

# Appendix A

---

## Site Plans







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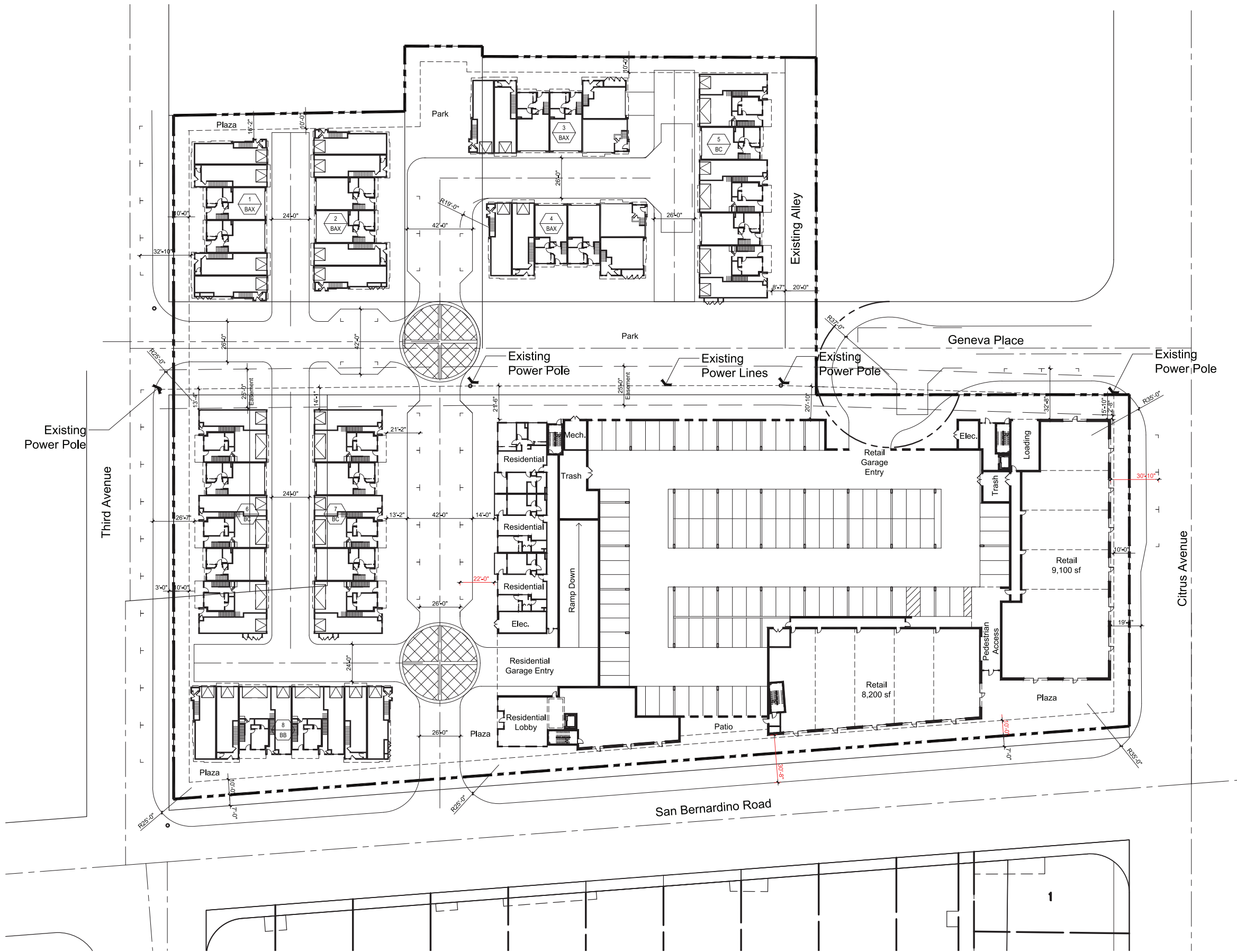
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**COVINA SITE A**  
COVINA, CA # 2016-0207

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SHEET INDEX

A0.1



Site Summary	
Gross Site Area	5.30 AC
Dwelling Units	161 DU
Density	30 DU/AC
Retail Area	13,500 Net SF
Restaurant Area	3,800 Net SF
Gross Building Area	398,351 Gross SF
FAR	1.73
Building Coverage	121,099 SF
Streets and Paving	38,000 SF
Landscape/Hardscape Area	71,769 SF
Usable Usable Open Space	46,679 SF 20% of Site Area

Plan Summary						
Plan	Beds	Unit Area	Quantity	%	Total Net S.F.	Avg. Net S.F.
Plan 1	2	1228	10	6.2%		
Plan 2	2	1266	11	6.8%		
Plan 3	3	1496	10	6.2%		
Plan 4	3	1713	11	6.8%		
Plan 5	3	1816	14	8.7%		
Plan 6	2	1090	67	41.6%		
Plan 7	3	1300	23	14.3%		
Plan 8	3	1350	15	9.3%		
Total			161	100%	85,433	530.6
Type	No. Units	Mix				
2 Bedroom Total	88	54.7%				
3 Bedroom Total	73	45.3%				
Total	161	100.0%				

Parking Summary				
Parking Required		No. Units	Spaces Required	Spaces/Unit
2 Bed		88	154	1.75
3 Bed		73	146	2.0
Guest		161	33	0.2
Retail		13,500 SF x 1space/200sf	68	
Restaurant		3,800 SF x 1space/100sf	38	
Total			439	2.7
Parking Provided			Spaces Provided	Spaces/Unit
Garage Spaces			409	
On Site Spaces			15	
Street Spaces			19	
Driveway Spaces			2	
Total Parking Spaces			445	2.8
Accessible Parking Required			Spaces Required	Ratio

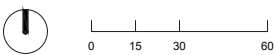


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SITE PLAN

A1.0

Open Space Summary		
Open Space Required:	15% of Site Area	34630 sf
Open Space Provided		
	Common Open Space	30764
	Courtyard Open Space	15915
Total Open Space Provided		46679 sf

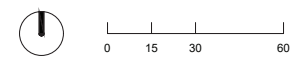


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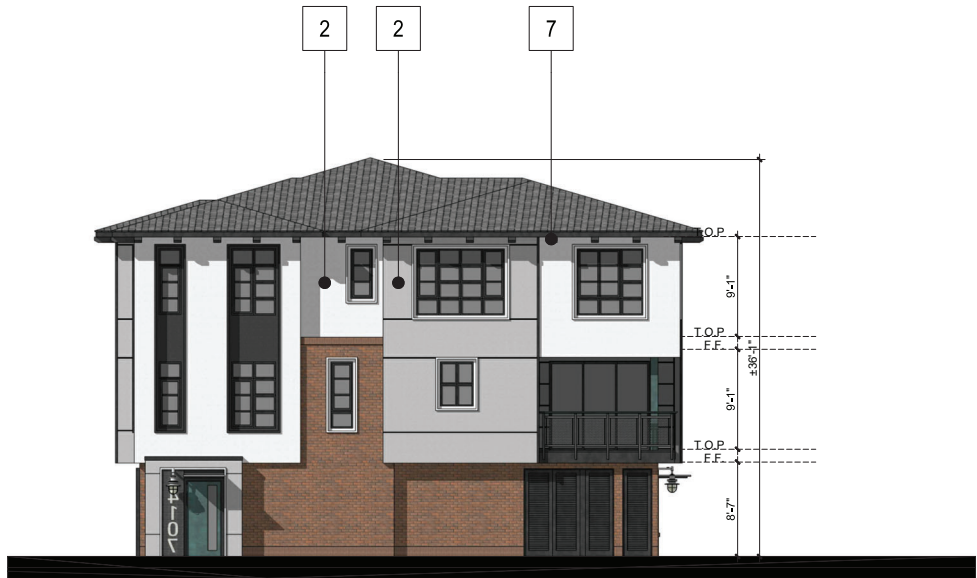


**SITE PLAN**  
Open Space Exhibit

**A1.1**



- Material Legend**
- 1. Concrete Flat Tile Roof
  - 2. Stucco
  - 3. Brick Veneer
  - 4. Metal Garage Doors
  - 5. Metal Railing
  - 6. Metal Awning
  - 7. Rafter Tails
  - 8. Light Fixture



2. Left Elevation



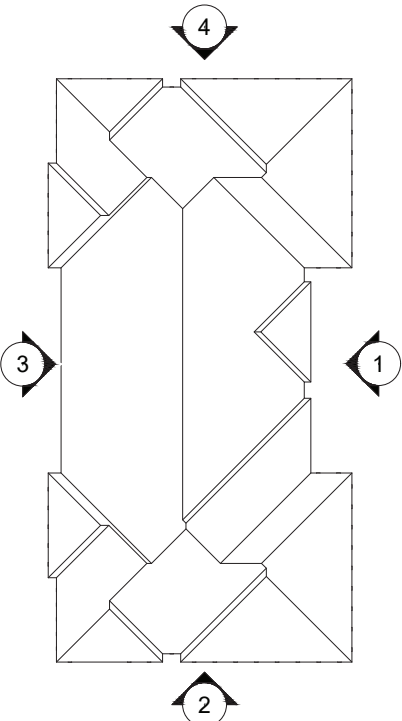
1. Front Elevation



4. Right Elevation



3. Rear Elevation



Key Map: 1/16" = 1'-0"

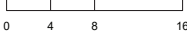


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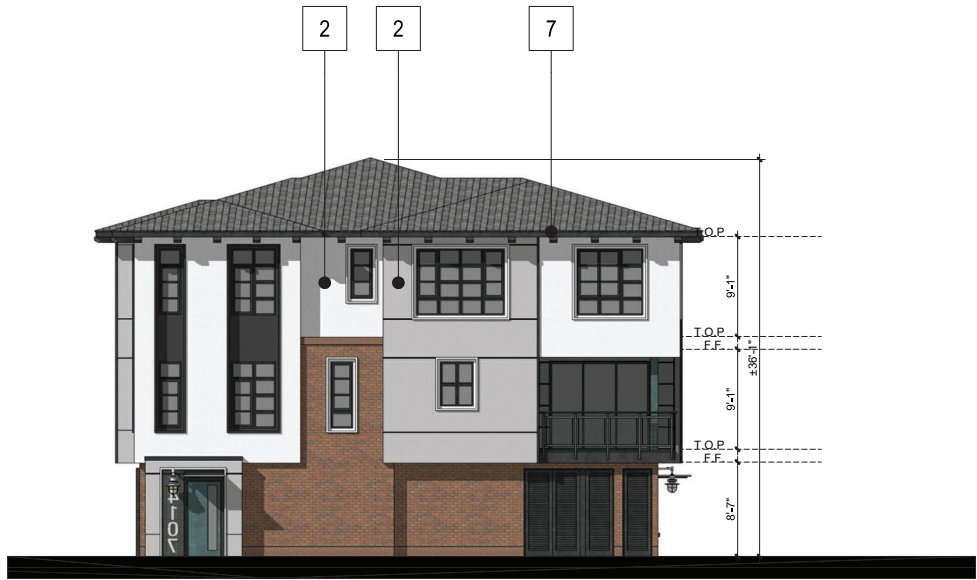
**SCHEMATIC DESIGN**  
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**BUILDING ELEVATION**  
BUILDING TYPE A

**A2.0**

- Material Legend**
1. Concrete Flat Tile Roof
  2. Stucco
  3. Brick Veneer
  4. Metal Garage Doors
  5. Metal Railing
  6. Metal Awning
  7. Rafter Tails
  8. Light Fixture



