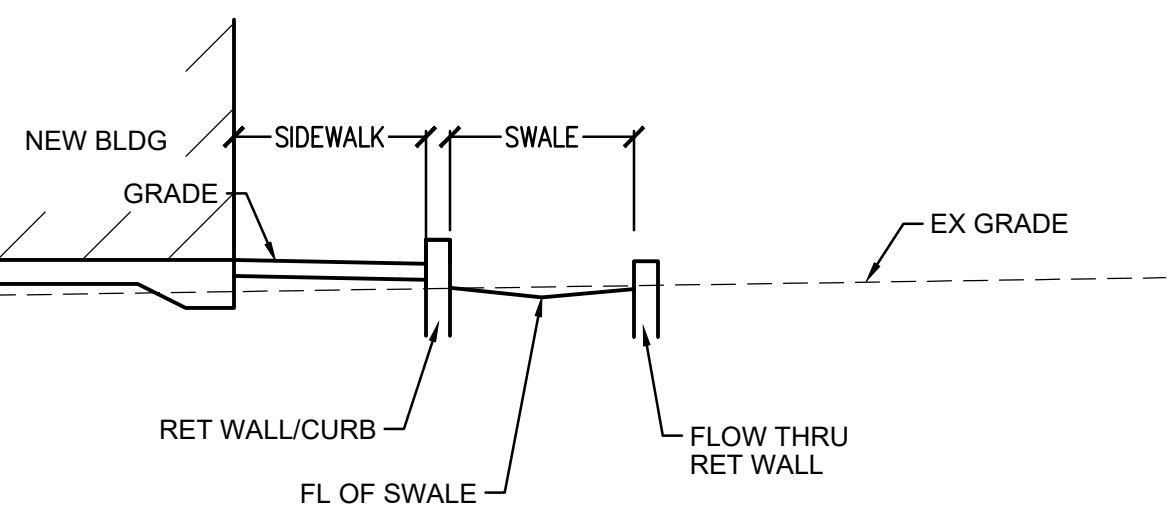


LEGEND	NEW	EXISTING
PROPERTY LINE	---	---
ADJACENT PROPERTY LINE	---	---
CENTERLINE	---	---
EASEMENT	---	---
BUILDING LINE	---	---
CATCH BASIN/JUNCTION BOX	■	■
STORM DRAIN CLEAN OUT	●	●
AREA DRAIN	---	---
SPOT ELEVATION	100.00	100.00
TREE	+	+
TREE TO BE REMOVED	X	X
INDEX CONTOUR	15	15
RIDGE	---	---
CURB	---	---
STORM DRAIN	---	---
PERFORATED STORM DRAIN	---	---
OVERLAND RELEASE	---	---
NEW AC PAVEMENT	■	
AC PLUG	■	
NEW CONCRETE PAVEMENT	■	

CONSTRUCTION NOTES	
1	CONCRETE CURB
2	SLOTTED FLOW THROUGH CONCRETE CURB
3	BIO RETENTION POND AREA
4	CONCRETE RETAINING CURB
5	SLOTTED FLOW THROUGH CONCRETE RETAINING CURB & GUTTER
6	ONE (1) 6" RISER



SECTION A
SCALE: 1" = 4'



SECTION B
SCALE: 1" = 4'

