

A NEW MIXED-USE BUILDING

LANGSAM BUILDING

719-725 BRIDGEWAY

SAUSALITO, CALIFORNIA 94965

APN 065-071-21



BRIDGEWAY STREET FRONT ELEVATION
NOT TO SCALE

PROJECT TEAM

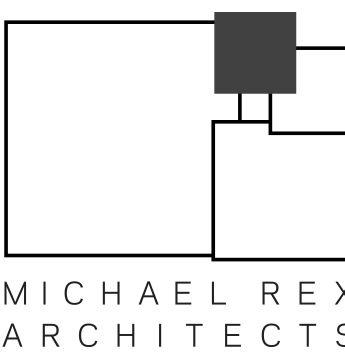
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E-mail: dean@purcellrhoades.com

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SURVEY

TOPOGRAPHIC SURVEY
RECORD OF SURVEY - SHEET 1
RECORD OF SURVEY - SHEET 2

Floor Area (FAR):

- Max. Permitted Floor Area = 1.3 of Net Parcel Area
= 4,763 sf x 1.3
= 6,192 sf

- Existing Floor Area:

Ground Floor	2,538 sf
Second Floor	+ 2,183 sf
Sheds	+ 61 sf
	= 4,782 sf (1.0 FAR)

- Proposed Floor Area

Ground Floor	
Market	2,587 sf
Stairway	110 sf
Second Floor	
Dwelling Unit #1	895 sf
Dwelling Unit #2	531 sf
Dwelling Unit #3	614 sf
Stairways/Hallways	+ 211 sf
	= 4,948 sf (1.04 FAR)

Other Second Floor Areas

Rear Patios	756 sf
Front Balconies	24 sf

Parking:
See Written Project Narrative for Parking Data

DATE AND DESCRIPTION

EXISTING CONDITIONS

15 MAY 2014

SCHEMATIC DESIGN

01 OCTOBER 2015

PRELIMINARY DESIGN

06 NOVEMBER 2015

PRELIM: REVS

23 MARCH 2016

HLB STUDY SESSION

21 NOVEMBER 2016

DESIGN REVIEW SUBMITTAL

20 DECEMBER 2017

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TITLE SHEET

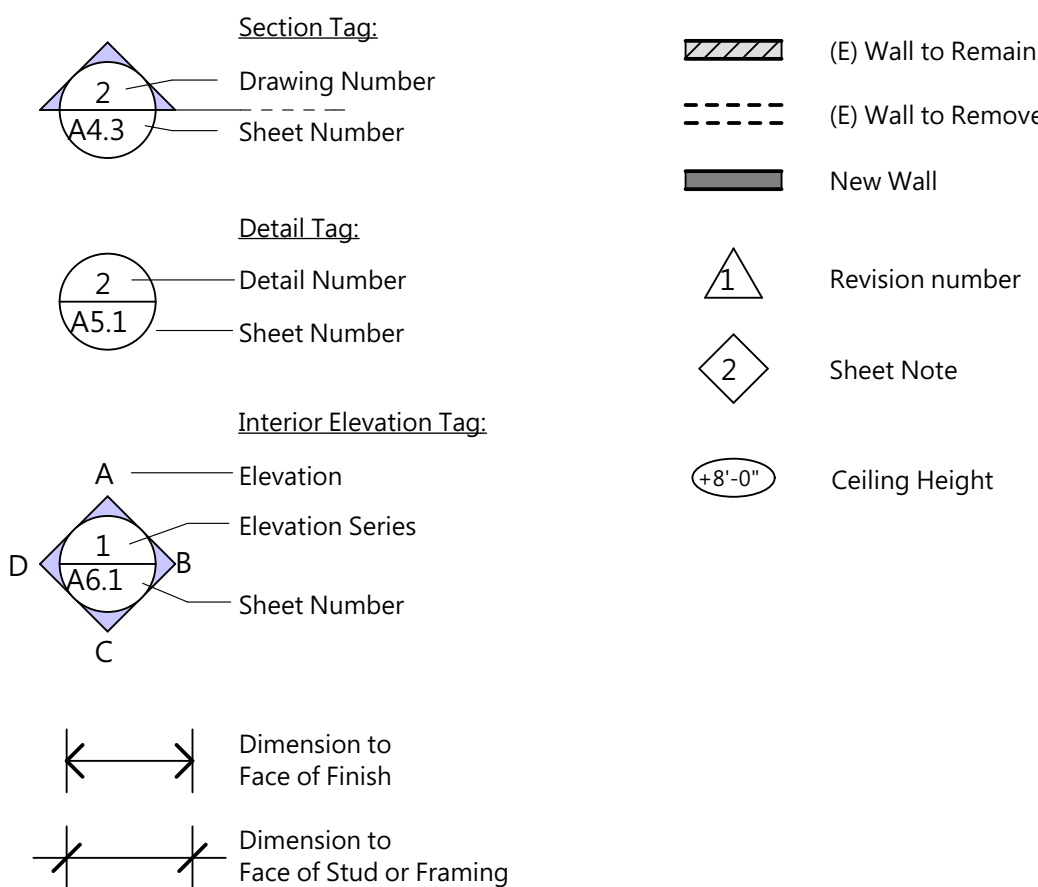
SHEET

A0.1

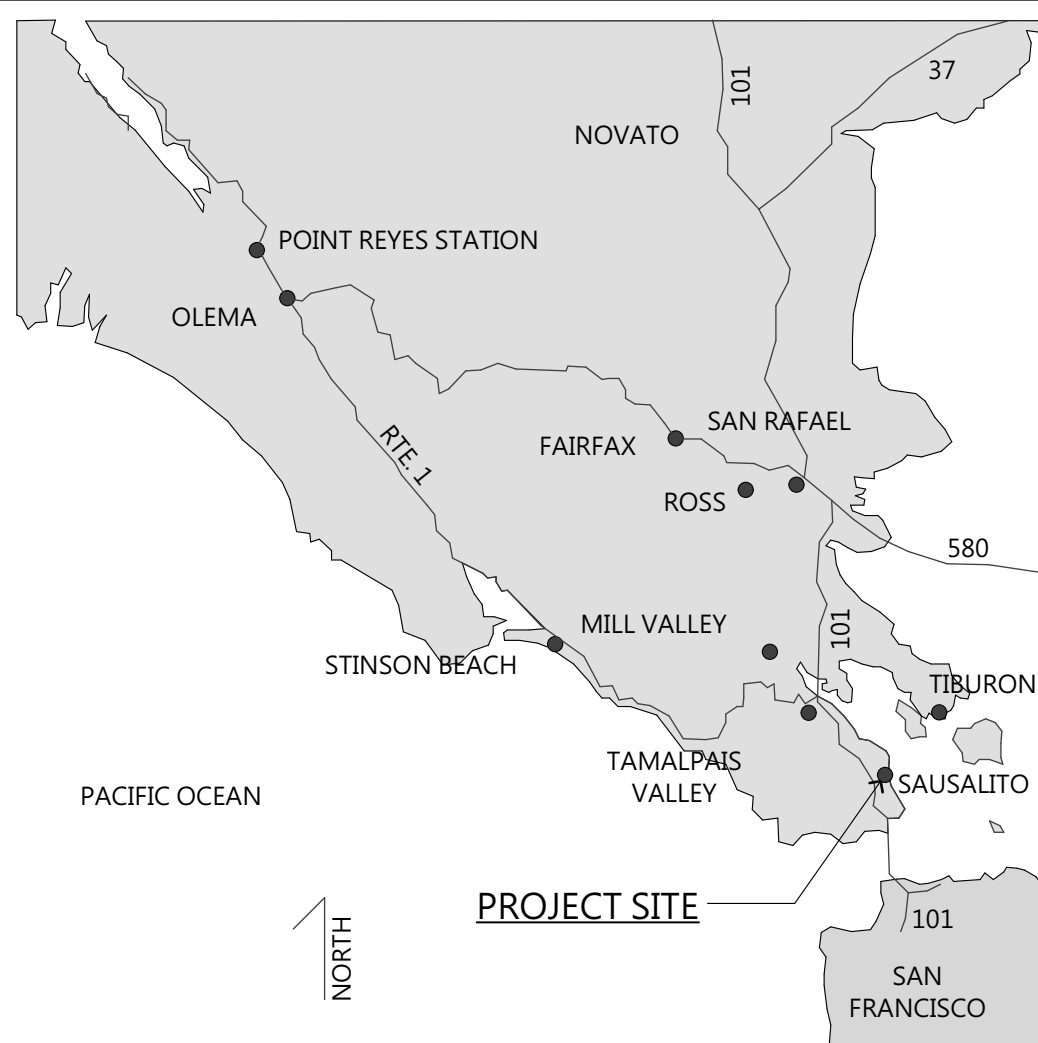
ABBREVIATIONS

Adj	Adjustable	Lav	Lavatory
AFF	Above Finish Floor	Max	Maximum
Approx	Approximate (-ly)	Mech	Mechanical
Arch	Architect (-ural)	Memb	Membrane
Bd	Board	Mfr	Manufacturer
Bitum	Bituminous	Min	Minimum
Bldg	Building	(N)	New
Blk	Block	NIC	Not In Contract
Blkg	Blocking	Nom	Nominal
Bm	Beam	NTS	Not To Scale
Bot	Bottom	O/	Over
Btwn	Between	OC	On Center
Cab	Cabinet	Opng	Opening
Cer	Ceramic	Pl	Plate
CH	Ceiling Height	PLam	Plastic Laminate
Clg	Ceiling	Plywd	Plywood
Cl	Closet	Pr	Pair
Clr	Clear	PT	Pressure Treated
Col	Column	R	Riser or Radius
Conc	Concrete	RA	Return Air
Constr	Construction	Ref	Refrigerator
Cont	Continuous	Req	Required
Ctr	Center	Rm	Room
D	Dryer	RO	Roug Opening
Dbl	Double	Rwd	Redwood
Dia	Diameter	RWL	Rainwater Leader
Dim	Dimension	SBO	Supplied By Owner
Disp	Disposal	Shtg	Sheathing
Dn	Down	Sim	Similar
Dr	Door	SLD	See Landscape Drawings
DS	Down Spout	SS	Stainless Steel
DW	Dish Washer	SSD	See Structural Drawings
Dwg	Drawing	Std	Standard
(E)	Existing	Stl	Steel
Ea	Each	Stor	Storage
Elev	Elevation	Strl	Structural
Elec	Electrical	T	Tread
Eq	Equal	Telephone	Telephone
Ext	Exterior	T&G	Tounge & Groove
FD	Floor Drain	TV	Television
Fdn	Foundation	TOW	Top of Wall
Fin	Finish	Typ	Typical
Flr	Floor	UON	Unless Otherwise Noted
Fluor	Fluorescent	Vert	Vertical
FOC	Face of Concrete	VIF	Verify in Field
FOF	Face of Finish	W	Washing Machine
FOS	Face of Stud	W/	With
Ft	Foot or Feet	WC	Water Closet
Ftg	Footing	Wd	Wood
Furr	Furring	W/O	Without
Ga	Gauge	Wp	Waterproof
Galv	Galvanized	WR	Water Resistant
Gyp Bd	Gypsum Board	@	At
GFI	Ground Fault Interrupter	QL	Centerline
HB	Hose Bibb	Ø	Diameter or Round
HC	Hollow Core	ℙ	Property Line
Hdwd	Hardwood	±	Plus or Minus
Horz	Horizontal		
Hr	Hour		
Insul	Insulation		
Int	Interior		

