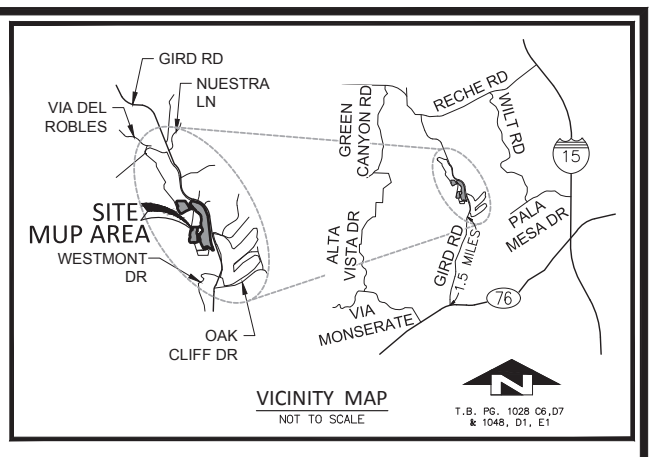
MONSERATE WINERY

COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION
PDS 2018-P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003



VICINITY MAP
NOT TO SCALE

NOTES

1. MUP MODIFICATION BOUNDARY AREA: 23.7 ACRES
2. GENERAL PLAN REGIONAL CATEGORY: SEMI-RURAL
3. GENERAL PLAN LAND USE DESIGNATION: OPEN SPACE (RECREATION)
4. COMMUNITY PLAN: FALLBROOK
5. THE FALLBROOK GOLF COURSE WAS ORIGINALLY PERMITTED UNDER MAJOR USE PERMIT P61-098 AND WAS SUBSEQUENTLY MODIFIED TO ALLOW THE EXPANSION OF THE GOLF COURSE UNDER MAJOR USE PERMIT P72-567. THE SUBJECT PROPERTY IS CURRENTLY GOVERNED BY THE MOST RECENT MAJOR USE PERMIT (P74-165), APPROVED ON JANUARY 24, 1975, WHICH ALLOWED FOR THE EXPANSION AND CONTINUED USE OF THE GOLF COURSE.
6. ASSOCIATED REQUESTS: N/A
7. WATER DISTRICT: RAINBOW MUNICIPAL WATER DISTRICT
8. SEWER DISTRICT: RAINBOW MUNICIPAL WATER DISTRICT
9. GAS & ELECTRIC: SAN DIEGO GAS & ELECTRIC COMPANY
10. FIRE DISTRICT: NORTH COUNTY PROTECTION FIRE DISTRICT
11. SCHOOL DISTRICT: FALLBROOK UNION ELEMENTARY SCHOOL DISTRICT, FALLBROOK UNION HIGH SCHOOL DISTRICT & BONSALL UNIFIED SCHOOL DISTRICT
12. THE MUP MODIFICATION WILL DISCONTINUE THE PREVIOUS 18 HOLE GOLF COURSE, CLUBHOUSE AND REPLACE A PORTION OF THE SITE WITH A WINERY, TASTING ROOM, RESTAURANT, AND THREE VENUE EVENT CENTERS.
13. THE EXACT LOCATION AND DIMENSIONS OF ALL BUILDINGS, STRUCTURES, EQUIPMENT ARE TYPICAL AND EXACT DIMENSIONS AND LOCATIONS MAY VARY. MINOR DEVIATION REQUIREMENTS ARE GOVERNED BY SECTION 7609 OF THE ZONING ORDINANCE. ALTHOUGH THEY SHALL SUBSTANTIALLY CONFORM TO WHAT IS INDICATED ON THE PLANS TO REFLECT THE APPROXIMATE BULK, SCALE AND SIZE.
14. LIGHTING FOR MAINTENANCE AND SECURITY PURPOSES ONLY. SHIELDED LIGHTING LOCATED AT ENTRANCE GATES, PARKING LOT AND BUILDING ENTRANCES SHALL CONFORM TO COUNTY OF SAN DIEGO OUTDOOR LIGHTING REQUIREMENTS AND THE COUNTY LIGHT POLLUTION CODE. LIGHTING SHALL BE ARCHITECTURAL AND SHIELD AND NOT OVERFLOW FROM AREA. BUILDING ILLUMINATION AND ARCHITECTURE LIGHTING SHALL BE INDIRECT IN CHARACTER (NO LIGHT SOURCE VISIBLE). PARKING LOT LIGHTING SHALL COMPLY WITH SAN DIEGO COUNTY ZONING ORDINANCE #6792. ALL OUTDOOR LIGHTING WILL COMPLY WITH SAN DIEGO COUNTY ZONING ORDINANCE SECTION #6300.
15. THE PROJECT PROPOSES TO BE GRADED IN TWO PHASES AS SHOWN ON THE PLOT PLAN SHEET 2. ALL IMPROVEMENTS (PARKING, ACCESS, INFRASTRUCTURE, LANDSCAPE AND BMP's) WILL BE INSTALLED WITH EACH PHASE. CONSTRUCTION OF STRUCTURES WITHIN EACH OF THE PHASES ARE MARKET DRIVEN AND WILL NOT OCCUR IN ANY PARTICULAR ORDER, TIMING OR SEQUENCE. AS AN INTERIM REPLACEMENT FOR THE WINE TASTING AND EVENT VENUE, MODULAR BUILDINGS/TENT MAY BE USED WITH THE APPROVAL OF THE FAJ (SEE NOTES ON SHEET 2).
16. SEE PRELIMINARY GRADING PLAN FOR PROPOSED GRADING CONCEPT.
17. PROJECT SIGNAGE SHALL BE IN CONFORMANCE WITH SAN DIEGO COUNTY ZONING ORDINANCE SECTION #6250.
18. PROJECT ENTRY GATES SHALL BE DESIGNED AND CONSTRUCTED TO MEET COUNTY OF SAN DIEGO DESIGN STANDARDS TO THE SATISFACTION OF THE NORTH COUNTY FIRE PROTECTION DISTRICT.
19. MAIN ACCESS GATE AND EMERGENCY ACCESS GATES 1 & 2 TO BE EQUIPPED WITH FIRE DEPARTMENT APPROVED STROBE LIGHT ACTIVATION AND KNOX KEY-OPERATED SWITCH.
20. THE OUTDOOR EVENTS ARE LIMITED TO LIGHT CEREMONY MUSIC AND OFFICIATE. THE CEREMONY AREAS WILL FACE TOWARD THE SLOPING HILL OR THE WINERY BUILDING TO ENSURE NOISE ATTENUATION.
21. THE AMPLIFIED MUSIC FROM THE EVENTS WILL BE LIMITED TO INSIDE THE PROPOSED VENUES AND WOULD PROMPTLY END BY 10:00PM.
22. HOURS OF OPERATIONS WOULD BE LIMITED TO 10:00 AM TO 10:00 PM, WHERE NO MUSIC, LIVE OR RECORDED WOULD OCCUR AFTER 10:00 PM.

EXISTING EASEMENTS

	DESCRIPTION	DOC. #
32	SDG&E PUBLIC UTILITIES	DOC. 120804, BK 4253 PG 35, 10/3/1951
35	PUBLIC ROAD EASEMENT	DOC. 132414 BK. 5384 PG. 583, 10/4/1954
42	FALLBROOK PUBLIC UTILITIES	DOC. 65204, BK. 7050, PG. 249, 4/23/1958
64	PUBLIC ROAD EASEMENT	FILE NO. 122061, 7/7/1964
65	PUBLIC ROAD EASEMENT	FILE NO. 122064, 7/7/1964
66	PUBLIC ROAD EASEMENT	FILE NO. 122065, 7/7/1964
98	GRANT & AGREEMENT	FILE NO. 2004-0505579, 6/26/2004

CHICAGO TITLE INSURANCE COMPANY PRELIMINARY REPORT ORDER NUMBER 7101614983, DATED 9/1/2016

PARKING SUMMARY TABLE

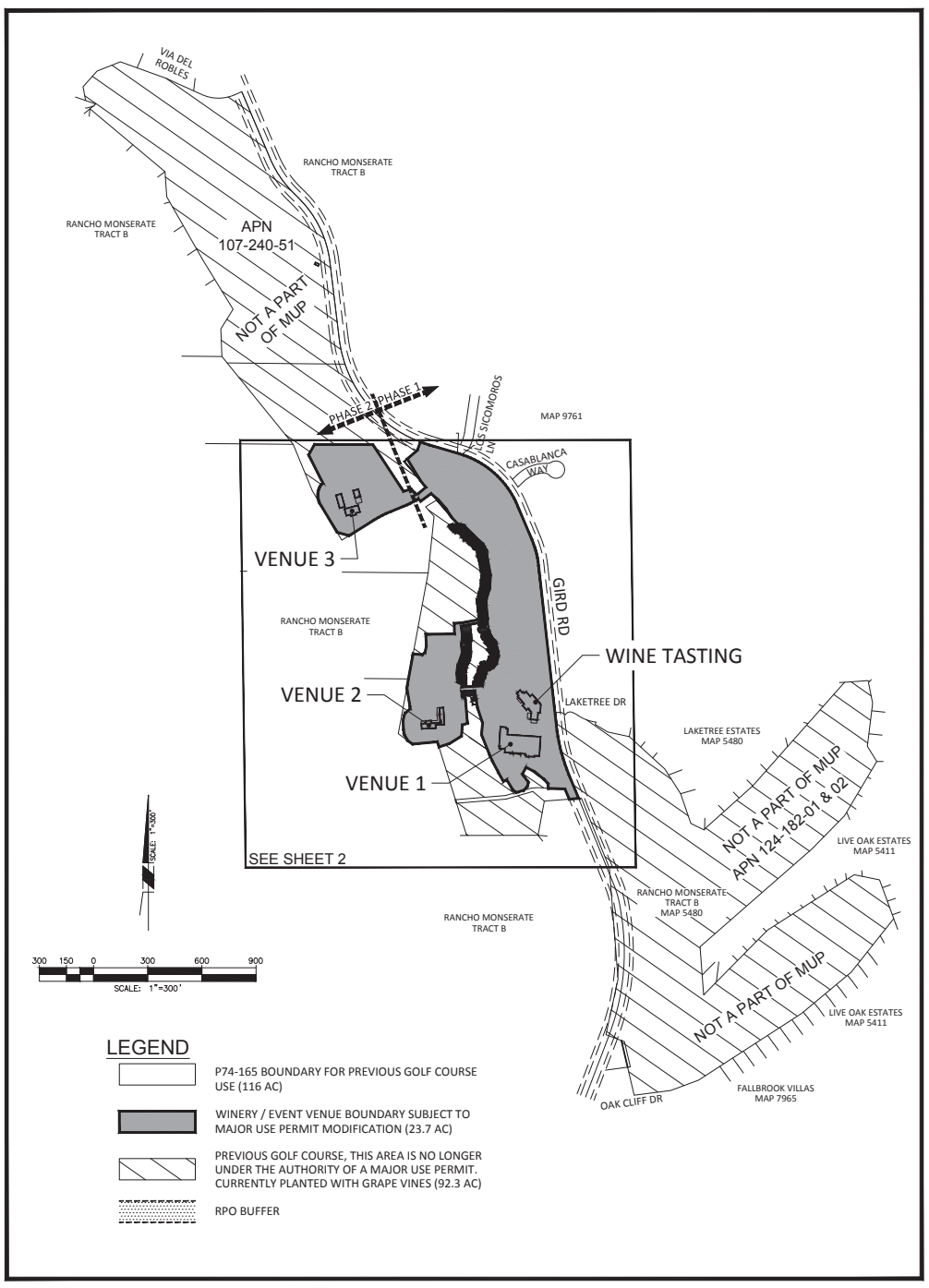
BUILDING NAME	AREA	SF	Zoning Ord Section #	Req Ratio	PS
Wine Tasting & Restaurant	Ground & Second Floors	17,154	6762-Eat/Drink Estb.	10 per KSF	172
Venue 1	Barrel Rm, Wine Making Facility, Mech Rm	12,423	6772-Gen Manufacturing	1.5 per KSF	19
	Pavilion, Bridal & Groom Suites	3,530	6762-Participant Rec	6 per KSF	21
	Event Sales Center, Offices	4,773	6762-Commercial Office	4 per KSF	19
Venue 2	Bridal & Groom Suites	2,453	6762-Participant Rec	6 per KSF	15
	Reception Building	2,884	6762-Eat/Drink Estb.	10 per KSF	29
Venue 3	Bridal & Groom Suites, Dance Floor, Restrooms, Food Prep	5,174	6762-Participant Rec	6 per KSF	31
	Reception Building	3,200	6762-Eat/Drink Estb.	10 per KSF	32
	Total:	51,591		Required:	337
				Proposed:	350
				(Incl. 8 ADA PS & 30 PS for staff)	