2. Left Elevation



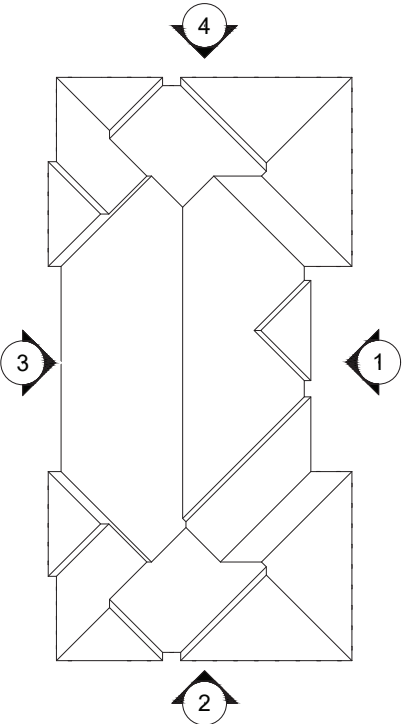
1. Front Elevation



4. Right Elevation



3. Rear Elevation



Key Map: 1/16" = 1'-0"

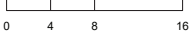


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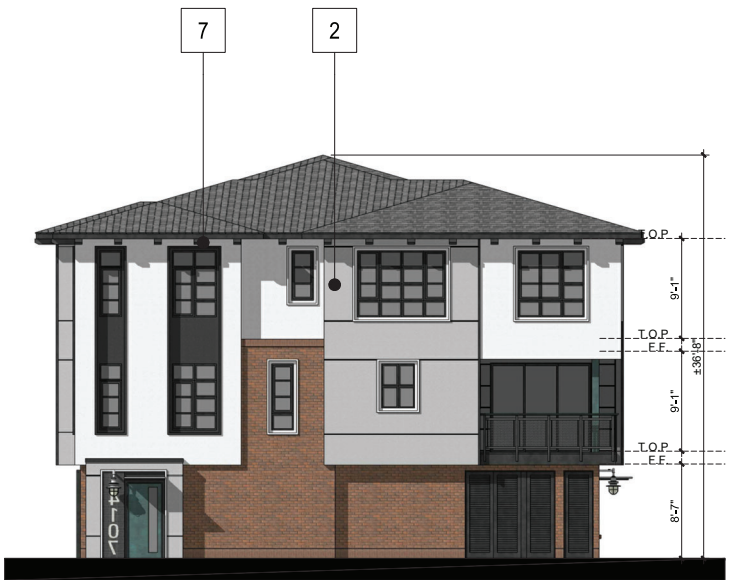
**BUILDING ELEVATION**  
BUILDING TYPE A-ALT

**A2.0**



Material Legend

- 1. Concrete Flat Tile Roof
- 2. Stucco
- 3. Brick Veneer
- 4. Metal Garage Doors
- 5. Metal Railing
- 6. Metal Awning
- 7. Rafter Tails
- 8. Light Fixture



2. Left Elevation



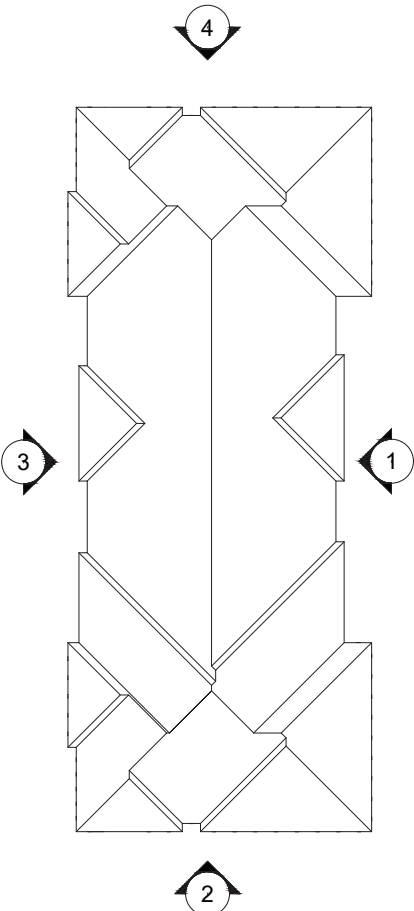
1. Front Elevation



4. Right Elevation



3. Rear Elevation



Key Map: 1/16" = 1'-0"



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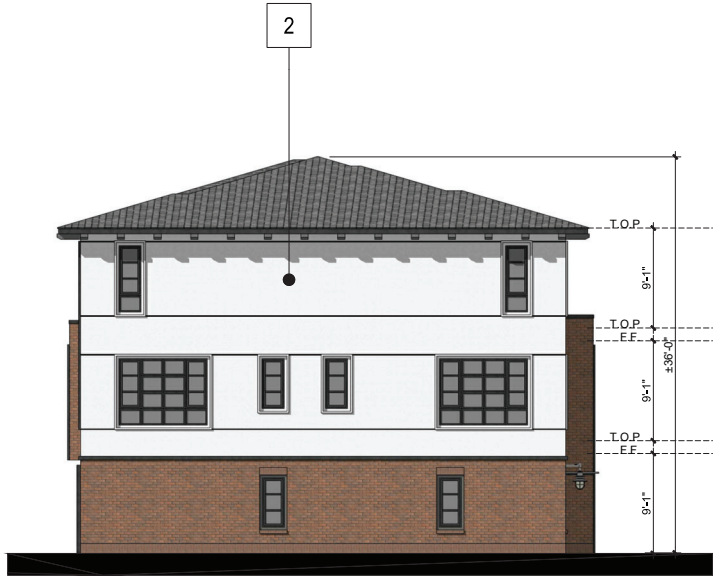
**SCHEMATIC DESIGN**  
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0 4 8 16

**BUILDING ELEVATIONS**  
BUILDING TYPE B

**A2.2**

- Material Legend**
- 1. Concrete Flat Tile Roof
  - 2. Stucco
  - 3. Brick Veneer
  - 4. Metal Garage Doors
  - 5. Metal Railing
  - 6. Metal Awning
  - 7. Rafter Tails
  - 8. Light Fixture



2. Left Elevation



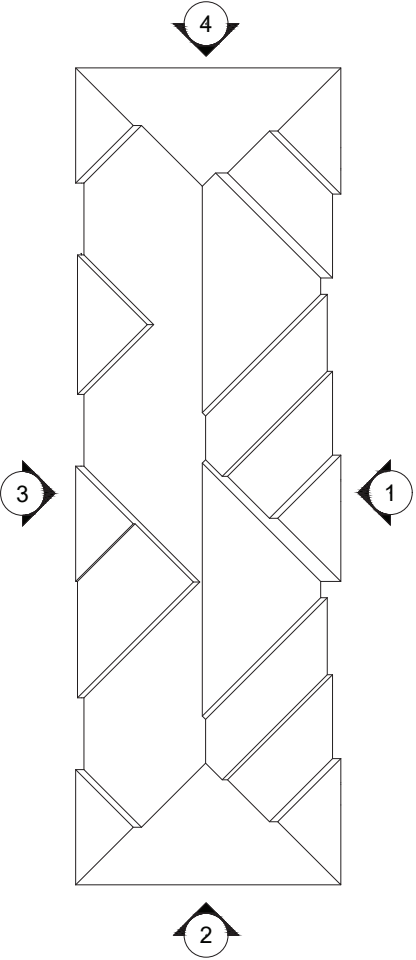
1. Front Elevation



4. Right Elevation



3. Rear Elevation



Key Map: 1/16" = 1'-0"

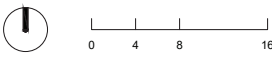


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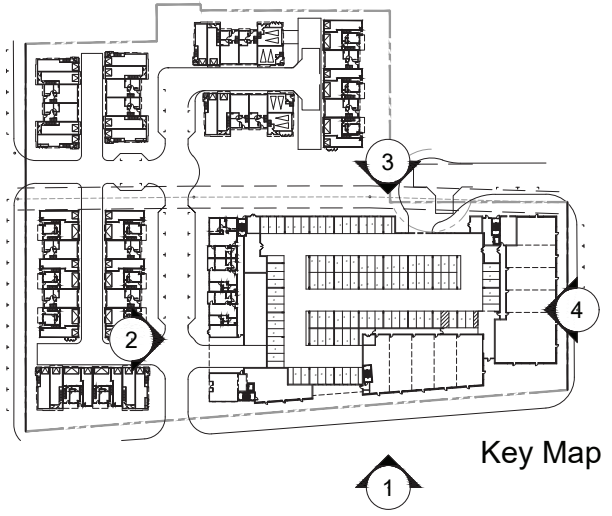
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**BUILDING ELEVATIONS**  
BUILDING TYPE C

**A2.3**





1. South Elevation at San Bernardino Road



2. West Elevation

4. East Elevation at Citrus Avenue



3. North Elevation at Geneva Place



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0 8 16 32

CONCEPT ELEVATION  
MIXED USE BUILDING

A2.4



- Material Legend**
- 1. Concrete Flat Tile Roof
  - 2. Stucco
  - 3. Brick Veneer
  - 4. Metal Garage Doors
  - 5. Metal Railing
  - 6. Metal Awning
  - 7. Rafter Tails
  - 8. Light Fixture



Key Map



Match Line  
Match Line



1. South Elevation at San Bernardino Road(Partial)

Match Line  
Match Line

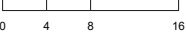


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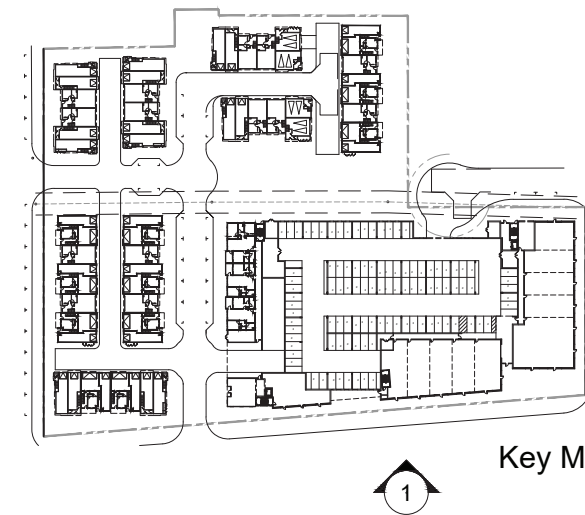
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**CONCEPT ELEVATION**  
MIXED USE BUILDING

**A2.5**



- Material Legend**
1. Concrete Flat Tile Roof
  2. Stucco
  3. Brick Veneer
  4. Metal Garage Doors
  5. Metal Railing
  6. Metal Awning
  7. Rafter Tails
  8. Light Fixture



1. South Elevation at San Bernardino Road(Partial)

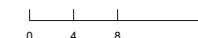


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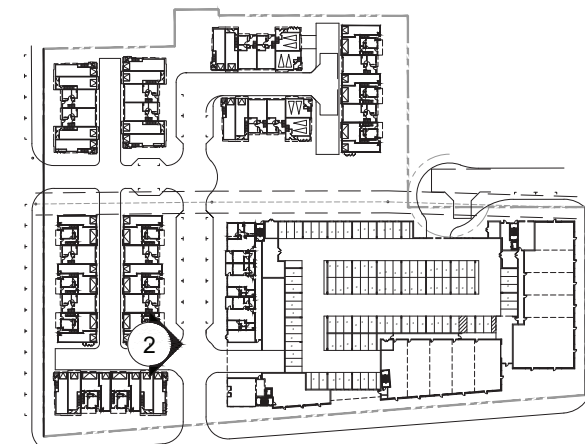
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**CONCEPT ELEVATION**  
MIXED USE BUILDING

**A2.6**



- Material Legend**
1. Concrete Flat Tile Roof
  2. Stucco
  3. Brick Veneer
  4. Metal Garage Doors
  5. Metal Railing
  6. Metal Awning
  7. Rafter Tails
  8. Light Fixture