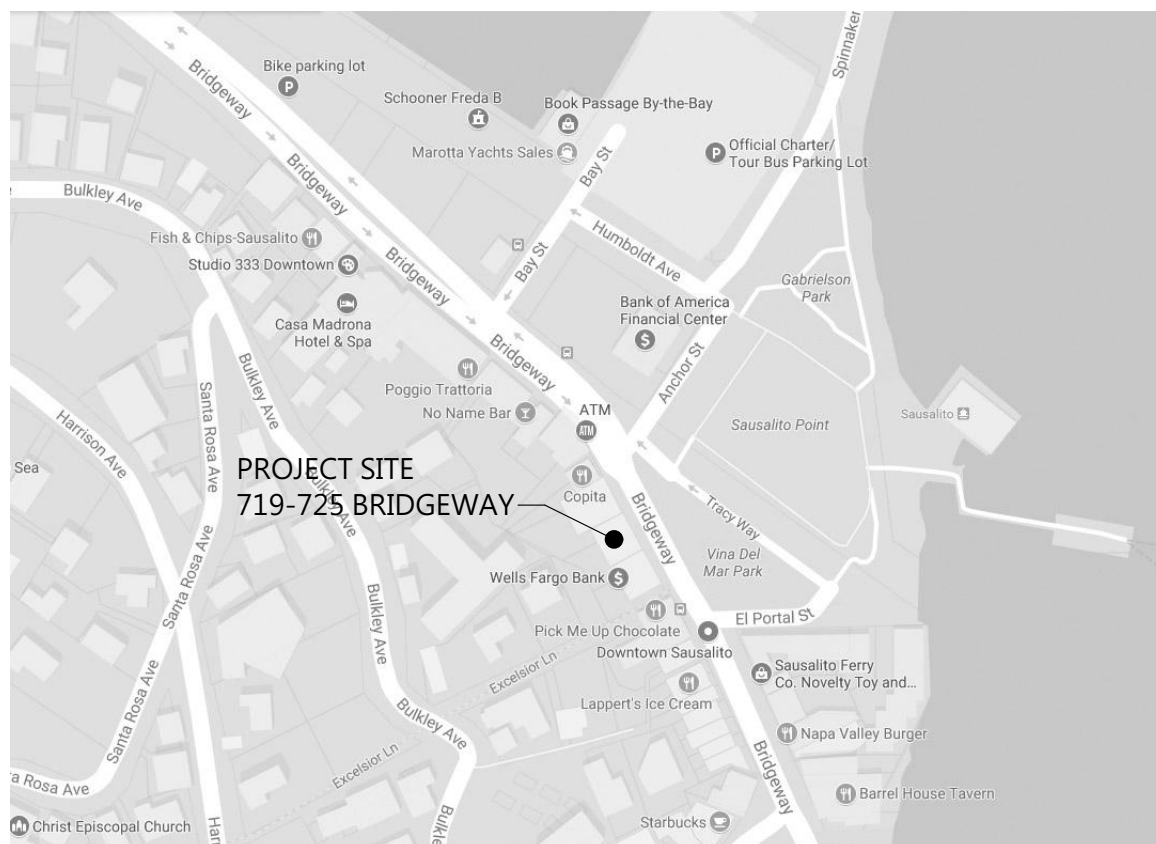
SYMBOLS



VICINITY MAP



LOCATION MAP



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3D RENDERINGS

SHEET

A0.3

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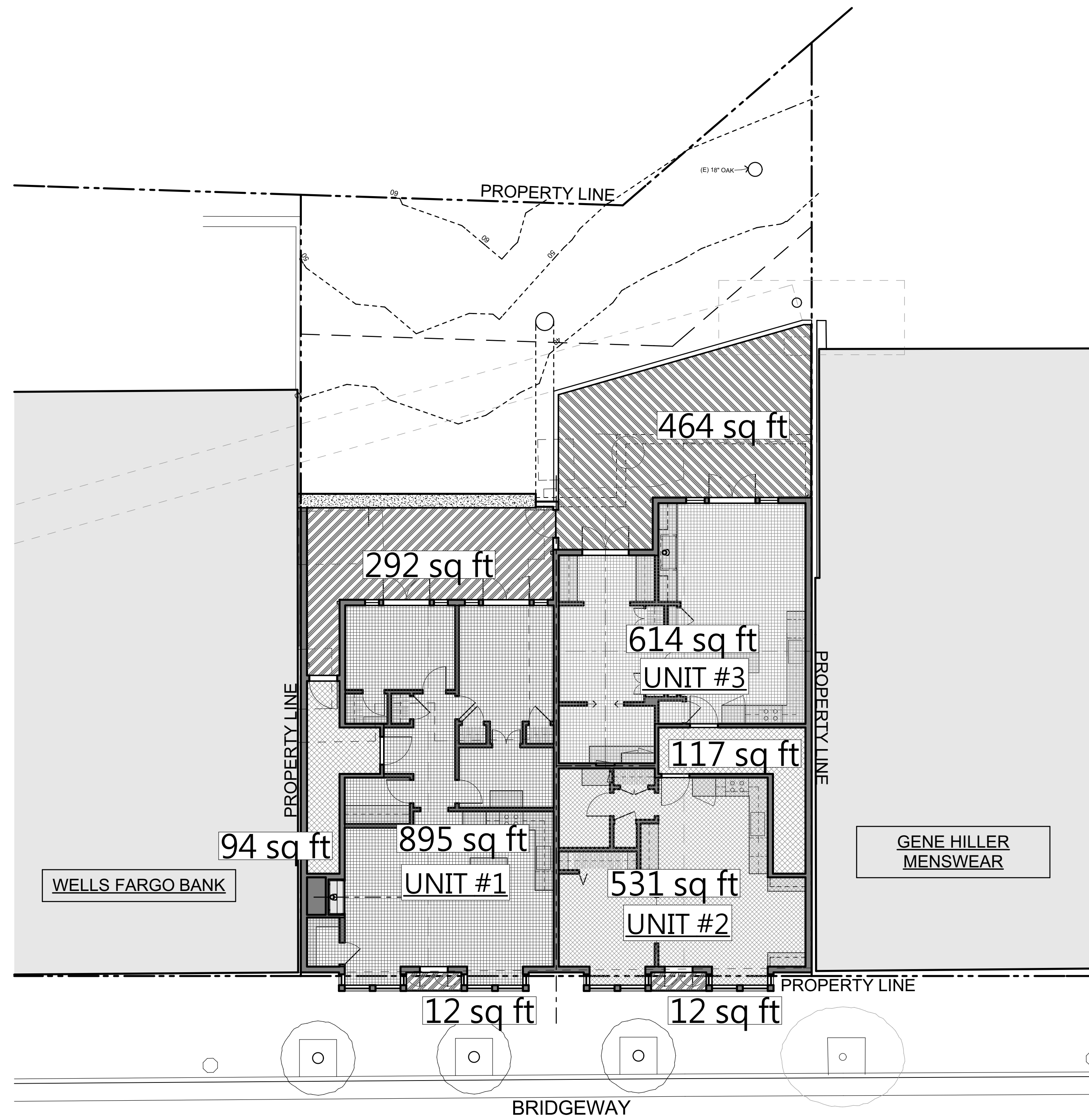
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3D RENDERINGS

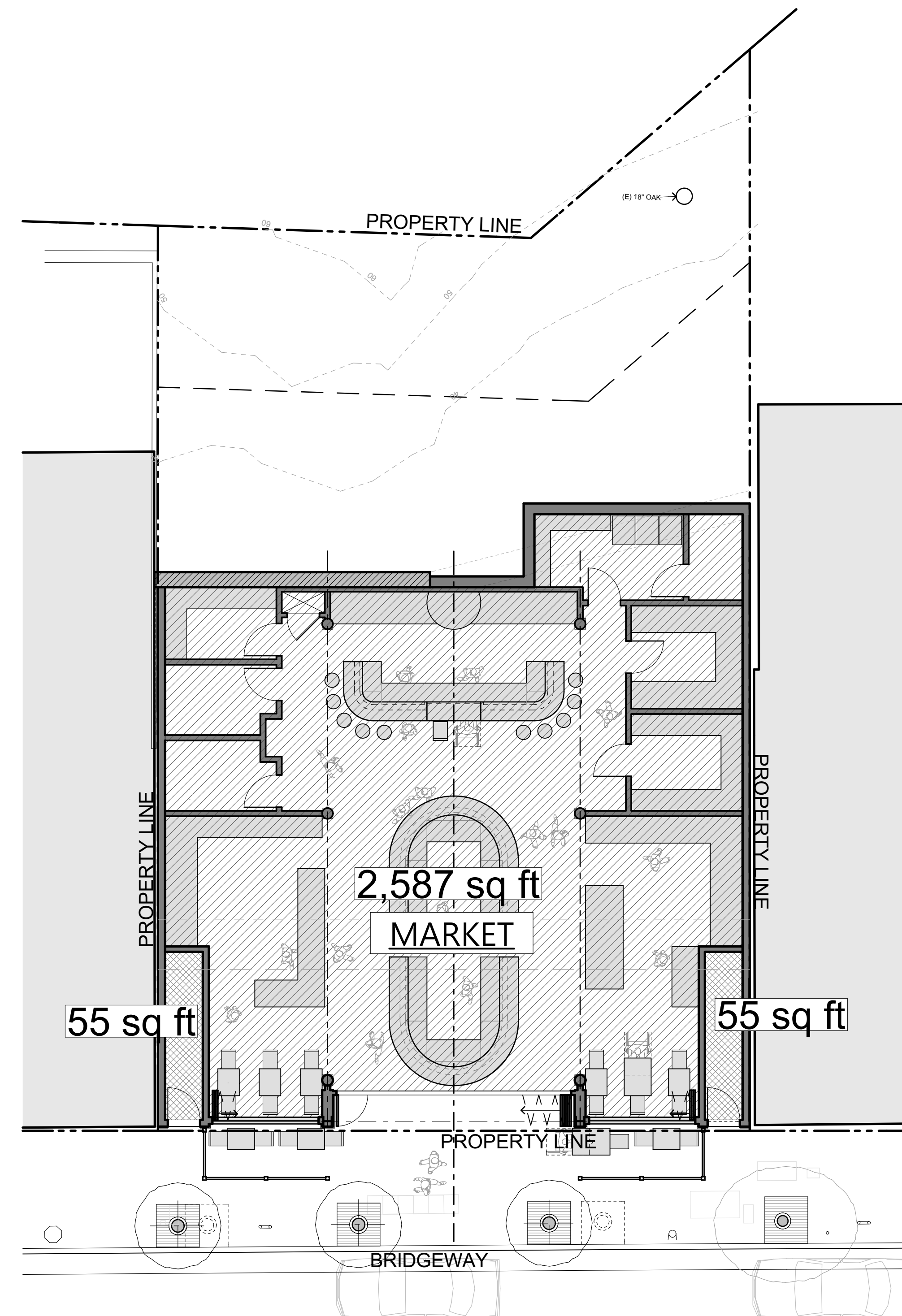
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PROPOSED SECOND FLOOR FAR 1



