

Central Plaza – 3440-3470 Wilshire
Boulevard
Historic Resources Technical Report
November 2018

HISTORIC RESOURCES GROUP

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This report identifies historic resources and analyzes potential impacts in conjunction with the proposed Central Plaza project (“the Project”) located on a site bordered on the north by West Wilshire Boulevard, on the east by South Mariposa Avenue, on the south by West 7th Street, and on the west by South Irolo Street. The project would demolish an existing three-story parking structure and constructing a 23-story mixed-use building and a 28-story mixed-use building on top of a podium that is four stories above grade and two stories subterranean. The Project would also add one commercial kiosk along South Irolo Street and another along South Mariposa Ave.

The purpose of this report is to determine if historic resources as defined by the California Environmental Quality Act (CEQA)¹ are present on the Project site, and, if so, to identify potential impacts to historic resources caused by the proposed Project. This report is intended to inform environmental review of the proposed Project.

Historic Resources Group (HRG) has identified one building on the Project Site that was previously found eligible for historic listing through survey evaluation. Several additional properties in the immediate vicinity of the Project Site have also been identified as eligible for historic listing. These properties are treated herein as historical resources for the purposes of CEQA.

Analysis of potential impacts to historical resources reveals that the Project will not demolish, alter or relocate any historic resource and will not result in substantial adverse changes that reduces the integrity or significance of historic resources located on or adjacent to the Project Site. Therefore, the Project will not result in significant impacts to historical resources.

¹ California PRC, Section 21084.1.

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The purpose of this technical report is to determine if historic resources as defined by the California Environmental Quality Act (CEQA)² are present on the 3440-3470 Wilshire Boulevard Project Site and, if so, to identify potential impacts to historic resources caused by the proposed Project. This report is intended to inform environmental review of the proposed Project.

Under CEQA, the potential impacts of a project on historic resources must be considered. The purpose of CEQA is to evaluate whether a proposed project may have a significant adverse effect on the environment and, if so, if that effect can be reduced or eliminated by pursuing an alternative course of action or through mitigation measures.

The impacts of a project on an historic resource may be considered an environmental impact. CEQA states that:

*A project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment.*³

Thus, an evaluation of project impacts under CEQA requires a two-part inquiry: (1) a determination of whether the project site contains or is adjacent to an historic resource or resources, and if so, (2) a determination of whether the proposed project will result in a “substantial adverse change” in the significance of the resource or resources. This report investigates the proposed Project Site to determine if historic resources exist either within or adjacent to its boundaries and analyzes Project impacts for any adverse change in the significance of such resources.

In doing so, this report provides a comprehensive review of the historic resources that could be directly impacted by development activities within the proposed Project footprint, as well as a contextual assessment of the potential historic resources that are located outside the proposed Project footprint that could be indirectly impacted.

This report contains:

- A review of the existing buildings located on, or adjacent to the Project Site.
- A review of previous evaluations of the site through historic survey, evaluation, or other official actions.

² California PRC, Sec. 21084.1.

³ Ibid.

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- Analysis and evaluation of any potential historic resources.
- Review of the required consideration of historic resources under the California Environmental Quality Act (CEQA).

This report was prepared using sources related to the Project Site's development. The following documents were consulted:

- Historic building permits for buildings on the Project Site
- Sanborn Fire Insurance maps
- Historic photographs, aerial photos, and local histories
- California State Historic Resources Inventory (HRI) for Los Angeles County
- Department of Parks and Recreation Historic Resources Inventory Forms
- Historic Los Angeles Times newspaper articles

Research, field inspection, and analysis were performed by Paul Travis, Principal; Molly Iker-Johnson, Associate Architectural Historian; and Holly Kane, Associate Historian. All are qualified professionals who meet or exceed the Secretary of the Interior's Professional Qualification Standards.

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3.1 Site Location and Description

Central Plaza, LLC (the “Applicant”) is proposing the construction of a mixed-use project at 3432, 3434, 3438, 3442, 3444, 3440, 3446, 3448, 3450, 3452, 3452 ½, 3454, 3458, 3458 ½, 3458 ¾, 3460, 3470 West Wilshire Boulevard; 659, 661, 667, 699 South Mariposa Avenue; 3265, 3281, 3287 West 7th Street; and 666, 668, 670, 675, 678 South Irolo Street, Los Angeles, California 90005/90010 (the “Property” or “Project Site”). The Property consists of eight contiguous lots bordered on the north by West Wilshire Boulevard, on the east by South Mariposa Avenue, on the south by West 7th Street, and on the west by South Irolo Street, a surface parking lot, a commercial building, and a multi-family residential building.

The Property is currently developed with four commercial office buildings with ground floor retail uses that front West Wilshire Boulevard and South Irolo Street (the “Existing Office Buildings”), a three-story parking structure, and a five-story parking structure. The Existing Office Buildings contain approximately 760,456 feet of commercial uses. The three-story parking structure contains approximately 1,191 vehicle parking spaces. The five-story parking structure contains approximately 707 vehicle parking spaces. Figure 1, below, depicts the location of the Property.

3.2 Project Overview

The mixed-use project will include approximately 641 apartment units and 18,454 square feet of commercial floor area. The project would involve demolishing the existing three-story parking structure, adding one commercial kiosk along South Irolo Street and one along South Mariposa Ave., and constructing a 23-story mixed-use building and a 28-story mixed-use building on top of a podium that is four stories above grade and two stories subterranean (the “Project”).

The 23-story mixed-use building will include approximately 280 apartment units, rooftop amenities, and commercial space (the “Tower 1”). The 28-story mixed use building will include approximately 361 apartment units, rooftop amenities, and commercial space (the “Tower 2”). Tower 1 and Tower 2 will share a podium with amenity space and four stories of above-grade and two stories of below-grade parking (the “Podium”).

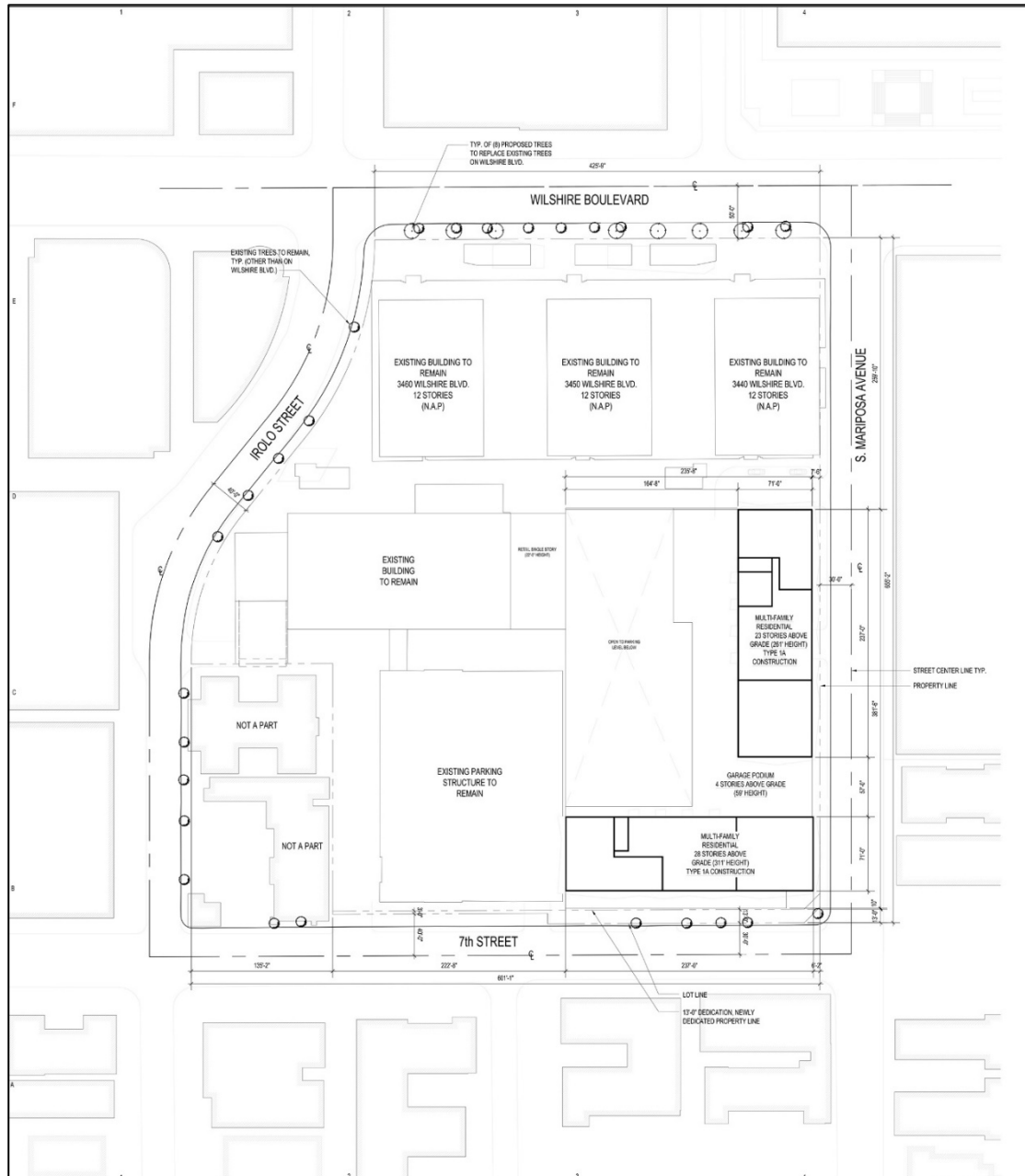
Implementation of the Project will require the demolition of the existing three-story parking structure. No residential units exist on the Property.

⁴ Description of existing conditions and the proposed project as provided by the Applicant.

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Figure 1: Site Plan



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Archival sources consulted included but were not limited to historical *Los Angeles Times* articles, historical aerial photographs, and Sanborn Insurance Co. fire insurance maps.

Contemporary planning documents were also consulted, which included the California State Historic Resources Inventory for Los Angeles County, California Department of Parks and Recreation Historic Resources Inventory Forms, and the 2009 Community Redevelopment Agency Intensive Historic Resources Survey of the Wilshire Center and Koreatown Recovery Redevelopment Area, conducted by PCR Services Corporation.

Digital Sanborn Insurance Company fire insurance maps, available through the Los Angeles Public Library, were also reviewed for the Project Site from the following years: 1907, 1913, 1919, and 1950.

Historical aerial photographs available at HistoricAerials.com were reviewed for the Project Site from the following years: 1948, 1952, 1954, 1964, 1972, 1980, 1989, 1994, 2003, 2004, 2005, 2009, 2010, 2012, and 2014.

Site inspection of the Project Site and its immediate vicinity was conducted in June 2017.

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5.1 Historic Resources under CEQA

CEQA requires that environmental protection be given significant consideration in the decision making process. Historic resources are included under environmental protection. Thus, any project or action which may cause a substantial adverse change in the significance of an historic resource is a project that also has a significant effect on the environment and shall comply with the State CEQA Guidelines.

When the California Register of Historical Resources was established in 1992, the Legislature amended CEQA to clarify which historic resources may be significant, as well as which project impacts are considered to cause a substantial adverse change in the significance of an historic resource. A “substantial adverse change” means “demolition, destruction, relocation, or alteration such that the significance of a historical resource would be impaired.”

CEQA includes in its definition of historic resources a resource listed in, or determined eligible for listing, in the California Register of Historical Resources. All properties on the California Register are to be considered under CEQA. However, because a property does not appear on the California Register does not mean it is not significant and therefore exempt from CEQA consideration. All resources determined eligible for the California Register are also to be considered under CEQA.

The CEQA statute provides that an historic resource is a resource that is:

- Listed in the California Register of Historical Resources (California Register);
- Determined eligible for the California Register by the State Historical Resources Commission; or
- Included in a local register of historic resources.

The courts have interpreted CEQA to create three categories of historic resources:

- *Mandatory historical resources* are resources “listed in, or determined to be eligible for listing in, the California Register of Historical Resources.”
- *Presumptive historical resources* are resources “included in a local register of historical resources, as defined in subdivision (k) of Section 5020.1, or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1” of the Public Resources Code, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant.

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- *Discretionary historical resources* are those resources that are not listed but determined to be eligible under the criteria for the California Register of Historical Resources.⁵

Section 15064.5 of the CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3) supplements the statute by providing two additional definitions of historical resources, which may be simplified in the following manner. An historic resource is a resource that is:

- Identified as significant in an historical resource survey meeting the requirements of Public Resources Code 5024.1 (g);
- Determined by a Lead Agency to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California. Generally, this category includes resources that meet the criteria for listing on the California Register (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852).

The fact that a resource is not listed in, or determined eligible for listing in, the California Register, not included in a local register of historic resources, or not deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, does not preclude a lead agency from determining that the resource may be an “historic resource” for purposes of CEQA.

Properties formally determined eligible for listing in the National Register of Historic Places are automatically listed in the California Register. Properties designated by local municipalities can also be considered historic resources. A review of properties that are potentially affected by a project for historic eligibility is also required under CEQA.

5.2 Historic Designations

A property may be designated as historic by National, State, and local authorities. In order for a building to qualify for listing in the National Register or the California Register, it must meet one or more identified criteria of significance. The property must also retain sufficient architectural integrity to continue to evoke the sense of place and time with which it is historically associated.

⁵ *League for the Protection of Oakland's Architectural and Historic Resources vs. City of Oakland*, 52 Cal. App. 4th 896, 906-7 (1997).

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The National Register of Historic Places is an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment.⁶ The National Park Service administers the National Register program. Listing in the National Register assists in preservation of historic properties in several ways including: recognition that a property is of significance to the nation, the state, or the community; consideration in the planning for federal or federally assisted projects; eligibility for federal tax benefits; and qualification for Federal assistance for historic preservation, when funds are available.

To be eligible for listing and/or listed in the National Register, a resource must possess significance in American history and culture, architecture, or archaeology. Listing in the National Register is primarily honorary and does not in and of itself provide protection of an historic resource. The primary effect of listing in the National Register on private owners of historic buildings is the availability of financial and tax incentives. In addition, for projects that receive Federal funding, a clearance process must be completed in accordance with Section 106 of the National Historic Preservation Act. Furthermore, state and local regulations may apply to properties listed in the National Register.

The criteria for listing in the National Register follow established guidelines for determining the significance of properties. The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of persons significant in our past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded, or may be likely to yield, information important in prehistory or history.⁷

⁶ 36CFR60, Section 60.2.

⁷ 36CFR60, Section 60.3.

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In addition to meeting any or all of the criteria listed above, properties nominated must also possess integrity of *location, design, setting, materials, workmanship, feeling, and association*.

California Register of Historical Resources

The California Register is an authoritative guide in California used by State and local agencies, private groups, and citizens to identify the State's historic resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change.⁸

The criteria for eligibility for listing in the California Register are based upon National Register criteria. These criteria are:

1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
2. Associated with the lives of persons important to local, California or national history.
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register includes the following:

- California properties formally determined eligible for (Category 2 in the State Inventory of Historical Resources), or listed in (Category 1 in the State Inventory), the National Register of Historic Places.
- State Historical Landmarks No. 770 and all consecutively numbered state historical landmarks following No. 770. For state historical landmarks preceding No. 770, the Office of Historic Preservation (OHP) shall review their eligibility for the California Register in accordance with procedures to be adopted by the State Historical Resources Commission (commission).

⁸ California PRC, Section 5023.1 (a).

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- Points of historical interest which have been reviewed by the OHP and recommended for listing by the commission for inclusion in the California Register in accordance with criteria adopted by the commission.⁹

Other resources which may be nominated for listing in the California Register include:

- Individual historic resources.
- Historic resources contributing to the significance of an historic district.
- Historic resources identified as significant in historic resources surveys, if the survey meets the criteria listed in subdivision (g).
- Historic resources and historic districts designated or listed as city or county landmarks or historic properties or districts pursuant to any city or county ordinance, if the criteria for designation or listing under the ordinance have been determined by the office to be consistent with California Register criteria.
- Local landmarks or historic properties designated under any municipal or county ordinance.¹⁰

Local Designation Program

The City of Los Angeles Cultural Heritage Ordinance, enacted in 1962, allows for the designation of buildings and sites as individual local landmarks in the City of Los Angeles. These landmarks are known as “Historic-Cultural Monuments.”

Section 22.171.7 of Article 1, Chapter 9, Division 22 of the City of Los Angeles Administrative Code defines a Historic-Cultural Monument as “any site (including significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City of Los Angeles.” A proposed Monument may be designated by the City Council upon the recommendation of the Cultural Heritage Commission if it meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
2. Is associated with the lives of historic personages important to national, state, city, or local history; or

⁹ California PRC, Section 5023.1(d).

¹⁰ California PRC, Section 5023.1(e).

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3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

Designation recognizes the unique architectural value of certain structures and helps to protect their distinctive qualities. Any interested individual or group may submit nominations for Historic-Cultural Monument status. Buildings may be eligible for Historic-Cultural Monument status if they retain their historic design and materials. Those that are intact examples of past architectural styles or that have historical associations may meet the criteria listed in the Cultural Heritage Ordinance.

5.3 Historic Districts

Standard preservation practice evaluates collections of buildings from similar time periods and historic contexts as historic *districts*. The National Park Service defines a historic district as “a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.”¹¹ A historic district derives its significance as a single unified entity.

Resources that have been found to contribute to the historic identity of a district are referred to as *district contributors*. Properties located within the district boundaries that do not contribute to its significance are identified as *non-contributors*.

5.4 SurveyLA

The Project Site is located within the City of Los Angeles, which has been subject to a citywide historic resources survey known as SurveyLA. SurveyLA, the Los Angeles Historic Resources Survey, is the City’s comprehensive program to identify and document potential historic resources throughout the City of Los Angeles. SurveyLA is intended to provide baseline information on historic resources to inform planning decisions and support City policy goals and processes.¹²

As part of SurveyLA, the Office of Historic Resources has developed a Historic Context Statement (HCS) to provide a framework for identifying and evaluating potential historic resources within the City of Los Angeles. The HCS utilizes the Multiple Property Documentation (MPD) format developed by the National Park Service for the National Register of Historic Places and complies with the standards and guidelines set forth by

¹¹ *National Register Bulletin 15*. (5)

¹² “SurveyLA Findings and Reports,” SurveyLA: Los Angeles Historic Resources Survey, <https://preservation.lacity.org/survey-la-findings-and-reports> (accessed July 2018). Resources identified through SurveyLA are not designated resources; designation is a separate process that requires public hearings and property owner notification.

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the National Park Service and the California Office of Historic Resources.¹³ This approach organizes the themes, trends, and patterns of history shared by properties into historic contexts; identifies and describes historic resources or property types that represent the contexts; and provides specific standards to guide the evaluation of significance. The SurveyLA HCS is organized into nine broad historical contexts, which are specific to Los Angeles and focus on the development of the City during the period dating from 1780 to 1980, and further subdivided into themes and sub-themes that reflect the various historical trends and patterns of events associated with each context.¹⁴

Some parts of Los Angeles were surveyed concurrent with SurveyLA under the direction of the Community Redevelopment Agency (CRA) and were not reevaluated by SurveyLA.¹⁵ The subject property at falls within the boundaries of the Hollywood Redevelopment Project Area (as described below) and therefore is located outside the area examined by SurveyLA during the field survey process.

5.5 Historic Significance and Integrity

Historic Significance

The definition of historic significance used by the California Office of Historic Preservation (OHP) in its administration of the California Register is based upon the definition used by the National Park Service for the National Register.

Historic significance is defined as the importance of a property to the history, architecture, archaeology, engineering, or culture of a community, state, or the nation.¹⁶ It is achieved in several ways:

- Association with important events, activities or patterns
- Association with important persons
- Distinctive physical characteristics of design, construction, or form
- Potential to yield important information

¹³ "Historic Context," SurveyLA: Los Angeles Historic Resources Survey, https://preservation.lacity.org/sites/default/files/SurveyLA_HistoricContextStatementOutline_July2018.pdf (accessed July 2018).

¹⁴ "Los Angeles Historic Context Statement, Context Outline," SurveyLA: Los Angeles Historic Resources Survey, https://preservation.lacity.org/sites/default/files/SurveyLA_HistoricContextStatementOutline_July2018.pdf (accessed July 2018).

¹⁵ "SurveyLA Findings and Reports," SurveyLA: Los Angeles Historic Resources Survey, <https://preservation.lacity.org/survey-la-findings-and-reports> (accessed July 2018).

¹⁶ *National Register Bulletin 16A. How to Complete the National Register Registration Form*. Washington D.C.: National Park Service, U.S. Department of the Interior, 1997, p. 3.

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A property may be significant individually or as part of a grouping of properties.

Historic Integrity

Historic integrity is the ability of a property to convey its significance and is defined as the “authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s historic period.”¹⁷ The National Park Service defines seven aspects of integrity: *location*, *design*, *setting*, *materials*, *workmanship*, *feeling*, and *association*. These qualities are defined as follows:

- *Location* is the place where the historic property was constructed or the place where the historic event took place.
- *Design* is the combination of elements that create the form, plan, space, structure, and style of a property.
- *Setting* is the physical environment of a historic property.
- *Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- *Feeling* is a property's expression of the aesthetic or historic sense of a particular period of time.
- *Association* is the direct link between an important historic event or person and a historic property.¹⁸

¹⁷ Ibid., p. 3.

¹⁸ *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*. Washington D.C.: National Park Service, U.S. Department of Interior, 1995.