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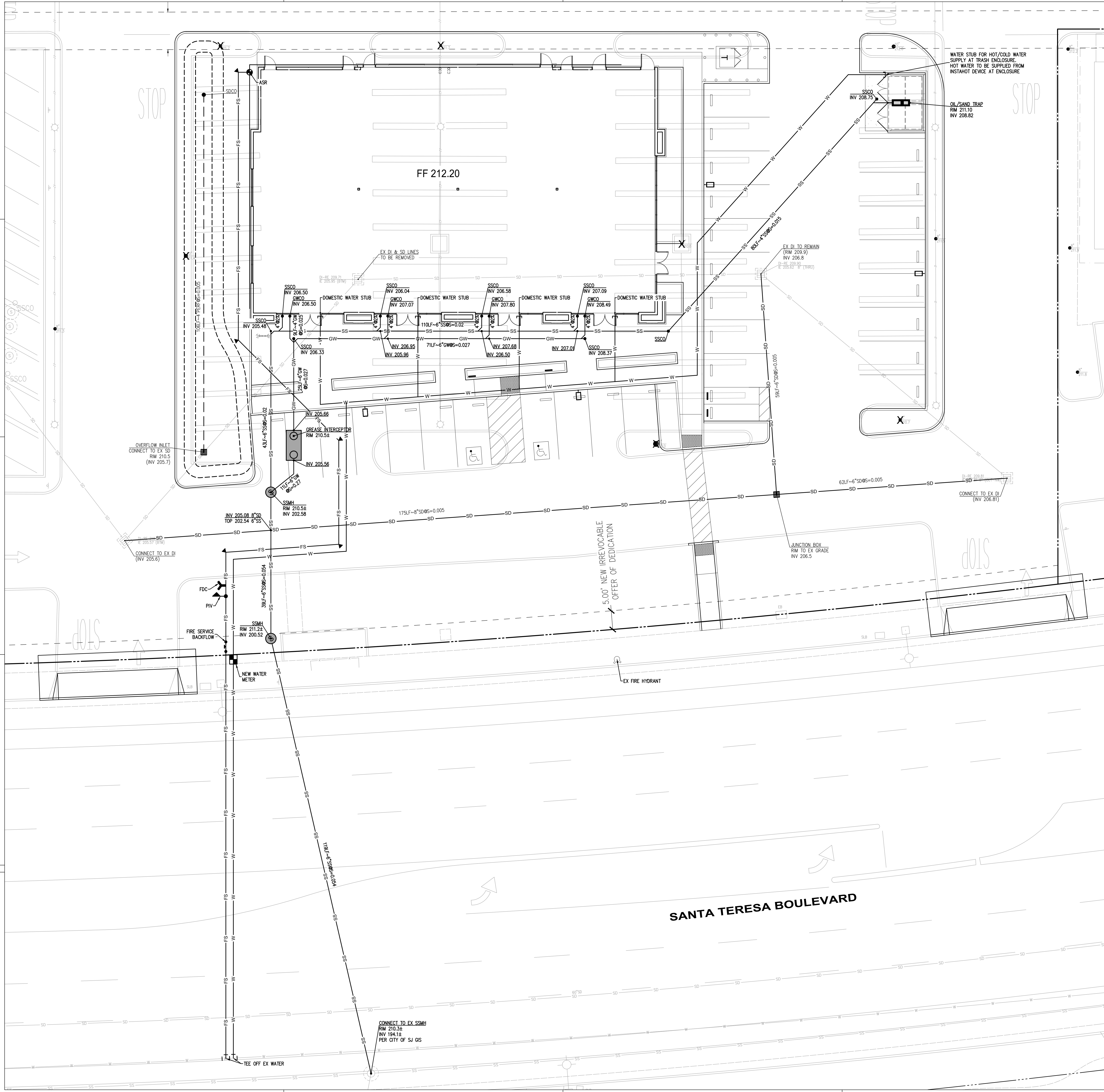
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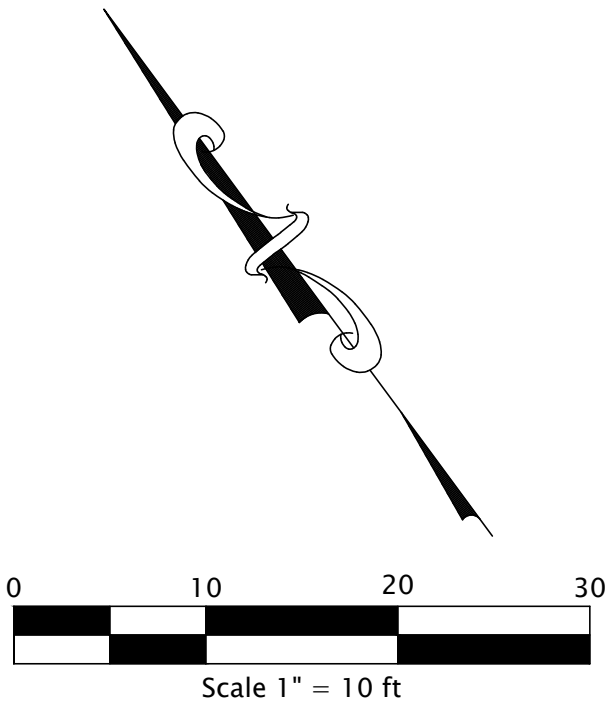
SANTA TERESA VILLAGE

7028 SANTA TERESA BLVD,
SAN JOSE, CALIFORNIA 95139

PRELIMINARY GRADING & DRAINAGE PLAN	
DATE	REMARKS
12.17.2018	PLANNING SUBMITTAL
03.22.2019	PLANNING RESUBMITTAL
06.06.2019	PLANNING RESUBMITTAL
06.06.2019	PLANNING RESUBMITTAL
PA/PM: J.BABINE	
DRAWN BY: B.NGUYEN	
JOB NO.: SNR18-0062-00	
SHEET	
C2.0	



DEFINITION	NEW	EXISTING
PROPERTY LINE		
ADJACENT PROPERTY LINE		
CENTERLINE		
EASEMENT		
BUILDING LINE		
ELECTROLIER		
TRANSFORMER		
FIRE HYDRANT		
MANHOLE		
GAS METER		
VALVE		
SANITARY SEWER MANHOLE		
STORM DRAIN MANHOLE		
CATCH BASIN		
CLEAN OUT		
WATER METER		
FIRE DEPARTMENT CONNECTION		
BACK FLOW PREVENTER		
POST INDICATOR VALVE		
SIGN		
TREE		
SPOT ELEVATION		
CURB		
SANITARY SEWER	SS	SS
GREASE WASTE	GW	GW
STORM DRAIN	SD	SD
WATER	W	W
FIRE SERVICE	FS	FS
GAS	G	G
UNDERGROUND ELECTRIC	E	E



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SANTA TERESA VILLAGE

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PRELIMINARY UTILITY PLAN	
DATE	REMARKS
12.17.2018	PLANNING SUBMITTAL
03.22.2019	PLANNING RESUBMITTAL
06.12.2019	PLANNING RESUBMITTAL
08.06.2019	PLANNING RESUBMITTAL