PROPOSED GROUND FLOOR FAR 1

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FLOOR AREA
DIAGRAMS

SHEET

A0.5

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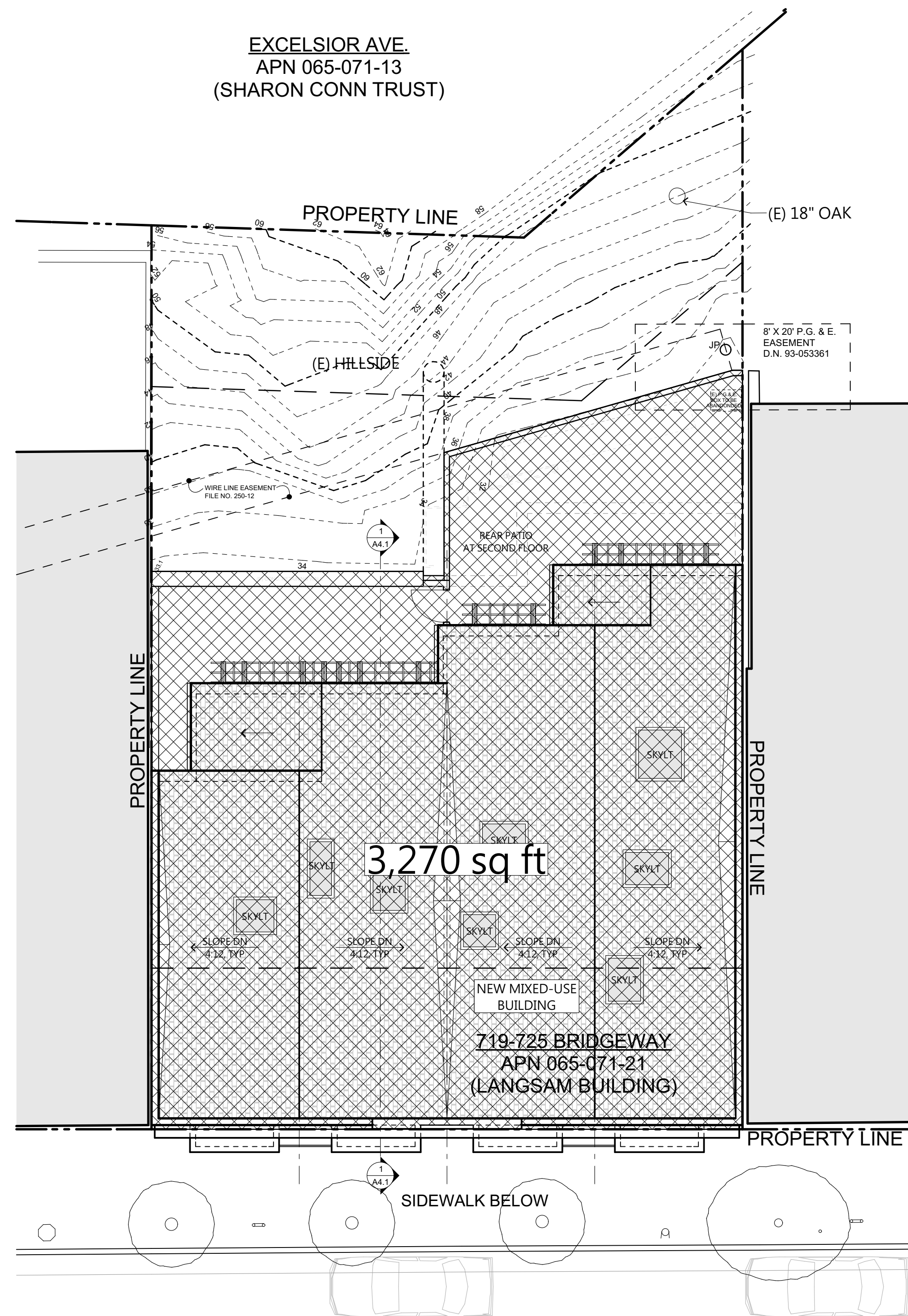
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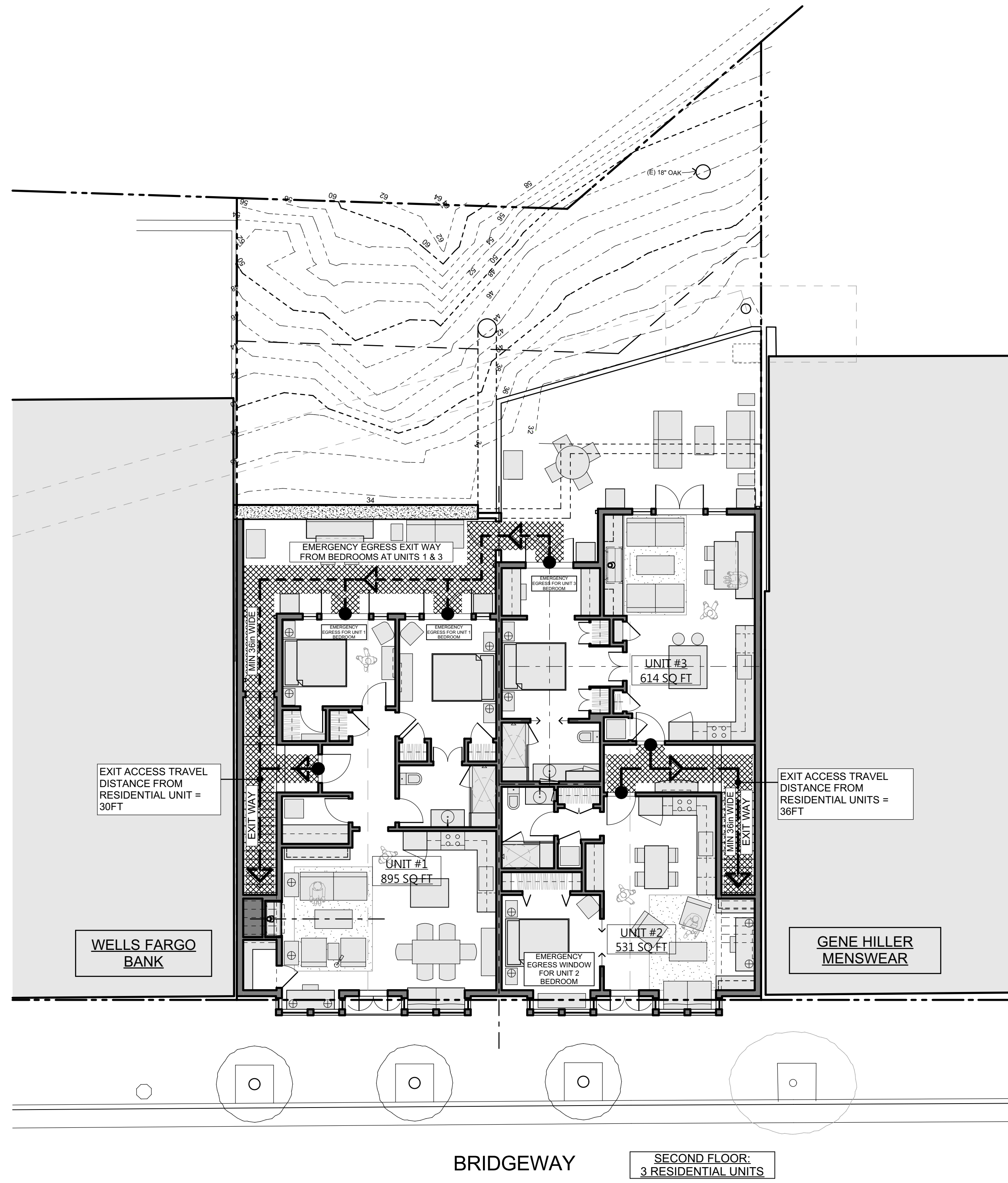
BUILDING COVERAGE
DIAGRAM

SHEET

A0.6



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PRELIMINARY EGRESS CALCULATIONS:
(2016 CBC CHAPTER 10)

OCCUPANCY GROUP: R-2
OCCUPANT LOAD FACTOR: 200

MAXIMUM OCCUPANT LOAD FOR SECOND FLOOR:

DWELLING UNIT #1: 895 SQ FT + 200 SQ FT PER OCCUPANT = 4.48 OCCUPANTS
MINIMUM WIDTH OF STAIRWAY PER CALCULATION (1005.3.1, EXCEPTION 1):
4.48 x .2in = .90in MINIMUM
MINIMUM WIDTH OF EGRESS COMPONENTS PER CALCULATION (1005.3.2):
4.48 x .15in = .67in MINIMUM
MINIMUM CORRIDOR/AISLE WIDTH (TABLE 1020.2):
FOR OCCUPANCY < 50 OCCUPANTS = 36in

DWELLING UNITS #2 & #3: (531 SQ FT + 614 SQ FT) + 200 SQ FT PER OCCUPANT = 5.73 OCCUPANTS
MINIMUM WIDTH OF STAIRWAY PER CALCULATION (1005.3.1, EXCEPTION 1):
5.73 x .2in = 1.15in MINIMUM
MINIMUM WIDTH OF EGRESS COMPONENTS PER CALCULATION (1005.3.2):
5.73 x .15in = .86in MINIMUM
MINIMUM CORRIDOR/AISLE WIDTH (TABLE 1020.2):
FOR OCCUPANCY < 50 OCCUPANTS = 36in

EACH DWELLING UNIT HAS ONE EXIT.

THE REQUIRED EXIT DOOR HAS A MINIMUM CLEAR WIDTH = 32in

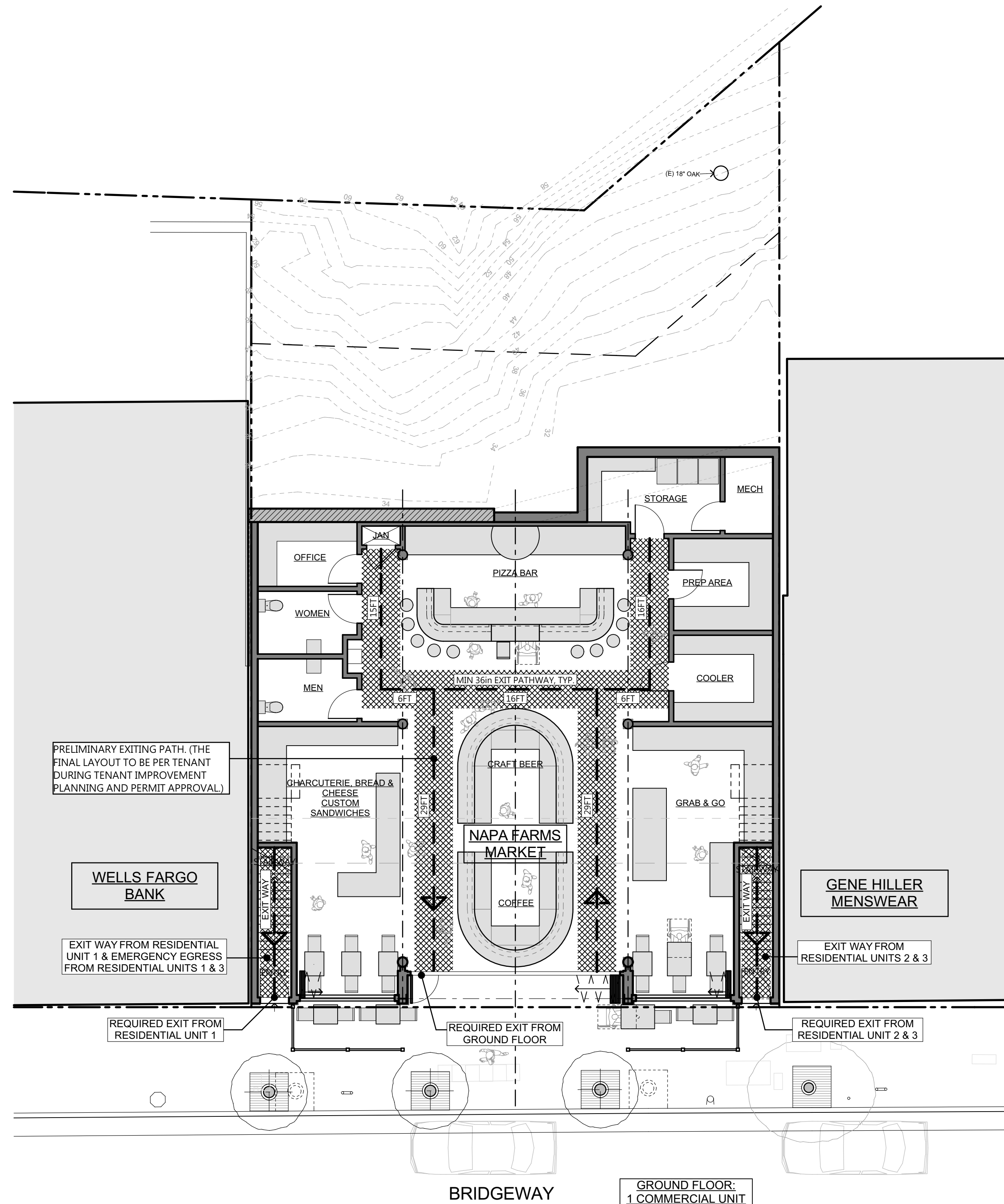
FOR OCCUPANCY GROUP R & AN OCCUPANT LOAD < 49 WITH SPRINKLER SYSTEM THE MAXIMUM COMMON PATH OF EGRESS TRAVEL = 75ft

TRAVEL DISTANCE TO EXIT FROM UNIT #1 = 30ft

TRAVEL DISTANCE TO EXIT FROM UNITS #2 & #3 (COMBINED) = 36ft

PROPOSED SECOND FLOOR EXITING DIAGRAM

2



PRELIMINARY EGRESS CALCULATIONS:
(2016 CBC CHAPTER 10)

GROUND FLOOR AREA
= 2,587 SQ FT (MAX)

OCCUPANCY GROUP: M
OCCUPANT LOAD FACTOR: 60

MAXIMUM OCCUPANT LOAD FOR GROUND FLOOR:
2,587 SQ FT + 60 SQ FT PER OCCUPANT
= 43.1 OCCUPANTS

MINIMUM WIDTH OF EGRESS COMPONENTS PER CALCULATION (1005.3.2, EXCEPTION 1):
43.1 x .15in = 6.47in MINIMUM
MINIMUM CORRIDOR/AISLE WIDTH (TABLE 1020.2):
FOR OCCUPANCY < 50 OCCUPANTS = 36in

GROUND FLOOR SPACE HAS ONE EXIT.

THE REQUIRED EXIT DOOR HAS A MINIMUM CLEAR WIDTH = 32in

FOR OCCUPANCY GROUP M & AN OCCUPANT LOAD < 49 WITH SPRINKLER SYSTEM THE MAXIMUM COMMON PATH OF EGRESS TRAVEL = 75ft

MAXIMUM TRAVEL DISTANCE TO EXIT FOR THIS PRELIMINARY LAYOUT = 74ft

PROPOSED GROUND FLOOR EXITING DIAGRAM

1

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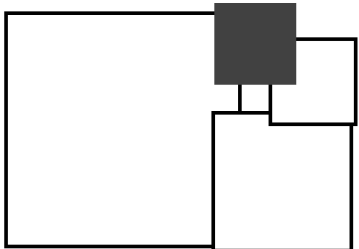
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PROPOSED
PRELIMINARY EXITING
DIAGRAMS

SHEET

A0.7

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SCALE: 1" = 1'-0"

EXTERIOR MATERIALS

SHEET

A0.8

STARTING POSTS

ALUMINUM BRONZE NICKEL-SILVER MALLEABLE IRON/STEEL

Starting Posts from Julius Blum & Co., Inc. have been engineered and tested to conform to the
ASTM 985 concentrated test load requirement. Copies of the Test Reports are available.