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6.1 Site Development History

The Project Site contains a mixed-use commercial building at 3440-60 Wilshire Boulevard; a second commercial office building located to the rear of 3440-2460 Wilshire (address 3470 Wilshire Boulevard); and two parking structures. The entire complex was constructed between 1951 and 1967 by the Tishman Realty & Construction Company and was referred to when developed as “Tishman Plaza.”

Prior to the construction of Tishman Plaza, the block bounded by Wilshire Boulevard, 7th Street, Irolo Street and Mariposa Street was largely undeveloped and for many years operated as a driving range.¹⁹ According to the 1921 Sanborn Map, the driving range property was bordered to the west by residential parcels facing Irolo Street. Commercial billboards lined the Wilshire Boulevard frontage and two single-family homes were located at the southwest corner of Wilshire Boulevard and Irolo Street.

In 1950, most of the block, save for the residential properties facing Irolo Street, were acquired by Tishman Realty & Construction Company, Inc. Tishman Realty was founded in 1898 in New York City; the Wilshire Boulevard acquisition represented Tishman Realty’s first development foray outside New York.²⁰

Construction of an office complex of three identical 12-story office towers unified by a ground-level podium began in 1951 and was completed in 1952. Each tower was identified by separate addresses at 3440, 3450 and 3460 Wilshire Boulevard. The office complex was set back from Wilshire Boulevard behind a linear landscaped ground-level plaza. Tishman Realty located their Los Angeles offices on site.

The office complex was designed by acclaimed Los Angeles architect Claud Beelman in a stripped-down architectural style that incorporated the simple rectilinear geometry; concrete, steel and glass construction; and lack of decorative detailing associated with International Style architecture and its American post-WWII variant “Corporate Modern.” It represents a very early example of Corporate Modern architecture in Los Angeles.

3440-60 Wilshire was purchased by Prudential Insurance Company of America in 1952 and leased back to Tishman for its continued operation. Between 1952 and 1954, the northwestern corner of the site was altered when Normandie Avenue was extended across Wilshire Boulevard curving west to join with Irolo Street.

¹⁹ “What Happened on Wilshire Blvd.? A Firm Named Tishman Arrived,” *Los Angeles Times*, April 9, 1967, O1.

²⁰ “Prudential Purchases All of Tishman Plaza,” *Los Angeles Times*, September 16, 1973, J1.

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Construction of two parking structures and an additional 11-story commercial office building, located south of 3440-60 Wilshire Boulevard, was completed in 1967.²¹ The additional office building was designed by the powerhouse architecture and engineering firm of Charles Luckman & Associates in a Corporate Modern style. Although it was technically constructed south of Wilshire Boulevard along the Irolo Street frontage, the 12-story commercial building was assigned a 3470 Wilshire Boulevard address in keeping with the addressing system of the Tishman Plaza property. A triangular plaza with decorative fountain was constructed along the Irolo Street frontage between the new building and Wilshire Boulevard. A “promenade” with terra-cotta pavers and planters faced with ebony tile was also constructed on the south side of 3440-60 Wilshire to link the four commercial buildings and parking structures.²²

Prudential Insurance had acquired the remaining Tishman land holdings and financed the Tishman Plaza expansion of the 1960s. In 1973, Prudential Insurance acquired all of Tishman’s remaining interests in Tishman Plaza including long-term leaseholds and re-named the complex “Mid-Wilshire Plaza.” At the time of the acquisition, the Los Angeles Times described the complex as “three 12-story buildings and an 11-story structure, a 2,200-car parking facility, and a pedestrian mall of retail shops and restaurants, all valued at \$20 million.”²³

Since its completion in the late 1960s, there has been little change to the Tishman Plaza property save for alterations to the plaza landscaping, the addition of a canopy structure over the ground-floor level of 340-60 Wilshire Boulevard in the 1980s, storefront alterations at the ground-floor levels, interior alterations, and systems upgrades.

6.2 Tishman Realty & Construction Company

The Tishman Realty & Construction company was originally created in 1898 by Julius Tishman as “Julius Tishman & Sons.” The Tishmans began their business by acquiring existing properties in New York City, refurbishing them and leasing them. Their success soon enabled the financing of new development as well. The company went public in 1928 as Tishman Realty & Construction, which developed, constructed and managed real estate.

Leadership of the firm was taken over by Julius Tishman’s son David. David’s son Robert Tishman later took leadership and oversaw the firm’s rapid expansion beyond New York City after World War II. By the 1960s, the company had substantial

²¹ “Prudential Purchases All of Tishman Plaza,” *Los Angeles Times*, September 16, 1973, J1.

²² “Promenade at Tishman Plaza Started,” *Los Angeles Times*, December 31, 1967, H2.

²³ “Prudential Purchases All of Tishman Plaza,” *Los Angeles Times*, September 16, 1973, J1.

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operations in Los Angeles, Philadelphia, Chicago, San Francisco, St. Louis and Cleveland.²⁴

The initial development of Tishman Plaza spurred major commercial development in the surrounding area along Wilshire Boulevard and the area became popularly referred to as “Wilshire Center.” Since their initial acquisition of the Wilshire Boulevard property in 1950, Tishman Realty established a substantial presence in Los Angeles, developing additional commercial properties near Los Angeles International Airport, Westwood and Downtown Los Angeles as well as in Wilshire Center. After the full acquisition of Tishman Plaza by Prudential Insurance in 1973, Tishman Realty relocated their Los Angeles offices to their newly developed building at 10960 Wilshire Boulevard in Westwood.²⁵

6.3 Architect Claud Beelman

3440-60 Wilshire Boulevard was designed by acclaimed Los Angeles architect Claud Beelman. 3440-60 Wilshire Boulevard is a notable early example of the Corporate Modern architectural style which would quickly become the dominant architectural style for commercial and institutional architecture of the mid-20th century.

Claud Beelman (1884-1963) was born and received his early education in Bellefontaine, Ohio. In 1905 he reportedly received the Harvard Scholarship awarded by the Architectural League of America, but other details of his education are unknown. After working in various cities of the Midwest from 1914-21, he came to Los Angeles and formed a partnership with Alexander Curlett, which continued until 1932. Beelman then established his own firm and continued to practice in the Los Angeles area until shortly before his death in the early 1960s.

Early in his career, Beelman designed buildings mainly in traditional revival styles. It wasn't until he began to work on his own that he would experiment and become proficient with more modern styles including Art Deco, Classical Moderne and Corporate Modern from the 1930s through the 1950s. Throughout his career, Beelman's works are significant for their high level of quality in design and materials. Over a thirty-five-year span, his buildings show how he was able not only to learn the lessons of each period and style he worked in, but also to excel within and make a significant contribution to each.²⁶

²⁴ Sutherland, Henry, “What Happened on Wilshire Boulevard? A Firm Named Tishman Arrived,” *Los Angeles Times*, April 9, 1967, O1.

²⁵ “Tishman Now Headquartered in Westwood,” *Los Angeles Times*, March 10, 1974, G26.

²⁶ Historic Resources Group, *The Superior Oil Building: Historic Preservation Certification Part 1* February 7, 2001, 16

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In 1928, although his partnership with Curlett had not yet ended, Beelman began to design major buildings on his own, including four major buildings in downtown Los Angeles between 1928 and 1930: the Garfield Building (1928-30) at 408 West Eighth Street; the Ninth and Broadway Building (1929); the Banker's Building (1930) at 629 South Hill Street; and the Eastern-Columbia Building (1930). These buildings established Beelman as a master of the Art Deco style.

After forming his own firm in 1932, Beelman's career continued to flourish. Notable buildings designed by Beelman during the 1930s include the Hollywood Wilcox Post Office (1937); the Thalberg Administration Building on the MGM Studios (now MGM/Sony) lot in Culver City (1938-39); and the redesign of the Los Angeles Philharmonic Hall on Pershing Square (1938); which has since been demolished. Each of these represent Beelman's shift from the more flamboyant, Art Deco style to the more restrained Moderne, which he would continue to use throughout the 1940s.

Between 1950 and his death in 1963, Beelman shifted to the more severe aesthetics of the Corporate Modern style. Major office buildings designed by Beelman include the Superior Oil Building (1953) and the United California Bank Tower (1957), both in downtown Los Angeles; and the Occidental Petroleum building in Westwood (1961). By this time all decoration had vanished although an emphasis on vertical piers and shafts echoes Beelman's 1930s forms.

Beelman remained professionally active until his death in 1963. For nearly fifty years he specialized in various modern styles that were currently fashionable while staying within the modern idiom.

6.4 Charles Luckman & Associates

3470 Wilshire Boulevard was designed by Charles Luckman & Associates in a Corporate Modern style that had become standard for commercial office buildings in the United States at the time of its construction in 1967. Architect Charles Luckman (1909-1999) is remembered not only as a visionary in the practice of architecture and construction but also for the extraordinary path he took to become one of Los Angeles' most famous architects.

Born in Kansas City, Luckman grew up wanting to become an architect, and trained at the University of Illinois where he was a member of Professional Engineering Fraternity Theta Tau. Unable to find architectural commissions during the Great Depression, Luckman entered sales at the Colgate-Palmolive-Peet Company (where his marketing techniques were credited with quadrupling profits) and he rapidly ascended the corporate ladder. Luckman became known as the "Boy Wonder of American Business," was featured on the cover of Time Magazine at age 27, and by age 33 he had become

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the president of Pepsodent Toothpaste Company. Ultimately, when Lever Brothers acquired Pepsodent, Luckman became Lever's president.

Luckman helped plan Lever Brother's New York skyscraper, Lever House, one of the first sealed glass towers that began the curtain wall trend, and one of the first glass skyscrapers in Manhattan. Designed by the architectural firm of Skidmore, Owings and Merrill, the tower was completed in 1956 and remains a landmark of the International Style. This experience reminded Luckman of his passion for architecture, and he resigned the Lever presidency and moved to Los Angeles to start an architecture firm with fellow University of Illinois graduate William Pereira in 1950.

During his partnership with Pereira, Luckman told clients that he was the businessman while Pereira was the architect. Luckman was successful in bringing large-scale projects to the firm, including CBS' Television City in 1953. The firm became known for solving big architectural problems and addressed a series of unprecedented programmatic challenges. Luckman and Pereira split in 1958, and Luckman formed his own firm, Charles Luckman Associates. His new firm would design many notable structures in Los Angeles and around the country. "Luckman can look down and reflect that he, as much as anyone, has had a marked influence on this city's skyline."²⁷

Some of Luckman's prominent Los Angeles-area buildings include 9200 Sunset Boulevard (Luckman Plaza) (1964), Century Park East Condominiums, Century City (1966), The Forum, Inglewood (1967) the Federal Building, West Los Angeles (1969), the Los Angeles Convention Center (1971) (now the West Hall), Aon Center, Los Angeles (1974) and the Arco Center Towers, Long Beach (1983).²⁸

While Luckman asserted that his buildings did not conform to a single architectural style, architects credit Luckman for adhering closely to the functionalist creed of modern design. Luckman was also known in the architectural world for his unique approach of designing projects to suit the client's taste and needs rather than creating designs based only on the singular vision of the architect.

In addition to his architecture and business pursuits, Luckman has a notable record of public service and was the director of Freedom Train – part of President Truman's program for rebuilding Europe after World War II. In recognition for his work, Luckman was awarded France's Legion of Honor, England's Order of St. John and Italy's

²⁷ "About the Architect," *Los Angeles Times*, July 11, 1971.

²⁸ Additional projects listed in the Charles Luckman Chronology below.

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Star of Solidarity. An active supporter of public service, Luckman served on the California State Board of Trustees from 1960-1982 and chaired the board twice.

In Los Angeles, Luckman was the chairman of the board of councilors at the Brain Research Institute at UCLA and president of the Los Angeles Ballet. In 1994, Luckman dedicated the Charles and Harriet Luckman Fine Arts Complex at California State University in East Los Angeles, established with a donation of \$2.1 million. Luckman also penned a detailed autobiography of his life and accomplishments at the age of 79: Twice in a Lifetime -- From Soap to Skyscrapers. Luckman passed away in Los Angeles in 1999.

6.5 Corporate International Architecture

The two commercial buildings located on the Project Site are examples of the “Corporate Modern” architectural style, also commonly referred to as “Corporate International.” The Corporate International style is a post-World War II architectural esthetic that developed out of pre-war European Modernism which emerged in the 1920s with the architectural work of Le Corbusier in France, and Walter Gropius and Ludwig Mies van der Rohe in Germany. These architects, along with others in Austria and the Netherlands, codified a uniquely 20th century philosophy that stressed rationality, logic, and a break from western architectural traditions.

The United States became a stronghold of Modern architecture after the emigration of Gropius, Mies van der Rohe, and Marcel Breuer. Two Austrian emigrants, Richard Neutra and Rudolph Schindler, helped introduce modern architecture to Southern California in the 1920s. Their buildings were minimalist in concept, stressed functionalism, and were devoid of regional characteristics and nonessential decorative elements. In 1932, the Museum of Modern Art hosted an exhibit, titled simply “Modern Architecture,” that featured the work of fifteen architects from around the world whose buildings shared a stark simplicity and rigorous functionalism. The term “International Style” was coined by Henry Russell Hitchcock and Philip Johnson to describe the emerging architectural style in their exhibit catalog.

The early impact of the International Style in the United States was primarily in the fields of residential and small-scale commercial design. The economic downturn of the Depression, followed by World War II, resulted in little architectural development during this period. It was not until the postwar period that Americans embraced Modernism, and its full impact on the architectural landscape is observed. Two trends emerged after World War II. The first emphasized the expression of the building’s function, following the early work of Walter Gropius, who created innovative designs that borrowed materials and methods of construction from industrial technology. He

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advocated for industrialized building and an acceptance of standardization and prefabrication. Gropius introduced a screen wall system that utilized a structural steel frame to support the floors and which allowed the external glass walls to continue without interruption.

The second postwar trend in the International Style is represented by Mies van der Rohe and his followers. Within the Miesian tradition there are three subtypes: the glass and steel pavilion, modeled on Mies' design for the Barcelona Pavilion (1929); the skyscraper with an all-glass curtain wall like his Seagram Building (1954) in New York City; and the modular office building like his design for Crown Hall (1955) at the Illinois Institute of Technology (IIT). While "form follows function" was the mantra of Gropius, "less is more" was the aphorism of Mies. He focused his efforts on the idea of enclosing open and adaptable "universal" spaces with clearly arranged structural frameworks, featuring pre-manufactured steel frames spanned with large sheets of glass.

Corporate International drew from International Style and Miesian precedents, celebrating an expression of structure and functionality in outward appearance. Embraced whole-heartedly in postwar Los Angeles, Corporate International was the predominant style of large-scale corporate office buildings from the late 1940s until the late 1960s. Practitioners of the style embraced new construction techniques which allowed for large expanses of glass, visually broken by strong horizontal or vertical divisions of steel or concrete.

6.6 Associated SurveyLA Themes and Eligibility Standards

SurveyLA, the Los Angeles Historic Resources Survey has developed a Historic Context Statement (HCS) that provides a framework for evaluating potential historic resources in the City of Los Angeles. The SurveyLA HCS is organized into nine broad historical contexts, which are specific to Los Angeles and focus on the development of the City during the period dating from 1780 to 1980, and further subdivided into themes and sub-themes that reflect the various historical trends and patterns of events associated with each context.²⁹

The Project Site was developed between 1951 and 1967 with commercial office buildings and associated parking with buildings designed in a Corporate International architectural style. Corporate office buildings from the mid-20th century have been identified in the SurveyLA HCS as a potentially significant property type for their association with post-World War II commercial development in Los Angeles.

²⁹ "Los Angeles Historic Context Statement, Context Outline," SurveyLA: Los Angeles Historic Resources Survey, https://preservation.lacity.org/sites/default/files/SurveyLA_HistoricContextStatementOutline_July2018.pdf (accessed July 2018).

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Additionally, examples of Corporate International architecture have been identified in the SurveyLA HCS as potentially a significant for their association with Modernist architectural design in Los Angeles. As a result, the following SurveyLA contexts and themes have been identified for their association with the history and development of the Project Site.

Context: Commercial Development 1850-1980

Theme: The Rise of Corporations and Corporate Types

Sub Theme: High-Rise Corporate Office Buildings, 1945-1975

Eligibility Standards:

- Developed during the period of significance
- Designed to house a major corporation as a national or regional headquarters

Character Defining/Associative Features:

- Retains most of the essential character-defining features of the type from the period of significance
- Large-scale building mass (50,000 square feet and larger) and tall enough to stand out in its setting
- Parking incorporated into the complex, either subterranean or a separate adjacent structure or lot
- Public areas such as lobbies, restaurants, and retail shops
- May be significant as a type for its association with a corporation
- Exemplifies a L.A. Modernism theme within the Architecture and Engineering context and the work of noted architects/designers
- Associated corporation/developer may be significant in the commercial history of Los Angeles.

Context: Architecture and Engineering 1850-1980

Sub Context: L.A. Modernism 1919-1980

Theme: Post-War Modernism, 1946-1976

Sub Theme: Corporate International, 1945-1975

Eligibility Standards:

- Was constructed during the period of significance

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- Retains the essential character defining features of Corporate Modernism from the period of significance
- Exhibits quality of design through distinctive features

Character-Defining/Associative Features:

- Box-shaped form
- Constructed of concrete, steel and glass
- Flat roofs, either with flush eaves or cantilevered slabs
- Horizontal bands of flush, metal-framed windows, or curtain walls
- Lack of applied ornament
- Articulated ground story, often double-height and set back behind columns or pilotis
- Integral parking lot, either subterranean or above grade
- Landscaped plaza or integral plantings at ground floor
- Original use may have changed
- Citywide, with concentrations in Downtown, Wilshire Corridor, Century City, and communities largely developed in the post-World War II era, such as those in the South Bay (Playa del Rey, Westchester) and the San Fernando Valley.
- Retains the essential character defining features of Corporate Modernism from the period of significance

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Properties located within the Project Site boundary and immediately adjacent to the Project Site, are examined in the following analysis for the purposes of identifying potential historical resources.

The Project Site and immediately surrounding area were most recently subject to intensive historic resources survey in 2009 by PCR Services Inc. for the Los Angeles Community Redevelopment Agency (CRA).³⁰ The 2009 survey findings are used as a baseline for this investigation.

7.1 Previously Identified Historic Resources on the Project Site

3440-3460 Wilshire Boulevard

3440-60 Wilshire Boulevard was constructed by the Tishman Realty and Construction Company in 1952. It was designed by celebrated Los Angeles architect Claud Beelman in the Corporate Modern style, it is one of the earliest examples of post-World War II Corporate Modern architecture in Los Angeles.

Set behind a flat, landscaped plaza fronting Wilshire Boulevard, the building is a tripartite composition of three identical 12-story office towers aligned horizontally above a shared podium base. The ground-floor features recessed, glazed storefronts and building entries. Building facades are clad in sections of cast-stone panels and contrasting curtain walls consisting of horizontal bands of flush metal-framed windows alternating with horizontal bands of dark spandrel glass.

3440-60 Wilshire Boulevard, was found eligible for listing in the National Register through survey evaluation in 2009.³¹ The building was found eligible as an excellent example of early Corporate Modern architecture and as a representative work of master Los Angeles architect Claud Beelman. It is treated herein as a historical resource for the purposes of CEQA.

Since its original construction, the ground floor has been altered with an added canopy and projecting entry pavilions. The front plaza has also been redesigned. Despite these alterations, the majority of the building remains intact and retains sufficient integrity to convey its historic significance.

³⁰ *Intensive Historic Resources Survey of the Wilshire Center and Koreatown Recovery Redevelopment Area, 2009*

³¹ The 2009 Wilshire Center and Koreatown Recovery Redevelopment Area CRA Intensive Historic Resources Survey assigned a status code of 3S or "Appears eligible for NR as an individual property through survey evaluation."

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3470 Wilshire Boulevard

3470 Wilshire Boulevard opened on April 1, 1967.³² It was constructed as part of the 1960s expansion of Tishman Plaza which also included the construction of two parking structures.

3470 Wilshire Boulevard was designed in a Corporate International style by the Los Angeles firm of Charles Luckman & Associates. The 11-story steel and concrete building is rectangular in plan with a flat roof. It consists of a rectangular office tower set above a recessed ground-floor. Tower facades are articulated with vertical concrete piers separating curtain wall expanses of alternating bands of windows and spandrel glass. Set back from Wilshire Boulevard, the building is located to the rear of 3440-60 Wilshire Boulevard on a small diagonal extension of Normandie Avenue to Irolo Street. A triangular plaza with a fountain extends from the street north of the building.

3470 Wilshire Boulevard was not identified as eligible for historic listing in the 2009 CRA Historic Resources Survey for Wilshire Center and Koreatown and has otherwise not been previously identified as historically significant. It is evaluated below using the relevant SurveyLA contexts, themes and eligibility standards identified in Section 6.6 of this report.

Context: Commercial Development 1850-1980

Theme: The Rise of Corporations and Corporate Types

Sub Theme: High-Rise Corporate Office Buildings, 1945-1975

Eligibility Standards:

- *Developed during the period of significance*
- *Designed to house a major corporation as a national or regional headquarters*

Developed in 1967, 3470 Wilshire Boulevard was constructed during the period of significance established under the High-Rise Corporate Office Buildings sub-theme. No evidence was uncovered to suggest that it was specifically designed to house a major corporation as a national or regional headquarters. Instead, 3470 Wilshire Boulevard was constructed as infill to expand leasable space at Tishman Plaza and has hosted multiple tenants throughout its operation. Therefore, 3470 Wilshire Boulevard does not

³² "What Happened on Wilshire Blvd.? A Firm Named Tishman Arrived," *Los Angeles Times*, April 9, 1967, O1. The Certificate of Occupancy was issued on June 14, 1967.