Key Map



2. West Elevation

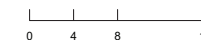


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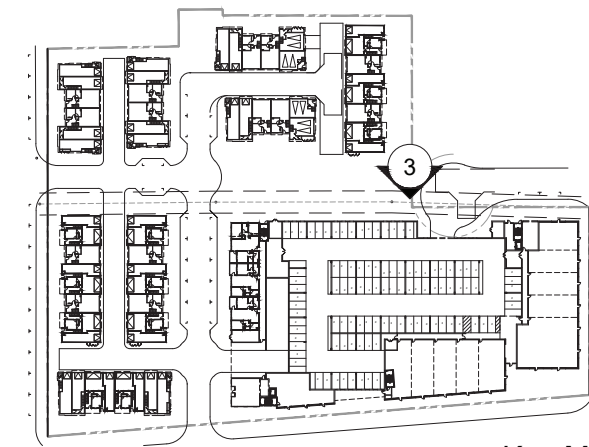
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**CONCEPT ELEVATION**  
MIXED USE BUILDING

**A2.7**





- Material Legend**
- 1. Concrete Flat Tile Roof
  - 2. Stucco
  - 3. Brick Veneer
  - 4. Metal Garage Doors
  - 5. Metal Railing
  - 6. Metal Awning
  - 7. Rafter Tails
  - 8. Light Fixture

Key Map



3. North Elevation at Geneva Place(Partial)

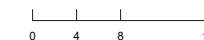


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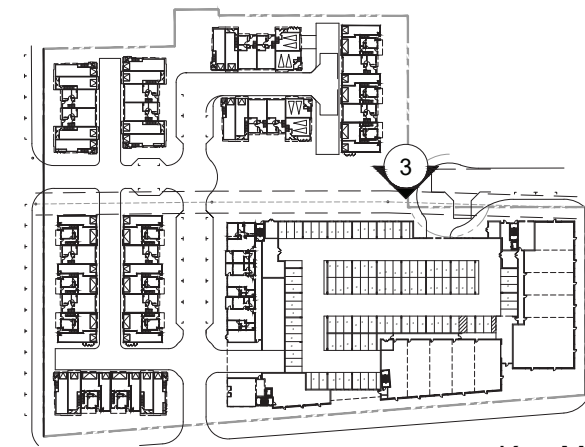
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**CONCEPT ELEVATION**  
MIXED USE BUILDING

**A2.8**



Key Map

- Material Legend**
- 1. Concrete Flat Tile Roof
  - 2. Stucco
  - 3. Brick Veneer
  - 4. Metal Garage Doors
  - 5. Metal Railing
  - 6. Metal Awning
  - 7. Rafter Tails
  - 8. Light Fixture



3. North Elevation at Geneva Place(Partial)

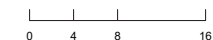


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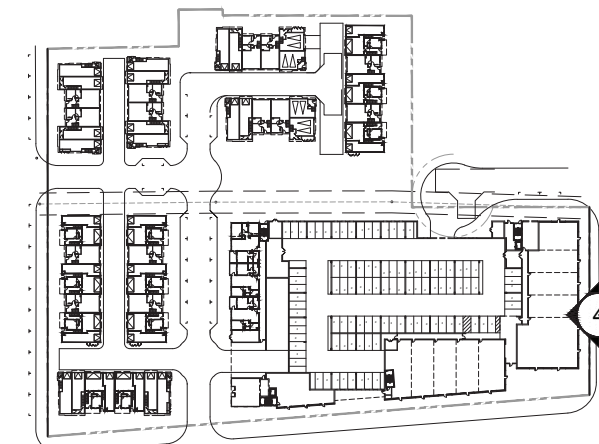
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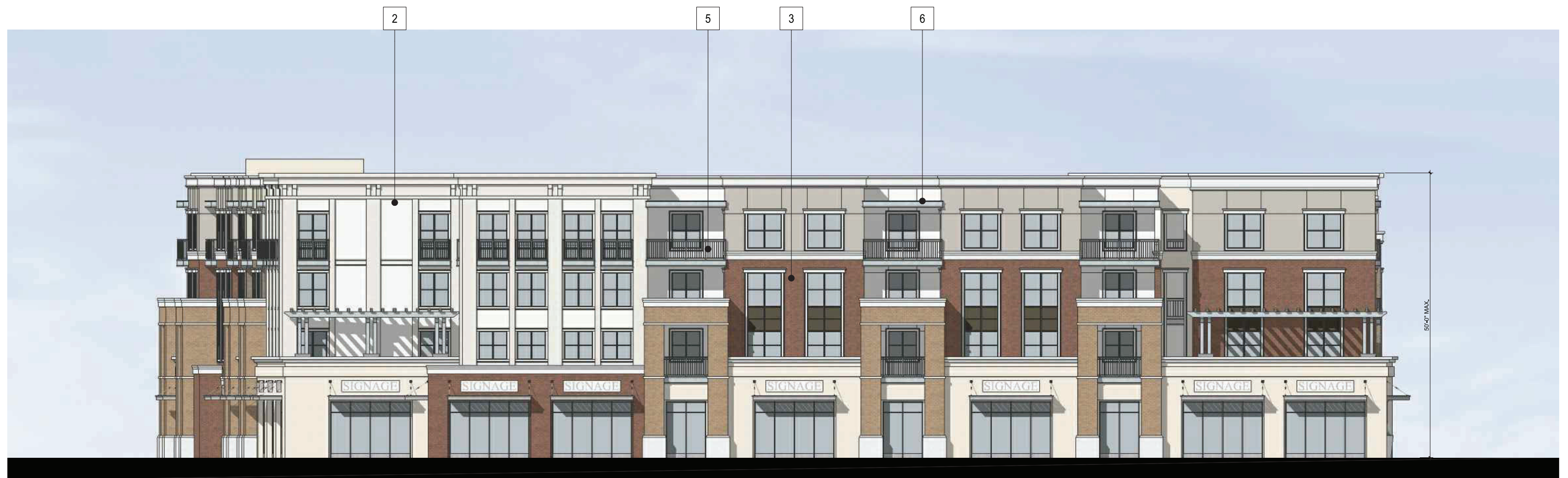
**CONCEPT ELEVATION**  
MIXED USE BUILDING

**A2.9**



- Material Legend**
1. Concrete Flat Tile Roof
  2. Stucco
  3. Brick Veneer
  4. Metal Garage Doors
  5. Metal Railing
  6. Metal Awning
  7. Rafter Tails
  8. Light Fixture

Key Map



4. East Elevation at Citrus Avenue

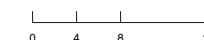


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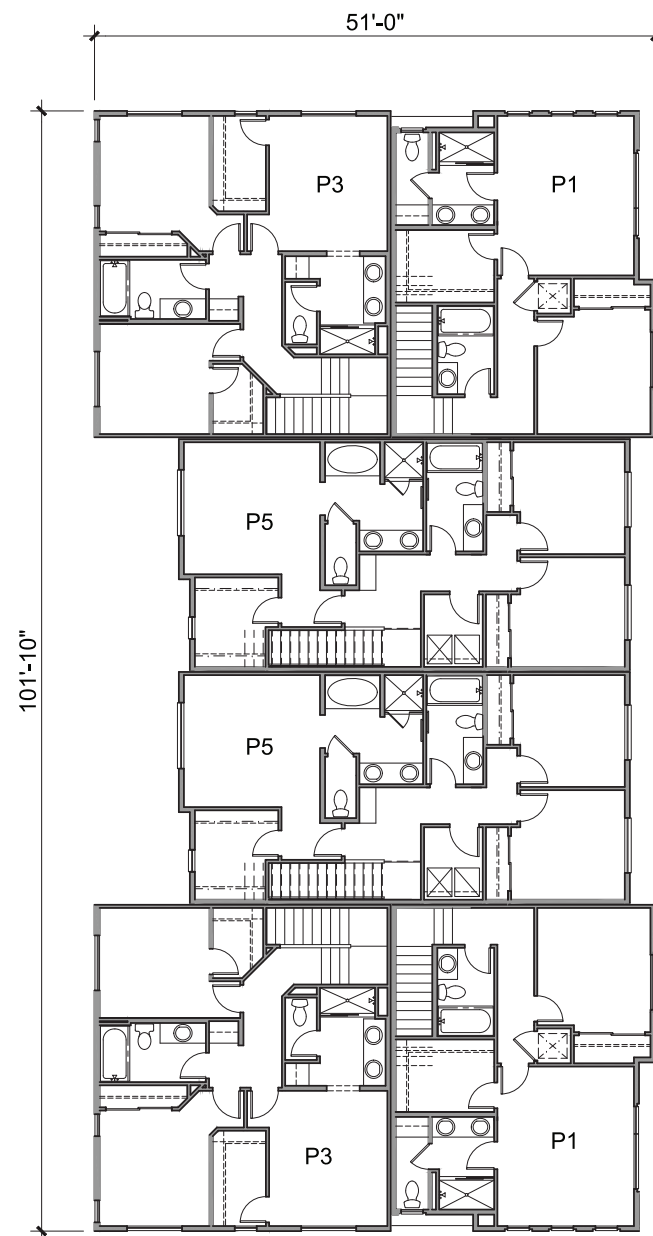
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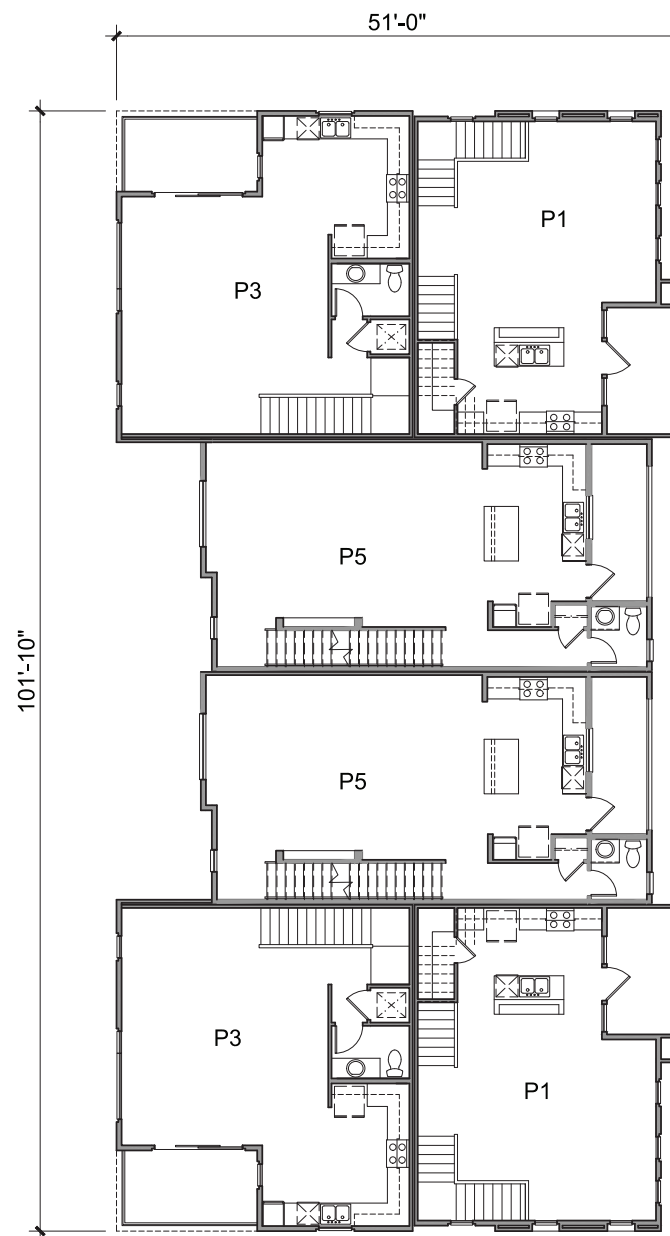