SF - Square Feet
KSF - 1000 Square Feet
PS - Parking Space

BUILDING SUMMARY TABLE

DESCRIPTION	CONDITION AREA (S.F.)	UNCONDITION AREA (S.F.)
PROP. WINE TASTING/RESTAUTANT	17,154	3,977
PROP. VENUE #1	20,726	1,947
PROP. VENUE #2	5,337	2,012
PROP. VENUE #3	8,374	0
TOTAL	51,591	7,936

NOTE:
- CONDITION AREA: INTERIOR FLOOR AREA
- UNCONDITIONAL AREA: TERRACES/LOGGIAS



LEGEND

- P74-165 BOUNDARY FOR PREVIOUS GOLF COURSE USE (116 AC)
- WINERY / EVENT VENUE BOUNDARY SUBJECT TO MAJOR USE PERMIT MODIFICATION (23.7 AC)
- PREVIOUS GOLF COURSE, THIS AREA IS NO LONGER UNDER THE AUTHORITY OF A MAJOR USE PERMIT. CURRENTLY PLANTED WITH GRAPE VINES (92.3 AC)
- RPO BUFFER

KEY MAP
SCALE: 1"=300'

ASSESSOR PARCEL NUMBER
107-420-14 POR., 107-420-16 POR.,107-420-17 POR.
124-330-04 POR.,124-330-14 POR.
124-330-15 POR.,124-330-20 POR.

LEGAL DESCRIPTION
A PORTION OF TRACT B, RANCHO MONSERATE, SAN DIEGO COUNTY, CALIFORNIA, BOOK 23, PAGE 356 OF DEEDS.

BASIS OF BEARINGS
THE COORDINATES AND BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 6, (CSRS EPOCH 2011). SAID COORDINATES AND BEARINGS ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CONTINUOUS OPERATING REFERENCE STATIONS (CORS) AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY (NGS).

BENCHMARK
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER NATIONAL GEODETIC SURVEY BENCHMARK DESIGNATION; SDGPS 03. 2" BRASS DISK IN SIDEWALK STAMPED "NE 15/76 1980 SDGPS-03 1991". LOCATED AT THE NORTHEAST CORNER OF OVERPASS OF HWY 76 & HWY 15. ELEVATION: 308.26 (NAVD88)

SITE ADDRESS:
2757 GIRD ROAD
FALLBROOK, CA 92028

ZONING

ZONE		107-420-16,17 124-300-04, 14,15,20
USE REGULATIONS		A-70
ANIMAL REGULATIONS		L
DEVELOPMENT REGULATIONS	DENSITY	---
	LOT SIZE	2 AC
	BUILDING TYPE	C
	MAX. BUILDING COVERAGE	---
	FLOOR AREA RATIO	---
	HEIGHT	G
	LOT COVERAGE	---
	SETBACK	C
	OPEN SPACE	---
SPCIAL AREA REGULATION		---

SETBACKS

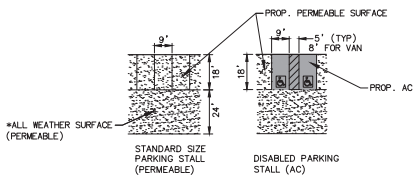
SETBACK	
GRID ROAD (FROM C/L)	60'
EXTERIOR SIDE YARD	35'
INTERIOR SIDE YARD	15'
REAR YARD SETBACK	25'

APPLICANT:
GIRD VALLEY , INC
1492 RAINBOW VALLEY BLVD.
FALLBROOK, CA 92028

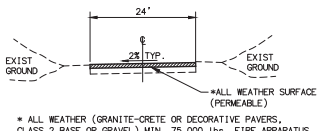
PLANNER/ENGINEER
MICHAEL BAKER INTERNATIONAL
STEVE WRAGG
9755 CLAIREMONT MESA BLVD.
SAN DIEGO, CA. 92124
(858) 614-5000

SHEET INDEX

SHEET 1 - TITLE SHEET
SHEET 2 - PLOT PLAN
SHEET 3 - WINE TASTING BUILDING ELEVATIONS
SHEET 4 - WINE TASTING BUILDING ELEVATIONS
SHEET 5 - WINE TASTING BUILDING ELEVATIONS
SHEET 6 - VENUE 1 BUILDING ELEVATIONS
SHEET 7 - VENUE 1 BUILDING ELEVATIONS
SHEET 8 - VENUE 2 BUILDING ELEVATIONS
SHEET 9 - VENUE 2 BUILDING ELEVATIONS
SHEET 10 - VENUE 3 BUILDING ELEVATIONS
SHEET 11 - VENUE 3 BUILDING ELEVATIONS

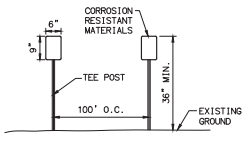


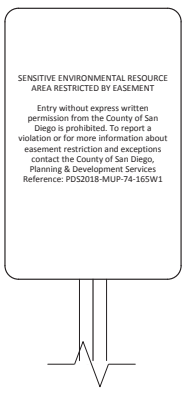
TYP. PARKING STALL DETAIL
NOT TO SCALE



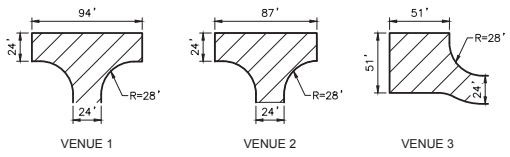
* ALL WEATHER (GRANITE-CRETE OR DECORATIVE PAVERS, CLASS 2 BASE OR GRAVEL) MIN. 75,000 lbs. FIRE APPARATUS BEARING LOAD

TYPICAL SECTION
ACCESS ROAD
NOT TO SCALE

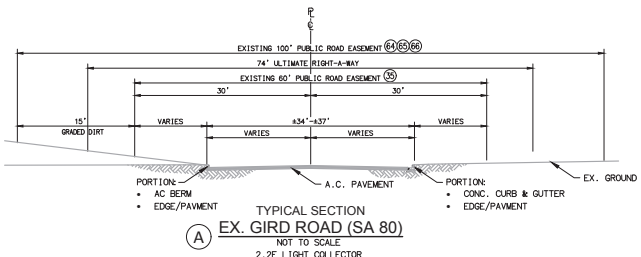




TYPICAL
OPEN SPACE SIGNAGE
NOT TO SCALE



NORTH COUNTY FIRE PROTECTION DISTRICT TURNAROUND
NOT TO SCALE



TYPICAL SECTION
(A) EX. GIRD ROAD (SA 80)
NOT TO SCALE
2.2E LIGHT COLLECTOR

MONSERATE WINERY
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PDS 2018-P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003
TITLE SHEET

SHEET 1 OF 11
NOVEMBER 13, 2019

MICHAEL BAKER INTERNATIONAL
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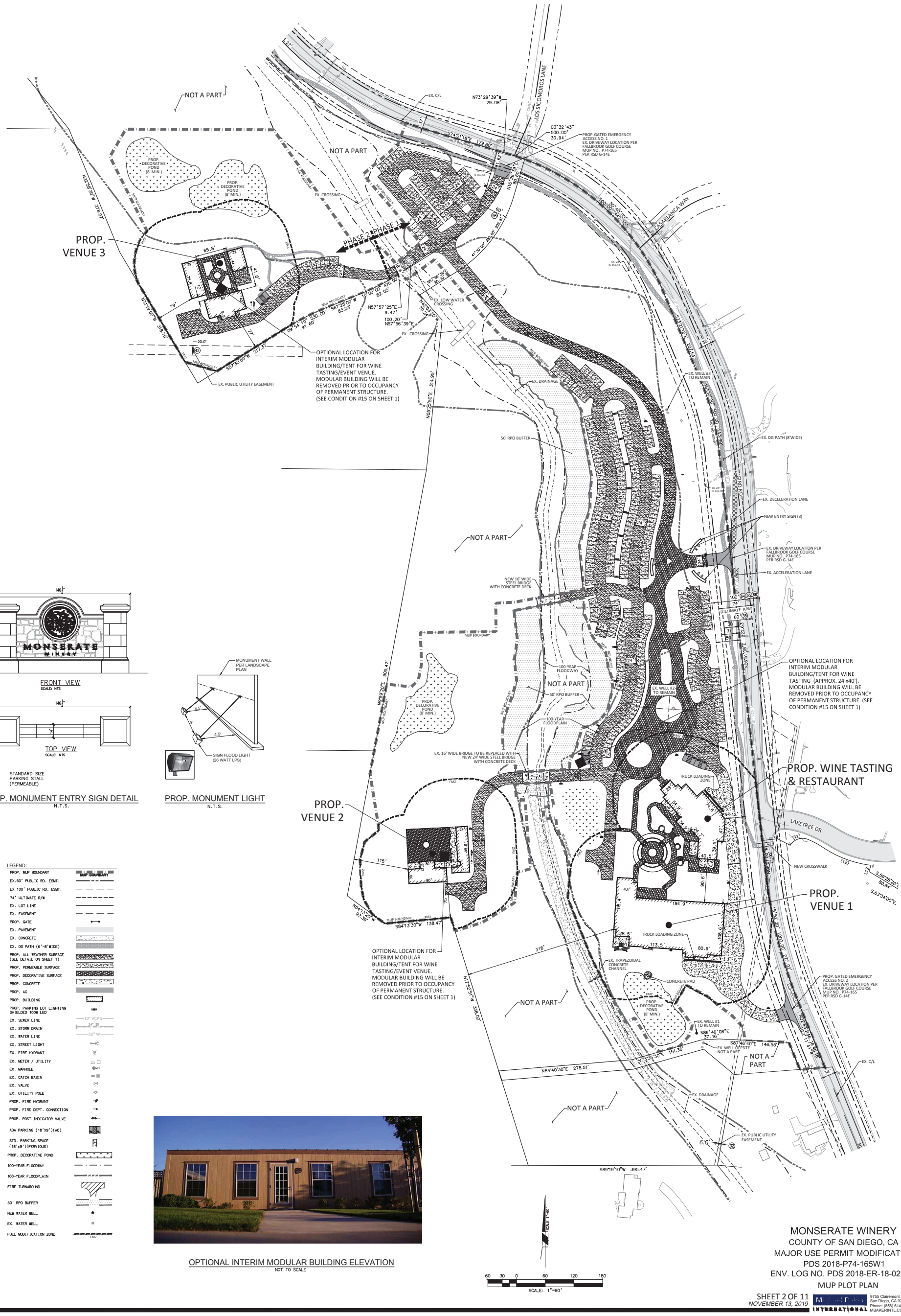

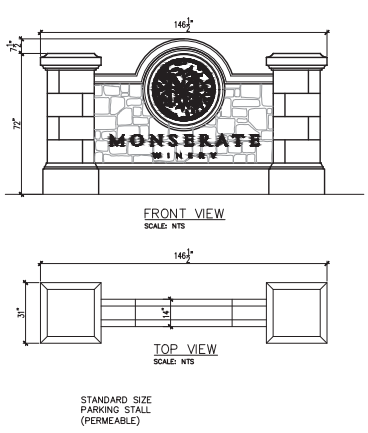

PROP. MONUMENT ENTRY SIGN DETAIL
N.T.S.