PA/PM:	J.BABINE
DRAWN BY:	B.NGUYEN
JOB NO.:	SNR18-0062-00

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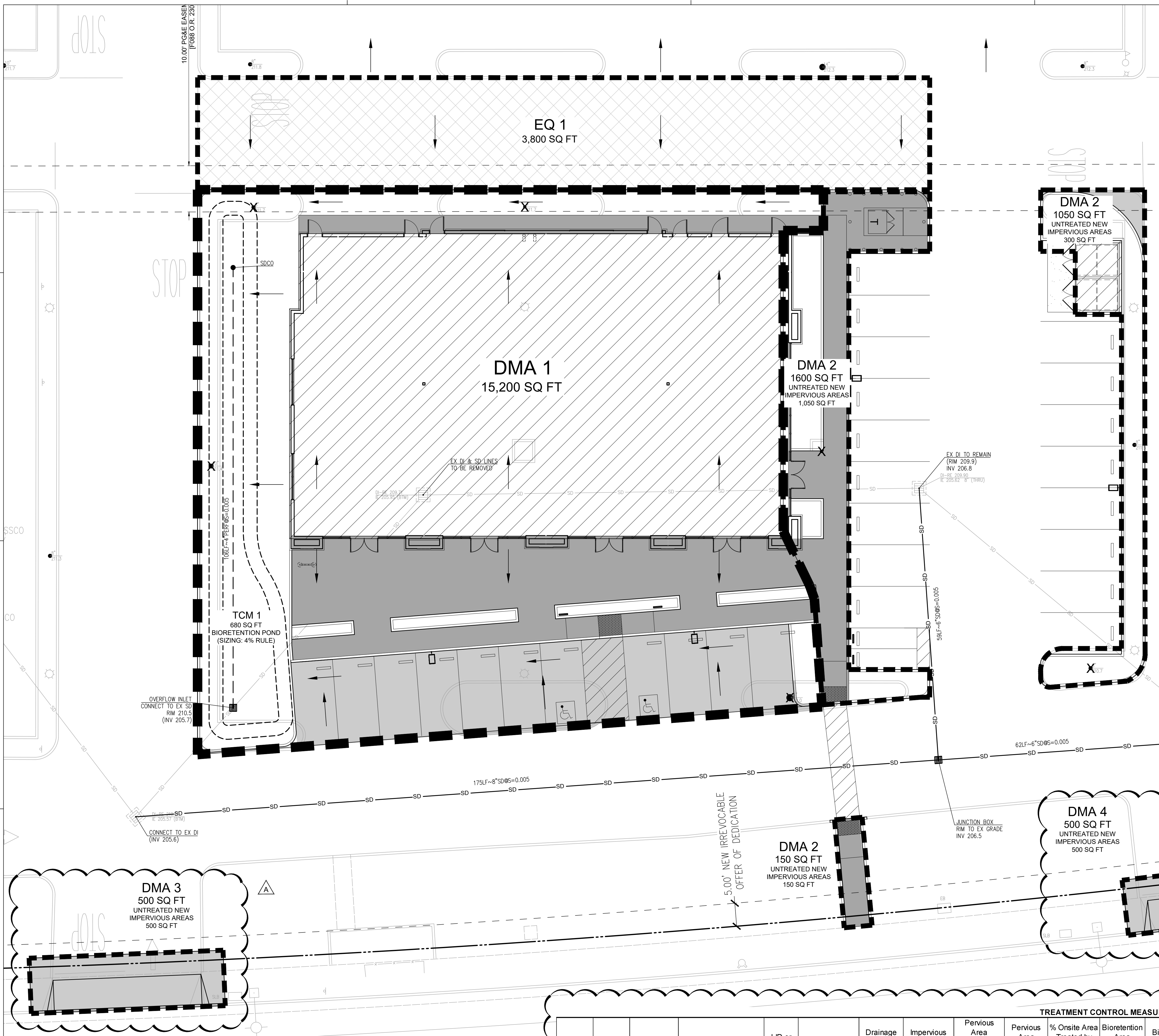


TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS. ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

2. SURFACE DATA

- 2.a. Enter the Project Phase Number (1, 2, 3, etc. or N/A if Not Applicable): **N/A**
- 2.b. Total area of site: **9.70** acres
- 2.c. Total Existing Impervious Surfaces on site: **389,648** sq. ft.
- 2.d. Total area of site that will be disturbed: **0.41** acres

COMPARISON OF IMPERVIOUS AND PERVIOUS SURFACES AT PROJECT SITE	Existing Surface Area Disturbed sq. ft.	Proposed Surface		RESET CALCULATIONS
		To Be Replaced sq. ft. ¹	New sq. ft. ²	
2.e. IMPERVIOUS SURFACES				
Roof Area	0	7,075	25	Total Proposed Impervious Surface (replaced + new)
Parking	14,650	1,600	600	
Sidewalks, Patios, Driveways, Etc.	0	3,580	270	
Public Streets	0	0	0	
Private Streets	0	0	0	
Online form auto-calculates Impervious Surfaces Total	e.1. 14,650	e.2. 12,255	e.3. 895	e.4. 13,150
2.f. PERVIOUS SURFACES				
Landscaped Area	3,350	2,455	2,395	Total Proposed Pervious Surface (replaced + new)
Pervious Paving	0	0	0	
Green Roof and other Pervious Surfaces	0	0	0	
Online form auto-calculates Pervious Surfaces Total	f.1. 3,350	f.2. 2,455	f.3. 2,395	f.4. 4,850

2.g. Percentage of Site's Impervious Area Replacement (e.2 + f.2.) X 100: **Online form auto-calculates g. 3.15 %**

- ¹ Proposed Replaced Impervious Surface: Replacement of an existing impervious surface with another impervious surface.
- ² Proposed New Impervious Surface: New impervious surface that will cover an existing pervious surface.

LEGEND

- NEW/REPLACED SIDEWALK AREAS
- NEW/REPLACED PAVEMENT AREAS
- NEW BUILDING AREA
- DRAINAGE TRADE-OFF AREA
- FLOW LINE ARROW
- DMA BOUNDARY

TREATMENT CONTROL MEASURE SUMMARY TABLE																						
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)	# of Credit Trees	Treatment Credit (s.f.)	Comments
1	1	Onsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	15,200	11,650	0	3,550	80.00%	466	680	6	0.5	0.5	N/A	N/A	BIOFILTRATION	N/A	N/A	N/A	
2	N/A	Onsite	Untreated ****	N/A	N/A	2,800	1,500	0	1,300	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
3	N/A	Offsite	Maintenance	N/A	N/A	500	500	0	0	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
4	N/A	Offsite	Maintenance	N/A	N/A	500	500	0	0	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
5										-												
6										-												
7										-												
8										-												
9										-												
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13										-												
14										-												
15										-												
16										-												
EQ-1****	1	Onsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	3,800	3,800	0	0	20.00%	152	680	6	0.5	0.5	N/A	N/A	BIOFILTRATION	N/A	N/A	N/A	Equivalent Treatment for DMA 17
Totals:						19,000	15,450	0	3,550	100.00%						N/A	N/A			N/A	N/A	

Footnotes:
* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
** Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)
*** Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.
**** DMA 2 is not being treated but will be treated by Equivalent Treatment Area EQ-1. Area EQ-1 is equal to or greater than the required treatment area of DMA 2.