**CONCEPT ELEVATION**  
MIXED USE BUILDING

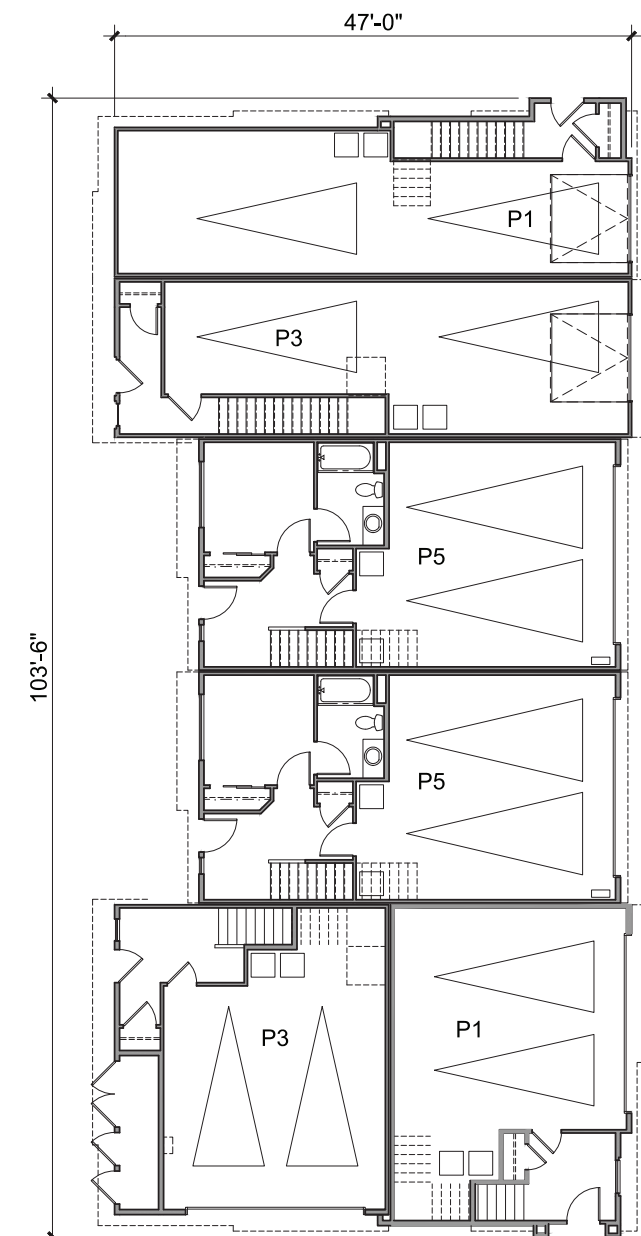
**A2.10**



Level 3

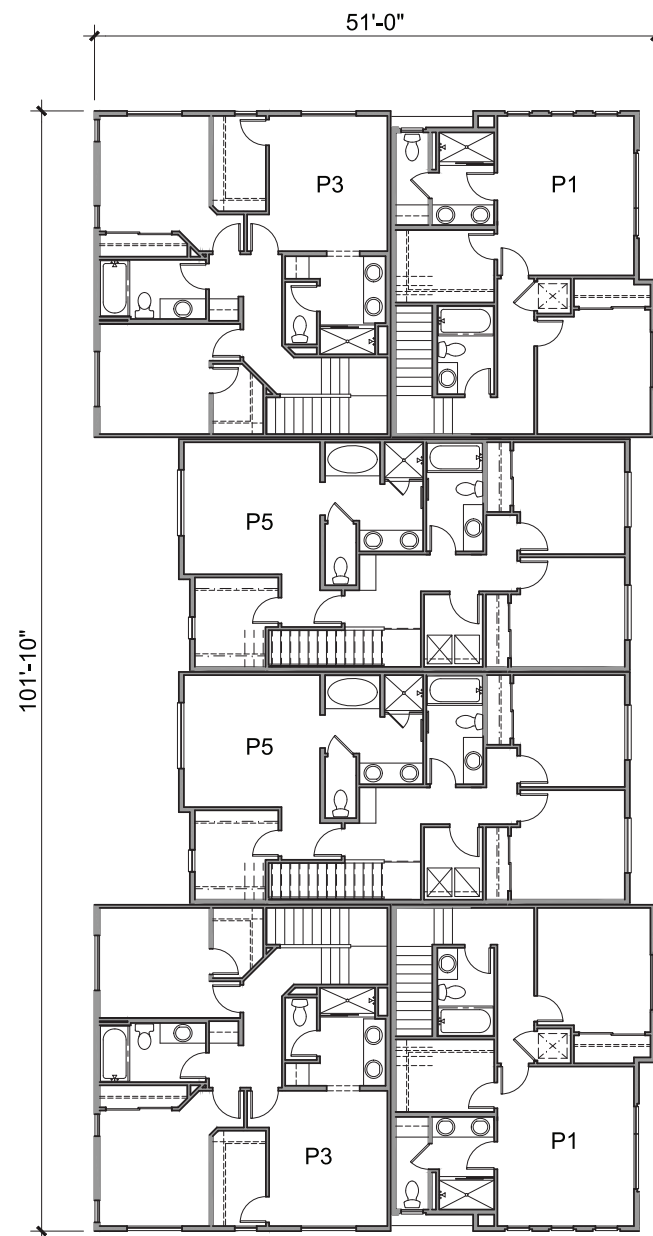


Level 2

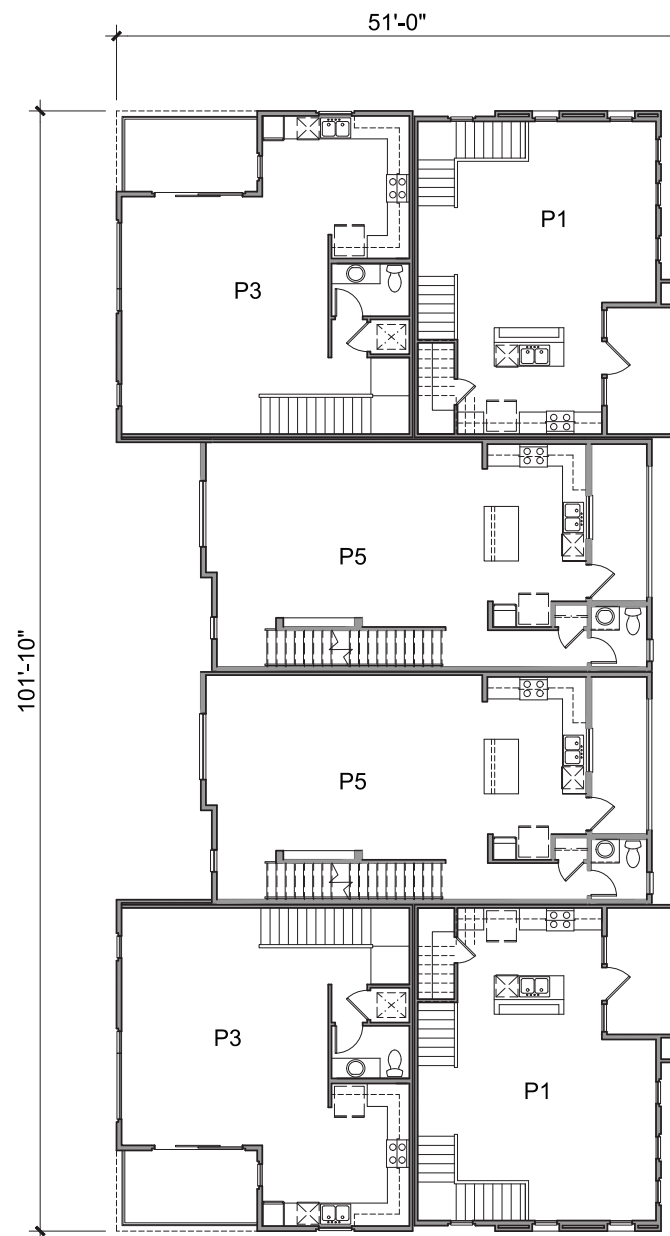


Level 1

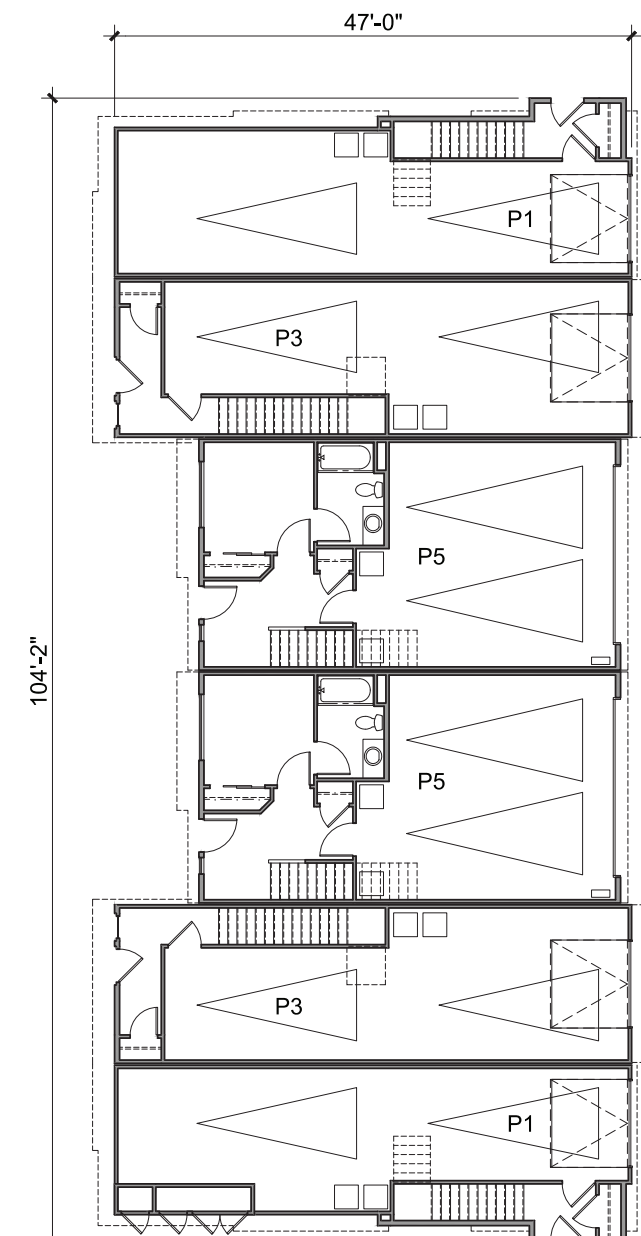




Level 3