PROP. MONUMENT LIGHT
N.T.S.

LEGEND:

PROP. MUP BOUNDARY	MUP BOUNDARY
EX. 60' PUBLIC RD. ESMT.	
EX 100' PUBLIC RD. ESMT.	
74' ULTIMATE R/W	
EX. LOT LINE	
EX. EASEMENT	
PROP. GATE	
EX. PAVEMENT	
EX. CONCRETE	
EX. DG PATH (6'-8'WIDE)	
PROP. ALL WEATHER SURFACE (SEE DETAIL ON SHEET 1)	
PROP. PERMEABLE SURFACE	
PROP. DECORATIVE SURFACE	
PROP. CONCRETE	
PROP. AC	
PROP. BUILDING	
PROP. PARKING LOT LIGHTING SHIELDED 100W LED	
EX. SEWER LINE	10" VCP S
EX. STORM DRAIN	24" SD
EX. WATER LINE	10" W
EX. STREET LIGHT	
EX. FIRE HYDRANT	
EX. METER / UTILITY	
EX. MANHOLE	MH
EX. CATCH BASIN	
EX. VALVE	
EX. UTILITY POLE	
PROP. FIRE HYDRANT	
PROP. FIRE DEPT. CONNECTION	
PROP. POST INDICATOR VALVE	
ADA PARKING (18'x9')(AC)	
STD. PARKING SPACE (18'x9')(PERVIOUS)	
PROP. DECORATIVE POND	
100-YEAR FLOODWAY	
100-YEAR FLOODPLAIN	
FIRE TURNAROUND	
50' RPO BUFFER	
NEW WATER WELL	
EX. WATER WELL	
FUEL MODIFICATION ZONE	FMZ

OPTIONAL INTERIM MODULAR BUILDING ELEVATION
NOT TO SCALE

MONSERATE WINERY
COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION
PDS 2018-P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003
MUP PLOT PLAN

SHEET 2 OF 11
NOVEMBER 13, 2019

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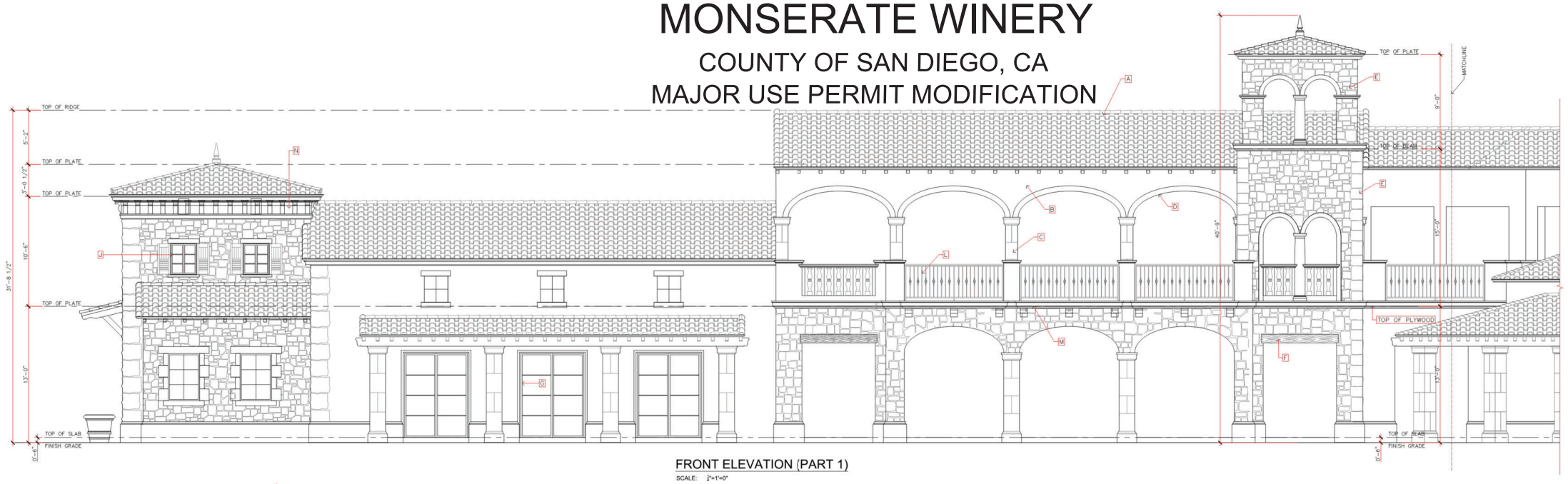
MONSERATE WINERY

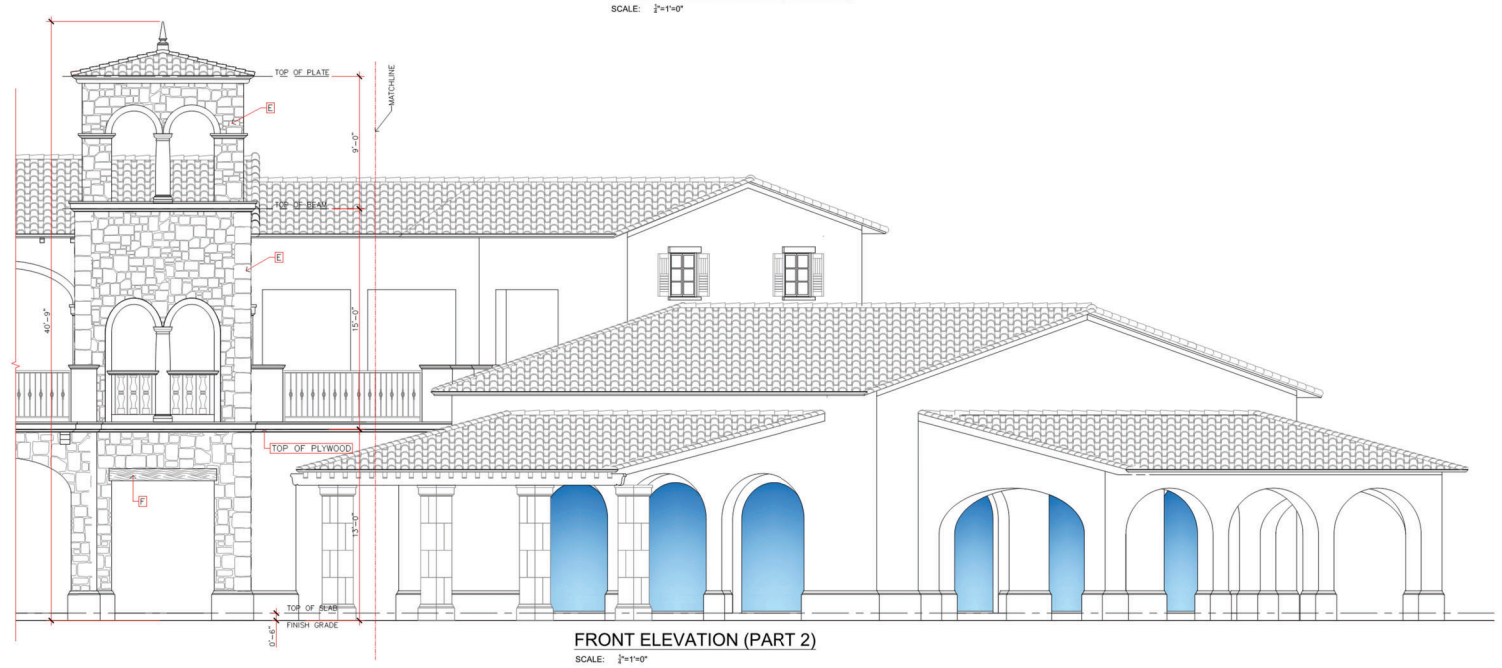
COUNTY OF SAN DIEGO, CA

MAJOR USE PERMIT MODIFICATION



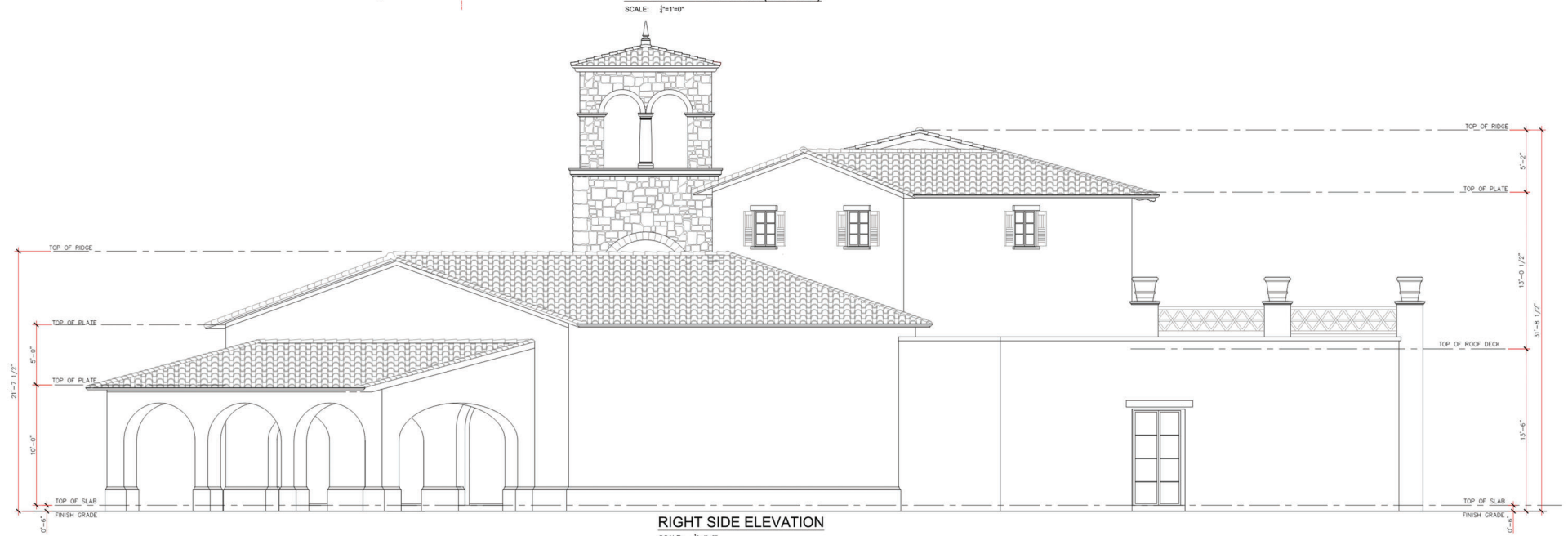
FRONT ELEVATION (PART 1)

SCALE: 1/4"=1'-0"



FRONT ELEVATION (PART 2)