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meet the eligibility standards established by SurveyLA under the High Rise Corporate Office Buildings sub-theme.

Context: Architecture and Engineering 1850-1980

Sub Context: L.A. Modernism 1919-1980

Theme: Post-War Modernism, 1946-1976

Sub Theme: Corporate International, 1945-1975

Eligibility Standards:

- Was constructed during the period of significance
- Retains the essential character defining features of Corporate Modernism from the period of significance
- Exhibits quality of design through distinctive features

Developed in 1967, 3470 Wilshire Boulevard was constructed during the period of significance. It has also retained the essential character-defining features of the Corporate International style including a rectangular, box-shaped form; steel, glass and concrete construction; curtain walls; and a ground floor set back behind pilotis.

The building, however, does not appear to be an excellent or particularly distinguished example of the Corporate International style and does not exhibit a high-quality design through distinctive features. A simple composition of curtain walls separated by symmetrically arranged vertical concrete piers, 3470 Wilshire Boulevard appears to have been designed in deference to the existing 1952 Claud Beelman building using a standard design template.

Although Charles Luckman is undoubtedly a significant person and his firm made a significant contribution to Los Angeles' built environment, he is primarily characterized as a businessman more than an architect. William Pereira ultimately ended their partnership because he did not approve of Luckman's determination to expand the firm, and felt that architecture could not be "managed in a bureaucratic fashion, but should be rendered with craft by the architect."³³ When their partnership ended in 1958, William Pereira stated, "It is my conviction that I should limit the number of projects which my associates and I hope to undertake to those which we can contribute the most and which we can follow through personally from beginning to end."³⁴

³³ Rubin, Elihu James. *Insuring the City: The Prudential Center and the Reshaping of Boston*, "Dissertation, University of California, Berkeley, 2004. (256)

³⁴ Rubin. (257)

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In a 1954 interview with *New Yorker* magazine, Luckman reinforced the idea of architect as businessman:

*I am firm in my belief that architecture is a business, and not an art. . . . I handle the programming of a job. I organize it. What is the problem? What is the client trying to achieve? If we do a project that is mostly engineering, I staff it with engineers. If it is mostly architectural, I staff it with architects.*³⁵

In 1962, *Time Magazine* ran a profile of Luckman that took this one step further, and included criticism from other architects: “‘He is successful,’ says one top Chicago architect coolly, ‘because he produces anonymous architecture in a prescribed time and at the least cost and fuss to his clients.’”³⁶ The *Time* article referred to his architecture as “mass production, coming off the assembly lines.” A 1968 *Business Week* article declared that Luckman “sold architecture the way he sold soap: in bulk.”³⁷ Luckman ultimately became known in the architectural world for designing projects to suit the client’s taste and needs rather than creating designs based on the singular vision of the architect.

Given the context of Los Angeles where Corporate International architecture proliferated during the 1950s and 60s, 3470 Wilshire Boulevard does not appear to be a particularly notable example of the Corporate International style. Outside of its architectural associations, no other important historic associations have been uncovered. For these reasons, the building does not appear eligible for listing as a historic resource and is not treated here as a historical resource for the purposes of CEQA.

7.3 Previously Identified Historic Resources Located Adjacent to the Project Site

682 Irolo Street (Piccadilly Apartments)

Located at the southwest edge of the Project Site at 682 Irolo Street, the Piccadilly Apartments building is an eight-story, multi-family residential building constructed in 1929. It was designed by architect Milton Friedman in a Chateausque architectural style. The building is H-shaped in plan, with deep light wells on the north and south facades. The primary, west-facing façade features a central, projecting eight-story volume with pyramidal roof, roof towers, balconies, quoins and a recessed, tripartite arched entry.

The Piccadilly Apartments have been found eligible for listing in the National Register through survey evaluation in 2009. The majority of the building’s original features

³⁵ “Repeat Performance,” *New Yorker*, August 28, 1954. (16)

³⁶ “Corporations: The Second Time Around,” *Time*, March 30, 1962.

³⁷ “He Sells Architecture the Way He Sold Soap,” *Business Week*, October 28, 1967. (78)

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appear to remain intact and the building retains sufficient integrity to convey its historic significance. The building is treated as a historical resource herein for the purposes of CEQA.³⁸

Normandie-Mariposa Apartment Historic District

The Normandie-Mariposa Apartment Historic District is a grouping of apartment buildings occupying both sides of Normandie Avenue and Mariposa Avenue between 7th Street and 8th Street, immediately south of the Project Site. In 1994, the Normandie-Mariposa Apartment Historic District was determined eligible for the National Register by consensus through Section 106 process, and is therefore listed in the California Register.³⁹

The historic district contains twenty-one contributing apartment buildings constructed between 1920 and 1931. The majority of the historic district's contributing buildings appear to remain intact and the historic district retains sufficient integrity to convey its historic significance. Because it is listed in the California Register, the historic district is considered a historical resource for the purposes of CEQA.

3424 Wilshire Boulevard (IBM Building)

3424 Wilshire Boulevard was constructed in 1958 for IBM. It was designed by the Los Angeles architectural firm of Pereira & Luckman in a Corporate Modern style. The building is rectangular in plan with a flat roof and is composed of an office tower on pilotis set above a ground-floor podium with recessed entry. The tower facades feature glass curtain walls composed of alternating horizontal bands of windows and spandrel panels behind a projecting metal-frame grid. The ground-floor podium has been altered with new cladding and canopy structures.

In 2009, the building was found eligible for listing in the California Register through survey evaluation.⁴⁰ It is treated here as a historical resource for the purposes of CEQA.

Since its original construction, the ground floor has been altered with new cladding and the enclosure of outdoor terraces above the podium level. The front plaza has also been altered. Despite these alterations, the majority of the building remains intact and retains sufficient integrity to convey its historic significance.

³⁸ The 2009 Wilshire Center and Koreatown Recovery Redevelopment Area CRA Intensive Historic Resources Survey assigned a status code of 3S or "Appears eligible for NR as an individual property through survey evaluation."

³⁹ California State Historic Resources Inventory, 2011.

⁴⁰ The 2009 Wilshire Center and Koreatown Recovery Redevelopment Area CRA Intensive Historic Resources Survey assigned a status code of 3CS or "Appears eligible for CR as an individual property through survey evaluation."

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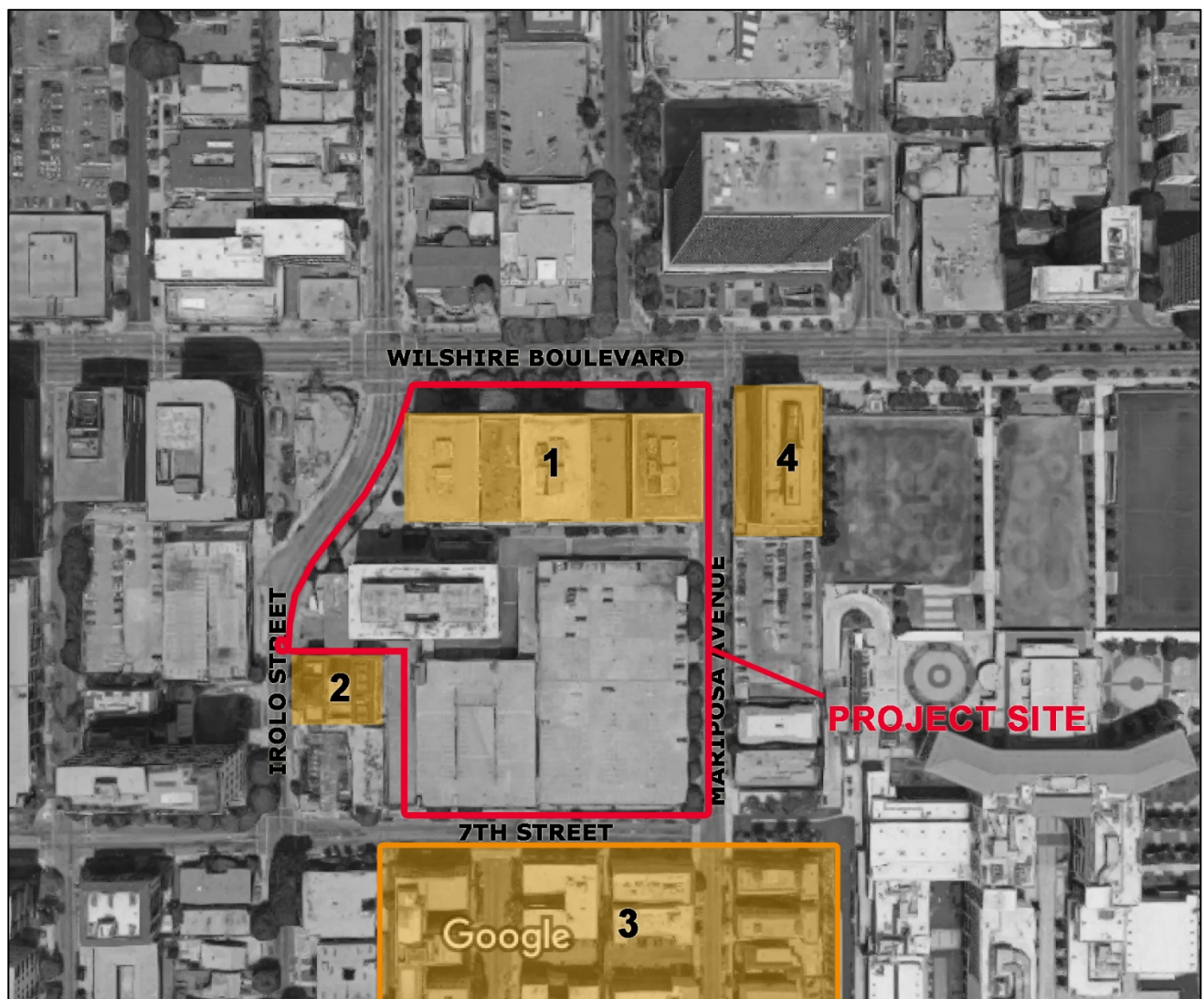
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The Project Site contains one individual property that is considered an historical resource under CEQA. Two additional individual properties and one historic district adjacent to the Project Site are also considered historical resources. These properties are listed in Table 1 below along with their status as historic resources. A map in Figure 2 shows their locations.

Table 1: Historic Resources Within and Adjacent to the Project Site

Map Number	Resource	Date Built	Address	Current Status / Notes
Resources Located Within the Project Site				
1	Commercial Office Building	1952	3440-60 Wilshire Blvd.	Appears eligible for listing in the NR as an individual property through survey evaluation. (Status Code 3S)
Resources Adjacent to the Project Site				
2	Piccadilly Apartments	1929	682 Irolo Street	Appears eligible for listing in the NR as an individual property through survey evaluation. (Status Code 3S)
3	Normandie-Mariposa Multi-family Residential Historic District	1910	Both sides of Normandie Avenue and Mariposa Avenue between 7 th Street and 8 th Street.	Historic district determined eligible for NR by consensus through Section 106 process. Listed in the CR. (All contributing properties carry a status code of 2D2)
4	IBM Building	1958	3424-30 Wilshire Blvd.	Appears eligible for CR as an individual property through survey evaluation. (Status Code 3CS)

Figure 2: Site Map with Historic Resources Highlighted



8.1 Significance Threshold

CEQA Guidelines, including Appendix G of the Guidelines, state that a project with an effect that may cause a substantial adverse change in the significance of a historic resource is a project that may have a significant effect on the environment.⁴¹ A substantial adverse change in the significance of a historic resource means demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired.⁴²

The Guidelines go on to state that “[t]he significance of an historical resource is materially impaired when a project... [d]emolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources... local register of historic resources... or its identification in a historic resources survey meeting the requirements of section 5014.1(g) of the Public Resources Code...”⁴³ As such, the test for determining whether or not a proposed project will have a significant impact on an identified historical resource is whether or not the project will alter in an adverse manner the physical integrity of the historical resource such that it would no longer be eligible for listing in the National or California Registers or local designation as a City of Los Angeles Historical-Cultural Monument.

Although the City of Los Angeles has determined to use the State CEQA Guidelines and the questions in Appendix G of the guidelines as its thresholds of significance, the following factors from the 2006 LA CEQA Thresholds Guide are used by the City where applicable and relevant to assist in analyzing what constitutes a substantial adverse change in a historical resource:

- Demolition of a significant resource;
- Relocation that does not maintain the integrity and (historical/architectural) significance of a significant resource;
- Conversion, rehabilitation, or alteration of a significant resource which does not conform to the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings; or

⁴¹ *CEQA Guidelines*, section 15064.5(b).

⁴² *CEQA Guidelines*, section 15064.5(b) (1).

⁴³ *CEQA Guidelines*, section 15064.5(b)(2).

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- Construction that reduces the integrity or significance of important resources on the site or in the vicinity.

8.2 Potential Impacts to Historic Resources on the Project Site

The Project proposes substantial new construction to be located south of and immediately adjacent to 3440-60 Wilshire Boulevard which is considered a historic resource for the purposes of CEQA. The project would add one commercial kiosk along South Irolo Street and one along S. Mariposa Ave., and construct a 23-story mixed-use building and a 28-story mixed-use building on top of a four-story podium.

The project would require demolishing an existing three-story parking structure. The existing three-story parking structure was constructed in 1967-68 and is not considered a historical resource for the purposes of CEQA. No other existing buildings, including 3440-60 Wilshire Boulevard, will be demolished or altered by the Project.

The proposed new construction will alter the immediate surroundings of 3440-60 Wilshire Boulevard by inserting new buildings in an area currently occupied by a parking structure and the insertion of two commercial kiosks. As noted above, CEQA defines “substantial adverse change” as “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.” The significance of an historical resource is materially impaired when a project “demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, the California Register of Historical Resources...or a local register of historical resources.” For the new construction associated with the Project to be considered a substantial adverse change, it must be shown that the integrity and/or significance of the 3440-60 Wilshire Boulevard would be materially impaired by the proposed adjacent new construction.

The proposed new buildings will be located at the rear and to the east of the Project Site where it will not interfere with or detract from any public view of the primary northern façade of 3440-60 Wilshire Boulevard, or the building’s east-facing and west-facing facades. Set behind a landscaped plaza, 3440-60 Wilshire Boulevard was designed with an orientation towards Wilshire Boulevard and it is from Wilshire Boulevard where the building’s original massing, configuration and its important architectural features are best perceived and experienced. Similarly, the east- and west-facing facades are primarily experienced from Irolo Street and Mariposa Avenue where they intersect with Wilshire Boulevard.

The proposed new towers will be over twice the height of 3440-60 Wilshire Boulevard but the disparity in scale alone does not constitute a significant impact as defined by

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CEQA. Again, the threshold of “substantial adverse change” is the determining factor when analyzing potential impacts. Because they will be over twice the height of 3440-60 Wilshire Boulevard, the proposed new towers will intermittently block views to 3440-60 Wilshire Boulevard from the south. Although a secondary, rear façade, the south-facing façade of 3440-60 Wilshire Boulevard continues the stone cladding and glass curtain wall treatment of the three other facades. Even so, much of the 3440-60 Wilshire Boulevard rear southern facade will remain visible from several vantages due to the siting of the proposed new construction to the southern and eastern portions of the Project Site.

As discussed in Section 3.3 of this report, the ability of a historical resource to convey its significance is called historic *integrity*. Historic integrity is defined as the “authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s historic period.”⁴⁴ The National Park Service identifies seven aspects of integrity: *location, design, setting, materials, workmanship, feeling, and association*.

The Project will not involve any relocation, demolition or alteration of 3440-60 Wilshire Boulevard. Therefore, new construction associated with the Project will not affect integrity of *location, design, materials, workmanship, feeling or association*. All the existing physical elements will continue to convey the historic significance of the property after implementation of the Project.

The Project will insert substantial new construction on what is currently structured parking which will affect integrity of *setting*. According to National Park Service guidance, “to retain historic integrity a property will always possess several, and usually most, of the (seven) aspects” of integrity.⁴⁵ After implementation of the Project, all but one of the relevant aspects of integrity for 3440-60 Wilshire Boulevard will be unaffected and, therefore, its historic integrity will be retained. Despite some alteration to its surroundings, 3440-60 Wilshire Boulevard will continue to convey its historic significance after Project construction and will not be materially impaired. The original configuration and orientation of the building will remain discernible after construction and the primary north-facing facade will remain unobstructed.

⁴⁴ *National Register Bulletin 16A. How to Complete the National Register Registration Form*. Washington D.C.: National Park Service, U.S. Department of the Interior, 1997. (3)

⁴⁵ *National Register Bulletin 15*, 44.

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For these reasons, the significance and integrity of the 3440-60 Wilshire Boulevard will remain intact and the building will retain its eligibility for listing in the National Register of Historic Places and the California Register of Historical Resources.

8.3 Potential Impacts to Historic Resources Adjacent to the Project Site

The Project will construct two new high-rise buildings on a site currently occupied by three-story parking structure. The addition of this new buildings will alter the surroundings of adjacent and nearby historic resources. Any alteration of the surroundings of nearby historical resources that adversely affect the integrity of those historical resources can potentially constitute a substantial adverse change in that resource. An analysis of the alteration to the immediate surroundings of each of the potentially affected historical resources using the seven aspects of historic integrity is provided below.

682 Irolo Street (Piccadilly Apartments)

As noted in Section 5.0 of this report, the Piccadilly Apartments at 682 Irolo Street has been identified as eligible for listing in the National Register through survey evaluation and is treated here as an historical resource for the purposes of CEQA. The Piccadilly Apartments is located adjacent to the Project Site at the southwest corner of the Project Site facing Irolo Street.

The proposed new towers will be substantially larger than the Piccadilly Apartments but, again, the disparity in scale alone does not constitute a significant impact as defined by CEQA. The proposed new buildings will be located at the eastern portion of the Project Site, separated from the Piccadilly Apartments by an existing five-story parking structure. At this location, the proposed new construction will not interfere with or detract from any public view of the primary west-facing façade of the Piccadilly Apartments. The Piccadilly Apartment building was designed with an orientation towards Irolo Street and it is from Irolo Street where the building's original massing, configuration and its important architectural features are perceived and experienced. In contrast, the north-, south- and west-facing facades are treated in a much simpler and utilitarian manner, largely devoid of articulation and architectural detailing. The north-, south- and west-facing facades are clearly secondary, and were designed in anticipation of possible new construction on the adjacent parcels. Even so, the majority of the Piccadilly Apartments' secondary facades will also remain largely visible from most vantage points due to the new commercial buildings to the southern and eastern portions of the Project Site.

The Project will not physically impact the Piccadilly Apartments building in any way. The immediate surroundings of the Piccadilly Apartments will not be significantly altered by the proposed Project given the distance between it and the new construction.

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The Project will not affect the integrity of *location, design, materials, workmanship, feeling, association, or setting* of the Piccadilly Apartments.

After Project construction, the Piccadilly Apartments will remain unchanged and the building will continue to convey its historic significance. Therefore, the Project will not adversely affect the Piccadilly Apartments in a manner that would materially impair its significance as a historical resource.

Normandie-Mariposa Multi-Family Residential Historic District
(Normandie Avenue and Mariposa Avenue between 7th Street and 8th Street)

As noted in Section 5.0 of this report, a grouping of early 20th century apartment buildings located on Normandie Avenue and Mariposa Avenue between 7th Street and 8th Street was previously identified as a historic district determined eligible for listing in the National Register through Section 106 process and is listed in the California Register. The historic district is considered an historical resource for the purposes of CEQA.

The historic district is significant as a physical document of the explosive population growth in Los Angeles during the 1920s, and reflects the increased density of residential neighborhoods to meet demand for housing during that time. The District contains an unusually intact collection of multi-story apartment buildings typical of the 1920s. The historic district is located south of the Project Site across 7th Street. New construction associated with the Project will be substantially larger than the contributing buildings to the historic district which are all between four and six stories in height. This disparity in scale alone, however, does not constitute a significant impact as defined by CEQA.

The Project, would not affect the integrity of *location, design, materials, or workmanship* of any District contributors. All the contributing buildings would remain intact in their current locations, and would not be materially altered by the Project. Therefore, integrity of *feeling* would also remain unaffected because all the existing physical elements that characterize the historic district would continue to convey the district's historic significance after construction of the Project.

Because the district would retain integrity of *location, design, materials, workmanship, and feeling*, it would continue to reflect the development of multi-family housing in Los Angeles during the 1920s. Therefore, integrity of *association* would also remain unaffected by the Project.

The only aspect of the district's integrity that is potentially affected by the Project is *setting*. Because the Project will add substantial mass and height to an area currently

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occupied by a three-story parking structure, the Project will change the physical environment immediately north of the historic district.

The area surrounding the historic district has been substantially altered since original construction of the historic district contributing buildings, particularly to the north toward Wilshire Boulevard, through successive demolitions and new construction. The historic district, largely constructed in the 1920s, pre-dates by decades the existing development on the Project site, which was developed during the 1950s and 60s. Alteration to the north of the historic significance has been the existing condition since the mid-20th century. The blocks adjoining Wilshire Boulevard have largely contained a mix of uses, including commercial uses, since the second decade of the 20th century and although individual buildings have changed, the mix of uses has remained.