Scale: 1" = 1'-0"



Painted Stucco and Painted Wood Trim
Warm Gray

Roof Shingles
Medium Gray

Black Metal Finish
Window and Door Sash, Metal Guardrails,
Metal Handrails and Sign Letters

Concrete, natural
Retaining Walls

Ipe with natural oil treatment
Terrace and Balcony Decking

EXTERIOR MATERIALS



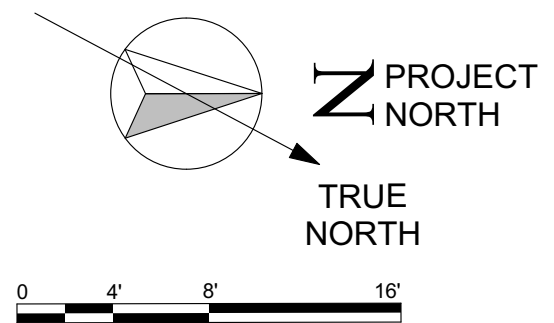
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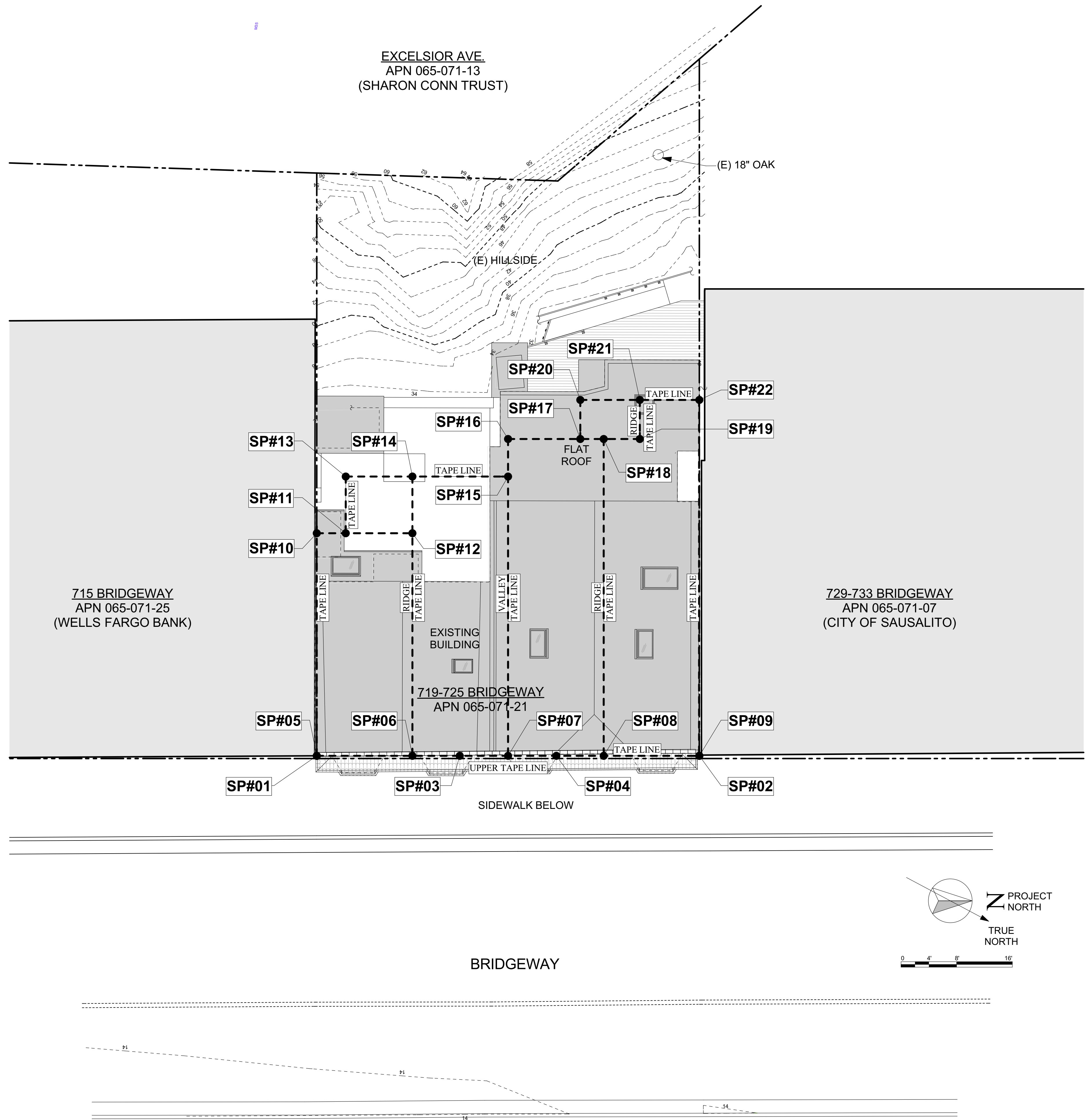
PROPOSED SITE/ROOF PLAN

SHEET

A1.1



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STORY POLE SCHEDULE	
POLE #	HEIGHT
SP#01	47.02'
SP#02	47.02'
SP#03	48.68'
SP#04	48.68'
SP#05	40.08'
SP#06	44.67'
SP#07	40.08'
SP#08	44.67'
SP#09	40.08'
SP#10	40.08'
SP#11	40.08'
SP#12	44.67'
SP#13	40.08'
SP#14	44.67'
SP#15	40.08'
SP#16	40.08'
SP#17	40.08'
SP#18	44.67'
SP#19	42.92'
SP#20	40.08'
SP#21	42.92'
SP#22	40.08'

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PROPOSED STORY POLE PLAN

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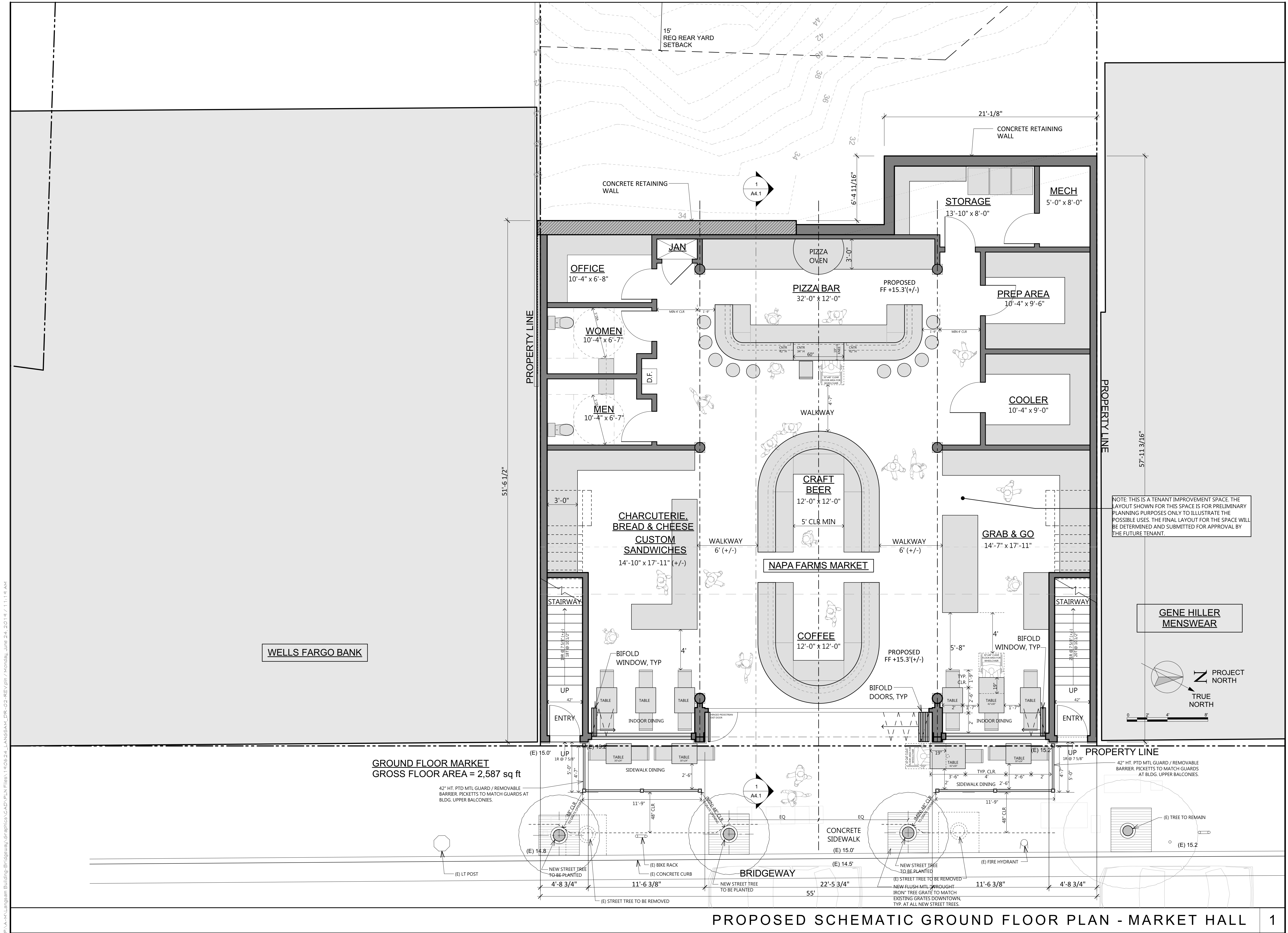
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PROPOSED GROUND
FLOOR PLAN

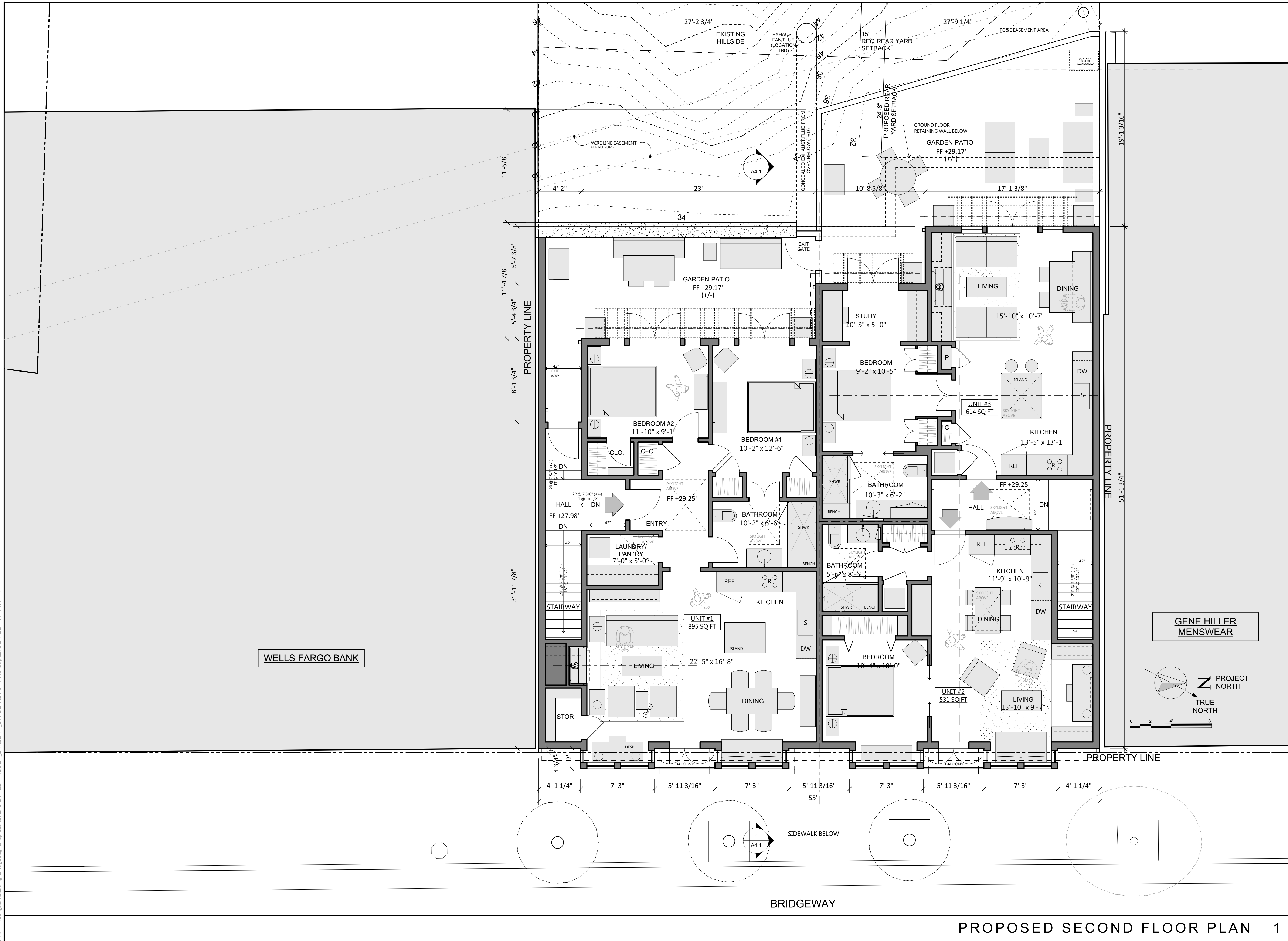
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A2.1