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

MATERIAL SCHEDULE

- (A) CLAY TILE ROOFING COLOR: TO BE DETERMINED
- (B) STUCCO WALL FINISH COLOR: TO BE DETERMINE
- (C) CAST STONE COLUMN (TRUCAST) COLOR: TO BE DETERMINE
- (D) CAST STONE ARCHES (TRUCAST) COLOR: TO BE DETERMINE
- (E) NATURAL STONE QUOIN CLADDING COLOR: TO BE DETERMINE
- (F) WOOD BEAM DOOR HEADER COLOR: TO BE DETERMINE
- (G) ALUMINUM FRENCH DOORS POWDER COATED FINISH COLOR: TO BE DETERMINE
- (H) NATURAL STONE WALL CLADDING COLOR: TO BE DETERMINE
- (J) ALUMINUM WINDOW FRAMES POWDER COATED FINISH COLOR: TO BE DETERMINE
- (K) DECORATIVE WINDOW SHUTTER COLOR: TO BE DETERMINE
- (L) WROUGHT IRON BALUSTRADE
- (M) CAST STONE BANDING (TRUCAST) COLOR: TO BE DETERMINE
- (N) CAST STONE ROOF CORNICE (TRUCAST) COLOR: TO BE DETERMINE

NOTES

1. ANY CHANGES TO THE SHAPE, SIZE AND DIVISIONS OF WINDOWS & DOORS MUST BE REVIEWED & APPROVED BY DESIGNER.

2. THE MUNTIN BARS FOR ALL THE DOOR AND WINDOW BREAK-UPS SHALL BE PROVIDED WITH A MINIMUM OF 1-1/4".

3. RIDGE ELEVATIONS ARE TAKEN AT THE TOP OF FINISH MATERIAL (e.g. ROOF TILES)

4. ROOF ATTIC VENTS MUST BE WELL HIDDEN FROM NEIGHBORING VIEWS AND THE STREET. CONCEALED ROOF VENTS ARE PREFERRED.

5. ALL PLUMBING & EQUIPMENT VENTS MUST BE CONSOLIDATED & LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE & SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.

6. ROOFING SHALL BE FIRE-STOPPED AT EAVE ENDS TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE ROOFING MATERIALS.

7. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ROOF LEVEL WITHIN 10 FEET OF CHIMNEY, AND NOT LESS THAN 3 FEET FROM POINT WHERE CHIMNEY PASSES THROUGH ROOF. (CRC R1003.9.1)

8. EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

9. ATTIC & FOUNDATION VENTILATION OPENINGS IN VERTICAL WALLS & ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQ. IN. PER OPENING & SHALL BE COVERED WITH METAL LOUVERS & 1/4" (6.25mm) MESH CORROSION-RESISTANT METAL SCREEN.

10. EXTERIOR WALLS SHALL BE 1-HOUR PLASTER WITH HEAVY TIMBER.

11. EXTERIOR DECKS, BALCONIES, AND STAIRWAYS SHALL BE WATERPROOFED OR NATURALLY DURABLE OR TREATED WOOD SHALL BE UTILIZED (SEC. 2304.11.5)

12. WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.

13. EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE OR MINIMUM OF 1-3/8" SOLID CORE OR 20-MINUTE RATED.

14. FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH AWPA M4. CRC R317-1.1

MONSERATE WINERY
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PDS 2018 MUP P74-165W1
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WINE TASTING
BUILDING ELEVATIONS

SHEET 3 OF 11
NOVEMBER 13, 2019

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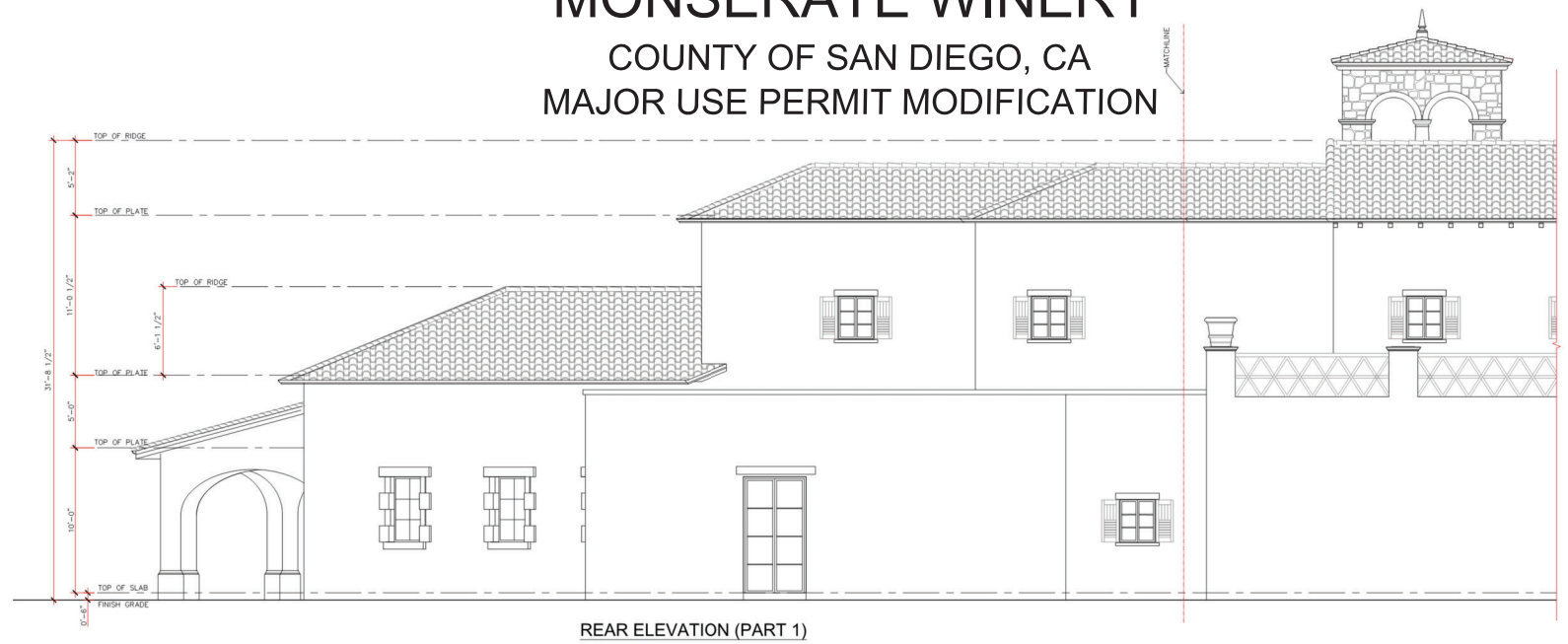
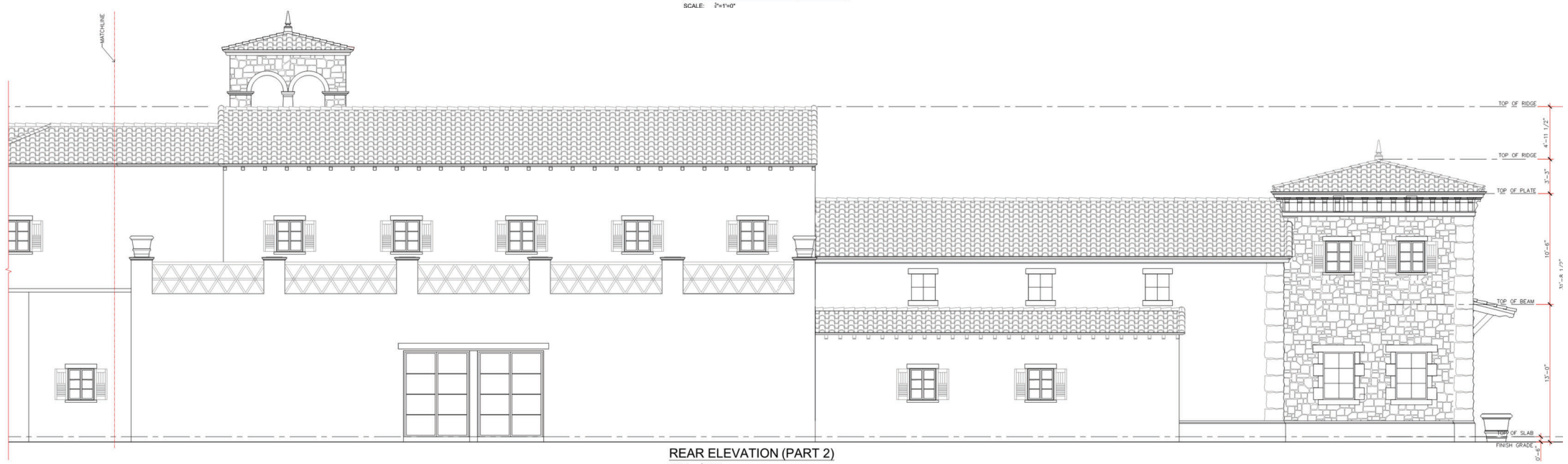


REAR ELEVATION (PART 1)

SCALE: 1/4"=1'-0"



REAR ELEVATION (PART 2)

SCALE: 1/4"=1'-0"

LEFT SIDE ELEVATION (PART 2)

SCALE: 1/4"=1'-0"

MATERIAL SCHEDULE

- (A) CLAY TILE ROOFING COLOR: TO BE DETERMINED
- (B) STUCCO WALL FINISH COLOR: TO BE DETERMINE
- (C) CAST STONE COLUMN (TRUCAST) COLOR: TO BE DETERMINE
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NOTES

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3. RIDGE ELEVATIONS ARE TAKEN AT THE TOP OF FINISH MATERIAL. (e.g. ROOF TILES)

4. ROOF ATTIC VENTS MUST BE WELL HIDDEN FROM NEIGHBORING VIEWS AND THE STREET. CONCEALED ROOF VENTS ARE PREFERRED.

5. ALL PLUMBING & EQUIPMENT VENTS MUST BE CONSOLIDATED & LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY; VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE & SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.

6. ROOFING SHALL BE FIRE-STOPPED AT EAVE ENDS TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE ROOFING MATERIALS.

7. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ROOF LEVEL WITHIN 10 FEET OF CHIMNEY, AND NOT LESS THAN 3 FEET FROM POINT WHERE CHIMNEY PASSES THROUGH ROOF. (CRC R1003.9.1)

8. EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

9. ATTIC & FOUNDATION VENTILATION OPENINGS IN VERTICAL WALLS & ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQ. IN. PER OPENING & SHALL BE COVERED WITH METAL LOUVERS & 1/4" (6.25mm) MESH CORROSION-RESISTANT METAL SCREEN.