The Project would be constructed north of and outside the historic district, and would not materially alter any district contributor, or the configuration and spatial relationships that characterize the historic district. Ultimately, the district is best understood from within its boundaries where the collection of 1920s apartment building can be directly experienced and understood. Thus, after construction of the Project the historic district's contributors will remain unaltered and fully discernible, and collectively will continue to convey their association with early 20th century residential development in Los Angeles.

According to National Park Service guidance, "to retain historic integrity a property will always possess several, and usually most, of the (seven) aspects" of integrity.⁴⁶ After the Project is constructed the historic district will fully retain integrity of *location, design, materials, workmanship, feeling* and *association*. Integrity of *setting* would be partially altered by the Project.

Therefore, all but one of the relevant aspects of integrity will be unaffected by the Project, so that the historic integrity of the historic district will be retained. While the Project will partially alter the setting of the district, this alteration will not materially impair the district such that it can no longer convey its historic significance. After construction of the Project, the historic district will remain intact, and eligible for historic designation. Therefore, the Project will not result in a significant impact to the Normandie-Mariposa Multi-Family Residential Historic District.

⁴⁶ *National Register Bulletin 15*, 44.

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3424-30 Wilshire Boulevard (IBM Building)

As noted in Section 5.0 of this report, the IBM Building at 3424-30 Wilshire Boulevard has been previously found eligible for listing in the California Register through survey evaluation and is treated here as an historical resource for the purposes of CEQA.

The Project will not involve relocation, demolition or alteration of the IBM Building; therefore, the Project will not affect integrity of *location, design, materials, workmanship, feeling or association*. All the contributing buildings will continue to convey the historic significance of the historic district after implementation of the Project. The only aspect of integrity that is potentially relevant here is *setting*.

The property is located on the southeast corner of Wilshire Boulevard and Mariposa Avenue, separated from the Project Site by Mariposa Avenue. Located north and east of the proposed new construction associated with the Project, the immediate surroundings of the property will not be significantly altered by the proposed Project given the distance between the two properties. The Project will not substantially affect integrity of *setting* of the IBM Building.

After Project construction, the IBM Building will remain unchanged and the building will continue to convey its historic significance. Therefore, the Project will not adversely affect the IBM Building in a manner that would materially impair its significance as a historical resource.

8.4 Analytical Summary

Analysis of potential impacts to historical resources reveals that the Project will alter the setting and surroundings of historical resources located on the Project Site and in the near vicinity, but that the alteration will not substantially reduce the integrity or significance of those resources.

1. Would the Project involve the demolition of a significant resource?

The Project does not propose the demolition of any significant resources on the Project Site or in the surrounding area.

2. Would the Project involve relocation that does not maintain the integrity of a significant resource?

The Project does not involve the relocation of any significant resources on the Project Site or in the surrounding area.

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3. Would the Project involve conversion, rehabilitation or alteration of a significant resource which does not conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings?

The Project does not include conversion, rehabilitation or alteration of any significant resource located on the Project Site or in the near vicinity of the Project Site.

4. Would the Project involve construction that reduces the integrity or significance of important resources on the site or in the vicinity?

The Project does not include construction that reduces the integrity or significance of important resources on the site or in the vicinity.

8.5 Conclusions

Analysis of the potential impacts to historical resources has found that the proposed Project will insert substantial new construction on land that was currently occupied by a three-story parking structure. The proposed new construction, however, will not result in substantial adverse changes that reduces the integrity or significance of historic resources either adjacent to or in the near vicinity of the Project Site.

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2018 California Environmental Quality Act (CEQA) Statute and Guidelines; California Association of Environmental Professionals, www.califaep.org

California Public Resources Code, (Sections 21000-21177).

California Code of Regulations, (Title 14, Division 6, Chapter 3, Sections 15000-15387).

City of Los Angeles Building Permits. Department of Building and Safety.

City of Los Angeles Office of Historic Resources; <http://www.preservation.lacity.org>

Code of Federal Regulations, (Title 36, Part 60).

Community Redevelopment Agency. "Intensive Historic Resources Survey of the Wilshire Center and Koreatown Recovery Redevelopment Area." Los Angeles: Community Redevelopment Agency, City of Los Angeles. Prepared by PCR Services Corporation. June 2009.

"Historic Resources Inventory." California State Office of Historic Preservation, August 2011.

Hevesi, Dennis, "Robert Tishman, Real Estate Developer, Dies at 94," New York Times, October 12, 2010.

"Los Angeles Historic Context Statement, Context Outline." SurveyLA: Los Angeles Historic Resources Survey.
https://preservation.lacity.org/sites/default/files/SurveyLA_HistoricContextStatementOutline_July2018.pdf

Los Angeles Times. ProQuest Historical Newspapers: Los Angeles Times (1881-1990).

National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation. Washington D.C.: National Park Service, U.S. Department of Interior, 1995.

National Register Bulletin 16A: How to Complete the National Register Registration Form. Washington D.C.: National Park Service, U.S. Department of the Interior, 1997.

Sanborn Fire Insurance Maps for Los Angeles.

Central Plaza – 3440-3470 Wilshire Boulevard Historic Resources Technical Report

SurveyLA. "Historic Resources Survey Report: Westlake Community Plan Area." Los Angeles: Department of City Planning, Office of Historic Resources. Prepared by Historic Resources Group, April 2014.

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Tishman company website, <http://www.tishman.com/company/index.html>

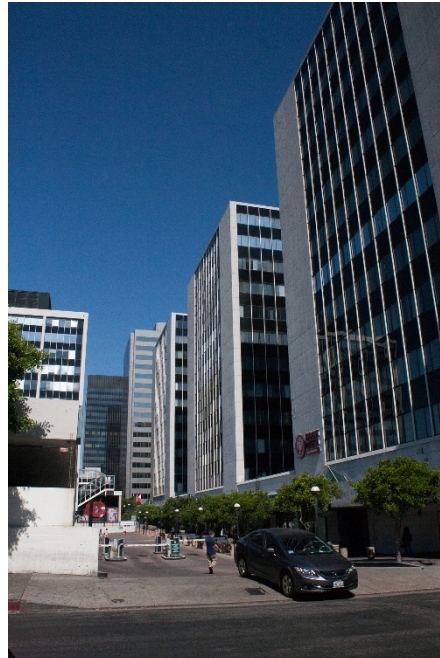
Tishman Speyer company website, <http://www.tishmanspeyer.com/firm/history>

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HISTORIC RESOURCES GROUP

**3440-60 Wilshire Boulevard**

Primary (north) façade looking southeast from Wilshire Boulevard.

**3440-60 Wilshire Boulevard**

South façade at right looking west from Mariposa Boulevard.

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HISTORIC RESOURCES GROUP



3440-60 Wilshire Boulevard

Primary (north) façade looking southwest from Wilshire Boulevard.



3470 Wilshire Boulevard

Primary (north) façade looking south from Wilshire Boulevard.



Project Site

Looking northeast from corner of Mariposa Avenue and 7th Street. Parking structure in foreground.



Project Site

Looking northeast from 7th Street. Parking structure in foreground.

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HISTORIC RESOURCES GROUP



682 Irolo Street (Piccadilly Apartments)
Primary (west) façade looking southwest from Irolo St.



3424-30 Wilshire Boulevard (IBM Building)
East façade at looking west from Wilshire Boulevard.

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**Normandie-Mariposa Multi-Family Residential
Historic District**

Looking east on 7th Street.



**Normandie-Mariposa Multi-Family Residential
Historic District**

Looking to Normandie Avenue from 7th Street.

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HISTORIC RESOURCES GROUP

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HRI # _____
Trinomial _____
NRHP Status Code 3S

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3

*Resource Name or #: (Assigned by recorder) 3440 WILSHIRE BLVD

P1. Other Identifier: Tishman Plaza

*P2. Location: Not for Publication ☒ Unrestricted *a. County Los Angeles County

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Hollywood Date: 1996

c. Address: 3440 WILSHIRE BLVD City: LOS ANGELES Zip: 90010

d. UTM: (Give more than one for large and/or linear resources) Zone: _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: _____

APN:5094002011

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A) Property Type: commercial B) Setting (general): commercial block, on major thoroughfare C) General characteristics. Architectural Style Modern, elements of Plan: irregular No. of vertical divisions: 3 No. Stories: 12, 3 buildings Siding/Sheathing: poured concrete: painted, All Visible, Glass curtain wall Roof: flat, parapet Construction: steel frame D) Specific features. Fenestration: aluminum, fixed, front, side, rear Secondary Entrance: storefront G) Alterations or changes to the property. Retains integrity: high, setting, location, association, design, feelin I) Related: Commercial storefronts occupy space between the three buildings

*P3b. Resource Attributes: (List attributes and codes) HP07

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of photo:

(View, data, accession #)

View to the Southwest, 09/03/08

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1952

Permit

*P7. Owner and Address:

CENTRAL PLAZA LLC
3450 WILSHIRE BLVD (# 420)
LOS ANGELES, CA 90010

*P8. Recorded by:

Amanda Kainer
PCR Services Corporation
233 Wilshire Boulevard, Suite 130
Santa Monica, CA 90401

*P9. Date Recorded: 09/03/2008

*P10. Survey Type: (Describe)

Intensive

*P11. Report Citation: (Cite survey report and other sources or enter "none.")

PCR Services Corporation Historic Resources Survey of the Wilshire Center/Koreatown Recovery Redevelopment Project Area. Prepared for the Community Redevelopment Agency of the City of Los Angeles in collaboration with Chattel Architecture (lead) and LSA Associates, Inc., March 2009.

*Attachments: ☐ None ☐ Location Map ☒ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record
☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

BUILDING, STRUCTURE, AND OBJECT RECORD

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*NRHP Status Code 3S

*Resource Name or #: (Assigned by recorder) 3440 WILSHIRE BLVD

B1. Historic Name: Tishman Plaza

B2. Common Name: 3440 WILSHIRE BLVD

B3. Original Use: Office Building B4. Present Use: Office Building

*B5. Architectural Style: Modern

*B6. Construction History: (Construction date, alterations, and data of alterations)

Date: 1952; Owner: Equitable Insurance Co

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

Commercial storefronts occupy space between the three buildings

B9a. Architect: Claude Beelman b. Builder: Unknown

*B10. Significance: Area: Los Angeles Theme: _____

Context: LA Modernism, 1946-1964 Theme: Mid-Century Modern, 1946-1964

Period of Significance: 1952 Property Type: Office Building Applicable Criteria: C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Context: LA Modernism, 1946-1964

Theme: MidCentury Modern, 1946-1964

In the post-World War II period in America, the predominant idiom applied to corporate architecture was the International Style, which came to be known as Corporate Modernism. Deriving from the 1920s origins of Modernism in Europe, the International Style was characterized by rectilinear forms, flat roofs, open floor plans, use of steel and glass, and lack of applied ornamentation. During the 1950s and 1960s, distinct and broadly identifiable stylistic variants of the International Style evolved, including Corporate Modernism which was influenced by the work of German architect, Mies Van der Rohe and by Formalism,...(continued on next page)

B11. Additional Resource Attributes: (List attributes and codes) HP07

*B12. References:

B13. Remarks:

*B14. Evaluator: Amanda Kainer

*Date of Evaluation: 09/03/2008

(This space reserved for official comments.)



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*Recorded By: Amanda Kainer *Date: 09/03/2008 ☒ Continuation ☐ Update

B10. Statement of Significance (continued): which abstracted and reinterpreted fundamental classical forms using modern materials and technology. It was not uncommon for an architectural firm or individual architect to work in a variety of idioms, the selection of which was generally related to the proposed building's functional use, the design of the surrounding urban fabric and the client's own stylistic preferences. There are examples of both Corporate Modernism and Brutalism within the survey area.

Corporate Modernism

Commercial office tower architecture of the 1950s-1960s is generally characterized by a tight integration of materials, construction systems and aesthetic minimalism. For a generation, Corporate Modernism became the accepted look for America's office buildings based upon a stylistic preference for its perceived modernity and practicality, as well as its inherent overall economy of construction. In plan, the regular structural grid enabled the creation of large spaces with few interruptions and made them flexible enough to accommodate a variety of functions. Such adaptability was particularly welcome in office buildings where tenants changed frequently and interior partition walls could be erected, altered, or removed based upon the tenant's requirements. The exterior of the Corporate Modern tower usually had a glazed curtain wall (Miesian) or vertical non-structural columns divided by fixed glazing (Formalism).

During this period in the Los Angeles region the three largest locally-based architectural firms - Welton Becket and Associates, Pereira and Luckman (after 1958, known individually as William Pereira and Associates and Charles Luckman Associates), and Albert C. Martin and Associates - designed numerous high-rise office buildings in this vein. Eligible properties associated with this theme in the survey area include 3435 Wilshire Boulevard (Welton Becket and Associates), 3348 Wilshire Boulevard (Welton Becket and Associates), 3600 Wilshire Boulevard (Welton Becket and Associates), 3424 Wilshire Boulevard (Pereira and Luckman), 3540 Wilshire Boulevard (Victor Gruen, AIA), 3440 Wilshire Boulevard (Claude Beelman), and 3243 Wilshire Boulevard (W. A. Sarmiento).

Corporate Modern commercial buildings within the survey area dating from 1946-1964 are significant for their association with the architectural styles and culture of mid-20th century commercial architecture. They represent the influence of the Modern Movement in Arts and Architecture on the architects, designers, and builders working in the survey during the postwar period.

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NRHP Status Code 3S

Other Listings _____
Review Code _____ Reviewer _____ Date _____

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*Resource Name or #: (Assigned by recorder) Picadilly Apartments

P1. Other Identifier: _____

*P2. Location: Not for Publication ☒ Unrestricted *a. County Los Angeles County

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Hollywood Date: 1996

c. Address: 682 IROLO ST City: LOS ANGELES Zip: 90005

d. UTM: (Give more than one for large and/or linear resources) Zone: _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: _____

APN:5094002004

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A) Property Type: residential B) Setting (general): commercial block C) General characteristics. Architectural Style: Chateausque, elements of Plan: rectangular No. Stories: 8 Siding/Sheathing: stucco: smooth, W Roof: hipped, low, multiple rooflines, attic story Construction: unknown D) Specific features. Fenestration: wood, double-hung, front Primary Entrance: front, distinctive entry E) Important decorative elements. Decorative Elements: pilasters, columns G) Alterations or changes to the property. Retains integrity: high I) Related: Quoins, balconies, pinnacles

*P3b. Resource Attributes: (List attributes and codes) HP03

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of photo:

(View, data, accession #)

12/16/08

*P6. Date Constructed/Age and

Sources: ☒ Historic

Prehistoric Both

1929

Assessor

*P7. Owner and Address:

682 IROLO LLC
1 TOWNE SQUARE (NO 191)
SOUTHFIELD, MI 48076

*P8. Recorded by:

Amanda Kainer
PCR Services Corporation
233 Wilshire Boulevard, Suite 130
Santa Monica, CA 90401

*P9. Date Recorded: 12/26/2008

*P10. Survey Type: (Describe)

Intensive

*P11. Report Citation: (Cite survey report and other sources or enter "none.")

PCR Services Corporation Historic Resources Survey of the Wilshire Center/Koreatown Recovery Redevelopment Project Area. Prepared for the Community Redevelopment Agency of the City of Los Angeles in collaboration with Chattel Architecture (lead) and LSA Associates, Inc., March 2009.

*Attachments: None Location Map ☒ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
Archeological Record District Record Linear Feature Record Milling Station Record
Rock Art Record Artifact Record Photograph Record Other (List): _____

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*NRHP Status Code 3S

*Resource Name or #: (Assigned by recorder) Picadilly Apartments

B1. Historic Name: Picadilly Apartments

B2. Common Name: 682 IROLO ST

B3. Original Use: Apartment B4. Present Use: _____

*B5. Architectural Style: Chateausque

*B6. Construction History: (Construction date, alterations, and data of alterations)

Year constructed: 1929; Owner: Francis J Murphy; Valuation: \$190,000

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

Quoins, balconies, pinnacles

B9a. Architect: Milton M Friedman b. Builder: Unknown

*B10. Significance: Area: Los Angeles Theme: _____

Context: Residential Development and Suburbanization, 1913-1945 Theme: Apartment Streetcar Suburbs, 1906-1945; Context: Architecture, Engineering and Designed Landscapes, 1913-1945 Theme: The Architecture of Fantasy--Period Revival Styles, 1910-1940

Period of Significance: 1929 Property Type: Multi-family Resident Applicable Criteria: A/1, C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Theme: The Architecture of Fantasy – Period Revival Styles, 1910–1940

By the 1920s, architecture in Los Angeles at every scale – from the grandiose to the mundane – drew from European precedents. Hollywood's most famous export created a permissive, open-minded and pioneering atmosphere in the city at-large with regards to the built environment. In addition to Spanish and Mediterranean Revival styles, the French Renaissance, Chateausque, English Tudor and Renaissance Revival styles became an additional source of aesthetic inspiration in production design and architecture.

Furthermore, names that were given to apartment buildings, such as the St. Germaine and Chalfonte, evoked...(continued on next page)

B11. Additional Resource Attributes: (List attributes and codes) HP03

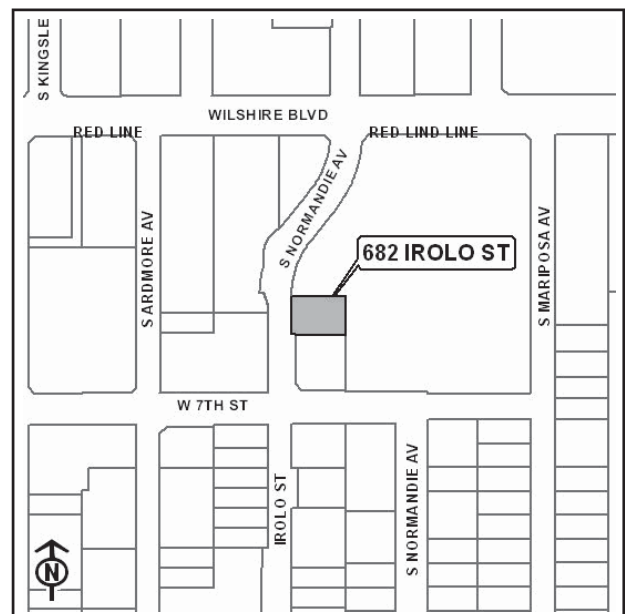
*B12. References:

B13. Remarks:

*B14. Evaluator: Amanda Kainer

*Date of Evaluation: 12/26/2008

(This space reserved for official comments.)



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*Recorded By: Amanda Kainer *Date: 12/26/2008 ☒ Continuation ☐ Update

B10. Statement of Significance (continued): legitimacy, along with allusions to European aristocracy and quaint village life. The illuminated neon signs that became signature features of buildings in the Wilshire Corridor area helped make such monikers more visible, and thus further these cultural and social aspirations. The best examples of this style are located in the Pellissier Square Tract area, and can be seen in a variety of forms and types.

While architects and designers in Los Angeles during the first decades of the twentieth century borrowed heavily from established European traditions, non-European and "exotic" places also captured the public imagination. An architecture of fantasy then emerged from eclectic sources, and Los Angeles proved to be fertile ground for testing these experiments.

Despite the widespread popularity of period revival and exotic styles, detractors dismissed the entire city as a back lot simulacrum. Modernist architect Richard Neutra "blamed" the motion picture industry for the proliferation of period revival architecture. Carey McWilliams offered a more generous explanation: "Lacking socially prominent first families or deeply rooted social traditions, Los Angeles quickly adopted the motion-picture elite as its arbiters of taste and style. Although the movie elite moved in a world of their own, this world was all the more conspicuous for having the spotlight riveted on its isolated, stage-like gyrations. Hence the movies came to set the tone of opinion in style and taste, manner of living, and attitudes. In other words, Los Angeles imitated Hollywood."

Theme: Apartment Streetcar Suburbs, 1906-1945

When Henry E. Huntington established the Pacific Electric Railway Company in 1901, it was as much a real estate concern as a transportation corporation. Within ten years, its fleet of hundreds of cars and aggressive real estate activities helped propel the city's expansion. The dovetailing of land subdivision, sales, transportation infrastructure, and economic development made Huntington among the wealthiest Los Angeles area residents. Rail lines were used to promote and sell tracts of land, though the latter eventually wound up subsidizing the former. Huntington's system also included the preexisting Los Angeles Railway Company (the "Big Yellow Cars"), which were incorporated into the vast interurban system of P.E.'s "Big Red Cars." The P.E. merged with the Southern Pacific Railroad upon Huntington's sale of his company and retirement. Ridership peaked in the mid-1920s, and the system began its slow, inexorable decline in the 1930s. Railway lines along West Sixth Street, West Eighth Street, Ninth Street, Western Avenue, and Vermont Avenue serviced the survey area.

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Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code 3CS

Other Listings _____

Review Code _____ Reviewer _____ Date _____

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*Resource Name or #: (Assigned by recorder) 3424 WILSHIRE BLVD

P1. Other Identifier: _____

*P2. Location: Not for Publication ☒ Unrestricted *a. County Los Angeles County

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Hollywood Date: 1996

c. Address: 3424 WILSHIRE BLVD City: LOS ANGELES Zip: 90010

d. UTM: (Give more than one for large and/or linear resources) Zone: _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation: _____

APN:5094006015

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

A) Property Type: commercial B) Setting (general): commercial block, on major thoroughfare C) General characteristics. Architectural Style International Plan: rectangular No. Stories: 12 Siding/Sheathing: anodized aluminum window shades Roof: flat, parapet Construction: steel frame D) Specific features. Fenestration: metal, fixed Primary Entrance: multiple doors Secondary Entrance: storefront Other notable features: Storefronts altered; tinted black glass. G) Alterations or changes to the property. Retains integrity: medium, setting, location, association, design, feeling

*P3b. Resource Attributes: (List attributes and codes) HP07

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of photo:

(View, data, accession #)

View to the Southwest, 09/03/08

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1958

Assessor

*P7. Owner and Address:

OUR LADY QUEEN OF THE ANGELS
3424 WILSHIRE BLVD
LOS ANGELES, CA 90010

*P8. Recorded by:

Amanda Kainer
PCR Services Corporation
233 Wilshire Boulevard, Suite 130
Santa Monica, CA 90401

*P9. Date Recorded: 09/03/2008

*P10. Survey Type: (Describe)

Intensive

*P11. Report Citation: (Cite survey report and other sources or enter "none.")