PROPOSED SCHEMATIC GROUND FLOOR PLAN - MARKET HALL

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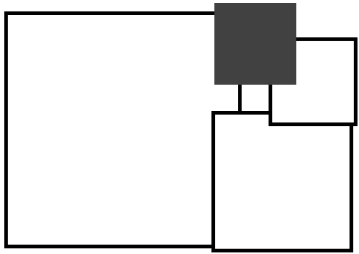
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PROPOSED SECOND
FLOOR PLAN

SHEET

A2.2



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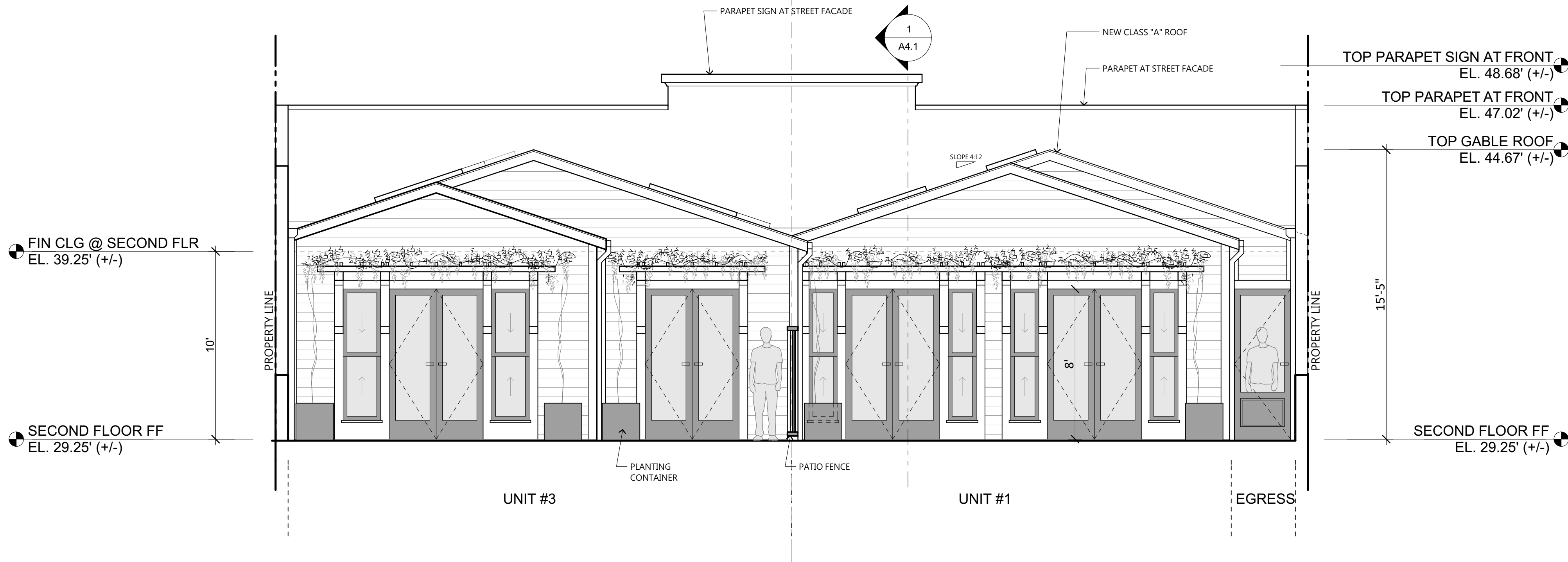
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PROPOSED EXTERIOR
ELEVATIONS

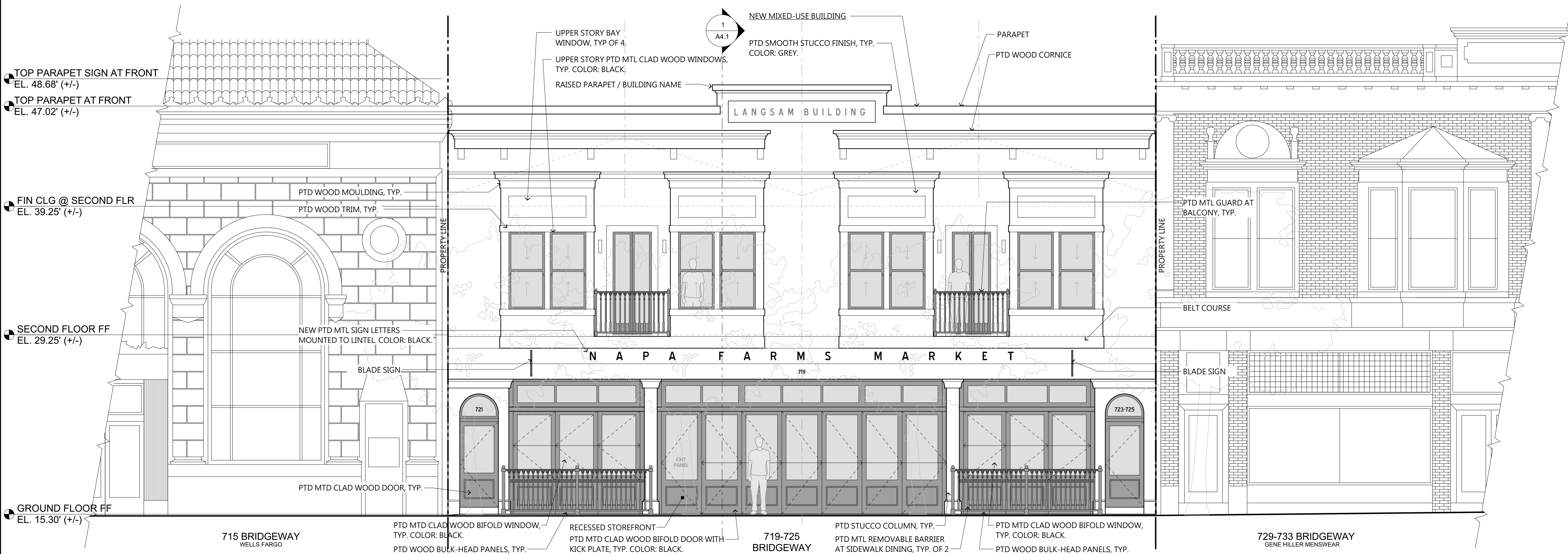
SHEET

A3.1

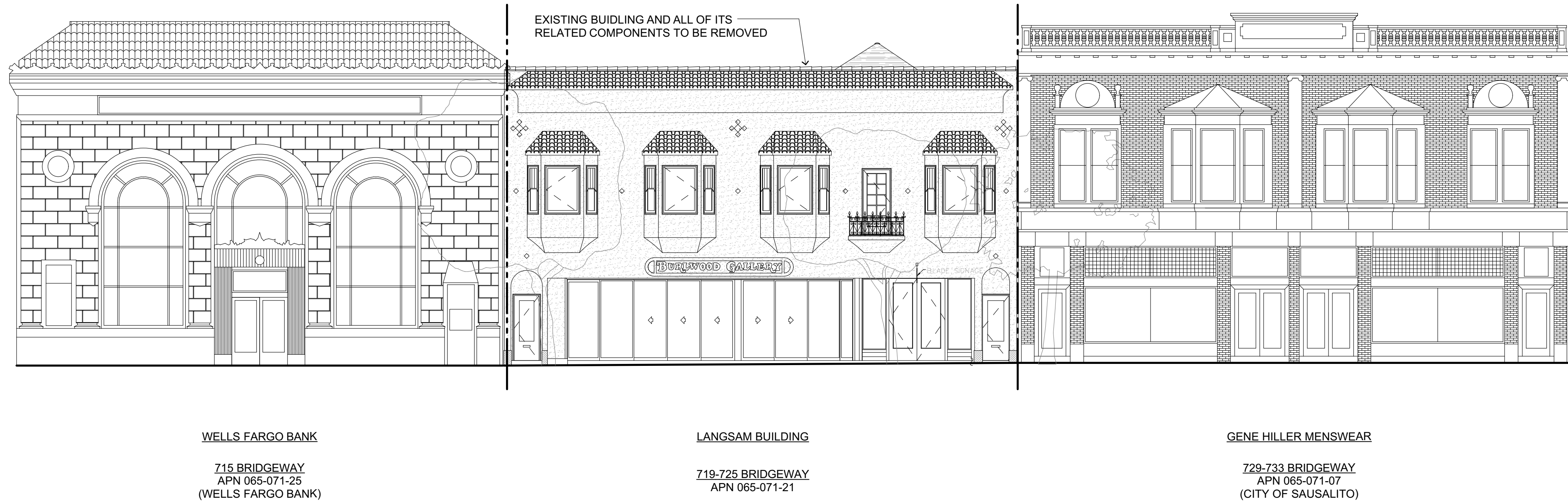
PROPOSED WEST ELEVATION (REAR) 2



PROPOSED WEST ELEVATION (REAR) 2



PROPOSED EAST ELEVATION (STREET FRONT) 1



EXISTING BRIDGEWAY STREETFRONT ELEVATION 2



PROPOSED BRIDGEWAY STREETFRONT ELEVATION 1

DATE AND DESCRIPTION	
EXISTING CONDITIONS	
15 MAY 2014	
SCHEMATIC DESIGN	
01 OCTOBER 2015	
PRELIMINARY DESIGN	
06 NOVEMBER 2015	
PRELIM: REVS	
23 MARCH 2016	
HLB STUDY SESSION	
21 NOVEMBER 2016	
DESIGN REVIEW SUBMITTAL	
20 DECEMBER 2017	
DESIGN REVIEW REVISION	
24 JUNE 2019	

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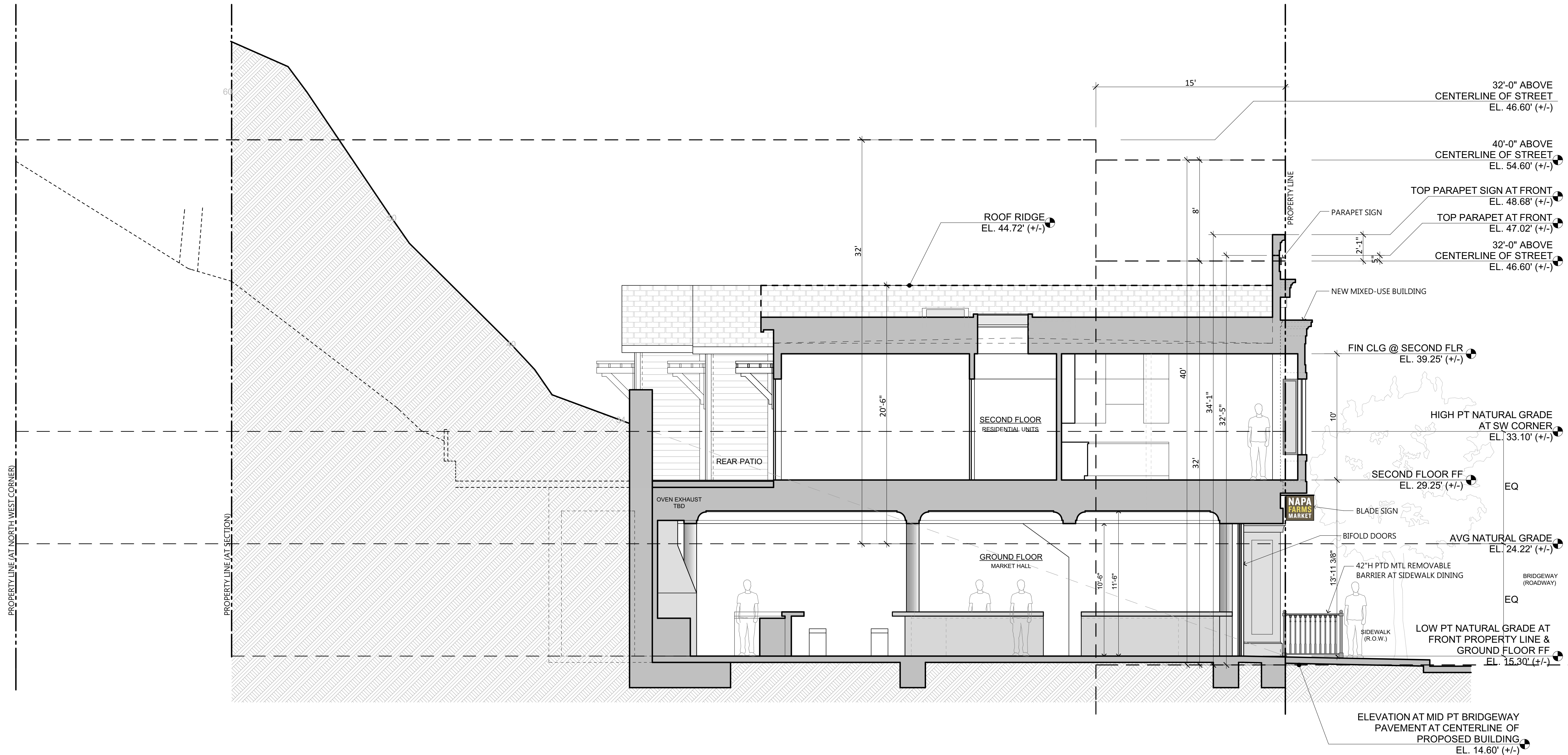
DRAWN BY: MRA
CHECKED BY: MRA
SCALE: 1/8" = 1'-0"