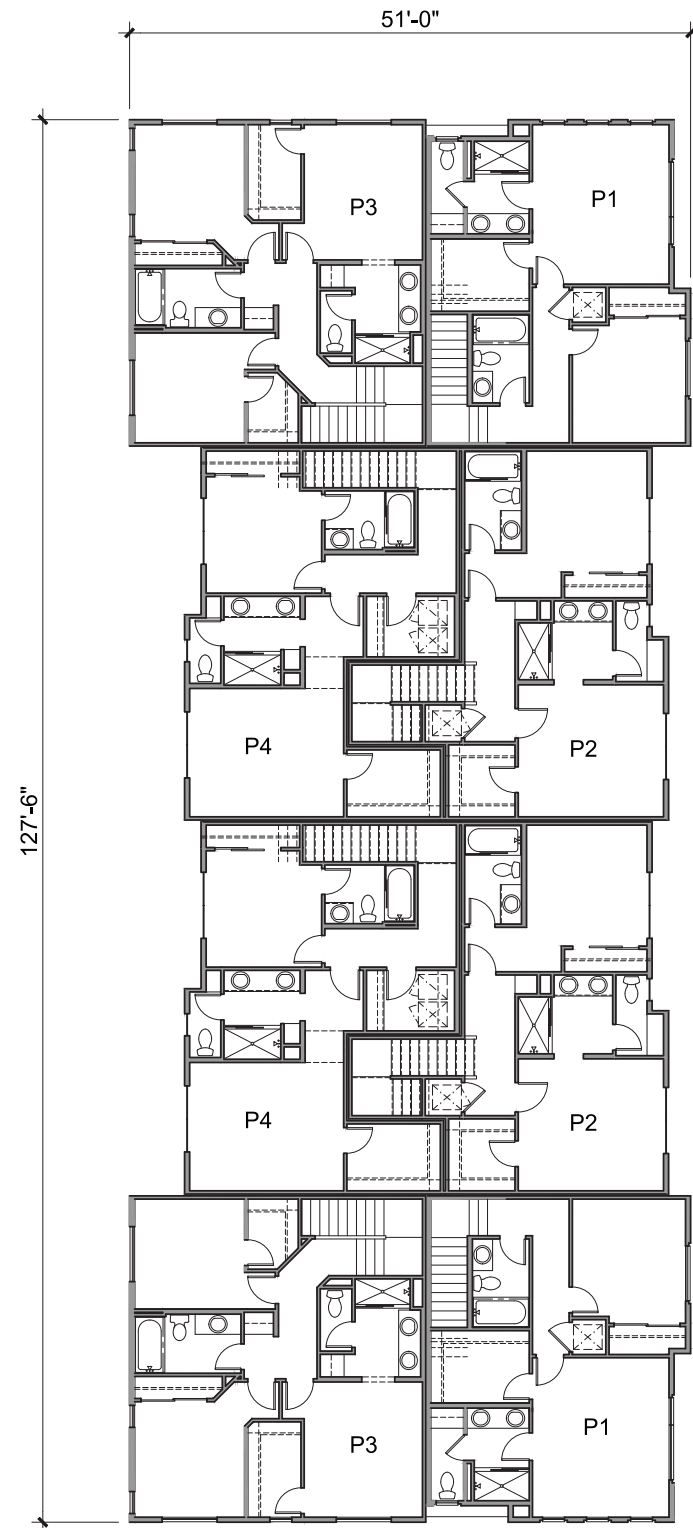


Level 2

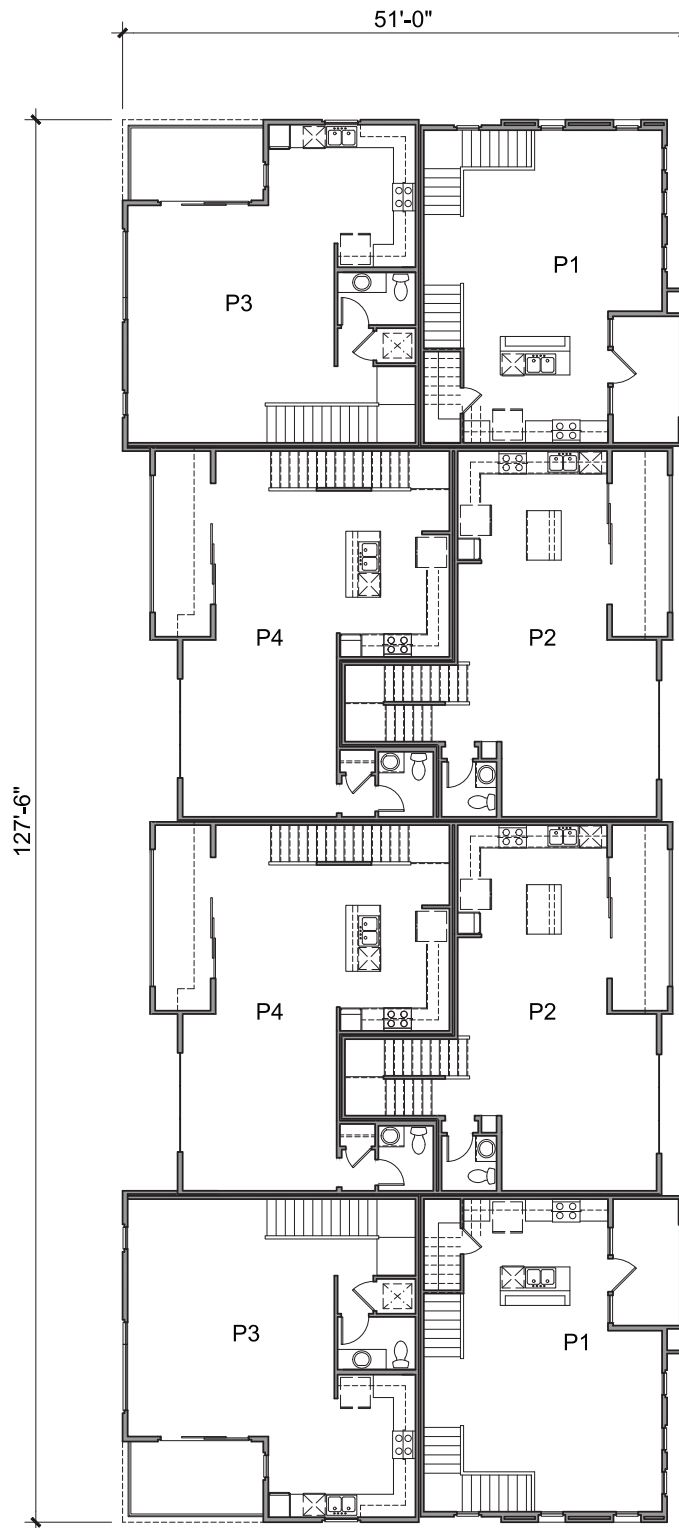


Level 1

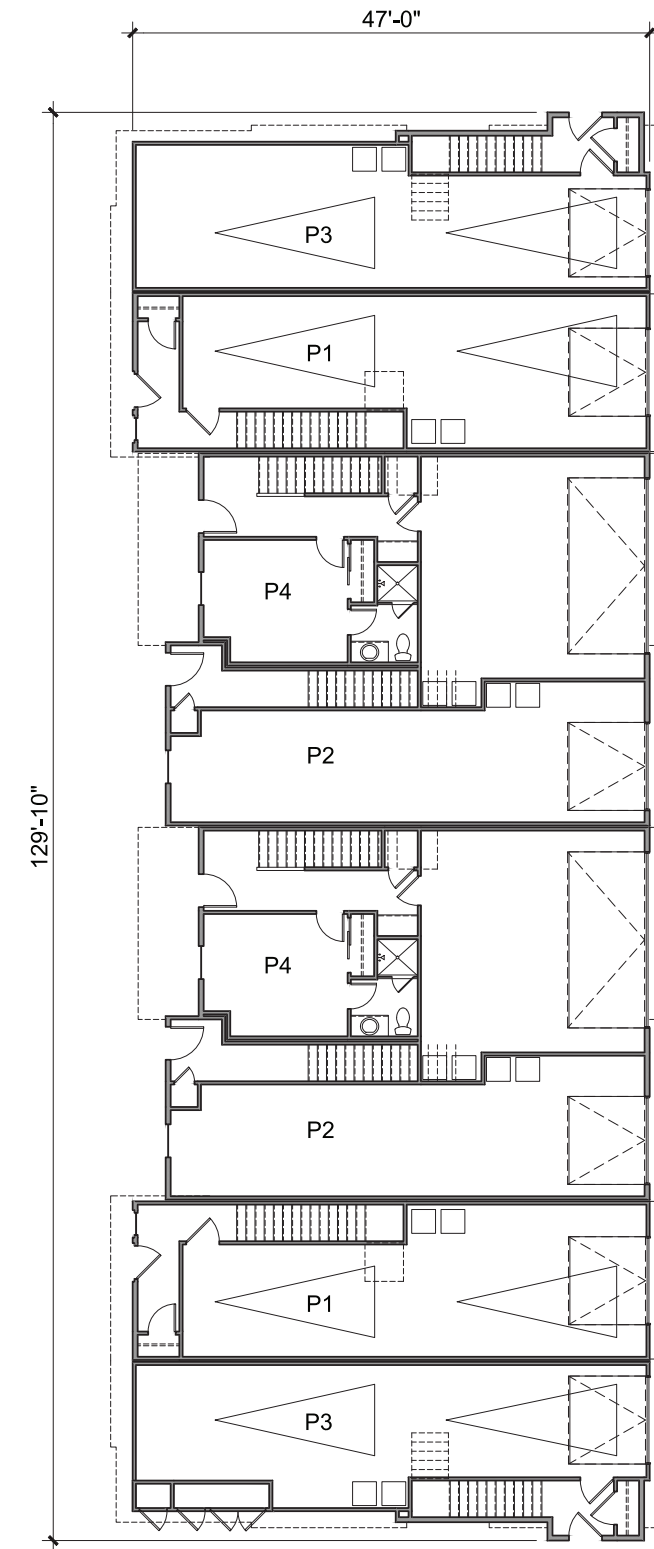




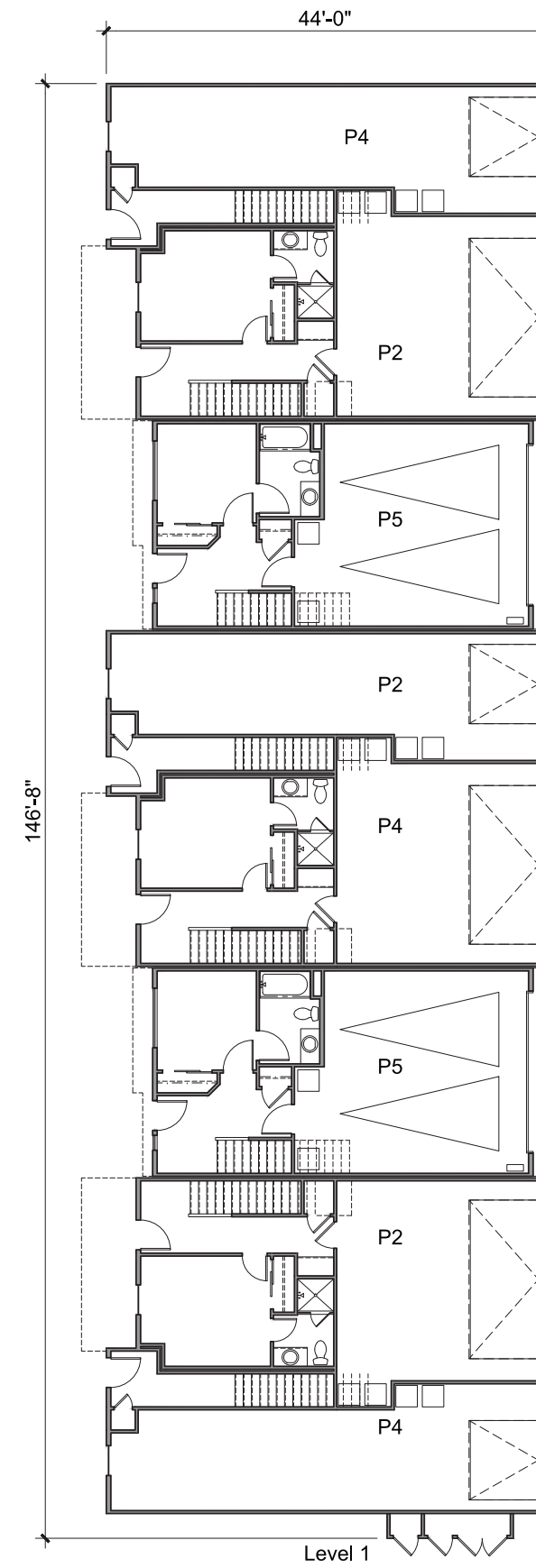
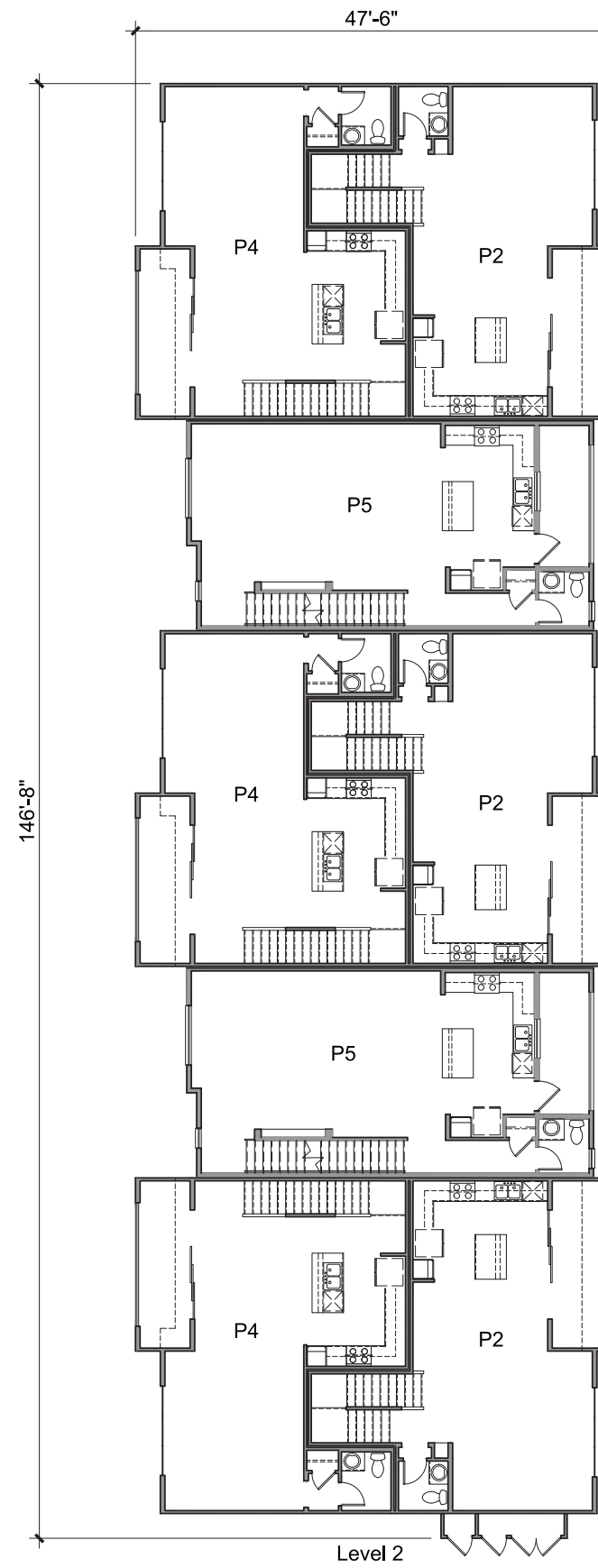
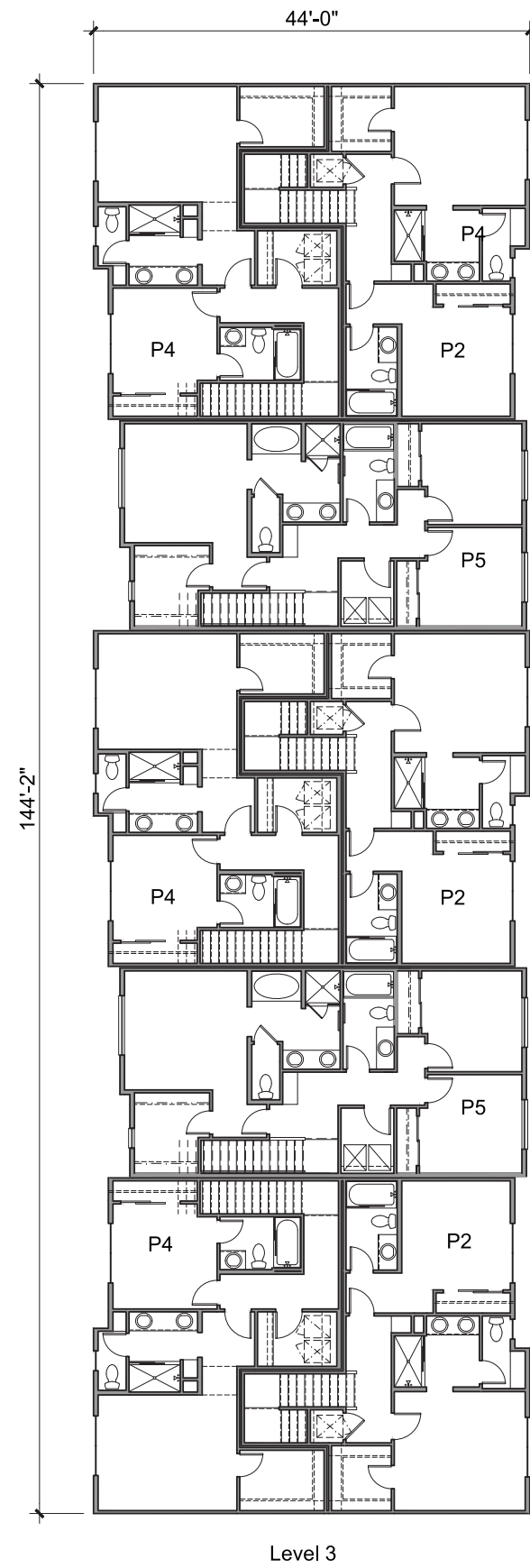
Level 3