PCR Services Corporation Historic Resources Survey of the Wilshire Center/Koreatown Recovery Redevelopment Project Area. Prepared for the Community Redevelopment Agency of the City of Los Angeles in collaboration with Chattel Architecture (lead) and LSA Associates, Inc., March 2009.

*Attachments: ☐ None ☐ Location Map ☒ Sketch Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record
☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

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*NRHP Status Code 3CS

*Resource Name or #: (Assigned by recorder) 3424 WILSHIRE BLVD

B1. Historic Name: _____

B2. Common Name: 3424 WILSHIRE BLVD

B3. Original Use: Office Building B4. Present Use: Office Building

*B5. Architectural Style: International

*B6. Construction History: (Construction date, alterations, and data of alterations)

Year constructed: 1958; Owner: International Business Machine Corporation

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

None

B9a. Architect: Pereira and Luckman b. Builder: McNeil Const Co

*B10. Significance: Area: Los Angeles Theme: _____

Context: LA Modernism, 1946-1964 Theme: Mid-Century Modern, 1946-1964

Period of Significance: 1958 Property Type: Office Building Applicable Criteria: C/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Mid-Century Modern, 1946-1964

In the post-World War II period in America, the predominant idiom applied to corporate architecture was the International Style, which came to be known as Corporate Modernism. Deriving from the 1920s origins of Modernism in Europe, the International Style was characterized by rectilinear forms, flat roofs, open floor plans, use of steel and glass, and lack of applied ornamentation. During the 1950s and 1960s, distinct and broadly identifiable stylistic variants of the International Style evolved, including Corporate Modernism which was influenced by the work of German architect, Mies Van der Rohe and by Formalism, which abstracted and reinterpreted...(continued on next page)

B11. Additional Resource Attributes: (List attributes and codes) HP07

*B12. References:

B13. Remarks:

*B14. Evaluator: Amanda Kainer

*Date of Evaluation: 09/03/2008

(This space reserved for official comments.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 3

Resource Name or #:(Assigned by recorder) _____

*Recorded By: Amanda Kainer *Date: 09/03/2008 ☒ Continuation ☐ Update

B10. Statement of Significance (continued): fundamental classical forms using modern materials and technology. Brutalism, which was a variant of postwar Modernism that used a heavy masonry exterior and structure in a repetitive orthogonal form, was another variant of the International Style that arose during the postwar era. It was not uncommon for an architectural firm or individual architect to work in a variety of idioms, the selection of which was generally related to the proposed building's functional use, the design of the surrounding urban fabric and the client's own stylistic preferences. There are examples of both Corporate Modernism and Brutalism within the survey area.

Corporate Modernism

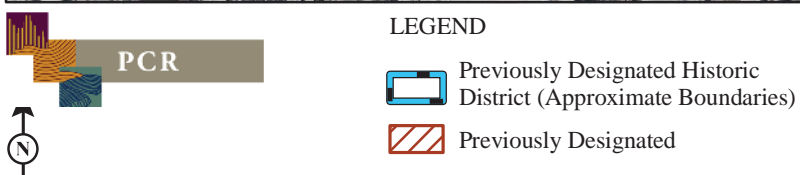
Commercial office tower architecture of the 1950s-1960s is generally characterized by a tight integration of materials, construction systems and aesthetic minimalism. For a generation, Corporate Modernism became the accepted look for America's office buildings based upon a stylistic preference for its perceived modernity and practicality, as well as its inherent overall economy of construction. In plan, the regular structural grid enabled the creation of large spaces with few interruptions and made them flexible enough to accommodate a variety of functions. Such adaptability was particularly welcome in office buildings where tenants changed frequently and interior partition walls could be erected, altered, or removed based upon the tenant's requirements. The exterior of the Corporate Modern tower usually had a glazed curtain wall (Miesian) or vertical cast concrete mullions (Formalism) divided by fixed glazing.

During this period in the Los Angeles region the three largest locally-based architectural firms - Welton Becket and Associates, Pereira and Luckman (after 1958, known individually as William Pereira and Associates and Charles Luckman Associates), and Albert C. Martin and Associates - designed numerous high-rise office buildings in this vein. Eligible properties associated with this theme in the survey area include 3435 Wilshire Boulevard (Welton Becket and Associates), 3348 Wilshire Boulevard (Welton Becket and Associates), 3600 Wilshire Boulevard (Welton Becket and Associates), 3424 Wilshire Boulevard (Pereira and Luckman), 3540 Wilshire Boulevard (Victor Gruen, AIA), 3440 Wilshire Boulevard (Claude Beelman), and 3243 Wilshire Boulevard (W. A. Sarmiento).

Corporate Modern commercial buildings within the survey area dating from 1946-1964 are significant for their association with the architectural styles and culture of mid-20th century commercial architecture. They represent the influence of the Modern Movement in Arts and Architecture on the architects, designers, and builders working in the survey during the postwar period.



FIGURE 5



F
E
D
C
B
A

1

2

3

4

5

6

7



CENTRAL PLAZA
CASE FILING

1

2

3

4

5

6

7

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FAX: 213-633-6060
WWW.CALLISONRTKL.COM
PROJECT NUMBER: 040-170110.00

PROJECT ADDRESS:
340 WILSHIRE BLVD
LOS ANGELES, CA 9010

PROJECT

CENTRAL PLAZA
LOS ANGELES, CA

ISSUE DRAWING LOG		
1	05/09/2016	CASE FILING
2	05/18/2018	REVISION FILING

SEAL

SHEET IDENTIFICATION
TITLE

COVER SHEET

NUMBER

G0.00

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PROJECT

ISSUE DRAWING LOG

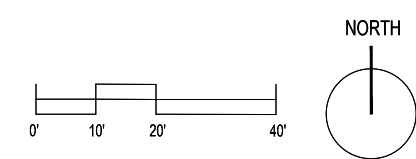
SEAL

SHEET IDENTIFICATION

TITLE _____

NUMBER

2018 CALLISON RTKL, INC.



[illegible]

SEAL

SHEET IDENTIFICATION

TITLE

FLOOR PLAN - LEVEL B1

NUMBER

A1.02

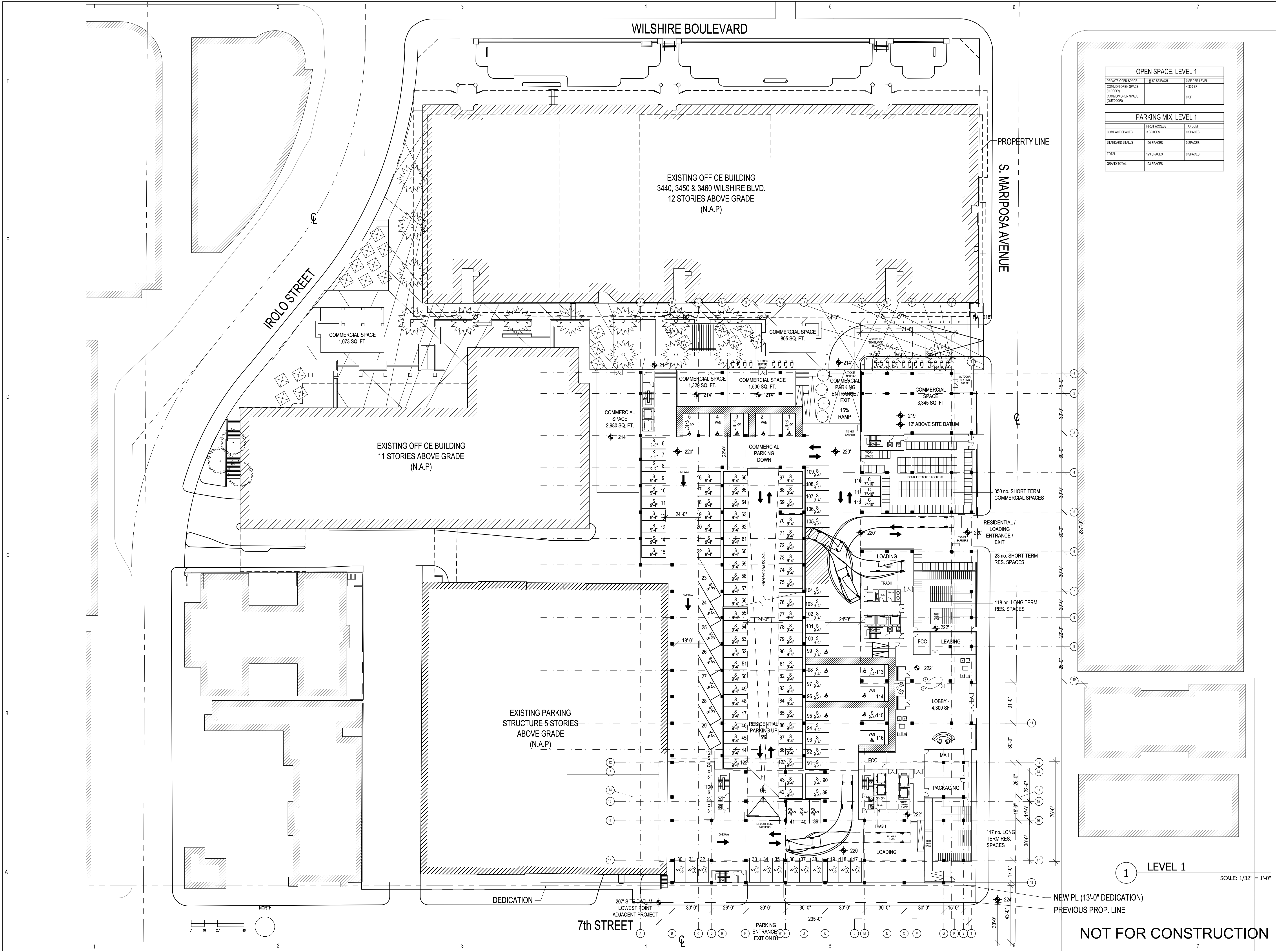
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1 LEVEL B1 SCALE: 1/32" = 1'-0"

— NEW PL (13'-0" DEDICATION)

— PREVIOUS PROP. LINE

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OPEN SPACE, LEVEL 1		
PRIVATE OPEN SPACE	1 @ 80' SPACING	1 @ 80' PER LEVEL
COMMON OPEN SPACE (INDOOR)		4,300 SF
COMMON OPEN SPACE (OUTDOOR)		0 SF

PARKING MIX, LEVEL 1		
FIRST ACCESS	TANDUM	
COMPACT SPACES	3 SPACES	0 SPACES
STANDARD SPACES	120 SPACES	0 SPACES
TOTAL	123 SPACES	0 SPACES
GRAND TOTAL	123 SPACES	

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PROJECT ADDRESS:
3440 WILSHIRE BLVD
LOS ANGELES, CA 90010

PROJECT

CENTRAL PLAZA LOS ANGELES, CA

ISSUE DRAWING LOG		
1	05/09/2016	CASE FILING
2	05/18/2018	REVISION FILING

SEAL

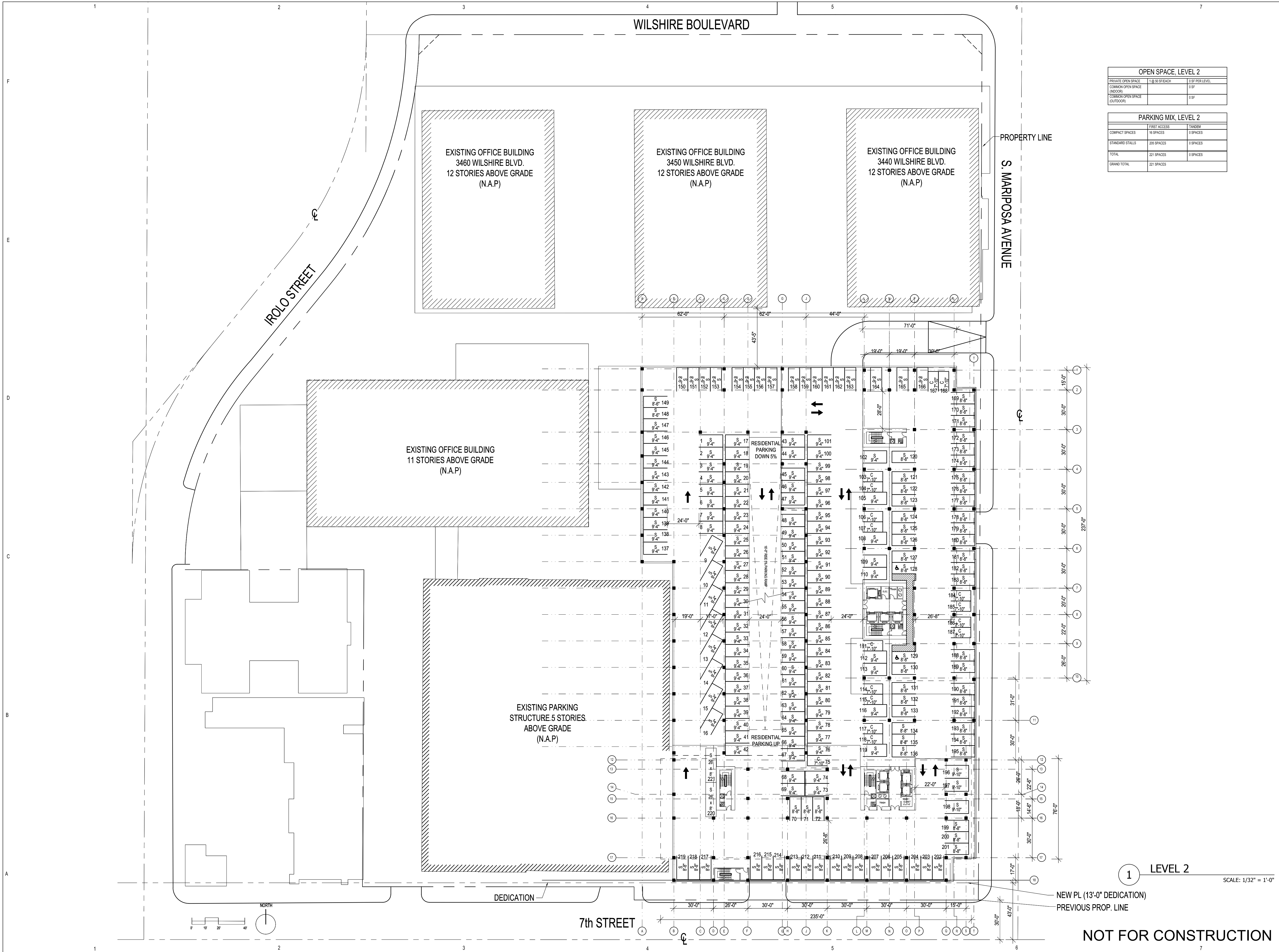
SHEET IDENTIFICATION
TITLE

**FLOOR PLAN -
LEVEL 1**

NUMBER

A1.03

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OPEN SPACE, LEVEL 2		
PRIVATE OPEN SPACE (INDOOR)	1 @ 50' BREADTH	0 SF PER LEVEL
COMMON OPEN SPACE (INDOOR)		0 SF
COMMON OPEN SPACE (OUTDOOR)		0 SF

PARKING MIX, LEVEL 2		
FIRST ACCESS	TANDEM	
COMPACT SPACES	16 SPACES	0 SPACES
STANDARD STALLS	205 SPACES	0 SPACES
TOTAL	221 SPACES	0 SPACES
GRAND TOTAL	221 SPACES	

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PROJECT NUMBER: 040-170110.00

PROJECT ADDRESS:
3440 WILSHIRE BLVD.
LOS ANGELES, CA 90010

PROJECT

CENTRAL PLAZA

LOS ANGELES, CA

ISSUE DRAWING LOG		
1	05/09/2016	CASE FILING
2	05/18/2018	REVISION FILING

SEAL

SHEET IDENTIFICATION
TITLE

**FLOOR PLAN -
LEVEL 2**

NUMBER

A1.04

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PARKING MIX, LEVEL 3		
	FIRST ACCESS	TANDEM
COMPACT SPACES	16 SPACES	0 SPACES
STANDARD STALLS	205 SPACES	0 SPACES
TOTAL	221 SPACES	0 SPACES
GRAND TOTAL	221 SPACES	

PROJECT _____

CENTRAL PLAZA
LOS ANGELES, CA

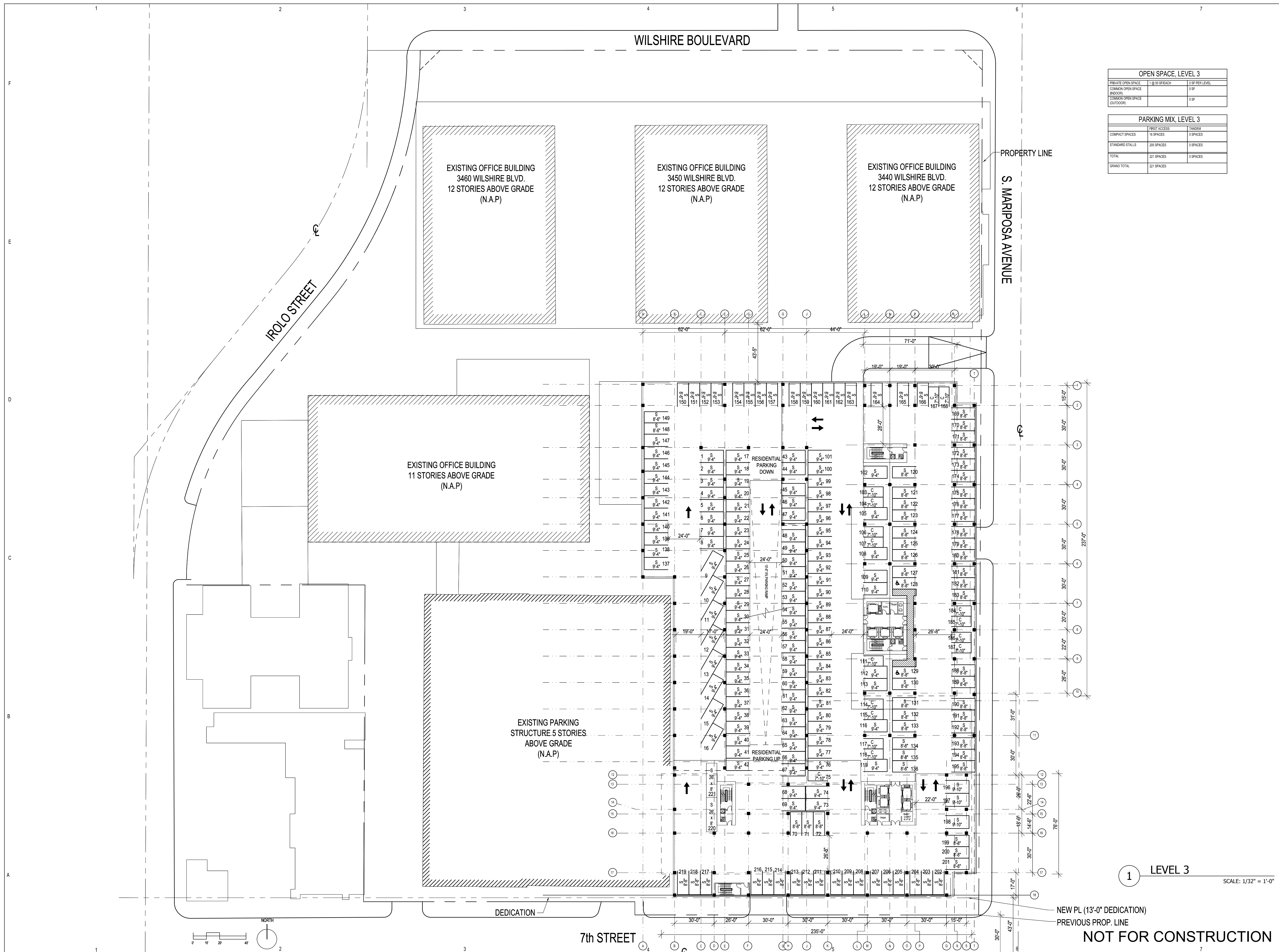
[illegible]

SEAL

FLOOR PLAN - LEVEL 3

A1.05

2018 CALLISON RTKL, INC.



PARKING MIX, LEVEL 4		
	FIRST ACCESS	TANDEM
COMPACT SPACES	28 SPACES	0 SPACES
STANDARD STALLS	193 SPACES	0 SPACES
TOTAL	221 SPACES	0 SPACES
GRAND TOTAL	221 SPACES	