PROPOSED
BRIDGEWAY
STREETFRONT
ELEVATION

SHEET

A3.2

P:\A-H\Langsam Building-Bridgeway\Graphics\CAD\PLAN Files\190624_LANGSAM_DR-02_REV.plt / Monday, June 24, 2019 / 11:14 AM



LONGITUDINAL SITE SECTION

1

A NEW MIXED-USE PROJECT

LANGSAM BUILDING

719-725 BRIDGEWAY
SAUSALITO, CALIFORNIA 94965
APN 065-071-21

DATE AND DESCRIPTION	
EXISTING CONDITIONS	
15 MAY 2014	
SCHEMATIC DESIGN	
01 OCTOBER 2015	
PRELIMINARY DESIGN	
06 NOVEMBER 2015	
PRELIM: REVS	
23 MARCH 2016	
HLB STUDY SESSION	
21 NOVEMBER 2016	
DESIGN REVIEW SUBMITTAL	
20 DECEMBER 2017	
DESIGN REVIEW REVISION	
24 JUNE 2019	

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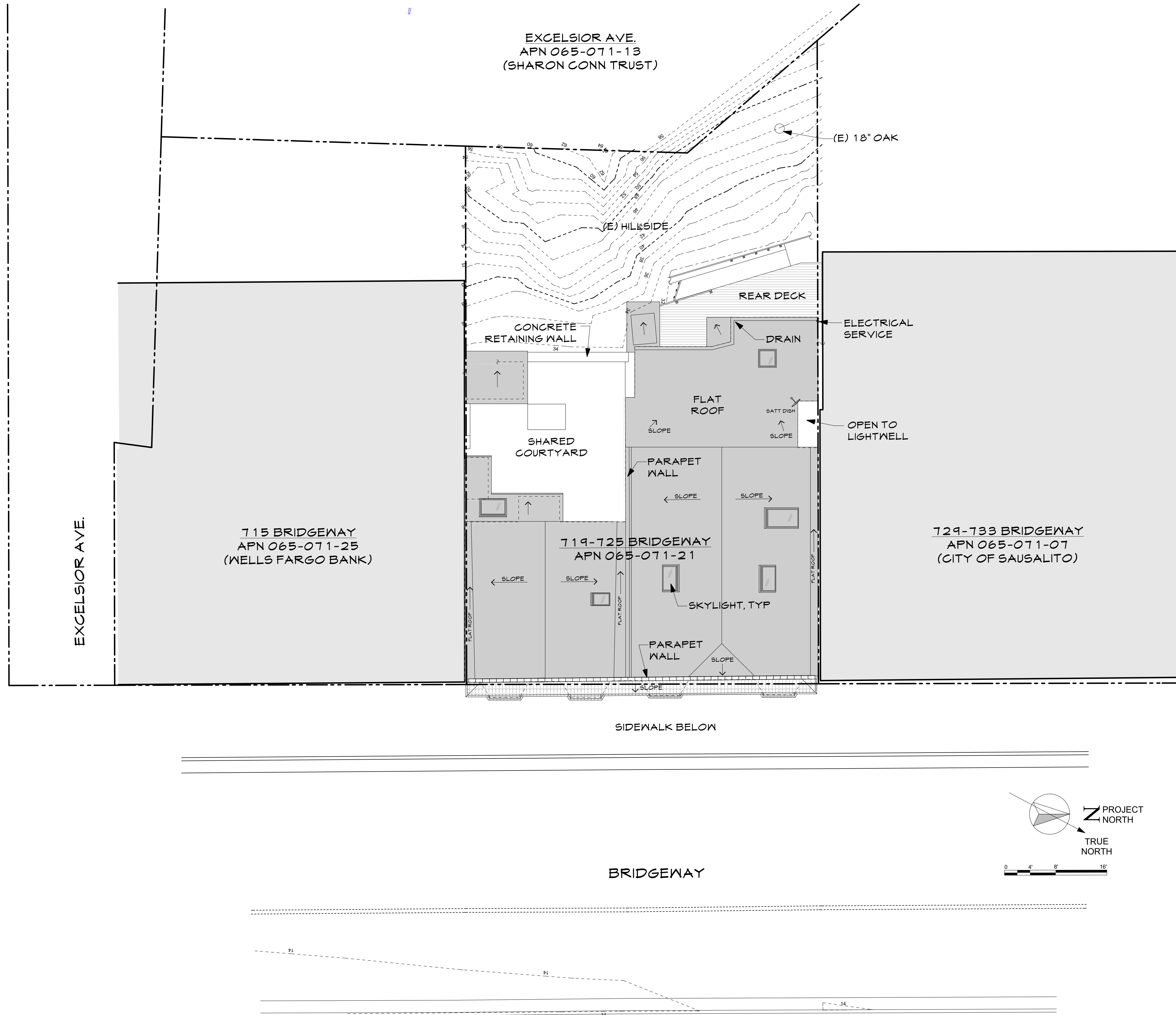
DRAWN BY:	MRA
CHECKED BY:	MRA
SCALE:	1/4" = 1'-0"

PROPOSED BUILDING SECTION

SHEET

A4.1

P:\A-H\Langsam Building-Bridgeway\Graphics\CAD\PLN Files\190624_Langsam_DR-02_REV.plt / Monday, June 24, 2019 / 11:14 AM



MICHAEL REX
ARCHITECTS

1750 BRIDGEWAY, SUITE B211
SAUSALITO, CA 94965
MICHAELREXARCHITECTS.COM
TEL (415) 331-1400
FAX (415) 331-5463

A NEW MIXED-USE PROJECT

LANGSAM BUILDING

719-725 BRIDGEWAY
SAUSALITO, CALIFORNIA 94965
APN 065-071-21

DATE AND DESCRIPTION
EXISTING CONDITIONS
15 MAY 2014
SCHEMATIC DESIGN
01 OCTOBER 2015
PRELIMINARY DESIGN
06 NOVEMBER 2015
PRELIM: REVS
23 MARCH 2016
HLB STUDY SESSION
21 NOVEMBER 2016
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CHECKED BY: MRA
SCALE: 1/8" = 1'-0"

EXISTING SITE/ROOF
PLAN

SHEET

EC1.1



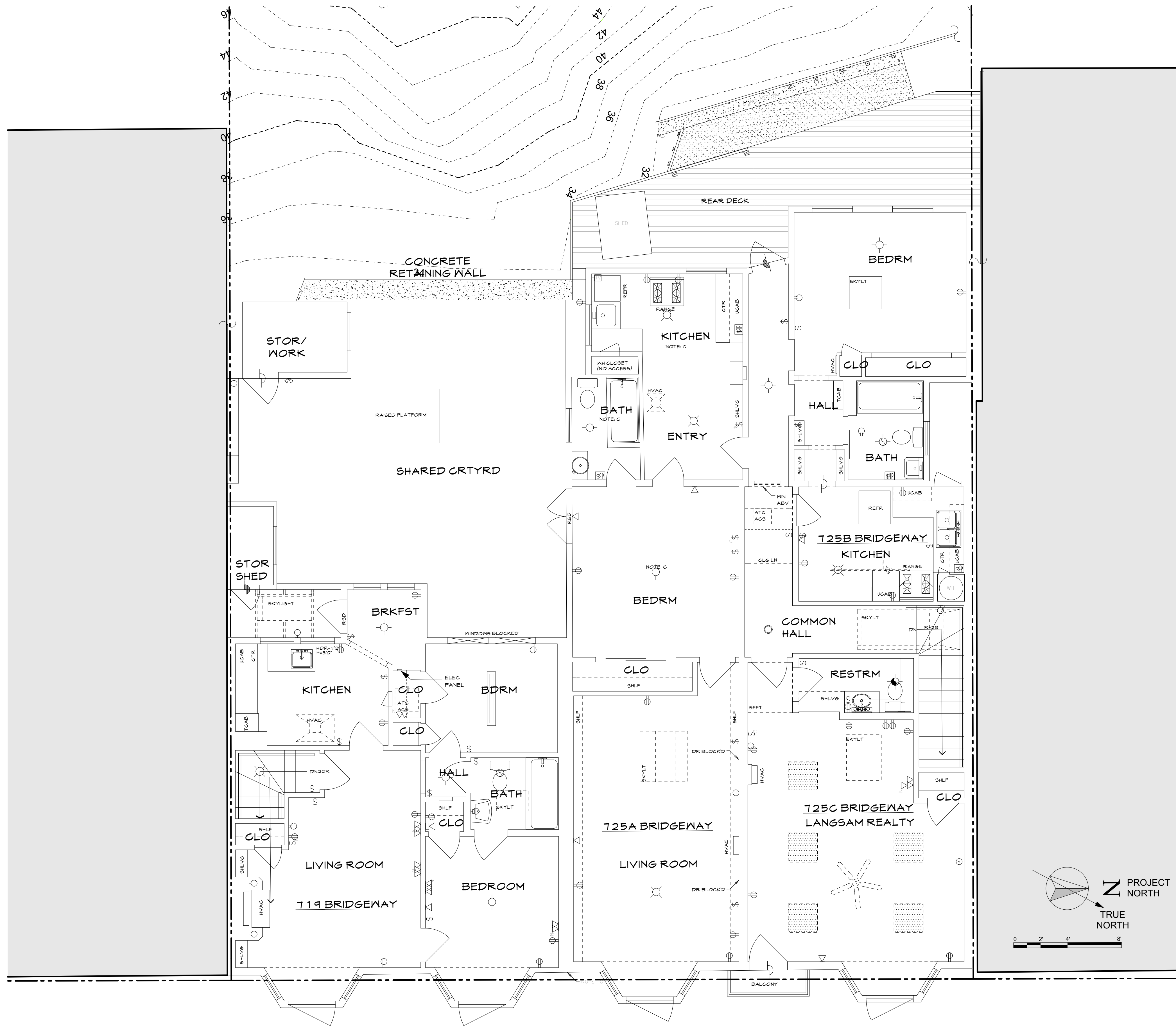
LANGSAM BUILDING
719-725 BRIDGEWAY
SAUSALITO, CALIFORNIA 94965
APN 065-071-21

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EXISTING GROUND
FLOOR PLAN

EC2.1

F:\A\H\Langsam Building Bridgeway\Graphics\CAD\PLN Files\190624_LANGSAM_DR-02_REV.plt / Monday, June 24, 2019 / 11:18 AM



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A NEW MIXED-USE PROJECT

LANGSAM BUILDING

719-725 BRIDGEWAY
SAUSALITO, CALIFORNIA 94965
APN 065-071-21

DATE AND DESCRIPTION
EXISTING CONDITIONS
15 MAY 2014
SCHEMATIC DESIGN
01 OCTOBER 2015
PRELIMINARY DESIGN
06 NOVEMBER 2015
PRELIM: REVS
23 MARCH 2016
HLB STUDY SESSION
21 NOVEMBER 2016
DESIGN REVIEW SUBMITTAL
20 DECEMBER 2017
DESIGN REVIEW REVISION
24 JUNE 2019

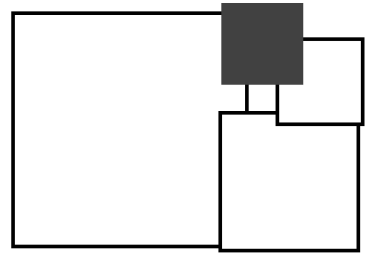
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CHECKED BY: MRA
SCALE: 1/4" = 1'-0"