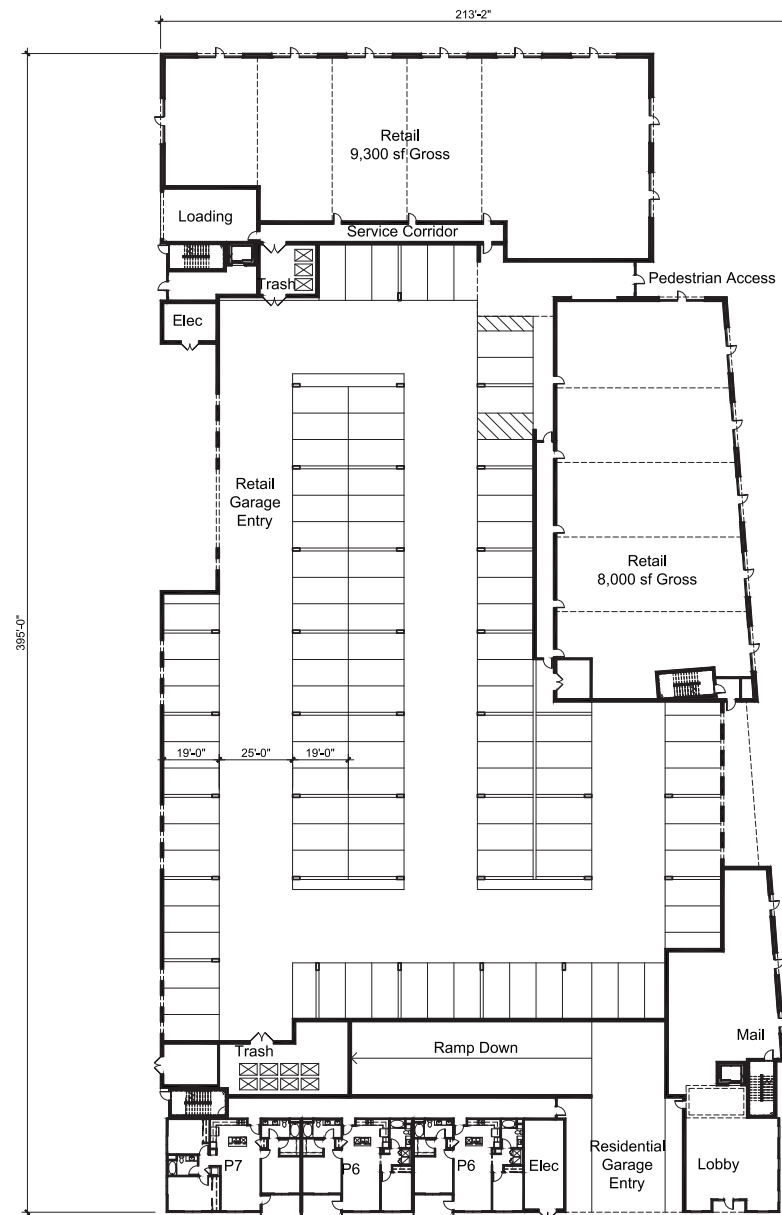


Level 2

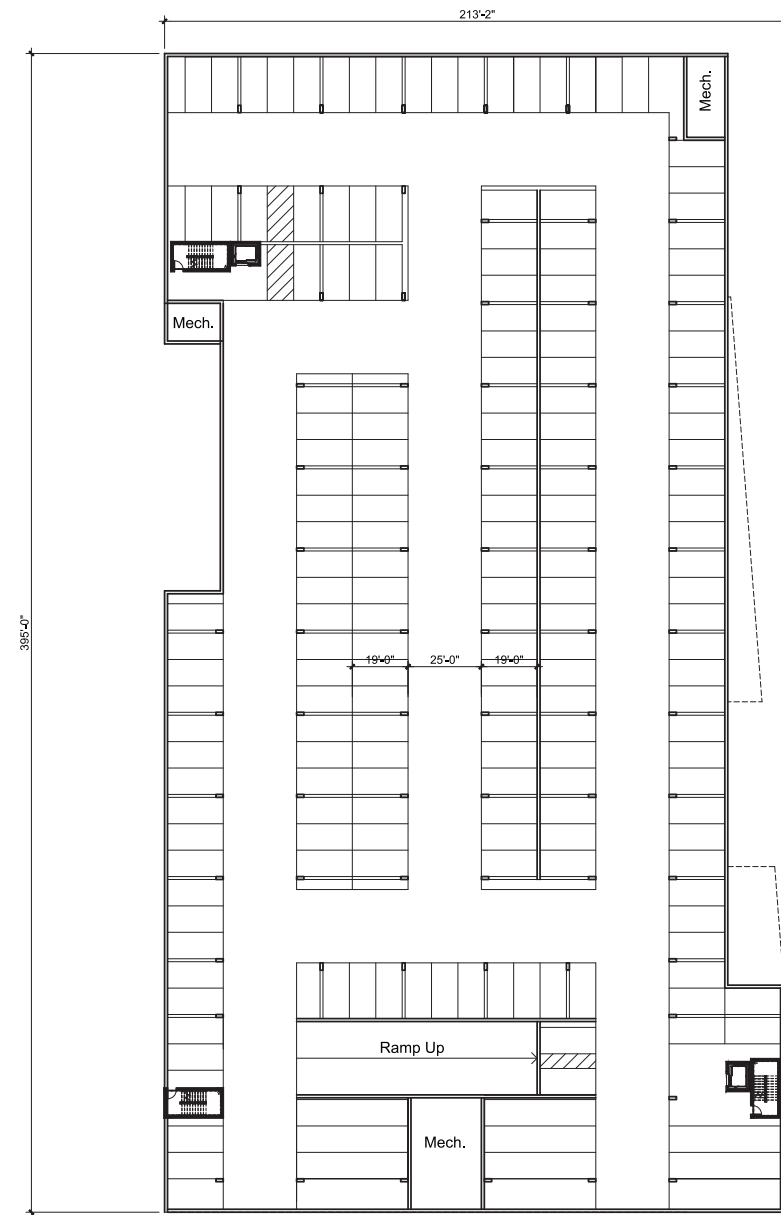


Level 1





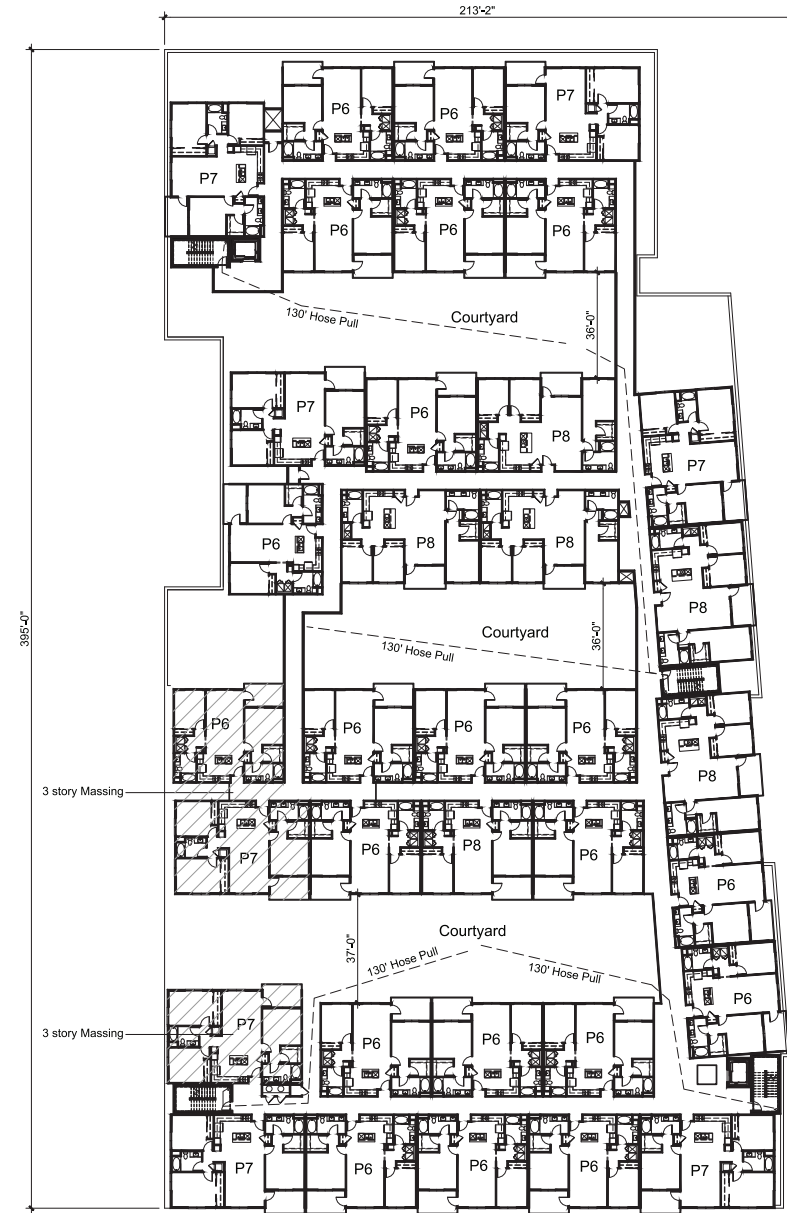
Street Level



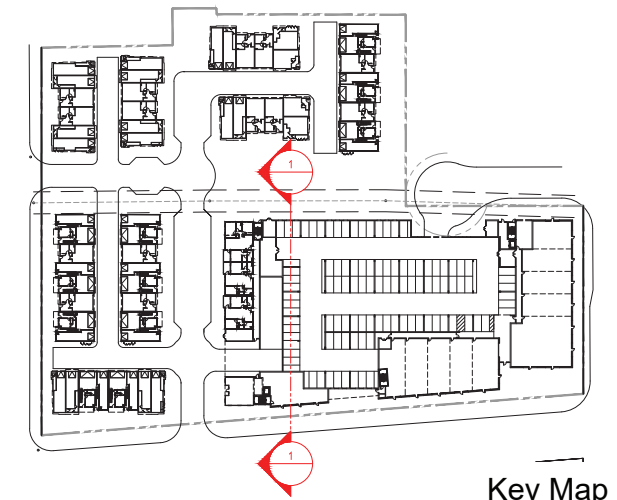
Basement Level



Roof Plan



Level 2-4



Key Map



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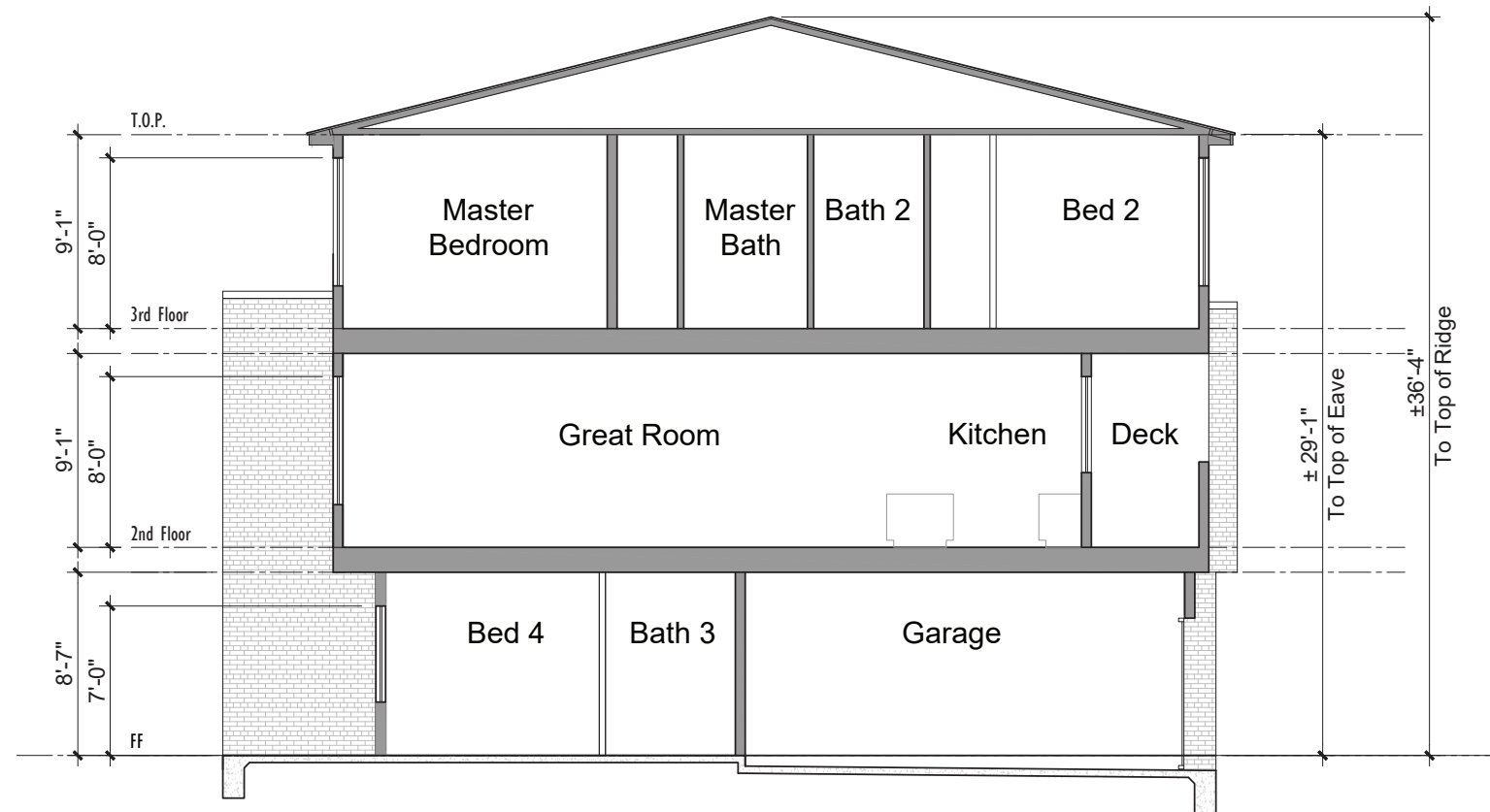