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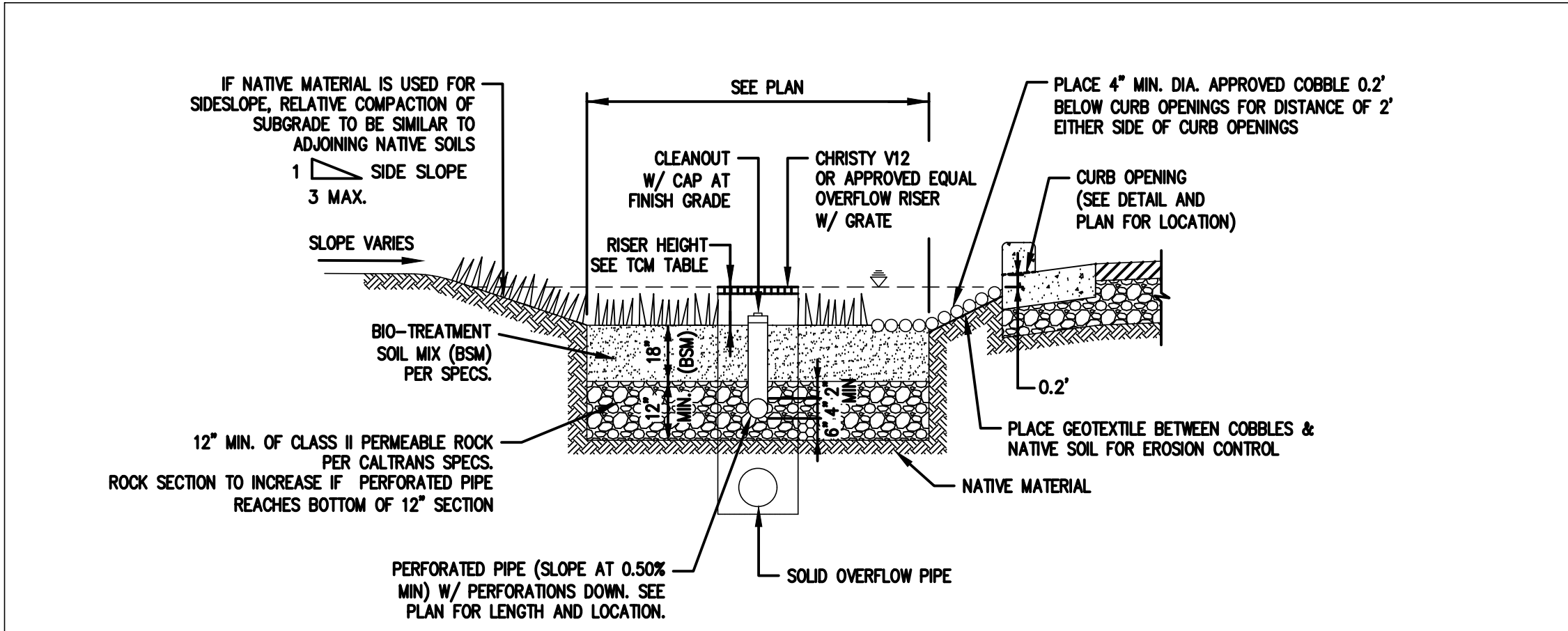
PRELIMINARY STORMWATER MANAGEMENT PLAN

DATE	12.17.2018
PLANNING SUBMITTAL	03.22.2019
PLANNING RESUBMITTAL	06.06.2019
PLANNING RESUBMITTAL	06.06.2019

PA/PM: J.BABINE
DRAWN BY: B.NGUYEN
JOB NO.: SNR18-0062-00

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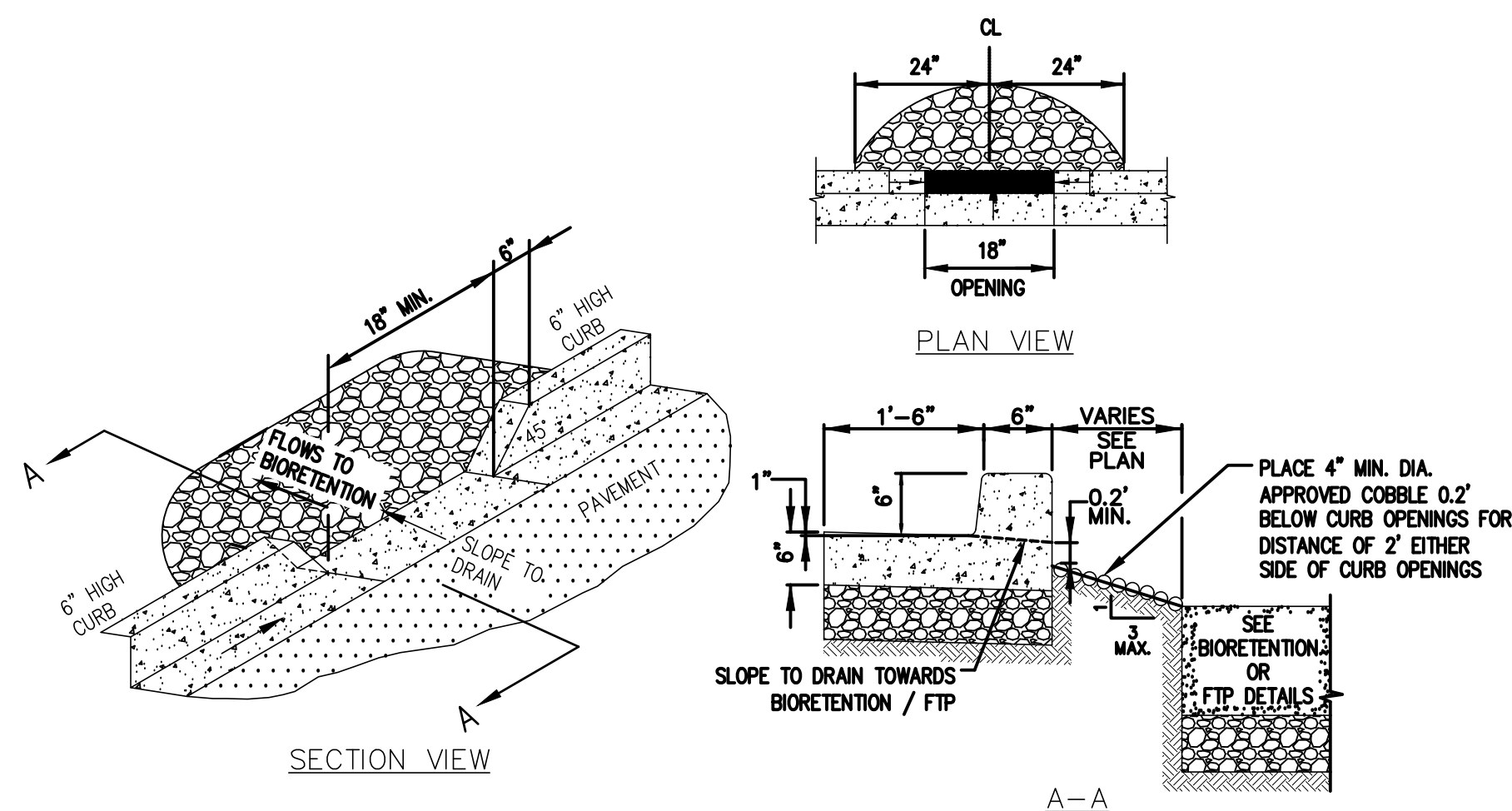
SIZING METHOD:

4%

1

BIORETENTION BASIN W/O LINER

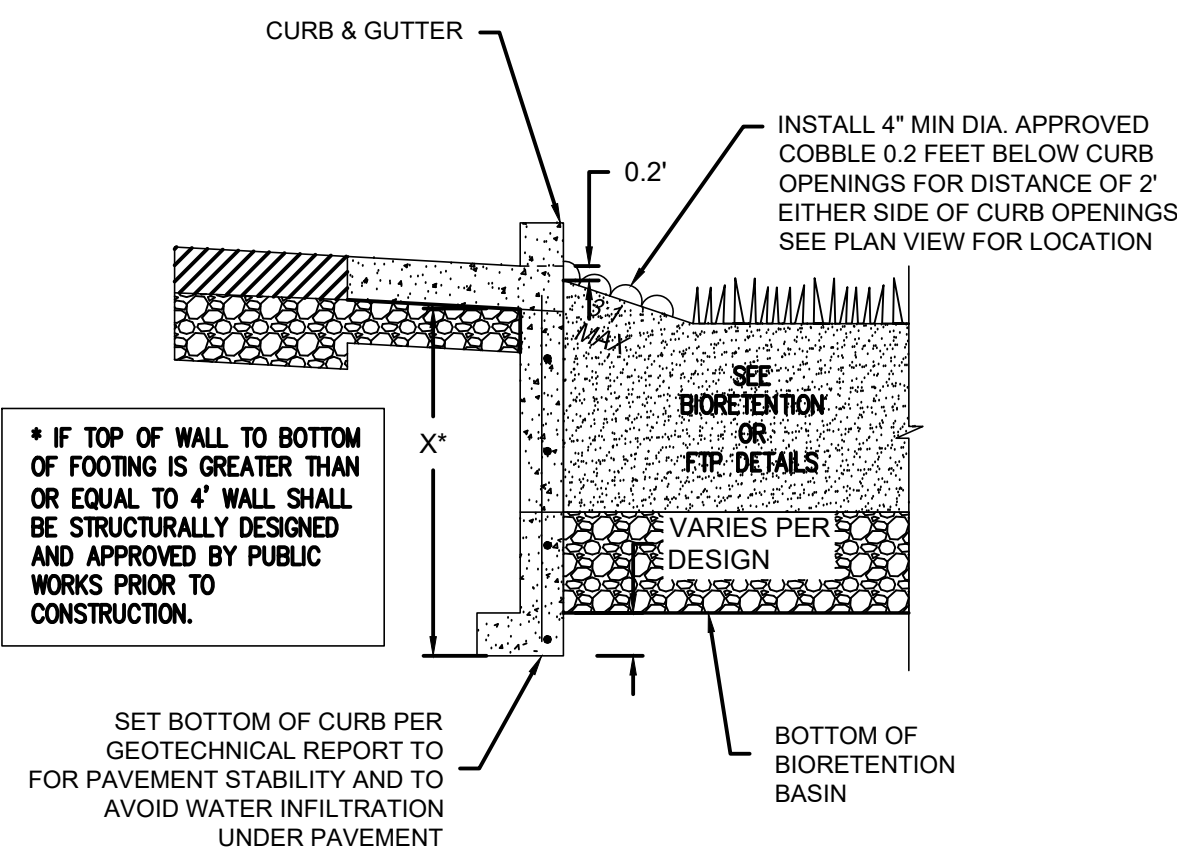
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2

CURB OPENING

N.T.S.



3

CURB ADJACENT TO BIORETENTION

N.T.S.

SOURCE CONTROL MEASURES

1. CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:
 - a. COVERED TRASH/ RECYCLING ENCLOSURES.
4. BENEFICIAL LANDSCAPING.
5. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
6. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
7. STORM DRAIN LABELING.

SITE DESIGN MEASURES

1. PROTECT EXISTING TREES, VEGETATION, AND SOIL.
2. REDUCE EXISTING IMPERVIOUS SURFACES.
3. CREATE NEW PERVIOUS AREAS:
 - a. LANDSCAPING
6. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
7. CLUSTER STRUCTURES/PAVEMENT.
8. PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.
9. PARKING:
 - a. NOT PROVIDED IN EXCESS OF CODE.