EXISTING SECOND
FLOOR PLAN

SHEET

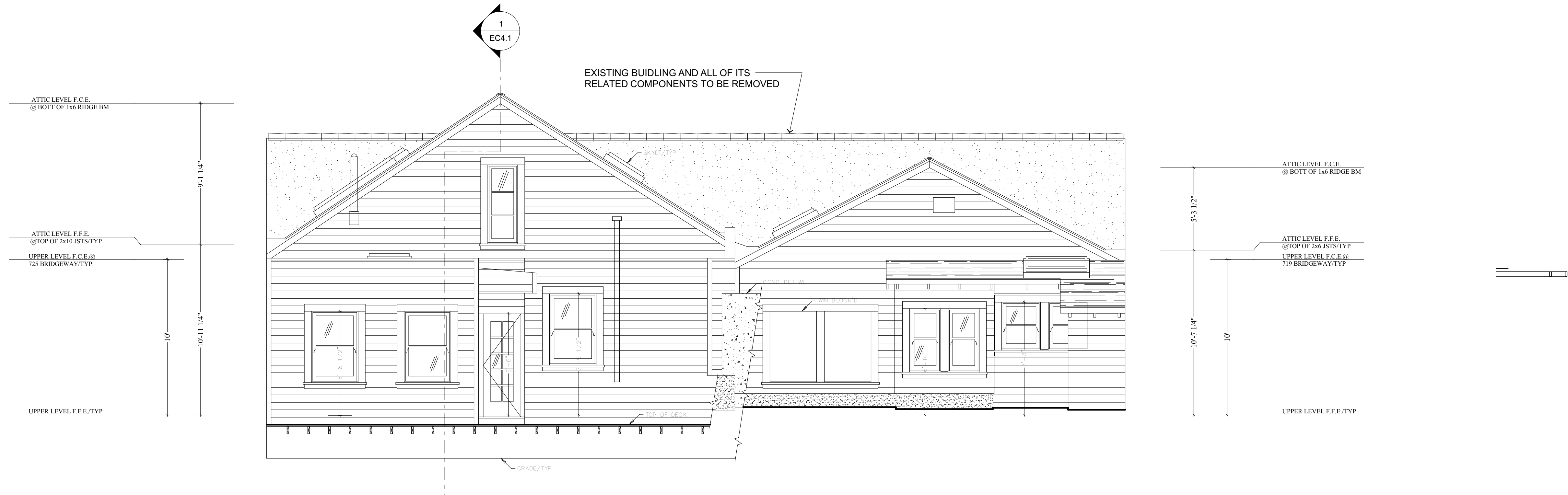
EC2.2



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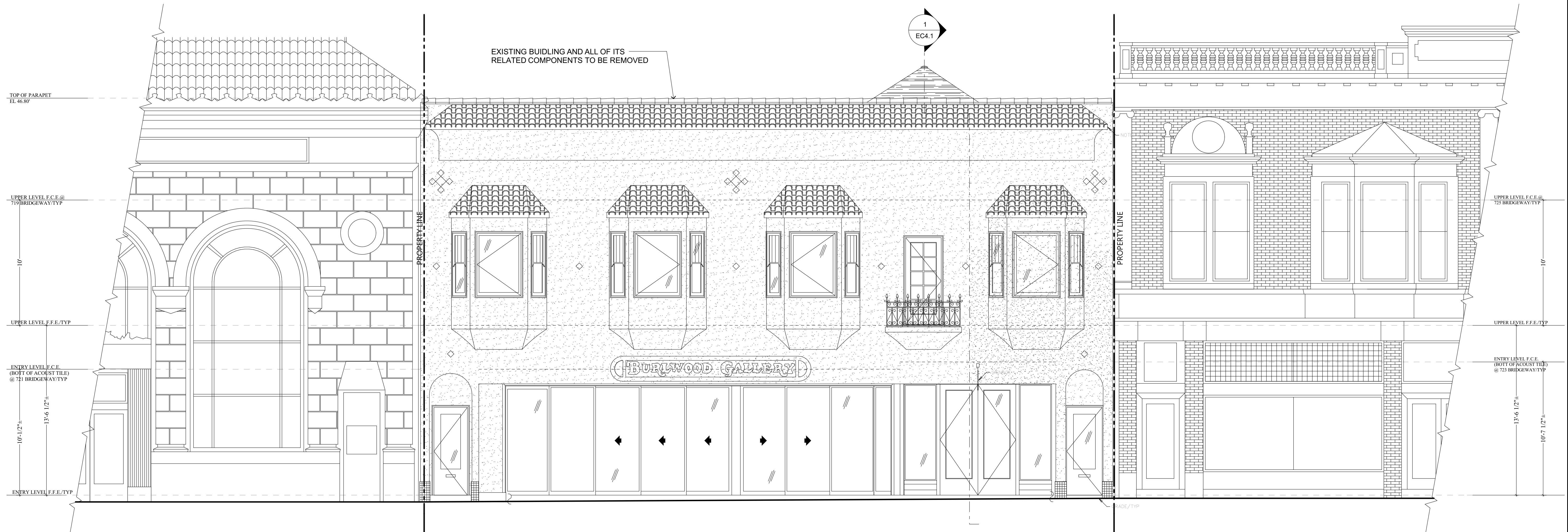
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SAUSALITO, CA 94965
MICHAELREXARCHITECTS.COM
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FAX (415) 331-5463

A NEW MIXED-USE PROJECT
LANGSAM BUILDING
719-725 BRIDGEWAY
SAUSALITO, CALIFORNIA 94965
APN 065-071-21



EXISTING WEST ELEVATION (REAR)

2



EXISTING EAST ELEVATION (STREET FRONT)

1

DATE AND DESCRIPTION:

EXISTING CONDITIONS

15 MAY 2014

SCHEMATIC DESIGN

01 OCTOBER 2015

PRELIMINARY DESIGN

06 NOVEMBER 2015

PRELIM: REVS

23 MARCH 2016

HLB STUDY SESSION

21 NOVEMBER 2016

DESIGN REVIEW SUBMITTAL

20 DECEMBER 2017

DESIGN REVIEW REVISION

24 JUNE 2019

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CHECKED BY: MRA

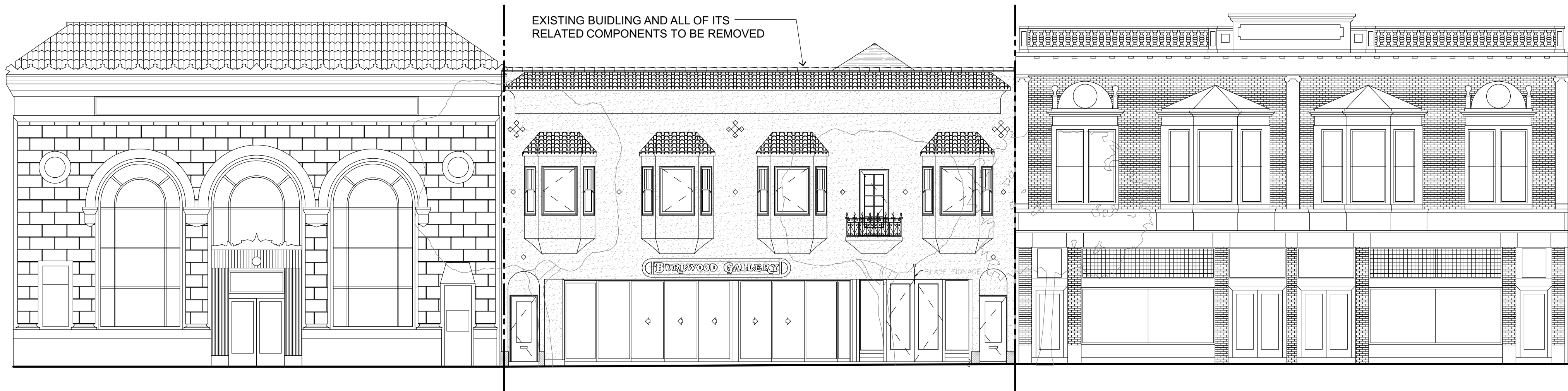
SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR
ELEVATIONS

SHEET

EC3.1

P:\A-H\Langsam Building-Bridgeway\Graphics\CAD\PLN Files\190624_LANGSAM_DR-02_REV.plt / Monday, June 24, 2019 / 11:14 AM



WELLS FARGO BANK

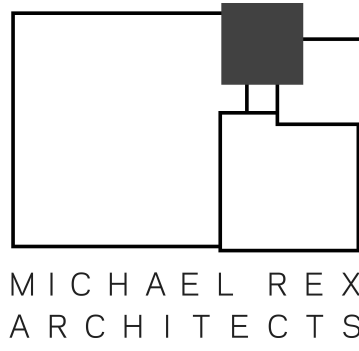
715 BRIDGEWAY
APN 065-071-25
(WELLS FARGO BANK)

LANGSAM BUILDING

719-725 BRIDGEWAY
APN 065-071-21

GENE HILLER MENSWEAR

729-733 BRIDGEWAY
APN 065-071-07
(CITY OF SAUSALITO)



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SAUSALITO, CA 94965
MICHAELREXARCHITECTS.COM
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FAX (415) 331-5463

A NEW MIXED-USE PROJECT
LANGSAM BUILDING
719-725 BRIDGEWAY
SAUSALITO, CALIFORNIA 94965
APN 065-071-21

DATE AND DESCRIPTION	
EXISTING CONDITIONS	
15 MAY 2014	
SCHEMATIC DESIGN	
01 OCTOBER 2015	
PRELIMINARY DESIGN	
06 NOVEMBER 2015	
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HLB STUDY SESSION	
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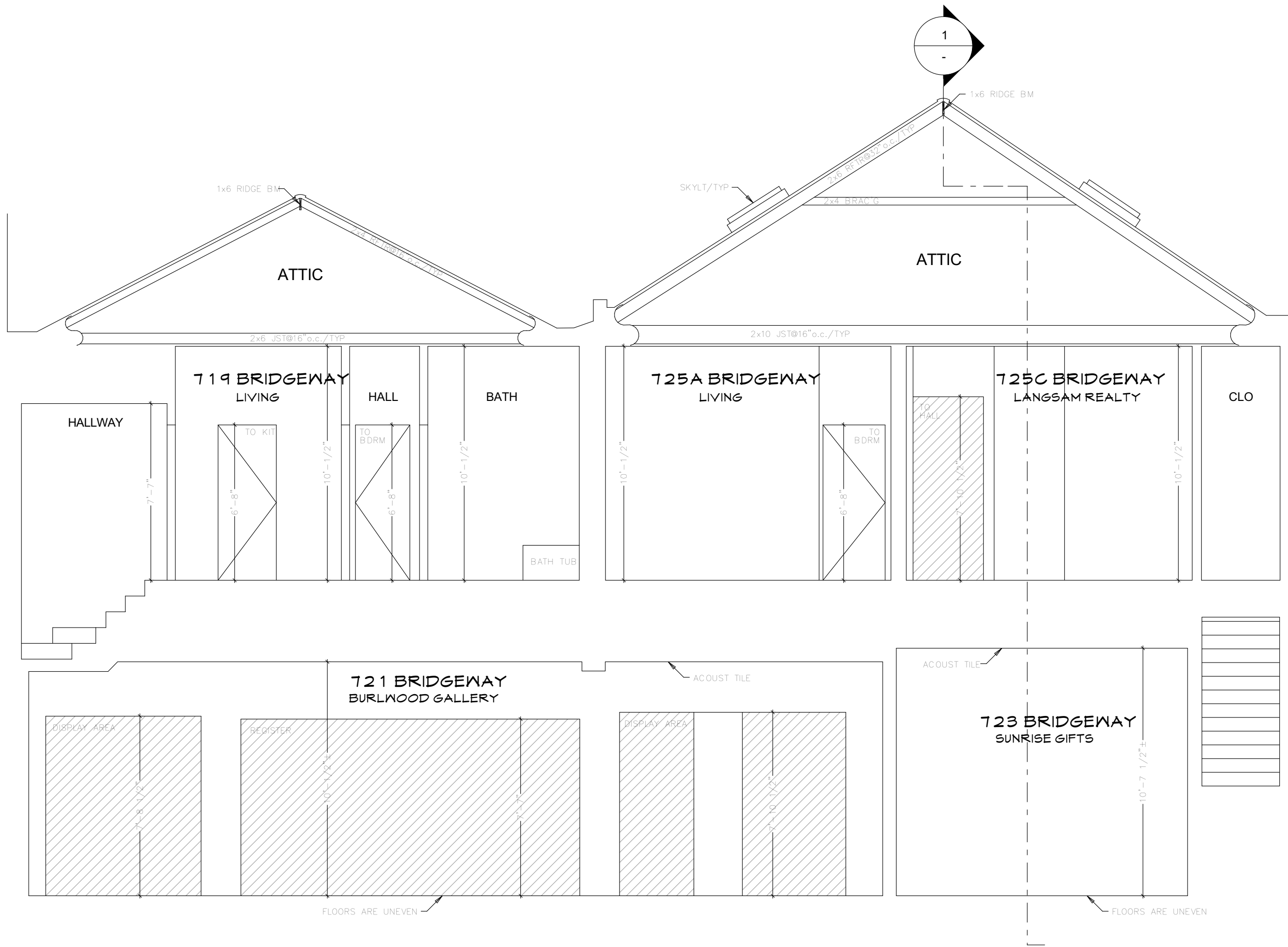
DRAWN BY: MRA
CHECKED BY: MRA
SCALE: 1/8" = 1'-0"