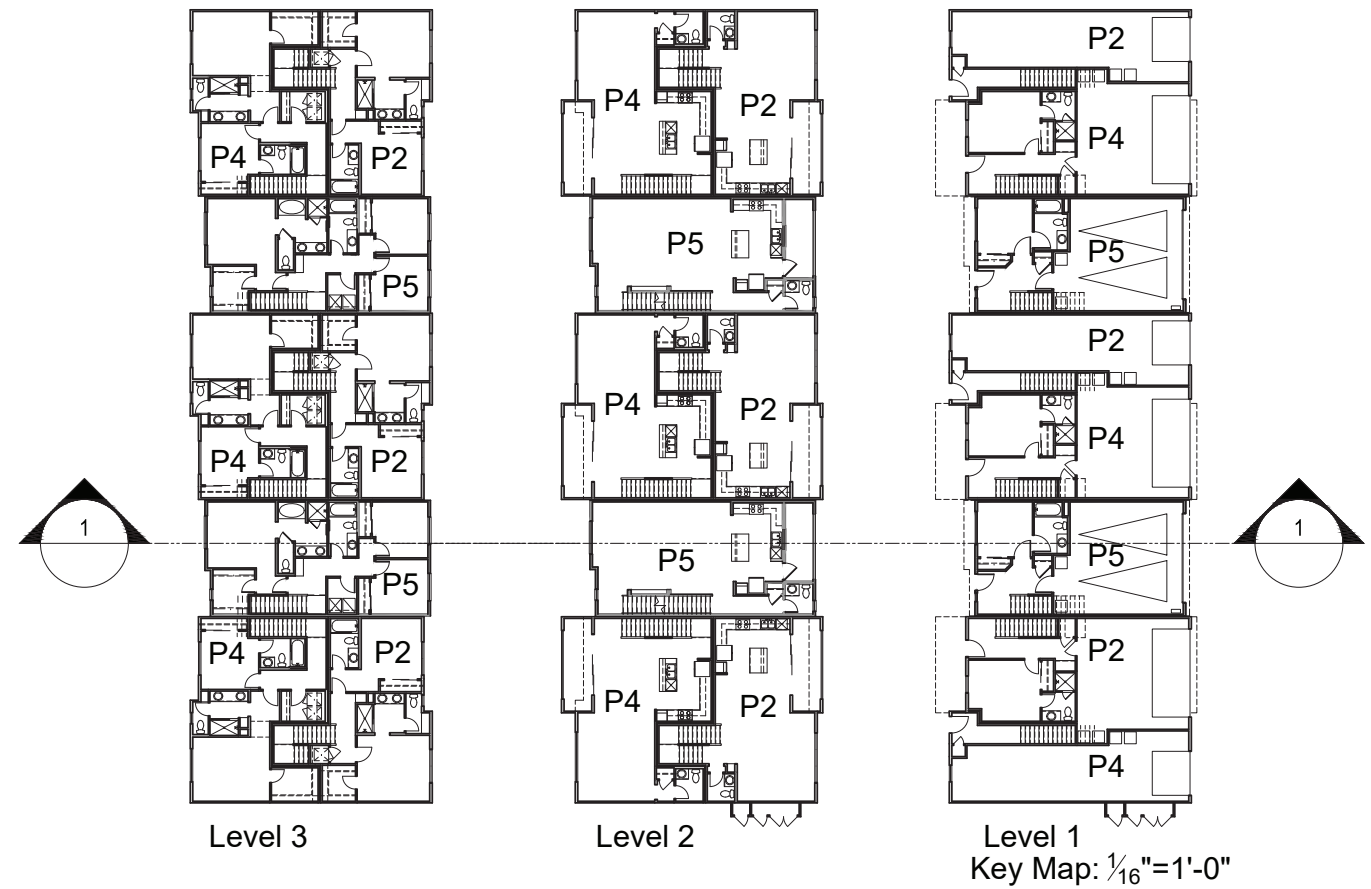
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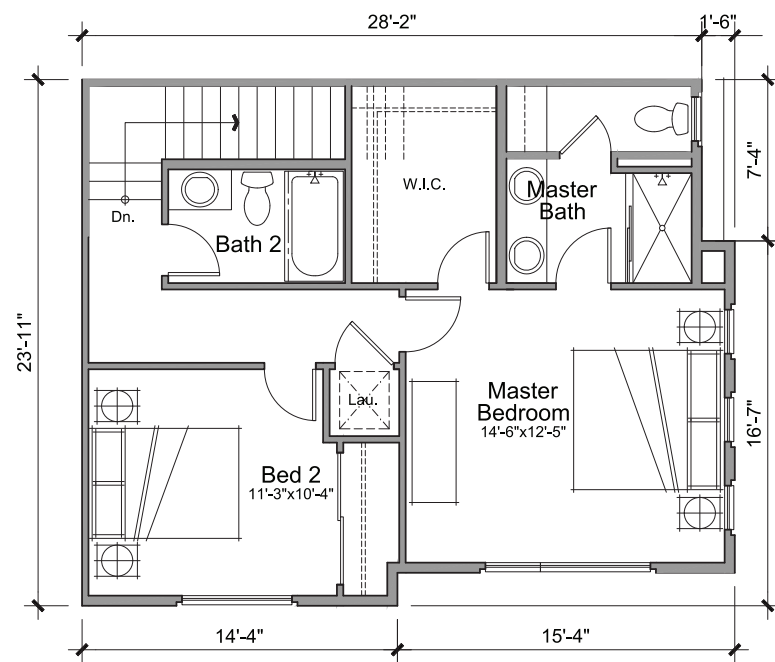
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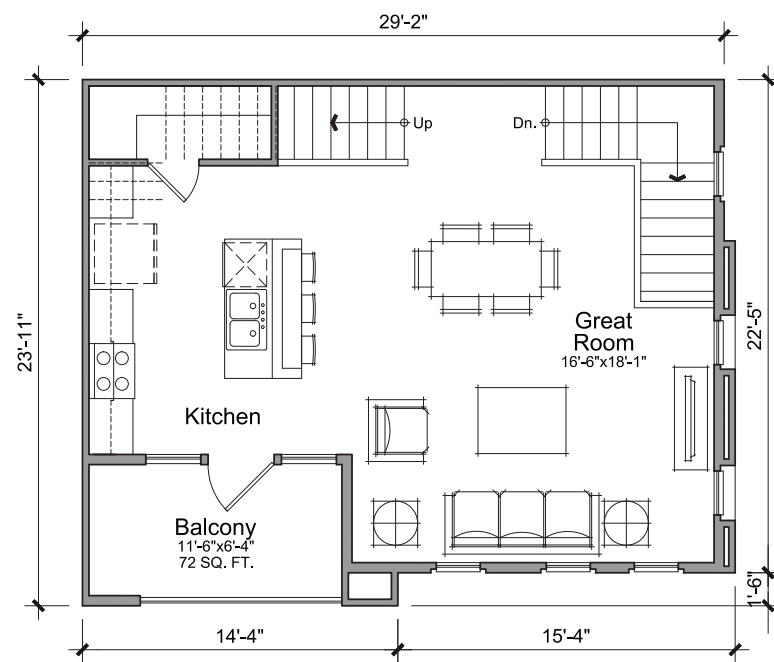
**BUILDING SECTION**  
MIXED USE BUILDING