OPERATION AND MAINTENANCE INFORMATION

- I. PROPERTY INFORMATION:
 - I.A. PROPERTY ADDRESS:
7028 - 7170 SANTA TERESA BLVD
SAN JOSE, CA 95139
- I.B. PROPERTY OWNER:
ROIC STV, LLC.
- II. RESPONSIBLE PARTY FOR MAINTENANCE:
 - I.A. CONTACT:
ROBERT DORAN
 - I.B. PHONE NUMBER OF CONTACT:
958-255-4520
 - I.C. EMAIL:
rdoran@roicst.net
 - I.D. ADDRESS:
11250 EL CAMINO REAL, SUITE 200
SAN DIEGO, CA 92130

PROJECT SITE INFORMATION

1. SOILS TYPE: TYPE D
2. GROUND WATER DEPTH: TBD
3. NAME OF RECEIVING BODY: GUADALUPE
4. FLOOD ZONE: D
5. FLOOD ELEVATION (IF APPLICABLE): N/A

BIOTREATMENT SOIL REQUIREMENTS

- BIORETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C.3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 80-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C3 HANDBOOK AT: [HTTP://WWW.SANJOCEGA.GOV/INDEX.ASPX?NID=1761](http://www.sanjocega.gov/index.aspx?nid=1761)
- PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

BMP NOTES

DISCHARGES FROM NEW COMMERCIAL AND INDUSTRIAL AIR CONDITIONING UNITS SHOULD BE DISCHARGED TO LANDSCAPED AREAS. IF THEY CAN ACCOMMODATE THE CONTINUOUS VOLUME, OR TO THE SANITARY SEWER, WITH THE LOCAL SANITARY SEWER AGENCY'S APPROVAL. IF NONE OF THESE OPTIONS ARE FEASIBLE, AIR CONDITIONING CONDENSATE CAN BE DIRECTLY DISCHARGED INTO THE STOW DRAIN. IF DESCALING OR ANTI-ALGAL AGENTS AIDE USED TO TREAT THE AIR CONDITIONING UNITS, RESIDUES FROM THESE AGENTS MUST BE PROPERLY DISPOSED OF

BIORETENTION & FLOW-THROUGH PLANTER NOTES

1. SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
2. PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
3. SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
4. CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED IN LINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
5. A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
6. DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

PRELIMINARY STORMWATER MANAGEMENT PLAN NOTES & DETAILS

DATE	REMARKS
12.17.2018	PLANNING SUBMITTAL
03.22.2019	PLANNING RESUBMITTAL
04.11.2019	PLANNING SUBMITTAL
06.06.2019	PLANNING RESUBMITTAL

PA/PM:	J.BABINE
DRAWN BY:	B.NGUYEN
JOB NO.:	SNR18-0062-00

SHEET

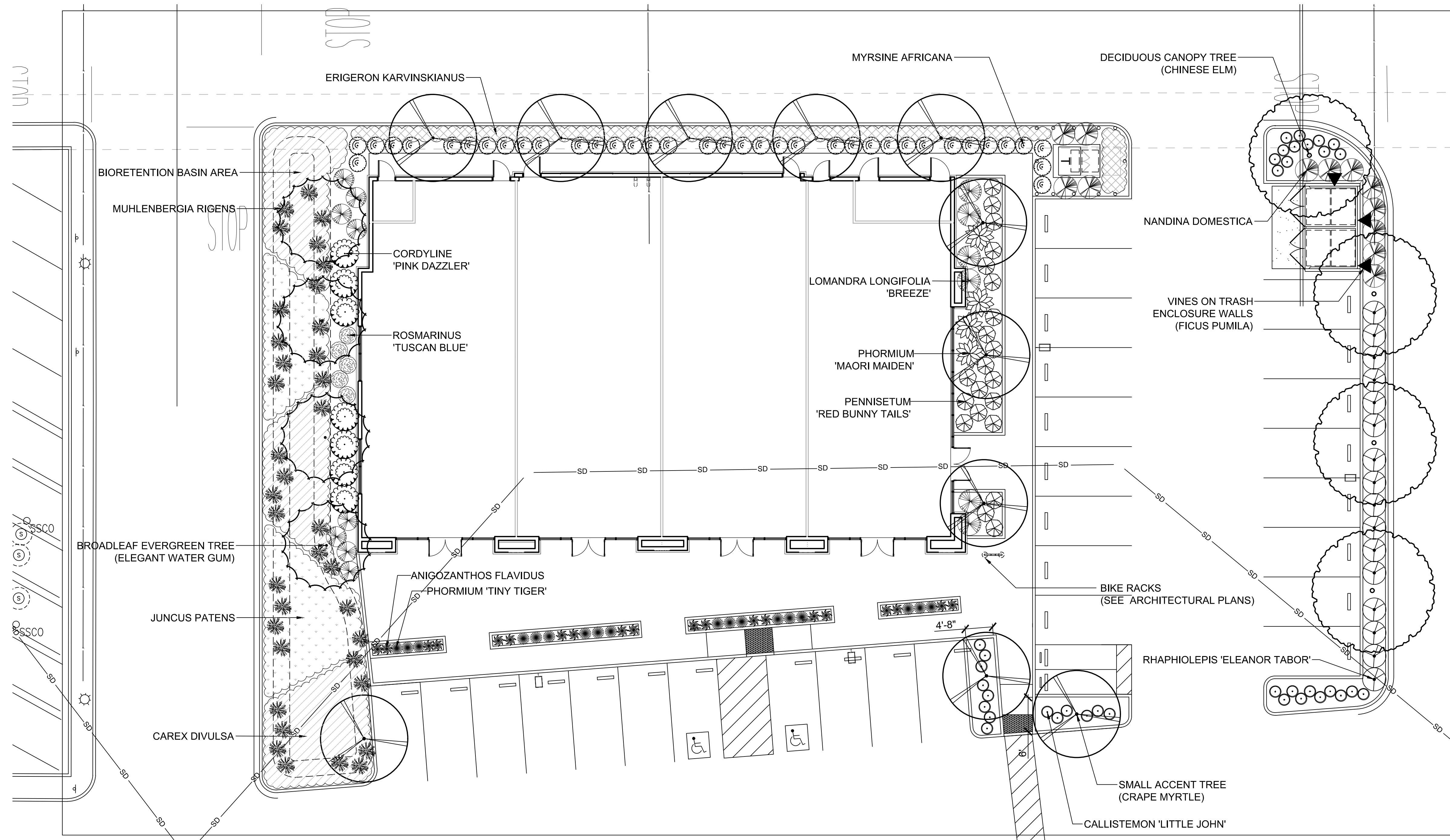
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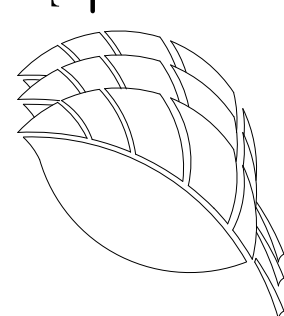
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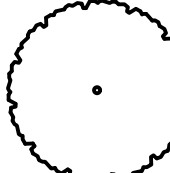
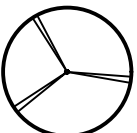
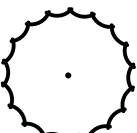

