PROJECT _____

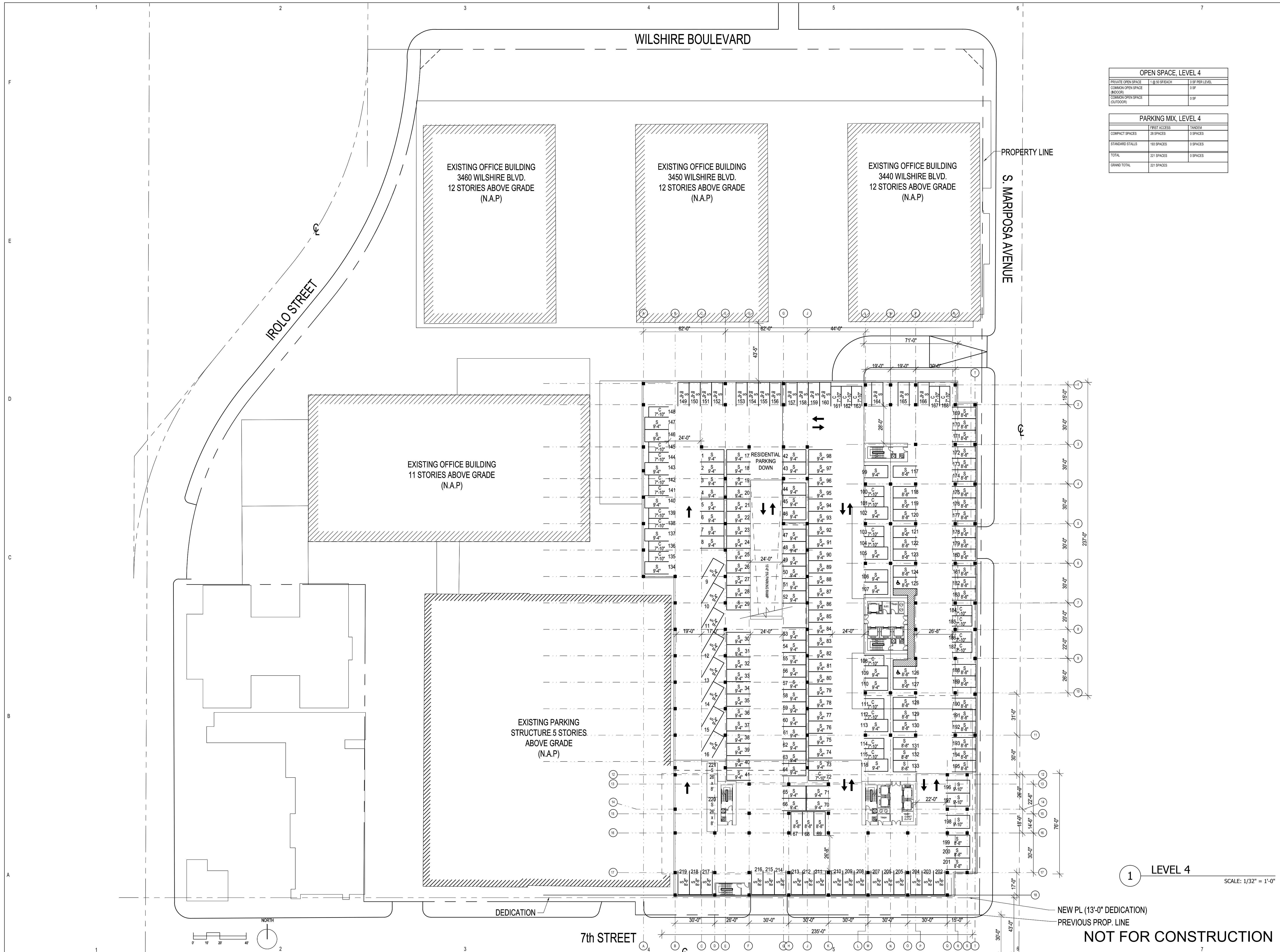
CENTRAL PLAZA
LOS ANGELES, CA

[illegible]

SEAL

FLOOR PLAN - LEVEL 4

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CENTRAL PLAZA
LOS ANGELES, CA

UNIT MIX, LEVEL 5		
	STUDIO UNITS	2BR UNITS
TOWER 1	8 (62%)	5 (38%)
TOWER 2	10 (71%)	4 (29%)
TOTAL	18 (67%)	9 (33%)

[illegible]

SEAL

SHEET IDENTIFICATION

TITLE

**FLOOR PLAN -
LEVEL 5**

NUMBER

A1.07

2018 CALLISON RTKL, INC.



CENTRAL PLAZA
LOS ANGELES, CA

UNIT MIX, LEVEL 6-16		
	STUDIO UNITS	2BR UNITS
TOWER 1	12 (75%)	4 (25%)
TOWER 2	11 (66%)	5 (31%)
TOTAL	23 (72%)	9 (28%)

[illegible]

SEAL

SHEET IDENTIFICATION
TITLE

FLOOR PLAN - LOWER LEVELS

NUMBER

A1.08

2018 CALLISON RTKL, INC.



CENTRAL PLAZA
LOS ANGELES, CA

UNIT MIX, LEVEL 17-21/26		
	STUDIO UNITS	2BR UNITS
TOWER 1	12 (75%)	4 (25%)
TOWER 2	11 (66%)	5 (31%)
TOTAL	23 (72%)	9 (28%)

[illegible]

SEAL

SHEET IDENTIFICATION

TITLE

FLOOR PLAN - UPPER LEVELS

NUMBER

A1.09

2018 CALLISON RTKL, INC.



CENTRAL PLAZA
LOS ANGELES, CA

UNIT MIX, PH LEVEL		
	STUDIO UNITS	2BR UNITS
TOWER 1	0 (0%)	11 (100%)
TOWER 2	0 (0%)	11 (100%)
TOTAL	0 (0%)	22 (100%)

[illegible]

SEAL

SHEET IDENTIFICATION

TITLE

**FLOOR PLAN -
PENTHOUSE
LEVEL**

NUMBER

A1.10

2018 CALLISON RTKL, INC.



CENTRAL PLAZA
LOS ANGELES, CA

OPEN SPACE, ROOF AMENITY LEVEL		
PRIVATE OPEN SPACE	1 @ 50 SF/EACH	0 SF PER LEVEL
COMMON OPEN SPACE (INDOOR)		6,575 SF
COMMON OPEN SPACE (OUTDOOR)		6,570 SF

[illegible]

SEAL

SHEET IDENTIFICATION

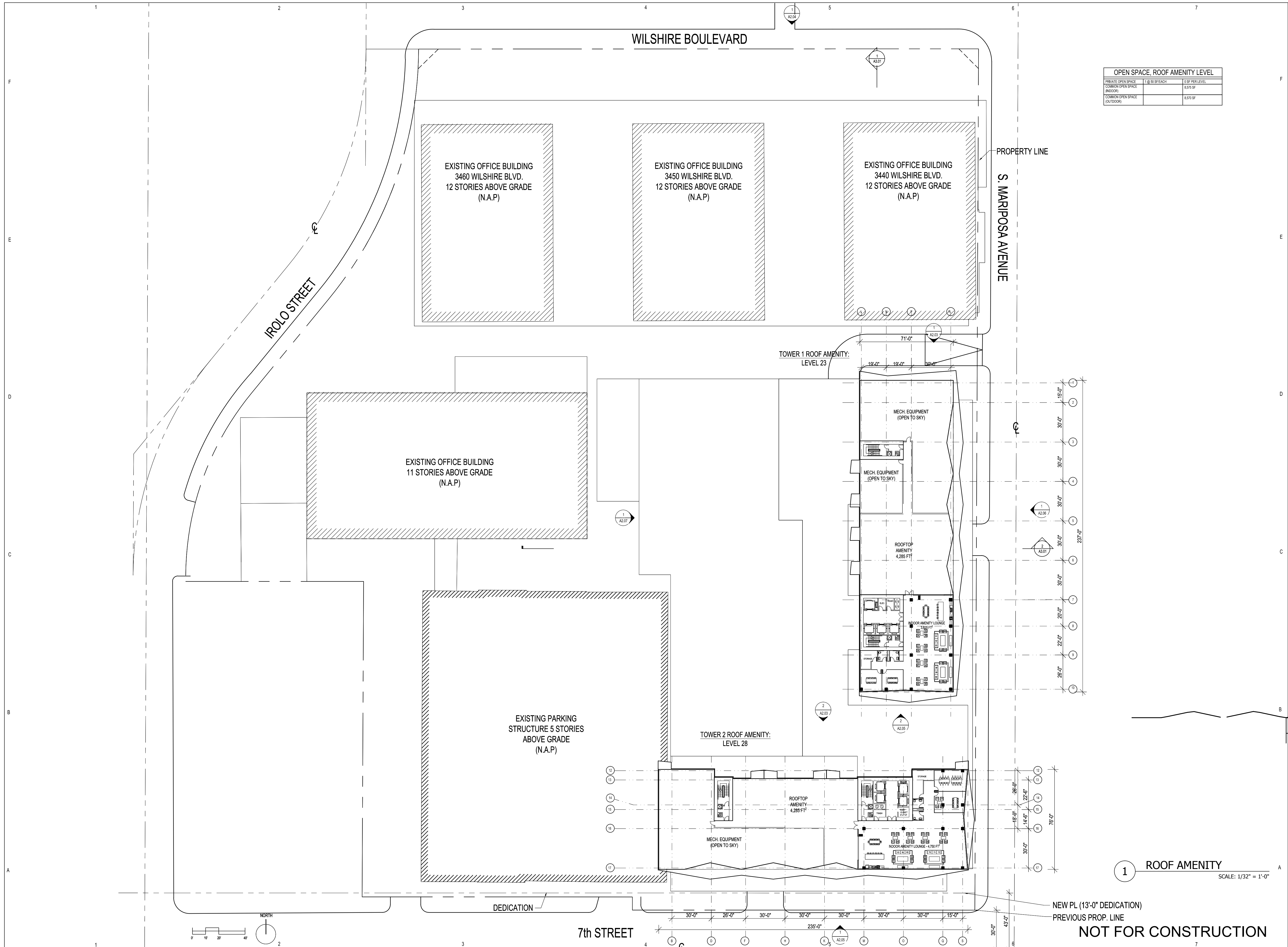
TITLE

**FLOOR PLAN -
ROOF LEVEL
AMENITY**

NUMBER

A1.11

2018 CALLISON RTKL, INC.



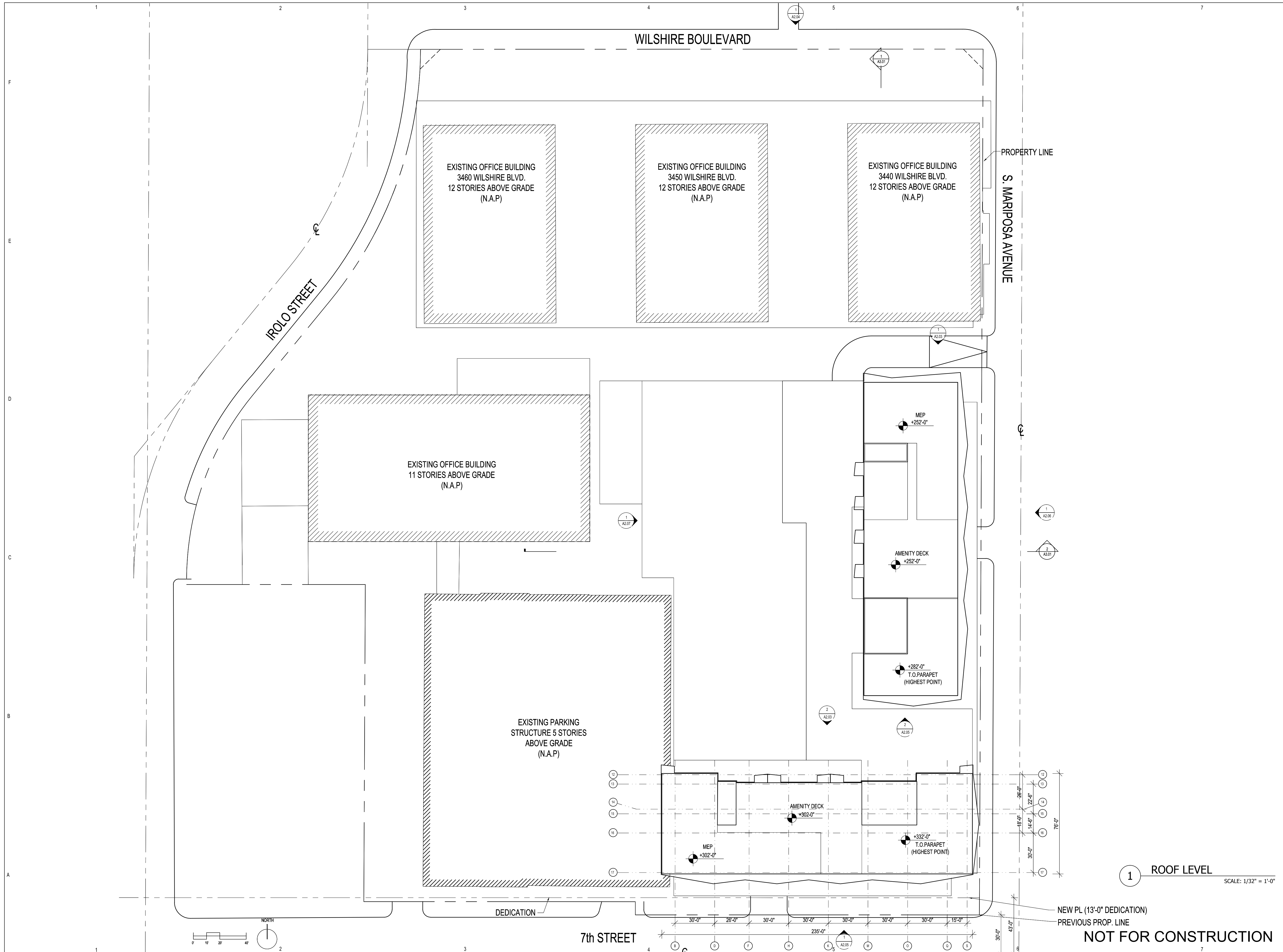
PROJECT

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LOS ANGELES, CA

SEAL

FLOOR PLAN - ROOF LEVEL

2018 CALLISON RTKL, INC.



3440 WILSHIRE BLVD
LOS ANGELES, CA 90010

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CENTRAL PLAZA
LOS ANGELES, CA

SEAL

TITLE

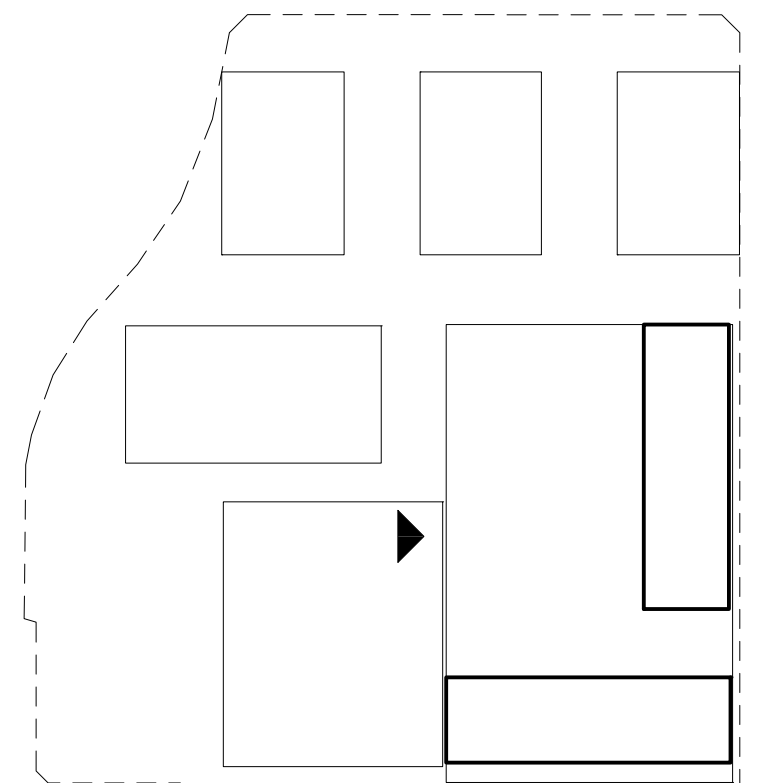
**WEST
ELEVATION**

A2.01

2018 CALLISON RTKL, INC.



MTL-01	METAL PANEL, LIGHT SILVER COLOR
MTL-02	METAL PANEL, DARK GRAY COLOR
MTL-03	METAL LOUVRES LIGHT SILVER COLOR
MTL-04	PERFORATED METAL MESH, SILVER COLOR
ST-01	GFRC PANEL, WHITE
ST-02	EXPOSED CONCRETE
ST-03	BRICK
PL-01	PLASTER, DARK GRAY
GL-01	VISION GLASS, CLEAR
GL-02	TEMPERED GLASS (GUARDRAIL, GLASS DOOR)
LT-01	PIN MOUNTED, BACK-LIT SIGNAGE



NOT FOR CONSTRUCTION

CENTRAL PLAZA
LOS ANGELES, CA

[illegible]

SEAL

SHEET IDENTIFICATION

TITLE

NORTH ELEVATIONS

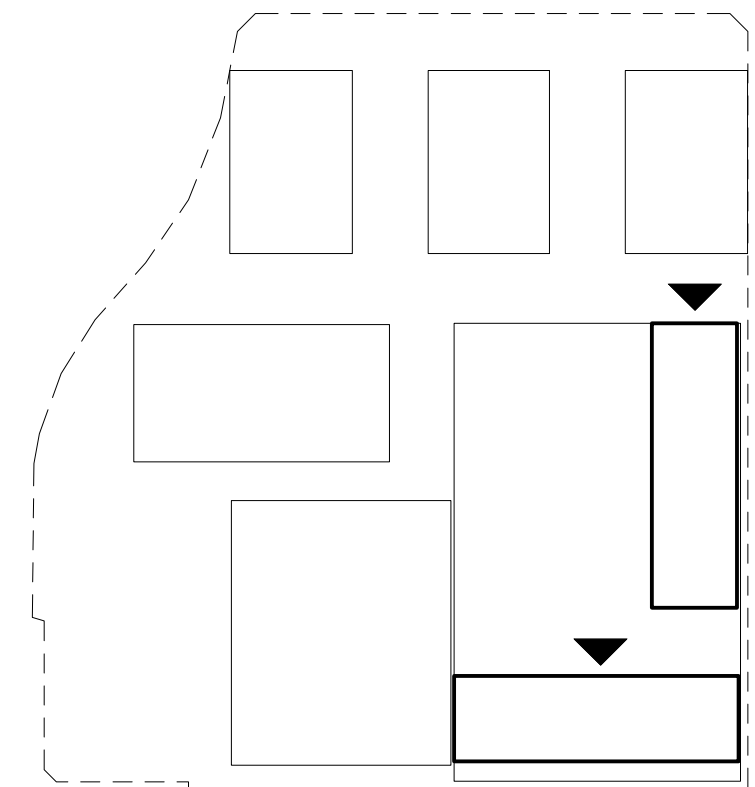
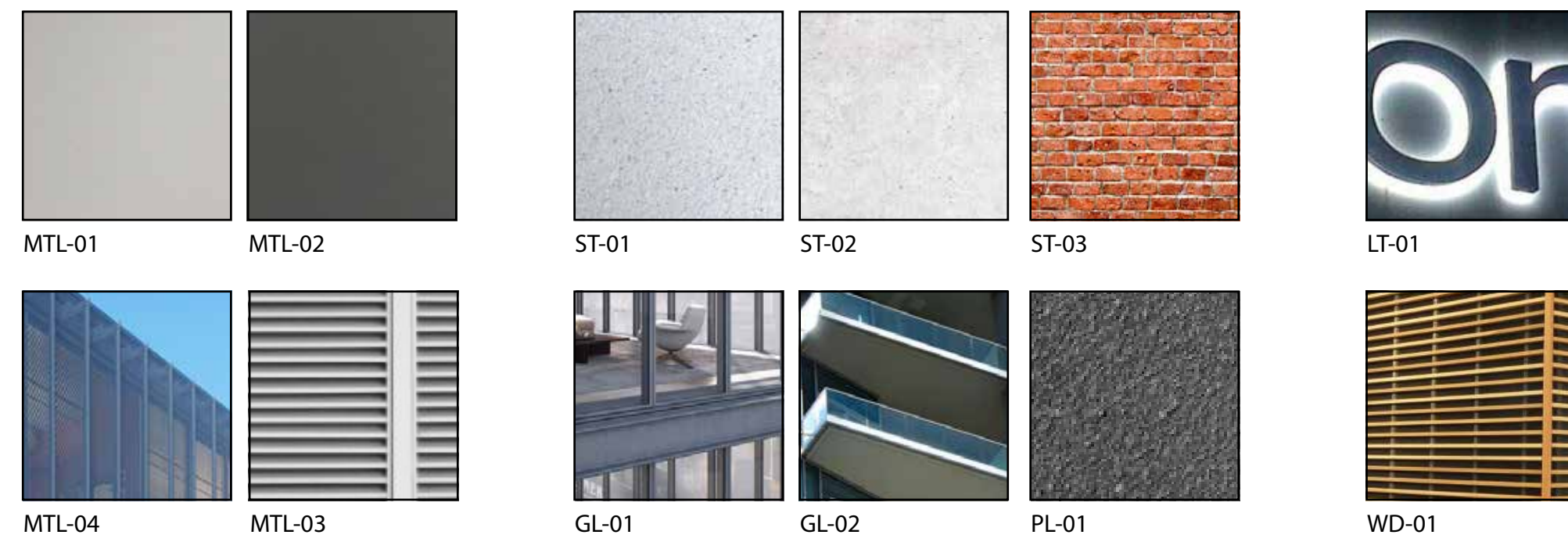
NUMBER