10. EXTERIOR WALLS SHALL BE 1-HOUR PLASTER WITH HEAVY TIMBER.

11. EXTERIOR DECKS, BALCONIES, AND STAIRWAYS SHALL BE WATERPROOFED OR NATURALLY DURABLE OR TREATED WOOD SHALL BE UTILIZED (SEC. 2304.11.5)

12. WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.

13. EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE OR MINIMUM OF 1-3/8" SOLID CORE OR 20-MINUTE RATED.

14. FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH AWPA M4. CRC R317-1.1

MONSERATE WINERY
COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION
PDS 2018 MUP P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003

WINE TASTING
BUILDING ELEVATIONS

SHEET 4 OF 11
NOVEMBER 13, 2019

MBAKER INTERNATIONAL
9755 Clairemont Mesa Blvd.
San Diego, CA 92124
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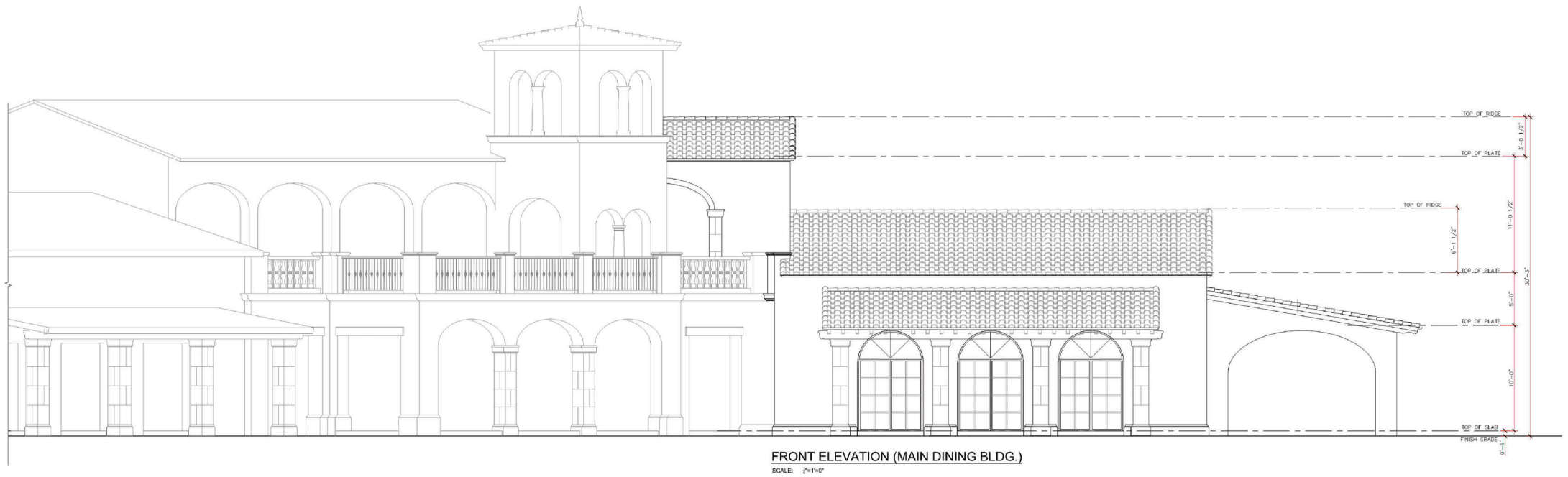
MONSERATE WINERY

COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION



FRONT ELEVATION (MAIN DINING BLDG.)

SCALE: 1/4"=1'-0"

RIGHT SIDE ELEVATION (MAIN DINING BLDG.)

SCALE: 1/4"=1'-0"

MATERIAL SCHEDULE

- (A) CLAY TILE ROOFING COLOR: TO BE DETERMINED
- (B) STUCCO WALL FINISH COLOR: TO BE DETERMINE
- (C) CAST STONE COLUMN (TRUCAST) COLOR: TO BE DETERMINE
- (D) CAST STONE ARCHES (TRUCAST) COLOR: TO BE DETERMINE
- (E) NATURAL STONE QUOIN CLADDING COLOR: TO BE DETERMINE
- (F) WOOD BEAM DOOR HEADER COLOR: TO BE DETERMINE
- (G) ALUMINUM FRENCH DOORS POWDER COATED FINISH COLOR:TO BE DETERMINE
- (H) NATURAL STONE WALL CLADDING COLOR: TO BE DETERMINE
- (J) ALUMINUM WINDOW FRAMES POWDER COATED FINISH COLOR:TO BE DETERMINE
- (K) DECORATIVE WINDOW SHUTTER COLOR:TO BE DETERMINE
- (L) WROUGHT IRON BALUSTRADE
- (M) CAST STONE BANDING (TRUCAST) COLOR: TO BE DETERMINE
- (N) CAST STONE ROOF CORNICE (TRUCAST) COLOR: TO BE DETERMINE

NOTES

1. ANY CHANGES TO THE SHAPE, SIZE AND DIVISIONS OF WINDOWS & DOORS MUST BE REVIEWED & APPROVED BY DESIGNER.

2. THE MUNTIN BARS FOR ALL THE DOOR AND WINDOW BREAK-UPS SHALL BE PROVIDED WITH A MINIMUM OF 1-1/4".

3. RIDGE ELEVATIONS ARE TAKEN AT THE TOP OF FINISH MATERIAL. (e.g. ROOF TILES)

4. ROOF ATTIC VENTS MUST BE WELL HIDDEN FROM NEIGHBORING VIEWS AND THE STREET. CONCEALED ROOF VENTS ARE PREFERRED.

5. ALL PLUMBING & EQUIPMENT VENTS MUST BE CONSOLIDATED & LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE & SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.

6. ROOFING SHALL BE FIRE-STOPPED AT EAVE ENDS TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE ROOFING MATERIALS.

7. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ROOF LEVEL WITHIN 10 FEET OF CHIMNEY, AND NOT LESS THAN 3 FEET FROM POINT WHERE CHIMNEY PASSES THROUGH ROOF. (CRC R1003.9.1)

8. EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

9. ATTIC & FOUNDATION VENTILATION OPENINGS IN VERTICAL WALLS & ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQ. IN. PER OPENING & SHALL BE COVERED WITH METAL LOUVERS & 1/4" (6.25mm) MESH CORROSION-RESISTANT METAL SCREEN.

10. EXTERIOR WALLS SHALL BE 1-HOUR PLASTER WITH HEAVY TIMBER.

11. EXTERIOR DECKS, BALCONIES, AND STAIRWAYS SHALL BE WATERPROOFED OR NATURALLY DURABLE OR TREATED WOOD SHALL BE UTILIZED (SEC. 2304.11.5)

12. WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.

13. EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE OR MINIMUM OF 1-3/8" SOLID CORE OR 20-MINUTE RATED.

14. FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH AWPA M4. CRC R317-1.1

MONSERATE WINERY
COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION
PDS 2018 MUP P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003

WINE TASTING
BUILDING ELEVATIONS

SHEET 5 OF 11
NOVEMBER 13, 2019

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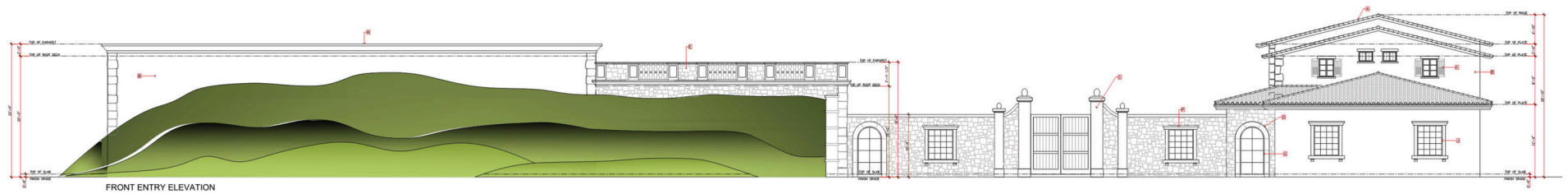
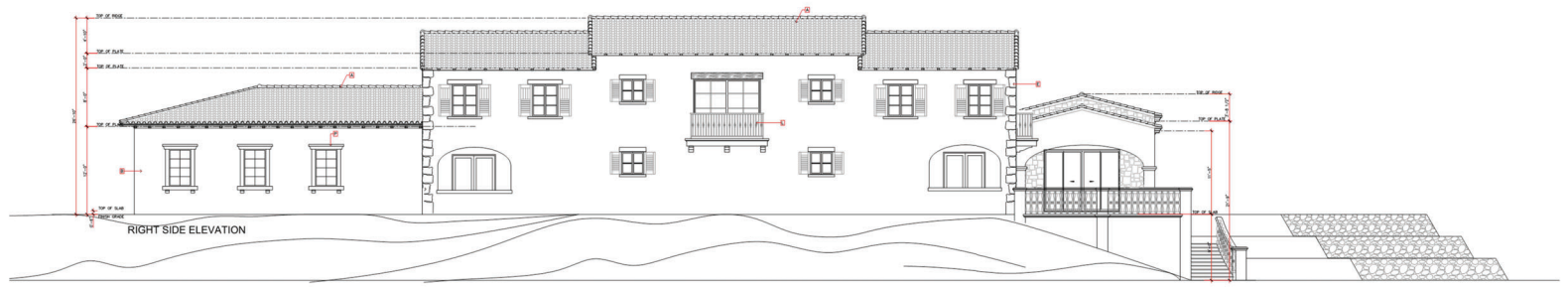
MONSERATE WINERY

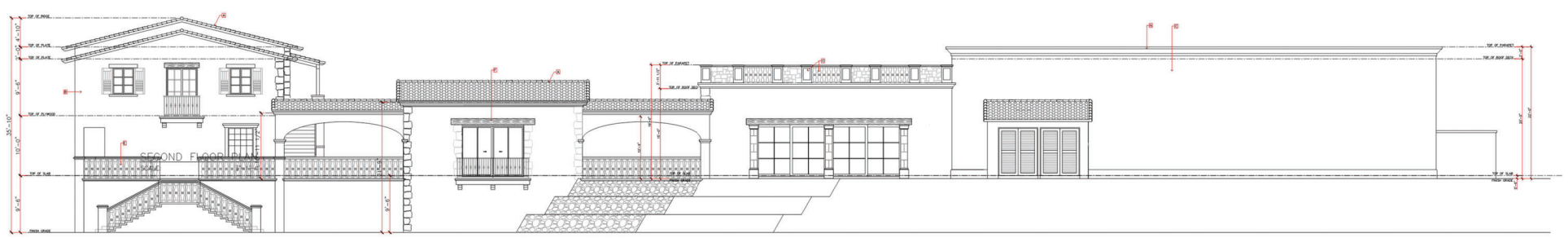
COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION



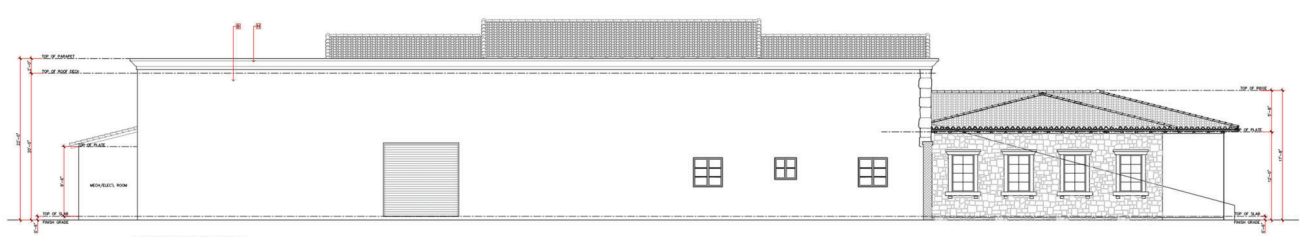
FRONT ENTRY ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

MATERIAL SCHEDULE

(A) ALL ROOFING TO BE "REDLANDS CLAY TILES" I.C.C. ESR-1489 OR 4300 CLASS "A" ROOFING WEIGHT: 10.1 LBS/SQ. FT.