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DEVELOPMENT SERVICES

SANTA TERESA VILLAGE

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PLANT MATERIAL LIST

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
 DECIDUOUS CANOPY TREES: ULMUS PARVIFOLIA 'FRONTIER'	EVERGREEN CHINESE ELM	24" BOX	MEDIUM
 SMALL ACCENT TREES: LAGERSTROEMIA I. 'TUSCARORA'	CRAPE MYRTLE (STANDARD)	15 GAL	LOW
 BROADLEAF EVERGREEN TREES: TRISTANIA LAURINA 'ELEGANT'	ELEGANT WATER GUM	15 GAL	LOW
<u>MEDIUM SIZE SHRUBS: (5 GALLON SIZE @ 4'-5" SPACING)</u>			
 CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	5 GAL	LOW
 CORDYLINA 'PINK DAZZLER'	CORDYLINA	5 GAL	LOW
 HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	LOW
 MYRSINE AFRICANA	AFRICAN BOXWOOD	5 GAL	LOW
 RHAPHIOLEPIS 'ELEANOR TABOR'	INDIAN HAWTHORN	5 GAL	LOW
 ROSMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	5 GAL	LOW
<u>CLIMBING VINES:</u>			
 FICUS PUMILA	CREEPING EVERGREEN FIG	5 GAL	MEDIUM
<u>ACCENT PERENNIALS AND GRASSES:</u>			
 ANIGOZANTHOS FLAVIDUS	KANGAROO PAW	1 GAL	LOW
 LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	5 GAL	LOW
 PENNISETUM 'RED BUNNY TAILS'	DWARF FOUNTAIN GRASS	5 GAL	LOW
 PHORMIUM 'MAORI MAIDEN'	NEW ZEALAND FLAX	5 GAL	LOW
 PHORMIUM 'TINY TIGER'	NEW ZEALAND FLAX	5 GAL	LOW
<u>GROUNDCOVER:</u>			
 ERIOGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL	LOW
<u>STORMWATER TREATMENT BASINS @ 36" ON CENTER SPACING: PLANT SPECIES SELECTED FROM SANTA CLARA VALLEY WATER DISTRICT APPROVED PLANT LIST, APPENDIX 'D', TABLE 'D-1', PLANTS FOR STORMWATER MEASURES:</u>			
 CAREX DIVULSA	BERKELEY SEDGE	1 GAL	LOW
 JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	LOW
 GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	5 GAL	LOW
 MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	LOW

WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ETO):				45.3					
HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)		
REGULAR LANDSCAPE AREAS:									
LOW WATER USE	0.3	DRIP	0.81	0.3703703	520	192.592556	5409.2		
LOW WATER USE	0.3	SPRAY	0.75	0.4	1,226	490.4	13773.4		
LOW WATER USE	0.3	BUBBLER	0.81	0.3703703	2330	862.962799	24237.2		
MEDIUM WATER USE	0.5	BUBBLER	0.81	0.6172839	171	105.555469	2964.6		
TOTALS:					4247	1652			
SPECIAL LANDSCAPE AREAS:									
REC. AREA				0	0	0	0		
WATER FEATURE 1				0	0	0	0		
WATER FEATURE 2				0	0	0	0		
TOTALS:					0	0			
						ETWU TOTAL:	46,384		
						MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):	53,677		
ETAF CALCULATIONS:									
REGULAR LANDSCAPE AREAS:									
TOTAL ETAF x AREA	1.652		NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.						
TOTAL LANDSCAPE AREA	4,247								
AVERAGE ETAF	0.39								
ALL LANDSCAPE AREAS:									
TOTAL ETAF x AREA	1.652								
TOTAL LANDSCAPE AREA	4,247								
SITEWIDE ETAF	0.39								

NOTES:

IRRIGATION:

ALL PLANTED AREAS SHALL BE IRRIGATED WITH A LOW PRECIPITATION RATE IRRIGATION SYSTEM CONSISTING EXCLUSIVELY OF DRIP IRRIGATION WITH THE EXCEPTION OF THENON-MOWED TURF AREAS. THE SYSTEM SHALL BE EQUIPPED WITH A WEATHER BASED SMART CONTROLLER AND WILL HAVE A FLOW SENSOR, MOISTURE SENSOR, RAIN SHUT OFF AND MULTIPLE START TIMES. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET ALL CITY OF LAFAYETTE WATER CONSERVATION REQUIREMENTS INCLUDING GROUPING VALVES BY HYDROZONES, WATER USE CALCULATIONS AND IRRIGATION SCHEDULE.