EXISTING BRIDGEWAY
STREETSCAPE
ELEVATION

SHEET

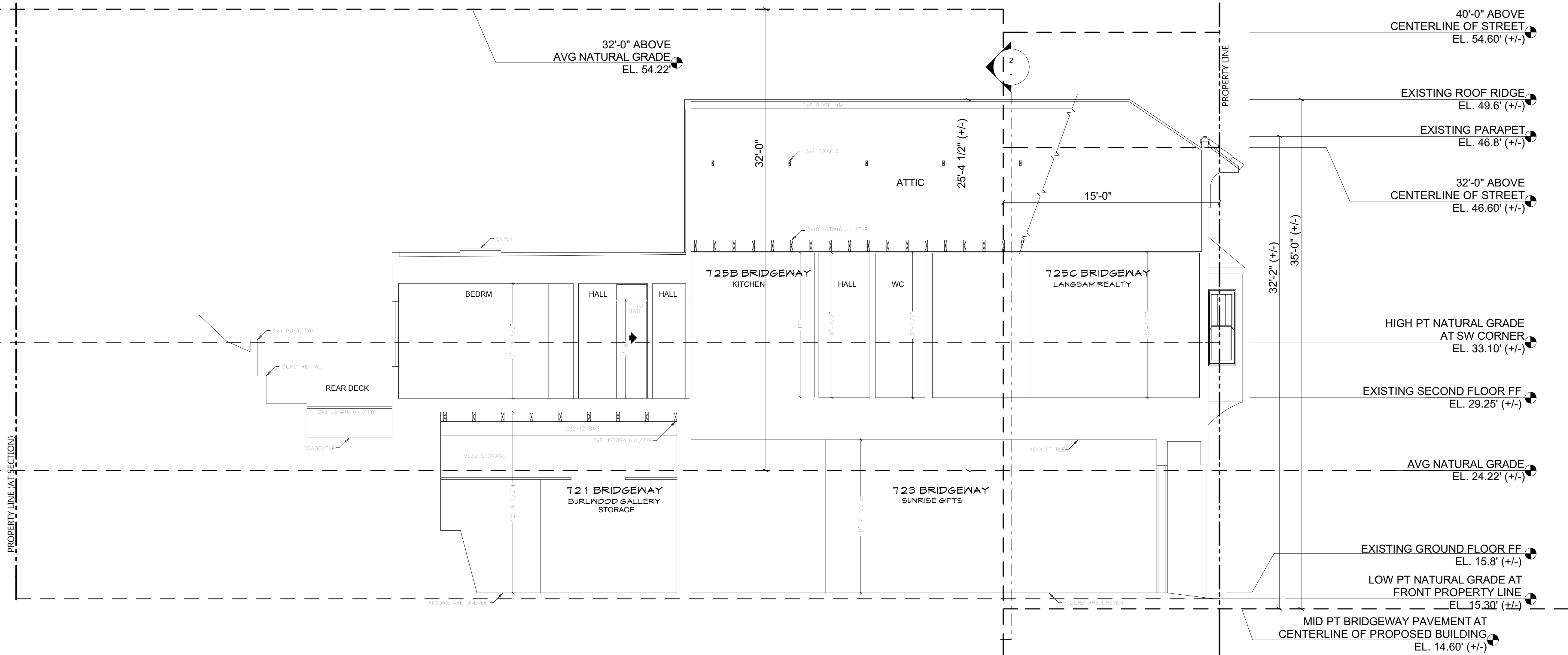
EC3.2

EXISTING BRIDGEWAY STREETSCAPE ELEVATION



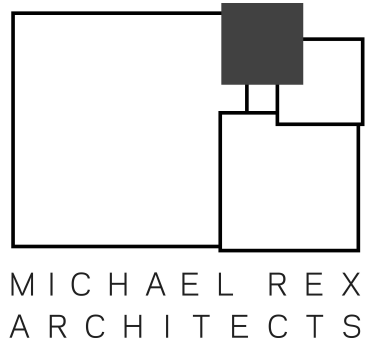
EXISTING CROSS SECTION

2



EXISTING LONGITUDINAL SECTION

1



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A NEW MIXED-USE PROJECT
LANGSAM BUILDING
719-725 BRIDGEWAY
SAUSALITO, CALIFORNIA 94965
APN 065-071-21

DATE AND DESCRIPTION
EXISTING CONDITIONS
15 MAY 2014
SCHEMATIC DESIGN
01 OCTOBER 2015
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DRAWN BY:	MRA
CHECKED BY:	MRA
SCALE:	1/4" = 1'-0"

EXISTING BUILDING
SECTIONS

SHEET

EC4.1

EXCELSIOR AVENUE

LANDS OF CONN
14 EXCELSIOR LANE
SAUSALITO, CA 94965
2007-0055254

APPROXIMATE LOCATION
OF WIRE LINE EASEMENT
FILE NO. 250-12

LANDS OF WELLS FARGO BANK
715 BRIDGEWAY
SAUSALITO, CA 94965
10 OR 7 & 21 OR 36

LANDS OF LANGSAM PROPERTISE I, LLC
719, 721, 723 & 725 BRIDGEWAY
SAUSALITO, CA 94965
20002-0044605

LANDS OF CITY OF SAUSALITO
729 BRIDGEWAY
SAUSALITO, CA 94965
190 OR 236

NOTES:

1. UNDERGROUND FACILITIES MAY EXIST. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO CONSTRUCTION. CALL U.S.A. (800) 277-2600 PRIOR TO ANY CONSTRUCTION.
2. THE PROPERTY BOUNDARY FOR THIS TOPOGRAPHIC SURVEY IS BASED ON A FIELD SURVEY PREFORMED BY ALLCO ENGINEERING, INC. A RECORD OF SURVEY IS BEING PROCESSED FOR FILING WITH MARIN COUNTY.
3. BENCHMARK, U.S.C. & G.S. TIDAL 30 MONUMENT, ON THE CONCRETE BASE OF NORTHWEST ORNAMENTAL ELEPHANT AT CITY PARK, ELEVATION 16.29, MEAN LOWER LOW WATER.
4. THIS TOPOGRAPHIC SURVEY'S ORIENTATION IS BASED ON MAGNETIC NORTH.

LEGEND

- PROPERTY BOUNDARY LINE.
- SET COPPER NAIL & TAG RCE 24059.
- SET 5/8" REBAR W/PLASTIC CAP RCE 24059.
- CONTROL POINTS.
- EXISTING CONTOUR (2' INTERVALS).
- SPOT ELEVATIONS.



Charles David Allen

TOPOGRAPHIC SURVEY

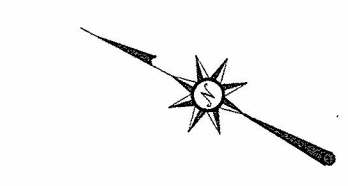
OF THE LANDS OF LANGSAM PROPERTIES I, LLC AS DESCRIBED
IN THE GRANT DEED D.N. 2002-044605, RECORDED MAY 25, 2002,
IN THE OFFICE OF THE COUNTY RECORDER OF MARIN COUNTY,
CALIFORNIA

CITY OF SAUSALITO, COUNTY OF MARIN STATE OF CALIFORNIA

ALLCO ENGINEERING, INC.
P.O. BOX 629
MILL VALLEY CA 94942-0629
PHONE: (415) 888-8202

SEPTEMBER 11, 2014
SCALE 1" = 8'

BRIDGEWAY (60' & VARIES) (FORMERLY WATER STREET)



THE MONUMENT TAG OR NAIL HAS BEEN DESTROYED AT THIS LOCATION. THE DISTANCES AND THE BEARINGS ARE TO THE APPROXIMATE CENTER OF THE CASTING.

COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS 19th DAY OF MAY, 2015.



CRAIG TACKABERY, COUNTY SURVEYOR
P.L.S. 7128, EXP. 12/31/16
BY DEPUTY

REFERENCES

- R1 EXCELSIOR TRACT, R. M. 1-134, APRIL 1, 1904.
- R2 PARCEL MAP, P.M. 15-51, AUGUST 2, 1978.
- R3 RECORD OF SURVEY, R. S. 3-3, AUGUST 21, 1961.
- R4 PARCEL MAP, P. M. 25-11, MARCH 22, 1991.
- R5 RECORD OF SURVEY, R. S. 2001-104, JUNE 18, 2001.
- R6 RECORD OF SURVEY, R. S. 2007-233, NOVEMBER 8, 2007.
- R7 P. G. & E. POLE & WIRE EASEMENT, FILE NO. 250-12, FEBRUARY 3, 1920.
- R8 GRANT DEED, 10 O.R. 7, SEPTEMBER 22, 1922.
- R9 GRANT DEED, 21 O.R. 36, JUNE 18, 1923.
- R10 GRANT DEED, 190 O.R. 236, FEBRUARY 4, 1930.
- R11 P. G. & E. EASEMENT, 1993-053361, JULY 6, 1993.
- R12 P. G. & E. EASEMENT, 1993-053366, JULY 6, 1993.
- R13 GRANT DEED, 2002-0044605, MAY 25, 2002.
- R14 QUITCLAIM DEED, 2007-0055254, SEPTEMBER 17, 2007.

LEGEND

- EXTERIOR BOUNDARY OF SURVEY.
- MONUMENT LINE.
- TIE LINE.
- FOUND CITY MONUMENTS.
- FOUND 3/4" IRON PIPE & PLASTIC PLUG, LS 6649.
- FOUND NAIL & TAG, LS 6649.
- SET BRASS NAIL & TAG, RCE 24059, IN CONC. SIDEWALK OR AS NOTED.
- SET 5/8" REBAR WITH PLASTIC CAP, RCE 24059.
- DENOTES RECORD DATA IN DISCREPANCY WITH FIELD & DATA REFERENCE.
- TOTAL.

NOTE

ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

ENGINEER'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION AND IS BASED ON FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF LANGSAM PROPERTIES I, LLC IN MAY, 2014.



Charles D. Allen, R.C.E. 21998
LICENSE EXPIRES 9/30/15

RECORDER'S STATEMENT

FILED THIS 22 DAY OF MAY, 2015, AT 8:11 A. M., IN BOOK 2015 OF MAPS, AT PAGE 77, AT THE REQUEST OF MARIN COUNTY PUBLIC WORKS.

SERIES NO. 2015-0024331 FEE \$12.00

Richard V. Benson
COUNTY RECORDER

A. R. Scloto
BY DEPUTY

APN 065-071-21

BASIS OF BEARINGS

BEARINGS ON THIS MAP ARE BASED UPON THE FOUND CITY MONUMENT AND 3/4" IRON PIPE, LS 6649, ON READE LANE, CALCULATED TO BE S 86°14'06" W, 71.25' APART, ROTATED CLOCKWISE 0°52'35" TO S87°06'41" W TO COINCIDE WITH THE DEEDS CALLS ALONG BRIDGEWAY.

BASIS OF BEARINGS

BRASS DISC, LS 5290, PER R5
(CALCULATED S 88°14'08" W 71.25' R5)

RECORD OF SURVEY

LANDS OF LANGSAM PROPERTIES I, LLC, AS DESCRIBED IN GRANT DEED DOCUMENT NO. 2002-044605, RECORDED MAY 25, 2002, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MARIN, STATE OF CALIFORNIA
CITY OF SAUSALITO, COUNTY OF MARIN AND STATE OF CALIFORNIA

SHEET 1 OF 2

ALLCO ENGINEERING, INC.
P.O. BOX 629
MILL VALLEY, CA 94942-0629
PHONE: (415) 888-8202

NOVEMBER 3, 2014
SCALE 1" = 30'

SHEET 1 OF 2

BRIDGEWAY (60' & VARIES) (FORMERLY WATER STREET)

REFERENCES

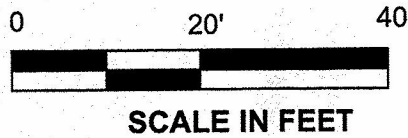
- R1 EXCELSIOR TRACT, R. M. 1-134, APRIL 1, 1904.
R2 PARCEL MAP, P.M. 15-51, AUGUST 2, 1978.
R3 RECORD OF SURVEY, R.S. 3-3, AUGUST 21, 1961.
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NOTE

ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

LEGEND

- EXTERIOR BOUNDARY OF SURVEY.
--- TIE LINE.
X SET BRASS NAIL & TAG, RCE 24059 IN CONC. SIDEWALK OR AS NOTED.
O SET 5/8" REBAR WITH PLASTIC CAP, RCE 24059.
() R DENOTES RECORD DATA IN DISCREPANCY WITH FIELD & DATA REFERENCE.
T TOTAL.



RECORD OF SURVEY

LANDS OF LANGSAM PROPERTIES I, LLC, AS DESCRIBED IN GRANT DEED DOCUMENT NO. 2002-044605, RECORDED MAY 25, 2002, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MARIN, STATE OF CALIFORNIA
CITY OF SAUSALITO, COUNTY OF MARIN AND STATE OF CALIFORNIA

ALLCO ENGINEERING, INC.
P.O. BOX 629
MILL VALLEY, CA 94942-0629
PHONE: (415) 888-8202

NOVEMBER 3, 2014
SCALE 1" = 20'

APN 065-071-21

SHEET 2 OF 2