ROMAN PANS & BAJA TILES COLORS BLEND TO BE: 40% CAFE ANTIGUA 30% ADOBE BROWN 30% OLD SEDONA

(B) STUCCO WALL FINISH COLOR: 580 SIERRA TAN (44) BASE 200

(C) CAST STONE COLUMN BY: TRUCAST COLOR: A-4

(D) CAST STONE ARCHES BY: TRUCAST COLOR: A-4

(E) NATURAL STONE QUOIN CLADDING COLOR: DEEP JADE & TOASTY TAN (FINAL SELECTION OF COLORS BY THE OWNER)

(F) WOOD BEAM DOOR HEADER COLOR: WARM CHESTNUT OAK WOOD (FINAL SELECTION OF COLOR BY THE OWNER)

(G) ALUMINUM FRENCH DOORS POWDER COATED FINISH COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)

(H) NATURAL STONE WALL CLADDING COLOR: DEEP JADE & TOASTY TAN (FINAL SELECTION OF COLORS BY THE OWNER)

(J) ALUMINUM WINDOW FRAMES POWDER COATED FINISH COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)

(K) DECORATIVE WINDOW SHUTTER COLOR:WARM CHESTNUT OAK WOOD (FINAL SELECTION OF COLOR BY THE OWNER)

(L) WROUGHT IRON BALUSTRADE PRIME AND PAINTED BLACK (FINAL SELECTION OF COLOR BY THE OWNER)

(M) CAST STONE BANDING BY: TRUCAST COLOR: A-4

(N) CAST STONE ROOF CORNICE BY: TRUCAST COLOR: A-4

(O) CAST STONE BALUSTRADE BY: TRUCAST COLOR: A-4

(P) CAST STONE WINDOW SURROUND BY: TRUCAST COLOR: A-4

NOTES

1. ANY CHANGES TO THE SHAPE, SIZE, AND DIVISIONS OF WINDOWS & DOORS MUST BE REVIEWED & APPROVED BY DESIGNER.

2. THE MONTIN BARS FOR ALL THE DOOR AND WINDOW BREAK-UPS SHALL BE PROVIDED WITH A MINIMUM OF 1-1/4".

3. RIDGE ELEVATIONS ARE TAKEN AT THE TOP OF FINISH MATERIAL. (e.g. ROOF TILES)

4. ROOF ATTIC VENTS MUST BE WELL HIDDEN FROM NEIGHBORING VIEWS AND THE STREET. CONCEALED ROOF VENTS ARE PREFERRED.

5. ALL PLUMBING & EQUIPMENT VENTS MUST BE CONSOLIDATED & LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE & SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.

6. ROOFING SHALL BE FIRE-STOPPED AT EAVE ENDS TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE ROOFING MATERIALS.

7. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ROOF LEVEL WITHIN 10 FEET OF CHIMNEY, AND NOT LESS THAN 3 FEET FROM POINT WHERE CHIMNEY PASSES THROUGH ROOF. (CRC R1003.9.1)

8. EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

9. ATTIC & FOUNDATION VENTILATION OPENINGS IN VERTICAL WALLS & ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQ. IN. PER OPENING & SHALL BE COVERED WITH METAL LOUVERS & 1/4" (6.25mm) MESH CORROSION-RESISTANT METAL SCREEN.

10. EXTERIOR WALLS SHALL BE 1-HOUR PLASTER WITH HEAVY TIMBER.

11. EXTERIOR DECKS, BALCONIES, AND STAIRWAYS SHALL BE WATERPROOFED OR NATURALLY DURABLE OR TREATED WOOD SHALL BE UTILIZED (SEC. 2304.11.5)

12. WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.

13. EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE OR MINIMUM OF 1-3/8" SOLID CORE OR 20-MINUTE RATED.

14. FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH AWPA M4. CRC R317-1.1

MONSERATE WINERY
COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION
PDS 2018 MUP P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003

VENUE 1
BUILDING ELEVATIONS

SHEET 6 OF 11
NOVEMBER 13, 2019

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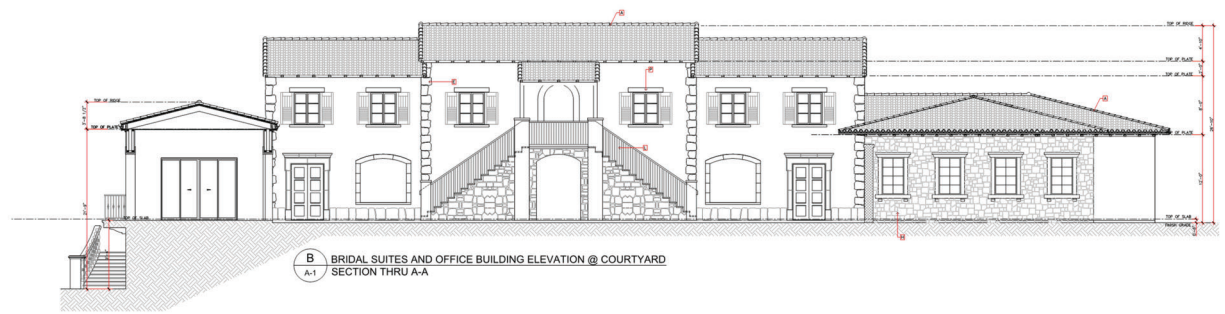
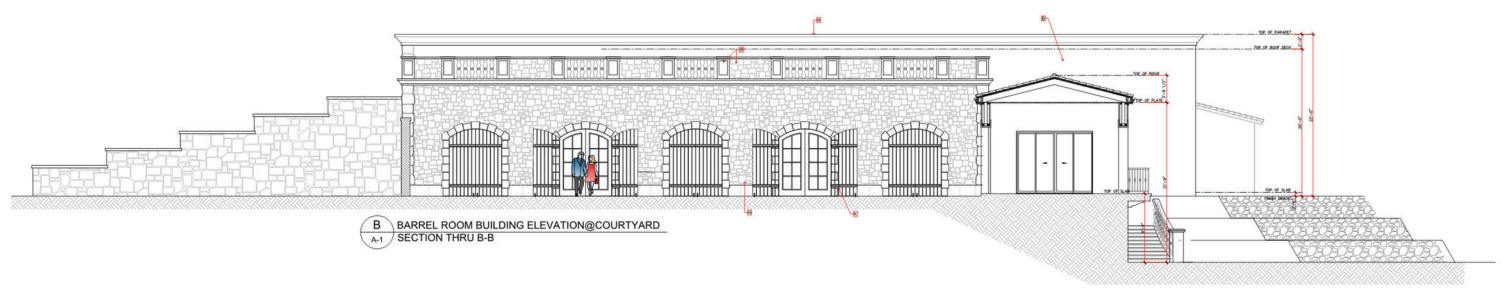
MONSERATE WINERY

COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION



B / A-1 BRIDAL SUITES AND OFFICE BUILDING ELEVATION @ COURTYARD
SECTION THRU A-A



B / A-1 BARREL ROOM BUILDING ELEVATION@COURTYARD
SECTION THRU B-B

MATERIAL SCHEDULE

(A) ALL ROOFING TO BE "REDLANDS CLAY TILES"
I.C.C. ESR-1489 ER 4300
CLASS "A" ROOFING
WEIGHT: 10.1 LBS/SQ. FT.

ROMAN PANS & BAJA TILES
COLORS BLEND TO BE:
40% CAFE ANTIGUA
30% ADOBE BROWN
30% OLD SEDONA

(B) STUCCO WALL FINISH
COLOR: 580 SIERRA TAN
(44) BASE 200

(C) CAST STONE COLUMN
BY: TRUCAST COLOR: A-4

(D) CAST STONE ARCHES
BY: TRUCAST COLOR: A-4

(E) NATURAL STONE QUION CLADDING
COLOR: DEEP JADE & TOASTY TAN
(FINAL SELECTION OF COLORS BY THE OWNER)

(F) WOOD BEAM DOOR HEADER
COLOR: WARM CHESTNUT OAK WOOD
(FINAL SELECTION OF COLOR BY THE OWNER)

(G) ALUMINUM FRENCH DOORS
POWDER COATED FINISH
COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)

(H) NATURAL STONE WALL CLADDING
COLOR: DEEP JADE & TOASTY TAN
(FINAL SELECTION OF COLORS BY THE OWNER)

(J) ALUMINUM WINDOW FRAMES
POWDER COATED FINISH
COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)

(K) DECORATIVE WINDOW SHUTTER
COLOR:WARM CHESTNUT OAK WOOD
(FINAL SELECTION OF COLOR BY THE OWNER)

(L) WROUGHT IRON BALUSTRADE
PRIME AND PAINTED BLACK
(FINAL SELECTION OF COLOR BY THE OWNER)

(M) CAST STONE BANDING
BY: TRUCAST COLOR: A-4

(N) CAST STONE ROOF CORNICE
BY: TRUCAST COLOR: A-4

(O) CAST STONE BALUSTRADE
BY: TRUCAST COLOR: A-4

(P) CAST STONE WINDOW SURROUND
BY: TRUCAST COLOR: A-4

NOTES

1. ANY CHANGES TO THE SHAPE, SIZE AND DIVISIONS OF WINDOWS & DOORS MUST BE REVIEWED & APPROVED BY DESIGNER.

2. THE MUNTIN BARS FOR ALL THE DOOR AND WINDOW BREAK-UPS SHALL BE PROVIDED WITH A MINIMUM OF 1-1/4".

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4. ROOF ATTIC VENTS MUST BE WELL HIDDEN FROM NEIGHBORING VIEWS AND THE STREET. CONCEALED ROOF VENTS ARE PREFERRED.

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7. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ROOF LEVEL WITHIN 10 FEET OF CHIMNEY, AND NOT LESS THAN 3 FEET FROM POINT WHERE CHIMNEY PASSES THROUGH ROOF. (CRC R1003.9.1)

8. EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

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12. WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.

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MONSERATE WINERY
COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION
PDS 2018 MUP P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003

VENUE 1

BUILDING ELEVATIONS

SHEET 7 OF 11
NOVEMBER 13, 2019

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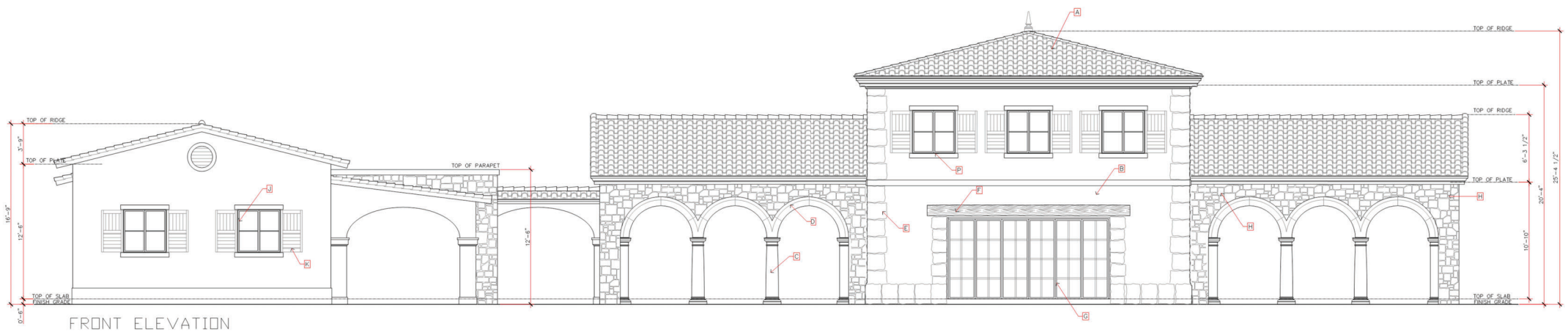
MONSERATE WINERY

COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION



FRONT ELEVATION

RIGHT SIDE ELEVATION

MATERIAL SCHEDULE

(A) ALL ROOFING TO BE "REDLANDS CLAY TILES"
I.C.C. ESR-1489 ER 4300
CLASS "A" ROOFING
WEIGHT: 10.1 LBS/SQ. FT.