PLANTING:

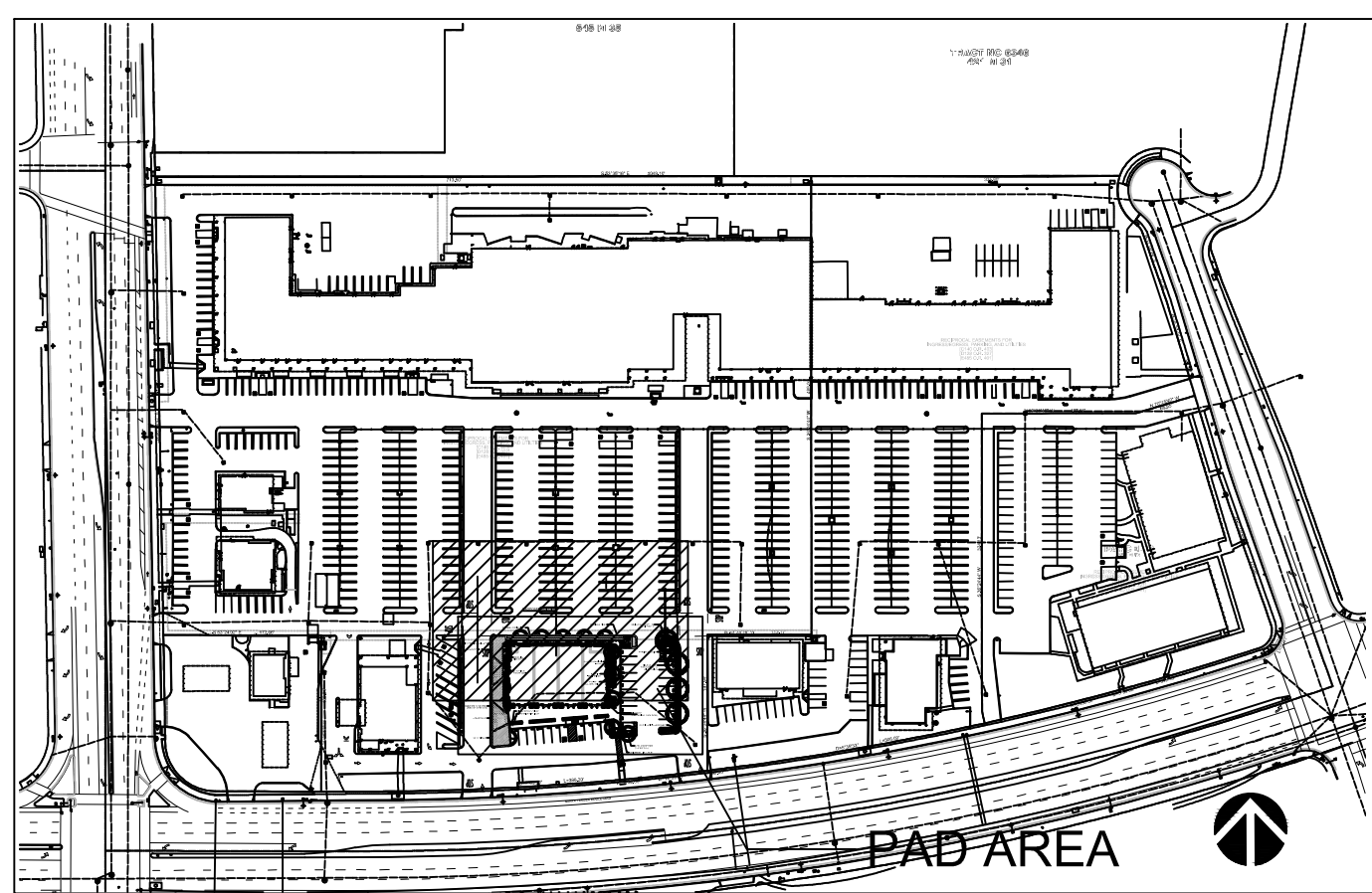
ALL PLANT MATERIALS SHALL COMPLY WITH THE STATE WATER CONSERVATION 'WUCOLS' PLANT MATERIALS LIST, THE WATER RESOURCES BOARD BIO-INFILTRATION PLANT LISTS AND EBMUD PLANT MATERIALS LIST WHERE REQUIRED.

MULCH:

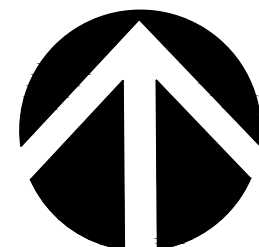
ALL PLANTING AREAS (EXCEPT BIO-RETENTION BASIN) TO RECEIVE 3" DEEP OF RECYCLED BLACK MULCH AT TIME OF PLANTING. BIO-RETENTION BASIN AREA TO RECEIVE 2" DEEP LAYER OF 3/8" RIVER-WASHED PEBBLES (NO FINES) CONTINUOUS ACROSS STORMWATER PLANTERS SURFACES.

EXISTING TREES:

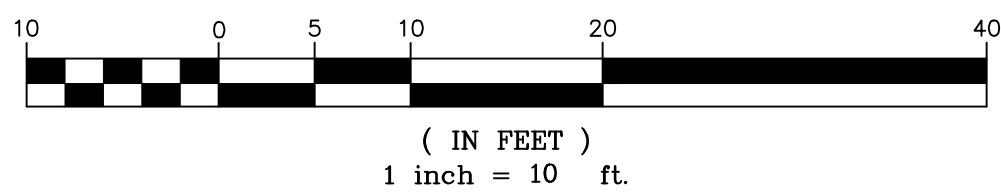
ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AND CARED FOR DURING CONSTRUCTION AS DETAILED IN THE ARBORIST'S REPORT.



RETAIL CENTER SITE PLAN



GRAPHIC SCALE



PRELIMINARY LANDSCAPE PLAN

REMARKS
Planning Resubm
Planning Resubm
Delta 'A'

PA/PM:	J. BABINE
DRAWN BY.:	A.K.
JOB NO.:	SNR18-00

SHEET

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