A2.02

2018 CALLISON RTKL, INC.



MTL-01	METAL PANEL, LIGHT SILVER COLOR
MTL-02	METAL PANEL, DARK GRAY COLOR
MTL-03	METAL LOUVRES LIGHT SILVER COLOR
MTL-04	PERFORATED METAL MESH, SILVER COLOR
ST-01	GFRC PANEL, WHITE
ST-02	EXPOSED CONCRETE
ST-03	BRICK
PL-01	PLASTER, DARK GRAY
GL-01	VISION GLASS, CLEAR
GL-02	TEMPERED GLASS (GUARDRAIL, GLASS DOOR)
LT-01	PIN MOUNTED, BACK-LIT SIGNAGE



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[illegible]

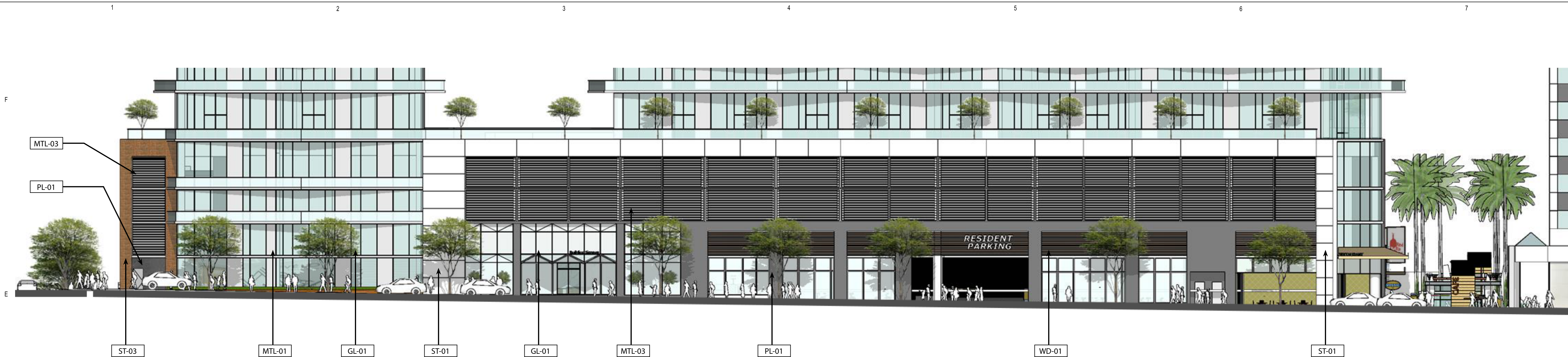
SHEET IDENTIFICATION

NUMBER

2018 CALLISON RTKL, INC.



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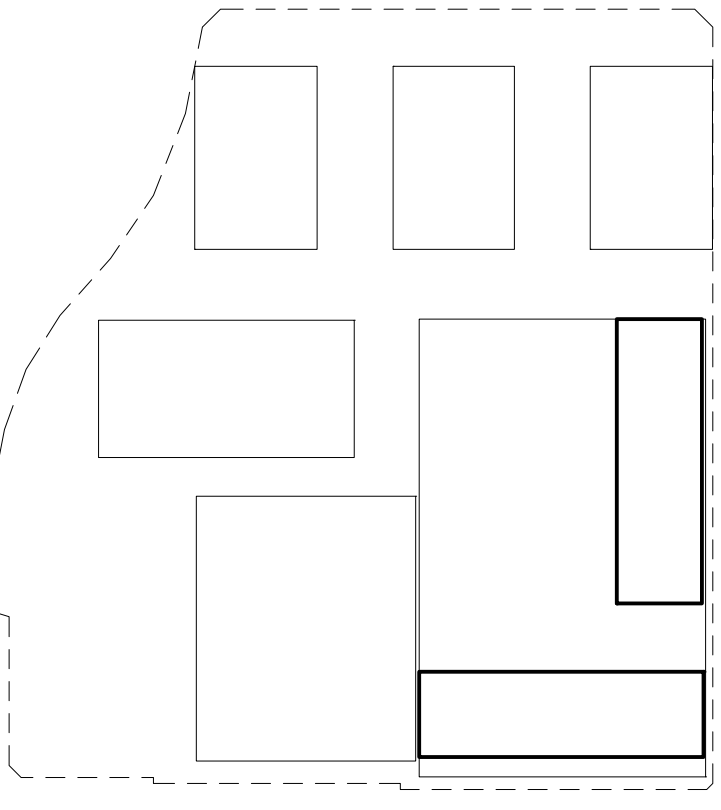
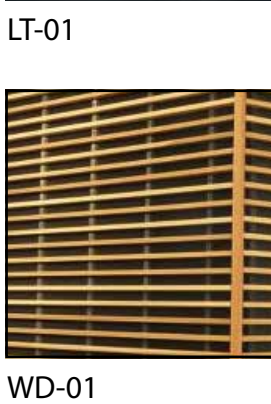
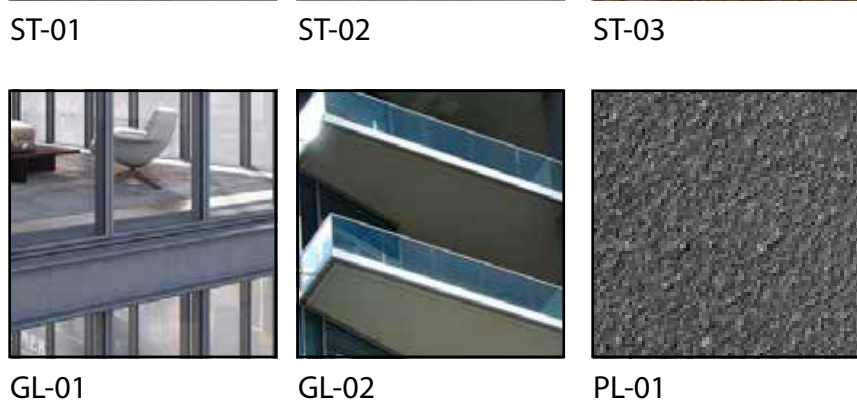
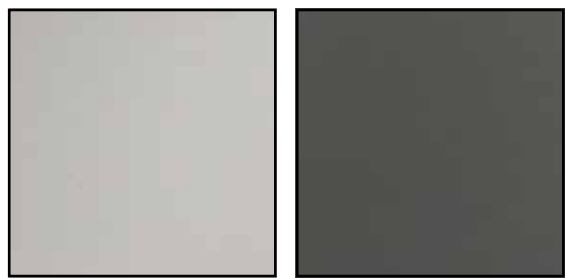
1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

MATERIAL FINISHES

- MTL-01 METAL PANEL, LIGHT SILVER COLOR
MTL-02 METAL PANEL, DARK GRAY COLOR
MTL-03 METAL LOUVRES LIGHT SILVER COLOR
MTL-04 PERFORATED METAL MESH, SILVER COLOR
- ST-01 GFRP PANEL, WHITE
ST-02 EXPOSED CONCRETE
ST-03 BRICK
- PL-01 PLASTER, DARK GRAY
- GL-01 VISION GLASS, CLEAR
GL-02 TEMPERED GLASS (GUARDRAIL, GLASS DOOR)
- LT-01 PIN MOUNTED, BACK-LIT SIGNAGE



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CENTRAL PLAZA
LOS ANGELES, CA

ISSUE DRAWING LOG		
1	05/09/2016	CASE FILING
2	05/18/2018	REVISION FILING

SEAL

SHEET IDENTIFICATION
TITLE
**LEVEL 1
ENLARGED
ELEVATIONS**
NUMBER

A2.05



SCALE: 1/16" = 1'-0"

WD-01

2018 CALLISON RTKL, INC.

PROJECT

[illegible]

SEAL

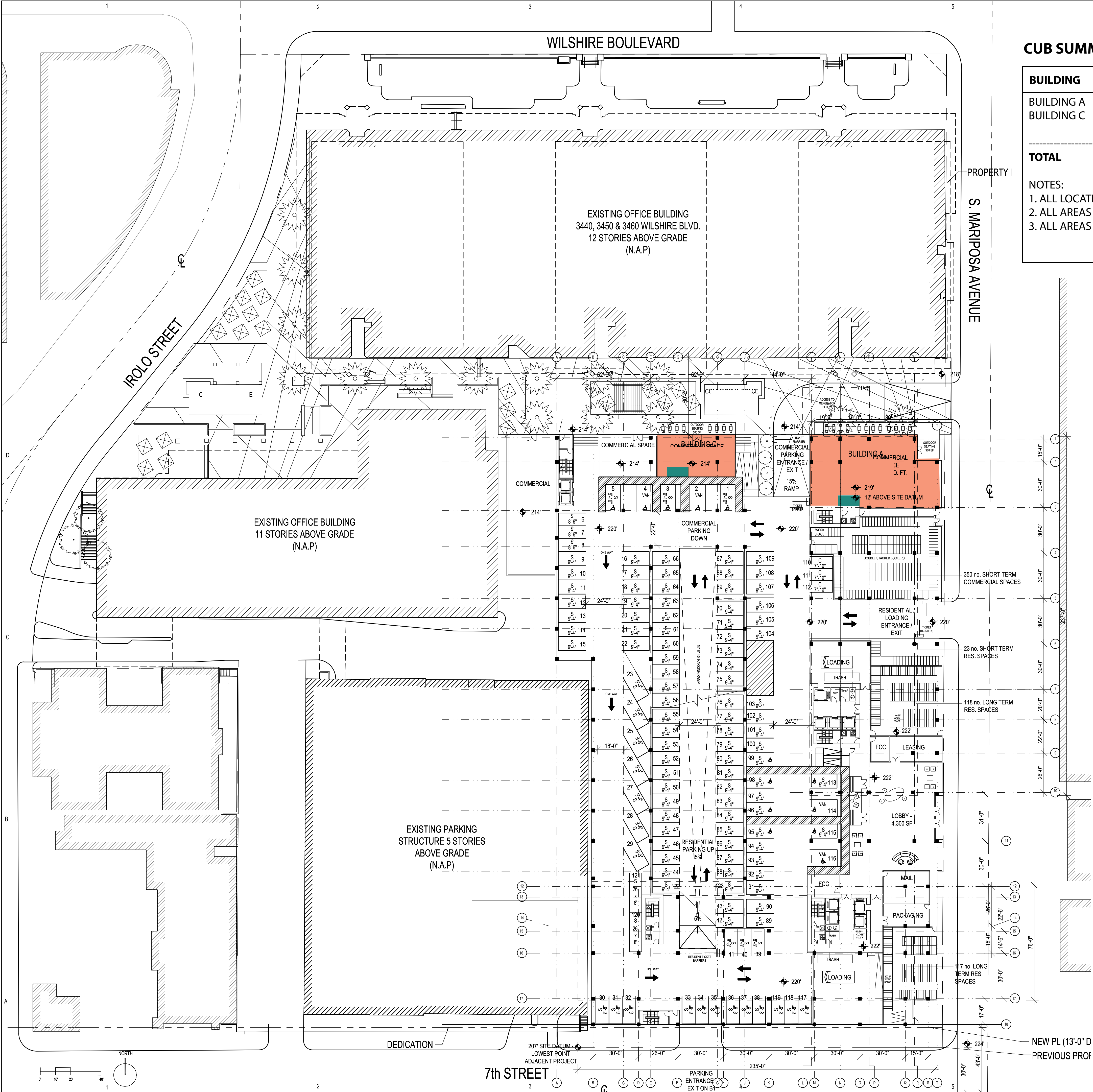
SHEET IDENTIFICATION

TITLE

NUMBER

2018 CALLISON RTKL, INC.





CUB SUMMARY TABLE

BUILDING	USE	BUILDING AREA	PATIO AREA	TYPE
BUILDING A	RESTAURANT	3,345 SF	900 SF	47
BUILDING C	RESTAURANT	1,500 SF	500 SF	47

TOTAL **4,954 SF** **1,400 SF**

- NOTES:
1. ALL LOCATIONS AND AREAS ARE APPROXIMATE AND MAY VARY.
 2. ALL AREAS SHOWN ARE GROSS BUILDING AREA (GBA).
 3. ALL AREAS SHOWN ON PLAN INCLUDE BUILDING AREA PLUS PATIO AREA.

INTERIOR SPACE
ALCOHOL STORAGE

1 LEVEL 1
SCALE: 1/32" = 1'-0"

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CENTRAL PLAZA
LOS ANGELES, CA

ISSUE DRAWING LOG

1	05/09/2016	CASE FILING
2	05/18/2018	REVISION FILING

SEAL

SHEET IDENTIFICATION
TITLE

CUB EXHIBIT

NUMBER

A4.01

2018 CALLISON RTKL, INC.

PROJECT

CENTRAL PLAZA
LOS ANGELES, CA

[illegible]

SEAL

RENDERING

2018 CALLISON RTKL, INC.



1 VIEW FROM 7TH & MARIPOSA LOOKING NORTH WEST

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PROJECT

CENTRAL PLAZA
LOS ANGELES, CA

SEAL

RENDERING

2018 CALLISON RTKL, INC.

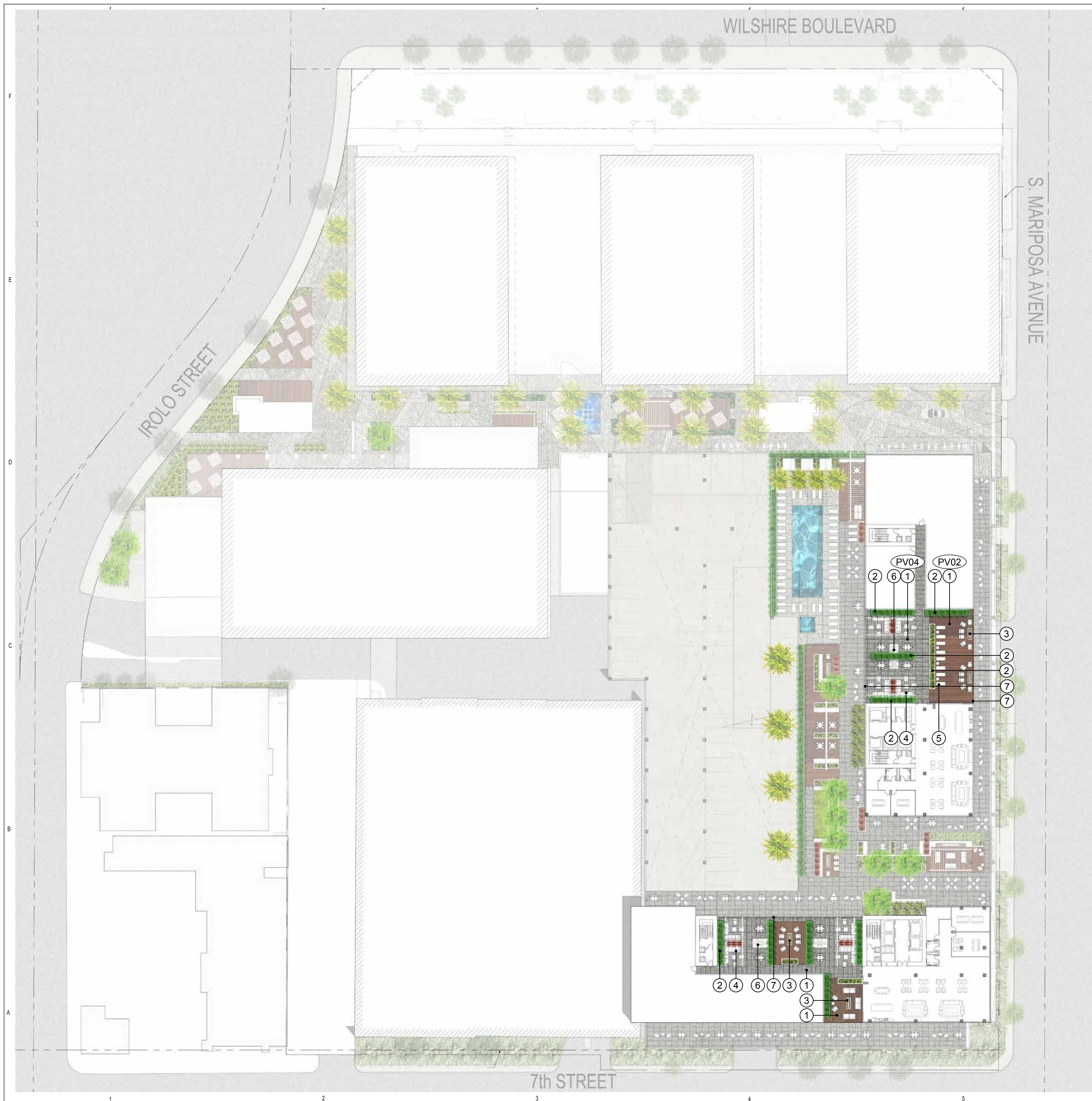


1 STREET VIEW FROM PASEO LOOKING WEST



2 STREET VIEW FROM PASEO LOOKING EAST

NOT FOR CONSTRUCTION



LEGEND

- ① ENHANCED PAVING
- ② PLANTER WITH SHRUB/GROUNDCOVER PLANTING MIX
- ③ FIREPIT WITH LOUNGE SEATING
- ④ TRELLIS WITH LOUNGE SEATING
- ⑤ CHAISE LOUNGE CHAIRS
- ⑥ BBQ COUNTER WITH SEATING AREA
- ⑦ GUARDRAIL

PAVING FINISHES



- | | | | |
|--|---------------------------------------|--|--|
| PV01 | PV02 | PV03 | PV04 |
| PRECAST
CONCRETE
PAVERS,
GREY COLOR | PORCELAIN
WOOD TILE,
GREY COLOR | CAST IN PLACE
CONCRETE
PAVING, NATURAL
GREY COLOR | CAST IN PLACE
CONCRETE
PAVING,
COBBLESTONE
COLOR |

WALL FINISHES



- | W01 | W02 | W03 |
|--|--|--|
| CAST IN PLACE
CONCRETE
BOARD FORM
WALL, NATURAL
GREY COLOR | PRECAST
CONCRETE WALL,
WHITE COLOR | DECORATIVE CMU
BLOCK WALL,
WHITE COLOR |

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PROJECT

CENTRAL PLAZA
LOS ANGELES, CA

[illegible]