ROMAN PANS & BAJA TILES
COLORS BLEND TO BE:
40% CAFE ANTIGUA
30% ADOBE BROWN
30% OLD SEDONA

(B) STUCCO WALL FINISH
COLOR: 580 SIERRA TAN
(44) BASE 200

(C) CAST STONE COLUMN
BY: TRUCAST COLOR: A-4

(D) CAST STONE ARCHES
BY:TRUCAST COLOR: A-4

(E) NATURAL STONE QUOIN CLADDING
COLOR: DEEP JADE & TOASTY TAN
(FINAL SELECTION OF COLORS BY THE OWNER)

(F) WOOD BEAM DOOR HEADER
COLOR: WARM CHESTNUT OAK WOOD
(FINAL SELECTION OF COLOR BY THE OWNER)

(G) ALUMINUM FRENCH DOORS
POWDER COATED FINISH
COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)

(H) NATURAL STONE WALL CLADDING
COLOR: DEEP JADE & TOASTY TAN
(FINAL SELECTION OF COLORS BY THE OWNER)

(J) ALUMINUM WINDOW FRAMES
POWDER COATED FINISH
COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)

(K) DECORATIVE WINDOW SHUTTER
COLOR:WARM CHESTNUT OAK WOOD
(FINAL SELECTION OF COLOR BY THE OWNER)

(L) WROUGHT IRON BALUSTRADE
PRIME AND PAINTED BLACK
(FINAL SELECTION OF COLOR BY THE OWNER)

(M) CAST STONE BANDING
BY:TRUCAST COLOR:A-4

(N) CAST STONE ROOF CORNICE
BY:TRUCAST COLOR:A-4

(O) CAST STONE BALUSTRADE
BY:TRUCAST COLOR:A-4

(P) CAST STONE WINDOW SURROUND
BY:TRUCAST COLOR:A-4

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VENUE 2
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SHEET 8 OF 11
NOVEMBER 13, 2019

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MONSERATE WINERY

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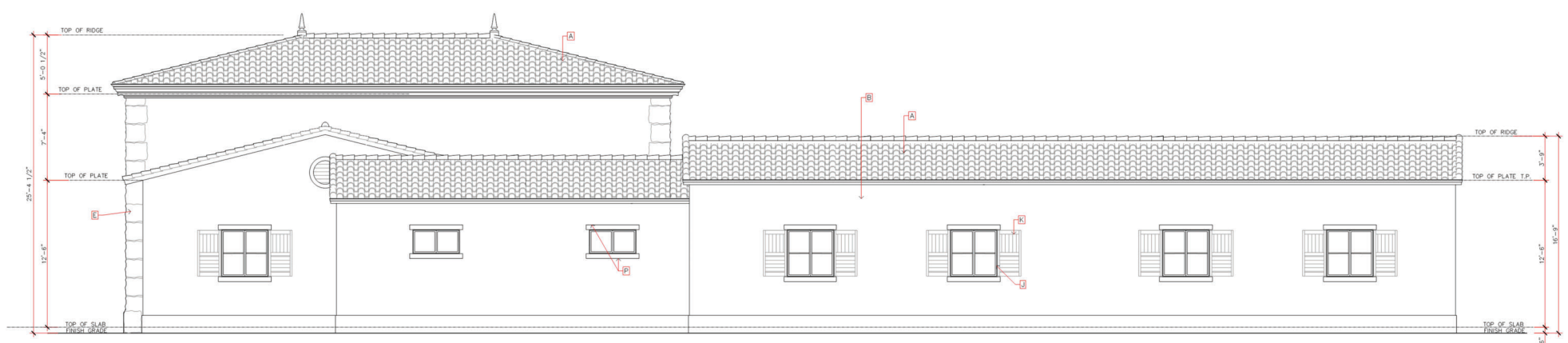
MAJOR USE PERMIT MODIFICATION

REAR SIDE ELEVATION



LEFT SIDE ELEVATION

MATERIAL SCHEDULE

(A) ALL ROOFING TO BE "REDLANDS CLAY TILES"
I.C.C. ESR-1489 ER 4300
CLASS "A" ROOFING
WEIGHT: 10.1 LBS/SQ. FT.

ROMAN PANS & BAJA TILES
COLORS BLEND TO BE:
40% CAFE ANTIGUA
30% ADOBE BROWN
30% OLD SEDONA

(B) STUCCO WALL FINISH
COLOR: 580 SIERRA TAN
(44) BASE 200

(C) CAST STONE COLUMN
BY: TRUCAST COLOR: A-4

(D) CAST STONE ARCHES
BY: TRUCAST COLOR: A-4

(E) NATURAL STONE QUOIN CLADDING
COLOR: DEEP JADE & TOASTY TAN
(FINAL SELECTION OF COLORS BY THE OWNER)

(F) WOOD BEAM DOOR HEADER
COLOR: WARM CHESTNUT OAK WOOD
(FINAL SELECTION OF COLOR BY THE OWNER)

(G) ALUMINUM FRENCH DOORS
POWDER COATED FINISH
COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)

(H) NATURAL STONE WALL CLADDING
COLOR: DEEP JADE & TOASTY TAN
(FINAL SELECTION OF COLORS BY THE OWNER)

(J) ALUMINUM WINDOW FRAMES
POWDER COATED FINISH
COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)

(K) DECORATIVE WINDOW SHUTTER
COLOR:WARM CHESTNUT OAK WOOD
(FINAL SELECTION OF COLOR BY THE OWNER)

(L) WROUGHT IRON BALUSTRADE
PRIME AND PAINTED BLACK
(FINAL SELECTION OF COLOR BY THE OWNER)

(M) CAST STONE BANDING
BY: TRUCAST COLOR: A-4

(N) CAST STONE ROOF CORNICE
BY: TRUCAST COLOR: A-4

(O) CAST STONE BALUSTRADE
BY: TRUCAST COLOR: A-4

(P) CAST STONE WINDOW SURROUND
BY: TRUCAST COLOR: A-4

NOTES

1. ANY CHANGES TO THE SHAPE, SIZE AND DIVISIONS OF WINDOWS & DOORS MUST BE REVIEWED & APPROVED BY DESIGNER.

2. THE MUNTIN BARS FOR ALL THE DOOR AND WINDOW BREAK-UPS SHALL BE PROVIDED WITH A MINIMUM OF 1-1/4".

3. RIDGE ELEVATIONS ARE TAKEN AT THE TOP OF FINISH MATERIAL. (e.g. ROOF TILES)

4. ROOF ATTIC VENTS MUST BE WELL HIDDEN FROM NEIGHBORING VIEWS AND THE STREET. CONCEALED ROOF VENTS ARE PREFERRED.

5. ALL PLUMBING & EQUIPMENT VENTS MUST BE CONSOLIDATED & LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE & SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.

6. ROOFING SHALL BE FIRE-STOPPED AT EAVE ENDS TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE ROOFING MATERIALS.

7. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ROOF LEVEL WITHIN 10 FEET OF CHIMNEY, AND NOT LESS THAN 3 FEET FROM POINT WHERE CHIMNEY PASSES THROUGH ROOF. (CRC R1003.9.1)

8. EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

9. ATTIC & FOUNDATION VENTILATION OPENINGS IN VERTICAL WALLS & ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQ. IN. PER OPENING & SHALL BE COVERED WITH METAL LOUVERS & 1/4" (6.25mm) MESH CORROSION-RESISTANT METAL SCREEN.

10. EXTERIOR WALLS SHALL BE 1-HOUR PLASTER WITH HEAVY TIMBER.

11. EXTERIOR DECKS, BALCONIES, AND STAIRWAYS SHALL BE WATERPROOFED OR NATURALLY DURABLE OR TREATED WOOD SHALL BE UTILIZED (SEC. 2304.11.5)

12. WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.

13. EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE OR MINIMUM OF 1-3/8" SOLID CORE OR 20-MINUTE RATED.

14. FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH AWPA M4. CRC R317-1.1

MONSERATE WINERY
COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION
PDS 2018 MUP P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003

VENUE 2
BUILDING ELEVATIONS

SHEET 9 OF 11
NOVEMBER 13, 2019

MBA INTERNATIONAL
9755 Clairemont Mesa Blvd
San Diego, CA 92124
Phone: (858) 614-5000
MBAKERINTL.COM

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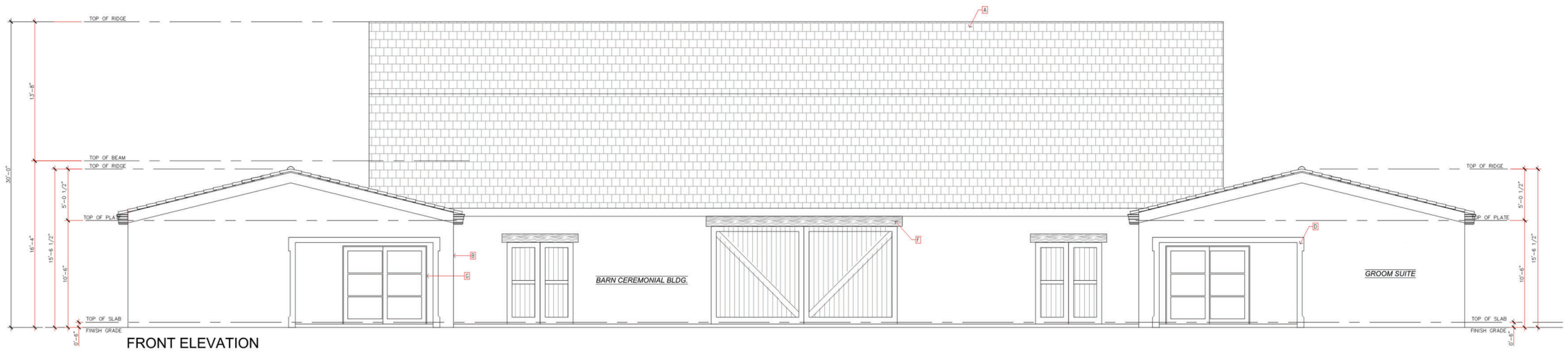
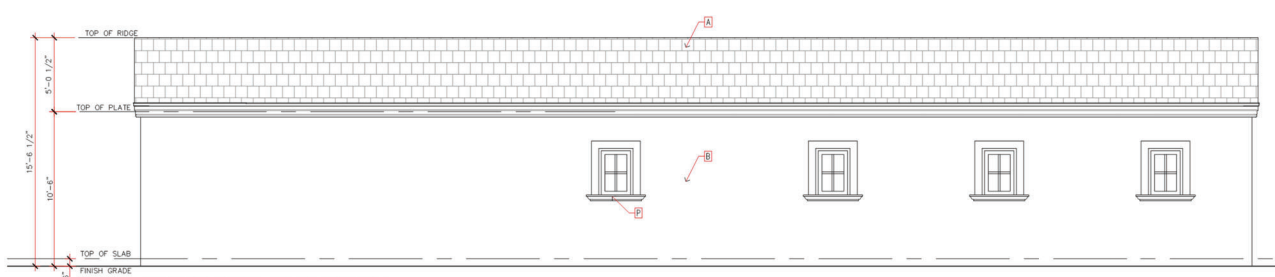
MONSERATE WINERY

COUNTY OF SAN DIEGO, CA

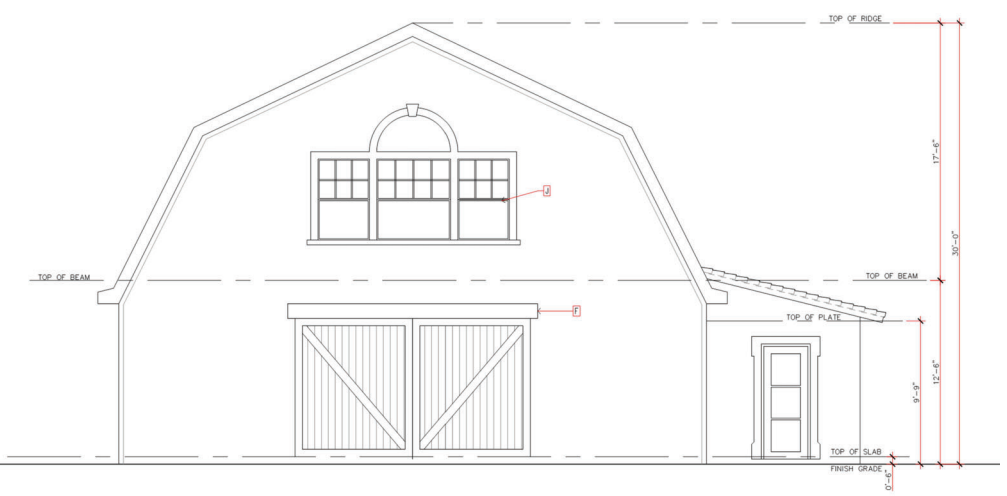
MAJOR USE PERMIT MODIFICATION



FRONT ELEVATION



RIGHT SIDE ELEVATION



MATERIAL SCHEDULE

- (A) ALL ROOFING TO BE "REDLANDS CLAY TILES" I.C.C. ESR-1489 ER 4300 CLASS "A" ROOFING WEIGHT: 10.1 LBS/SQ. FT.
  ROMAN PANS & BAJA TILES COLORS BLEND 70 BE:
  40% DARK ARIGUA
  30% AGEE BRIGAN
  30% OLD SEDONA
- (B) STUCCO WALL FINISH COLOR: 580 SIERRA TAN (44) BASE 200
- (C) CAST STONE COLUMN BY: TRUCAST COLOR: A-4
- (D) CAST STONE ARCHES BY: TRUCAST COLOR: A-4
- (E) NATURAL STONE QUOIN CLADDING COLOR: DEEP JADE & TOASTY TAN (FINAL SELECTION OF COLORS BY THE OWNER)
- (F) WOOD BEAM DOOR HEADER COLOR: WARM CHESTNUT OAK WOOD (FINAL SELECTION OF COLOR BY THE OWNER)
- (G) ALUMINUM FRENCH DOORS POWDER COATED FINISH COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)
- (H) NATURAL STONE WALL CLADDING COLOR: DEEP JADE & TOASTY TAN (FINAL SELECTION OF COLORS BY THE OWNER)
- (J) ALUMINUM WINDOW FRAMES POWDER COATED FINISH COLOR:CHARCOAL (FINAL SELECTION OF COLOR BY THE OWNER)
- (K) DECORATIVE WINDOW SHUTTER COLOR:WARM CHESTNUT OAK WOOD (FINAL SELECTION OF COLOR BY THE OWNER)
- (L) WROUGHT IRON BALUSTRADE PRIME AND PAINTED BLACK (FINAL SELECTION OF COLOR BY THE OWNER)
- (M) CAST STONE BANDING BY: TRUCAST COLOR: A-4
- (N) CAST STONE ROOF CORNICE BY: TRUCAST COLOR: A-4
- (O) CAST STONE BALUSTRADE BY: TRUCAST COLOR: A-4
- (P) CAST STONE WINDOW SURROUND BY: TRUCAST COLOR: A-4

NOTES

1. ANY CHANGES TO THE SHAPE, SIZE AND DIVISIONS OF WINDOWS & DOORS MUST BE REVIEWED & APPROVED BY DESIGNER.

2. THE MUNTIN BARS FOR ALL THE DOOR AND WINDOW BREAK-UPS SHALL BE PROVIDED WITH A MINIMUM OF 1-1/4".

3. RIDGE ELEVATIONS ARE TAKEN AT THE TOP OF FINISH MATERIAL (e.g. ROOF TILES)

4. ROOF ATTIC VENTS MUST BE WELL HIDDEN FROM NEIGHBORING VIEWS AND THE STREET. CONCEALED ROOF VENTS ARE PREFERRED.

5. ALL PLUMBING & EQUIPMENT VENTS MUST BE CONSOLIDATED & LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS SMALL AS RIGHT AS ALLOWED BY CODE & SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.

6. ROOFING SHALL BE FIRE-STOPPED AT EAVE ENDS TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE ROOFING MATERIALS.

7. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ROOF LEVEL WITHIN 10 FEET OF CHIMNEY, AND NOT LESS THAN 3 FEET FROM POINT WHERE CHIMNEY PASSES THROUGH ROOF. (CRC R1003.9.1)

8. EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

9. ATTIC & FOUNDATION VENTILATION OPENINGS IN VERTICAL WALLS & ATTIC ROOF VENTS SHALL NOT EXCEED 144 SQ. IN. PER OPENING & SHALL BE COVERED WITH METAL LOUVERS & 1/4" (6.25mm) MESH CORROSION-RESISTANT METAL SCREEN.

10. EXTERIOR WALLS SHALL BE 1-HOUR PLASTER WITH HEAVY TIMBER.

11. EXTERIOR DECKS, BALCONIES, AND STAIRWAYS SHALL BE WATERPROOFED OR NATURALLY DURABLE OR TREATED WOOD SHALL BE UTILIZED (SEC. 2304.11.5)

12. WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.

13. EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE OR MINIMUM OF 1-3/8" SOLID CORE OR 20-MINUTE RATED.

14. FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH AWPA M4. CRC R317-1.1

MONSERATE WINERY
COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION
PDS 2018 MUP P74-165W1
ENV. LOG NO. PDS 2018-ER-18-02-003

VENUE 3
BUILDING ELEVATIONS

SHEET 10 OF 11
NOVEMBER 13, 2019

MILLER INTERNATIONAL
8755 Clairemont Mesa Blvd
San Diego, CA 92124
Phone: (858) 614-5000
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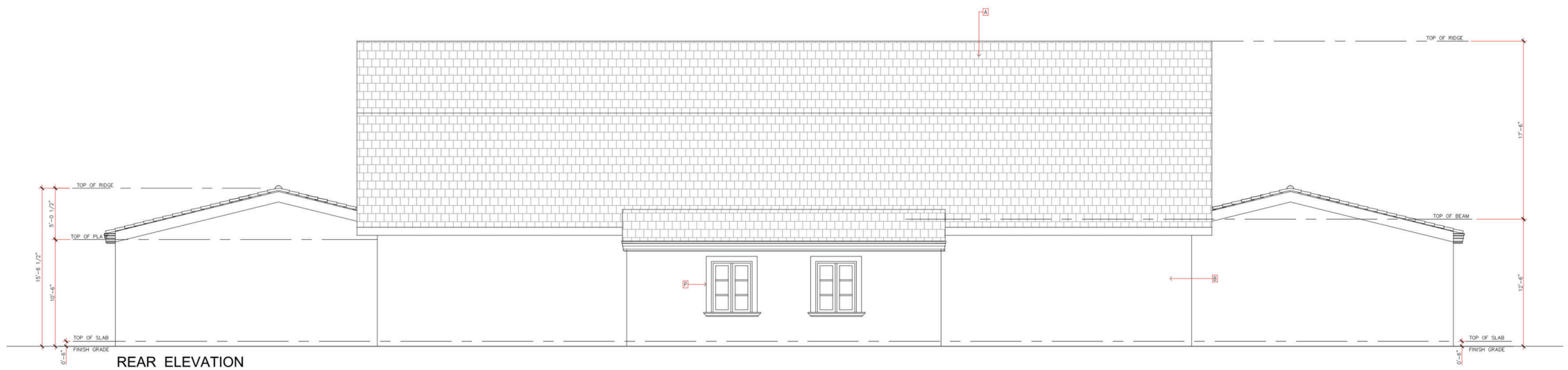
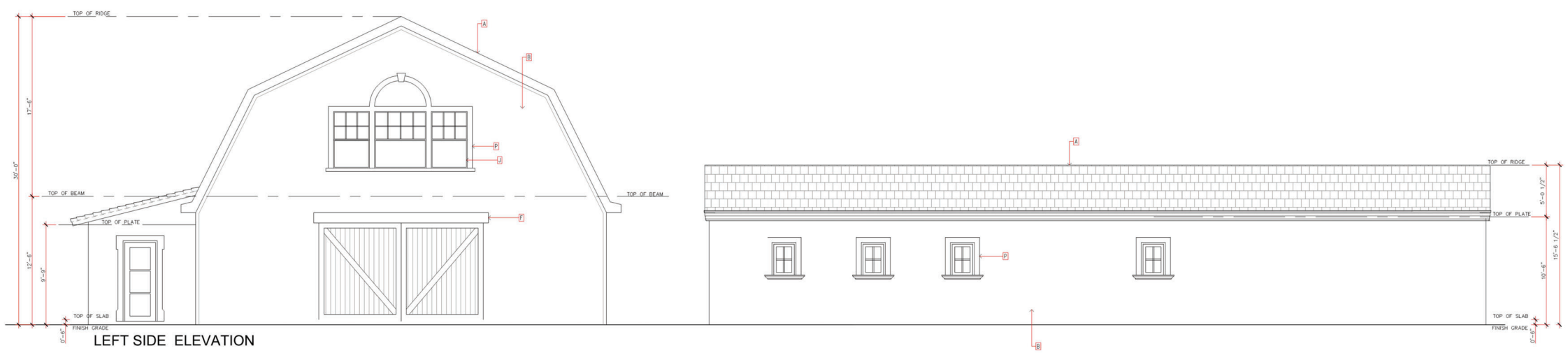
MONSERATE WINERY

COUNTY OF SAN DIEGO, CA
MAJOR USE PERMIT MODIFICATION



REAR ELEVATION



LEFT SIDE ELEVATION

MATERIAL SCHEDULE

- (A) CLAY TILE ROOFING COLOR: TO BE DETERMINED
- (B) STUCCO WALL FINISH COLOR: TO BE DETERMINE
- (C) CAST STONE COLUMN (TRUCAST) COLOR: TO BE DETERMINE
- (D) CAST STONE ARCHES (TRUCAST) COLOR: TO BE DETERMINE
- (E) NATURAL STONE QUOIN CLADDING COLOR: TO BE DETERMINE
- (F) WOOD BEAM DOOR HEADER COLOR: TO BE DETERMINE
- (G) ALUMINUM FRENCH DOORS POWDER COATED FINISH COLOR:TO BE DETERMINE
- (H) NATURAL STONE WALL CLADDING COLOR: TO BE DETERMINE
- (J) ALUMINUM WINDOW FRAMES POWDER COATED FINISH COLOR:TO BE DETERMINE
- (K) DECORATIVE WINDOW SHUTTER COLOR:TO BE DETERMINE
- (L) WROUGHT IRON BALUSTRADE
- (M) CAST STONE BANDING (TRUCAST) COLOR: TO BE DETERMINE
- (N) CAST STONE ROOF CORNICE (TRUCAST) COLOR: TO BE DETERMINE
- (O) CAST STONE BALUSTRADE (TRUCAST) COLOR: TO BE DETERMINE
- (P) CAST STONE WINDOW SURROUND (TRUCAST) COLOR: TO BE DETERMINE

NOTES

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COUNTY OF SAN DIEGO, CA
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VENUE 3
BUILDING ELEVATIONS

SHEET 11 OF 11
NOVEMBER 13, 2019

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