SEAL

SHEET IDENTIFICATION

TITLE

ROOF LEVEL
LANDSCAPE PLAN

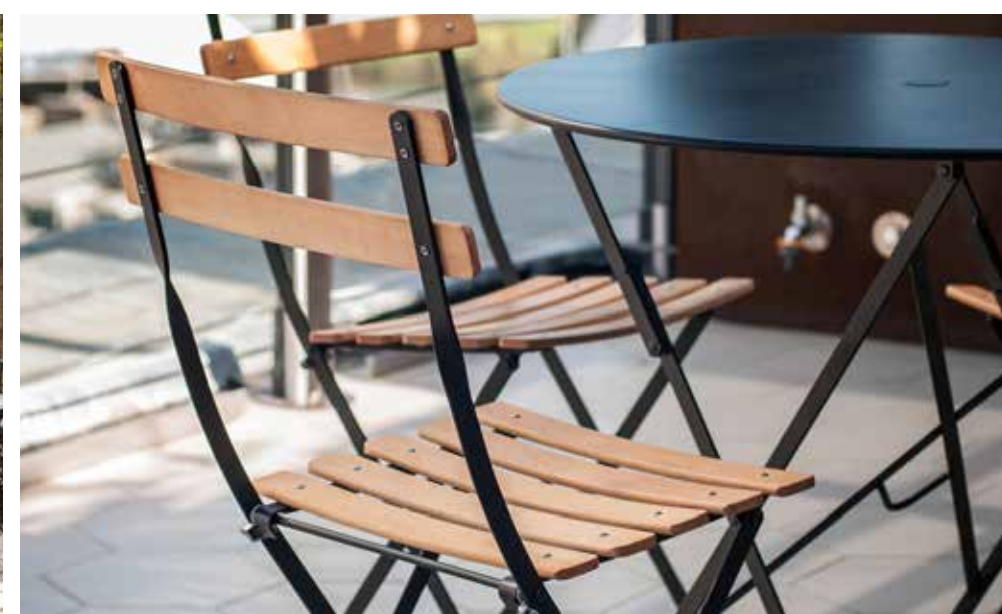
NUMBER

L-1.03

2016 CALLISON RTKL, INC.

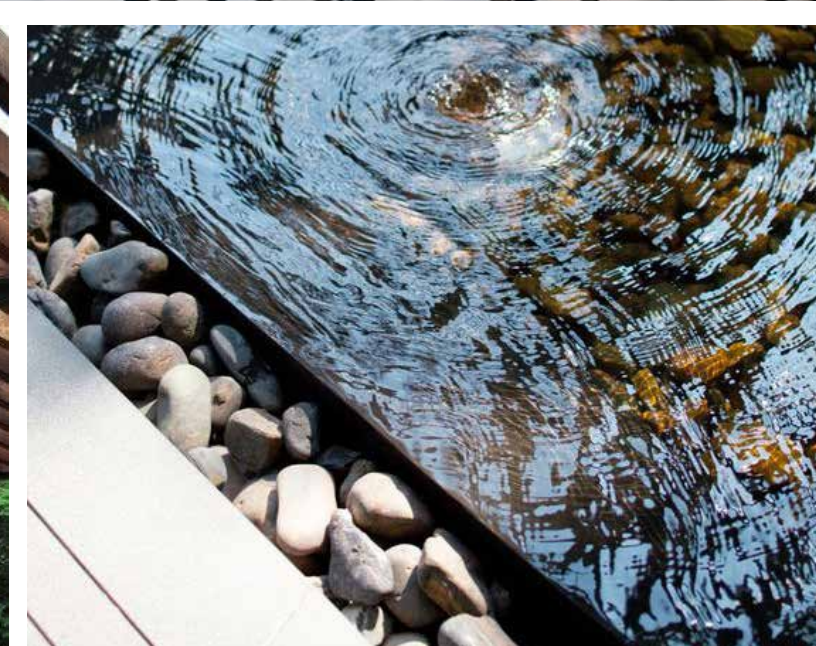


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LEVEL 1

RESTAURANT PATIO SEATING
TRELLIS
WATER FEATURE
BOLLARDS



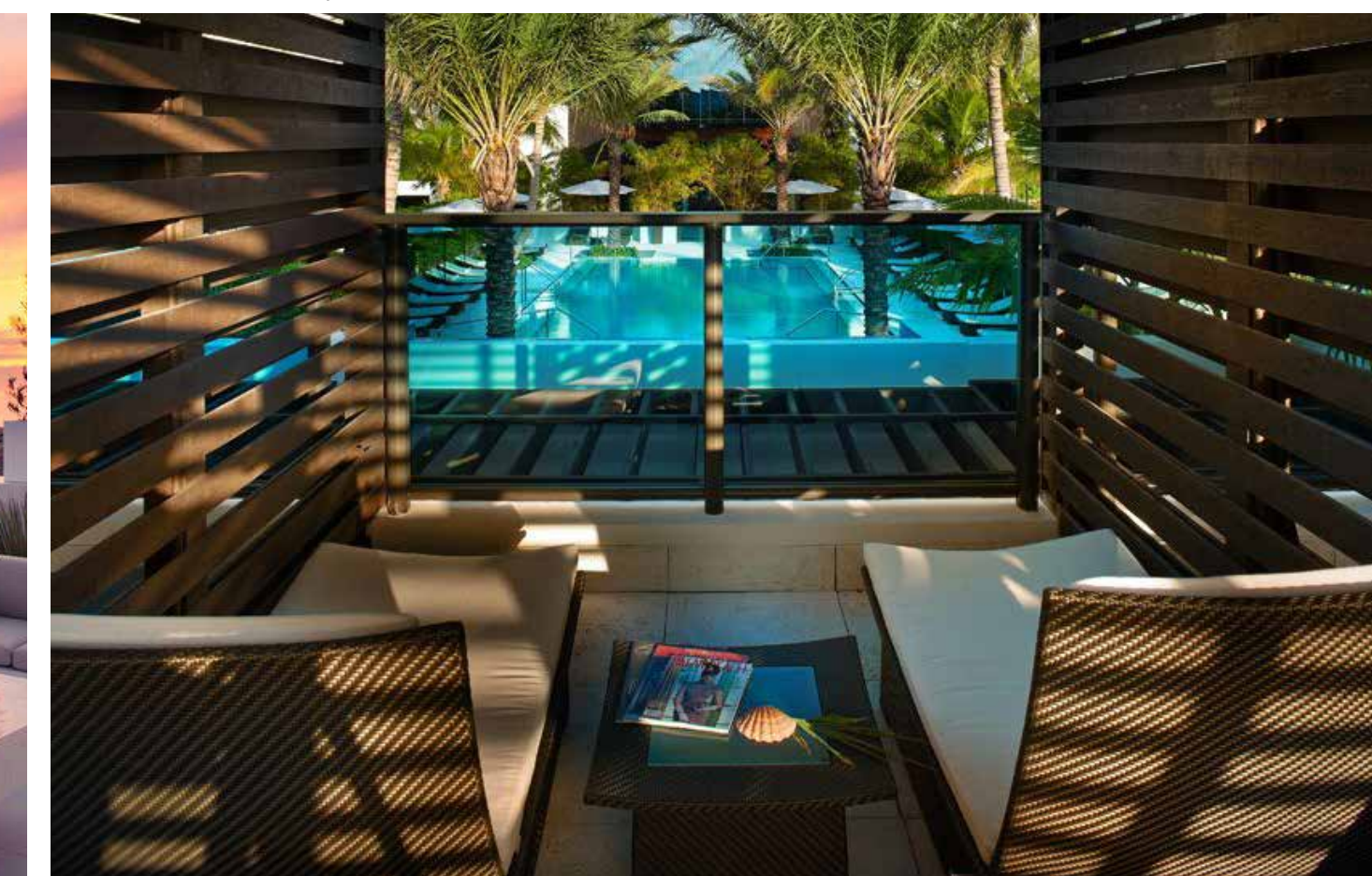
ROOF LEVEL

TRELLIS
FIREPIT
CHAISE LOUNGE CHAIRS
BBQ COUNTER



LEVEL 5

FIREPIT
FIREPLACE
POOL + SPA
CHAISE LOUNGE CHAIRS
POOL CABANAS
TRELLIS
BBQ COUNTER
DOG AREA WITH BENCH



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3440 WILSHIRE BOULEVARD
LOS ANGELES, CA 90010

PROJECT _____

CENTRAL PLAZA
LOS ANGELES, CA

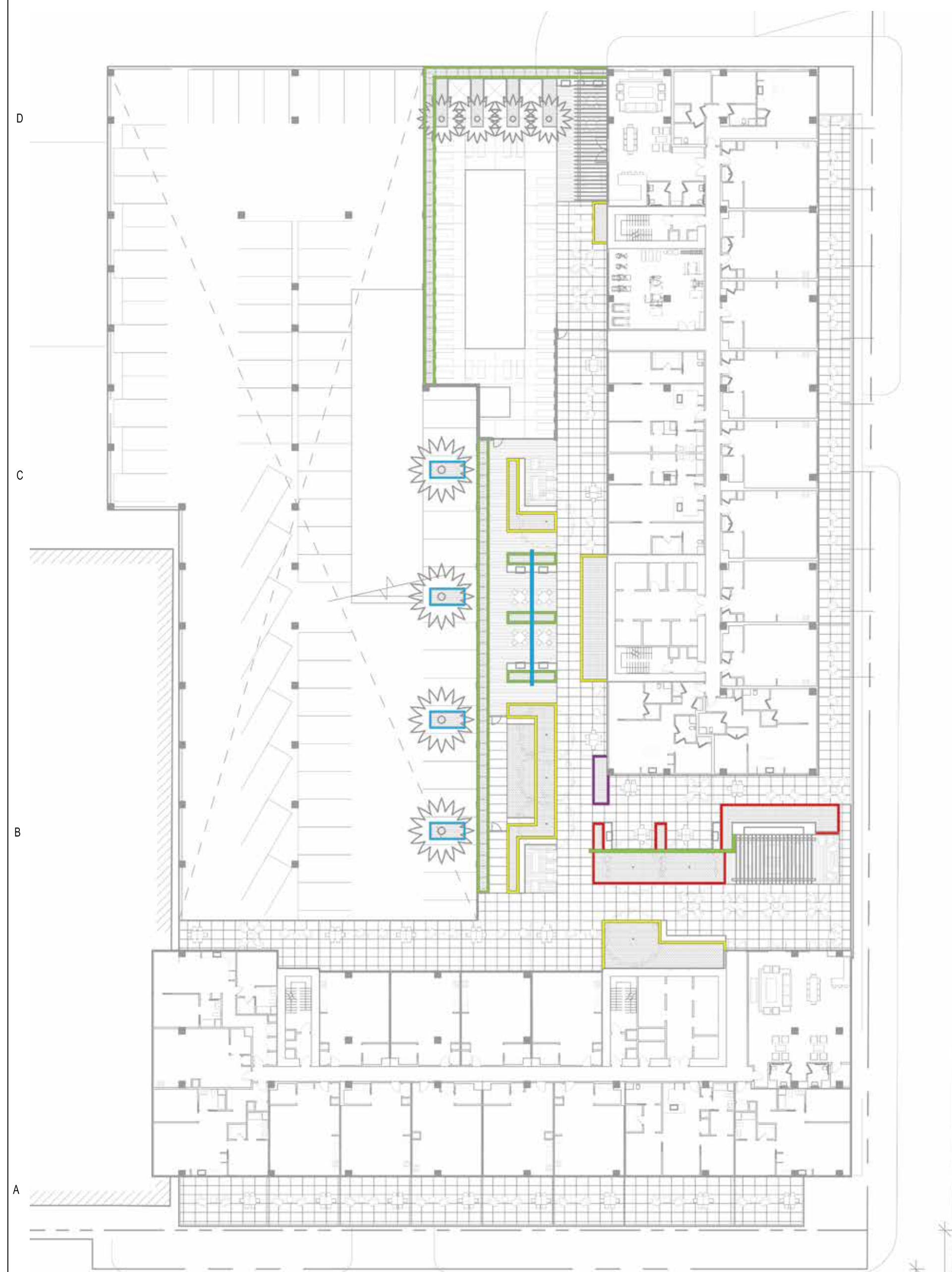
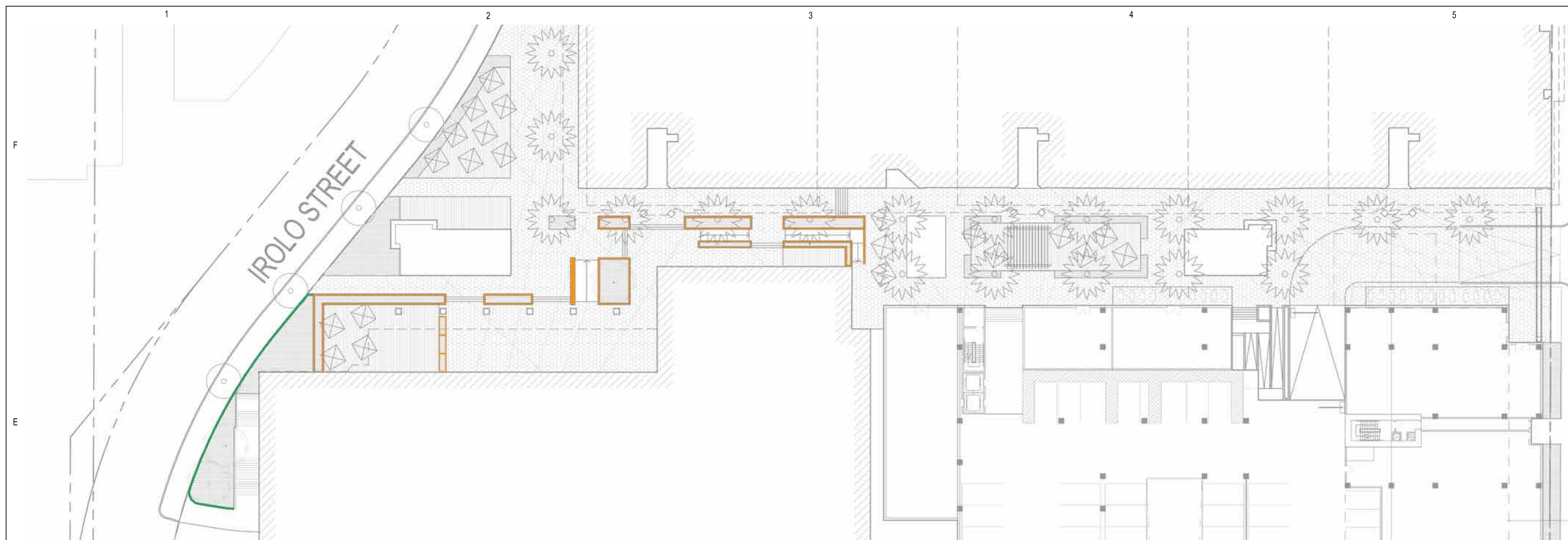
[illegible]

SEAL

SHEET IDENTIFICATION
 TITLE

NUMBER
L-1.04

2016 CALLISON RTKL, INC.



LEGEND

Age Group	Percentage
12"	10%
24"	10%
36"	10%
40"	10%
42"	10%
48"	10%
60"	10%

NOTE:
PLANTER WALL HEIGHT IS FROM TOP OF WALL TO
THE HIGHEST ADJACENT FINISH SURFACE
ELEVATION.

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PROJECT

CENTRAL PLAZA
LOS ANGELES, CA

ISSUE DRAWING LOG		
1	09/24/2016	CASE FILING
2	07/18/2018	REVISED CASE FILING
3	08/10/2018	REVISED CASE FILING

SEAL

SHEET IDENTIFICATION

TITLE

PLANTER WALL HEIGHT PLAN

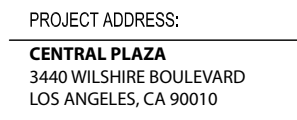
NUMBER

L-1.05

2016 CALLISON RTKL, INC.



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PROJECT

CENTRAL PLAZA
LOS ANGELES, CA

ISSUE DRAWING LOG

[illegible]

SEAL

SHEET IDENTIFICATION

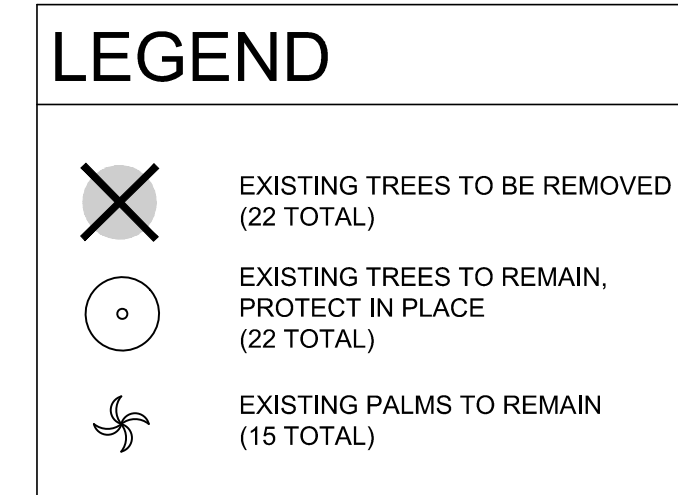
TITLE

TREE DISPOSITION
PLAN

NUMBER

L-1.06

2016 CALLISON RTKL, INC.



TREE ID	SPECIES NAME	COMMON NAME	HEALTH	PROTECTED? Y/N	REMOVE Y/N
TREES IN PUBLIC RIGHT OF WAY					
Tree 1	FICUS MICROCARPA NITIDA	CHINESE BANYAN	FAIR	N	Y
Tree 2	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 3	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 4	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 5	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 6	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 7	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 8	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 9	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 10	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	Y
Tree 11	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 12	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 13	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 14	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 15	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 16	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 17	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 18	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 19	CINNAMOMUM CAMPHORA	CAMPBOR TREE	GOOD	N	Y
Tree 20	QUERCUS DOUGLASII	BLUE OAK	FAIR	Y	N
Tree 21	PITTSOPORUM RHOMBIFOLIUM	QUEENSLAND PITTSOPORUM	FAIR	N	N
Tree 22	PITTSOPORUM RHOMBIFOLIUM	QUEENSLAND PITTSOPORUM	FAIR	N	N
Tree 23	PITTSOPORUM RHOMBIFOLIUM	QUEENSLAND PITTSOPORUM	FAIR	N	N
Tree 24	PITTSOPORUM RHOMBIFOLIUM	QUEENSLAND PITTSOPORUM	FAIR	N	N
Tree 25	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	GOOD	N	N
Tree 26	LAGERSTROEMIA INDICA	CRAPE MYRTLE	GOOD	N	N
Tree 27	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	GOOD	N	N
Tree 28	LAGERSTROEMIA INDICA	CRAPE MYRTLE	GOOD	N	N
Tree 29	LAGERSTROEMIA INDICA	CRAPE MYRTLE	GOOD	N	N
Tree 30	LAGERSTROEMIA INDICA	CRAPE MYRTLE	GOOD	N	N

TREES IN PRIVATE PROPERTY					
Tree A	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree B	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree C	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree D	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree E	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree F	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree G	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree H	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree I	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree J	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree K	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree L	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree M	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree N	SYAGRUS ROMANZOFFIANA	QUEEN PALM	GOOD	N	Y
Tree O	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree P	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree Q	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree R	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree S	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree T	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree U	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree V	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree W	CUPANIOPSIS ANACARDIOIDES	CARROTWOOD	GOOD	N	Y
Tree Y	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	N
Tree Z	FICUS MICROCARPA NITIDA	CHINESE BANYAN	GOOD	N	N
Tree AA	MELALEUCA QUINQUENERVIA	PAPERBARK TREE	GOOD	N	N
Tree BB	MELALEUCA QUINQUENERVIA	PAPERBARK TREE	GOOD	N	N
Tree CC	CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	GOOD	N	Y
Tree DD	MELALEUCA QUINQUENERVIA	PAPERBARK TREE	GOOD	N	N



NOT FOR CONSTRUCTION



CALLISON RTKL, INC.
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WWW.CALLISONRTKL.COM
PROJECT NUMBER: 040-150069.00



PROJECT ADDRESS:
CENTRAL PLAZA
3440 WILSHIRE BOULEVARD
LOS ANGELES, CA 90010

PROJECT

CENTRAL PLAZA
LOS ANGELES, CA

[illegible]

SEA

SHEET IDENTIFICATION

LEVEL 1 PLANTING PALETTE

NUMBER.

L-1.07

2016 CALLISON RTKL, INC.

NOT FOR CONSTRUCTION

CENTRAL PLAZA
LOS ANGELES, CA

[illegible]

SEAL _____

SHEET IDENTIFICATION

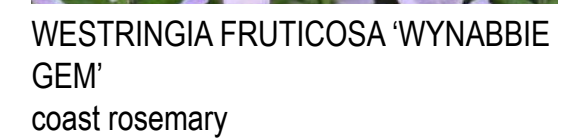
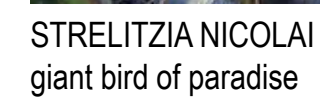
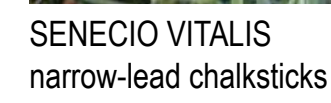
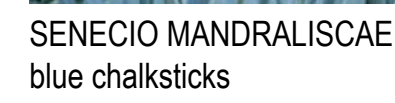
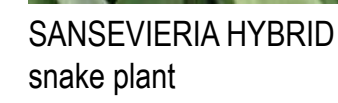
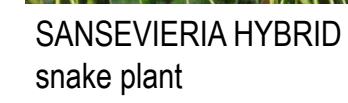
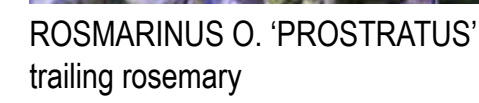
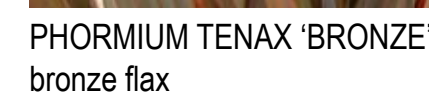
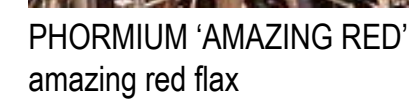
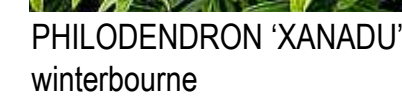
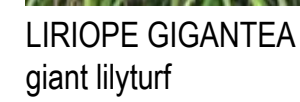
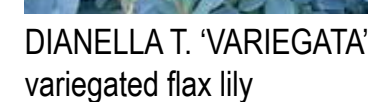
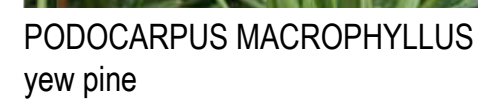
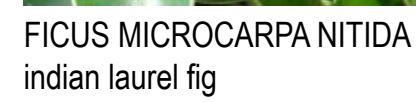
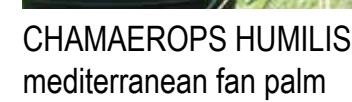
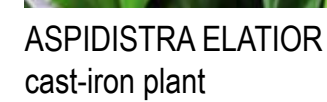
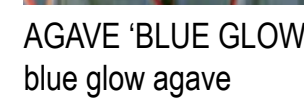
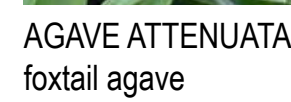
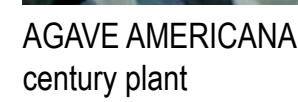
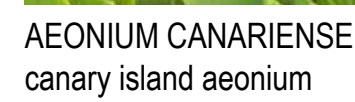
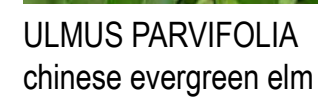
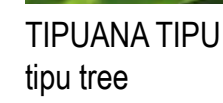
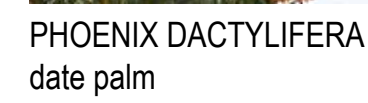
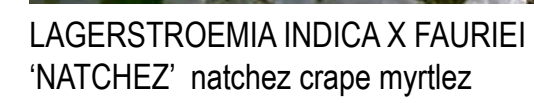
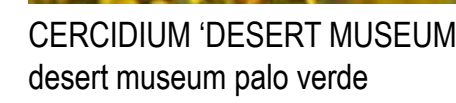
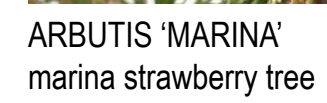
TITLE

LEVEL 5/ROOF LEVEL
PLANTING PALETTE

NUMBER

L-1.08

2016 CALLISON RTKL, INC.



NOT FOR CONSTRUCTION