**A4.0**

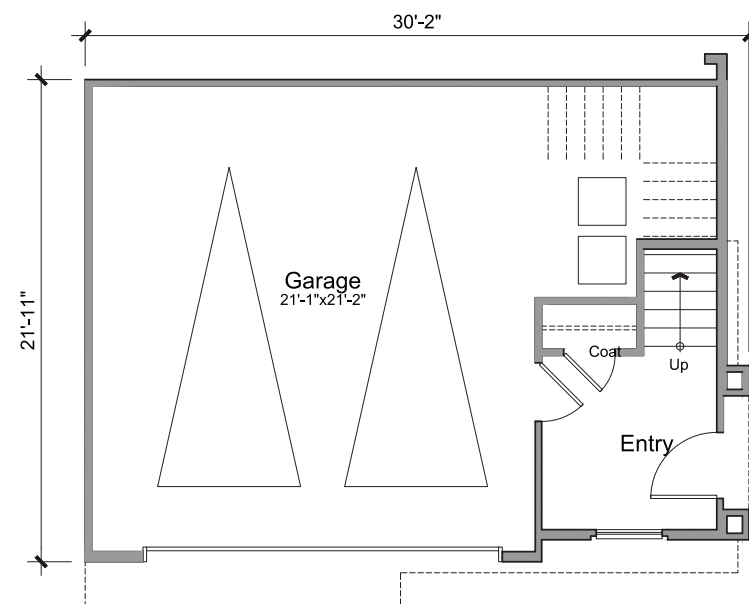




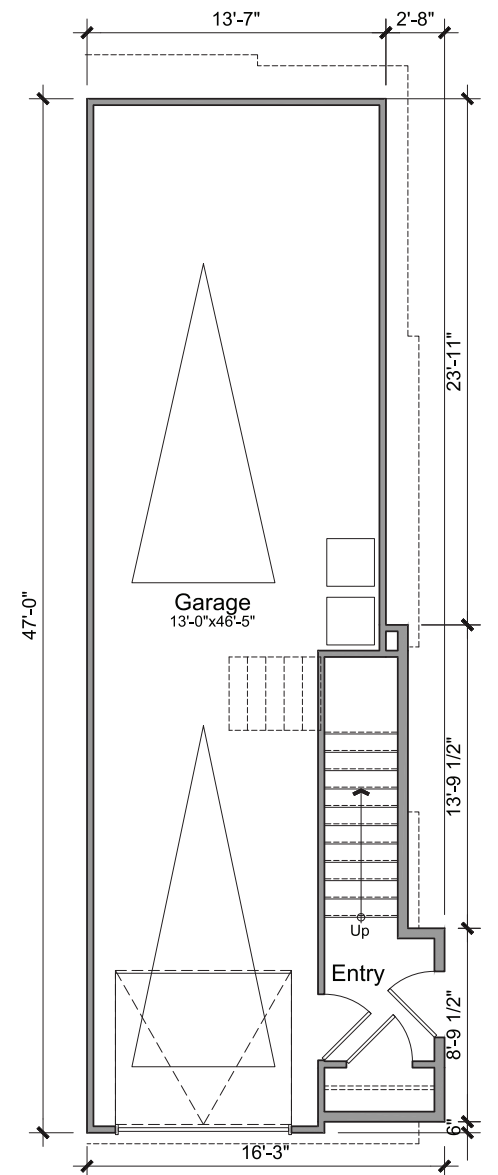
Third Floor  
619 Net SQ. FT.



Second Floor  
510 Net SQ. FT.

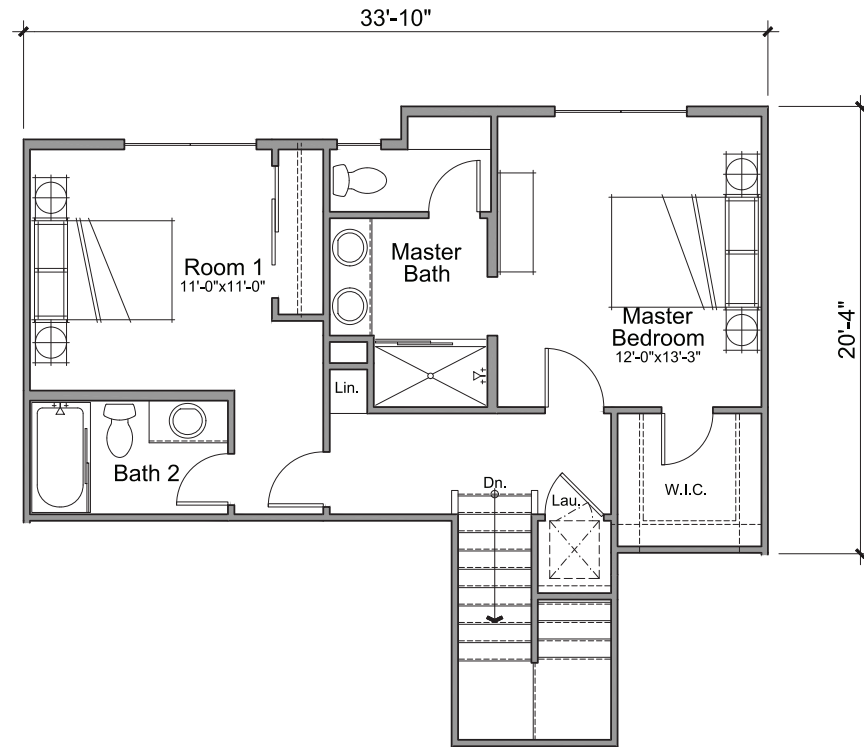


First Floor-A  
128 Net SQ. FT.

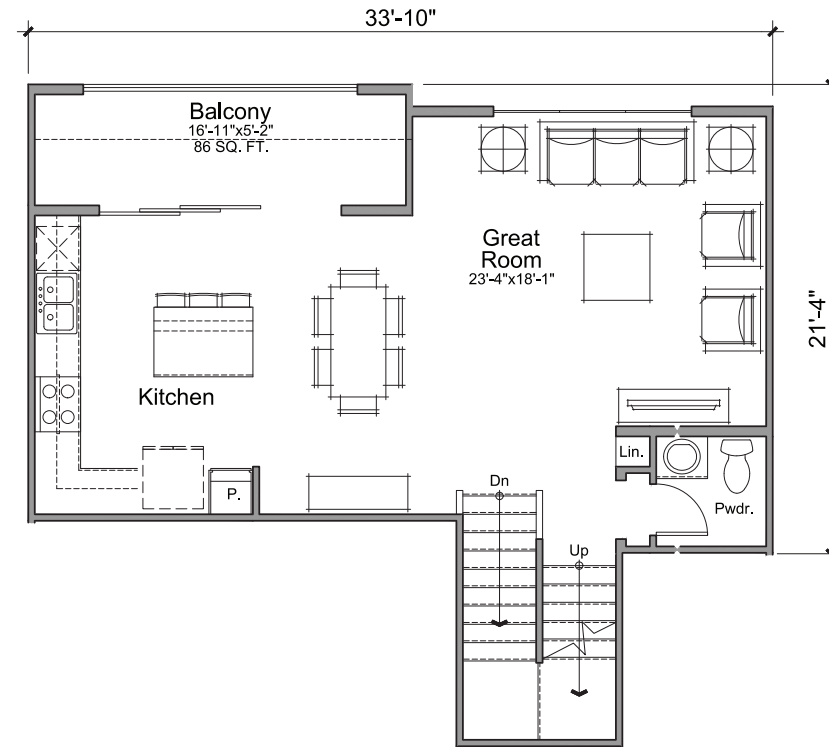


First Floor-B  
99 Net SQ. FT.

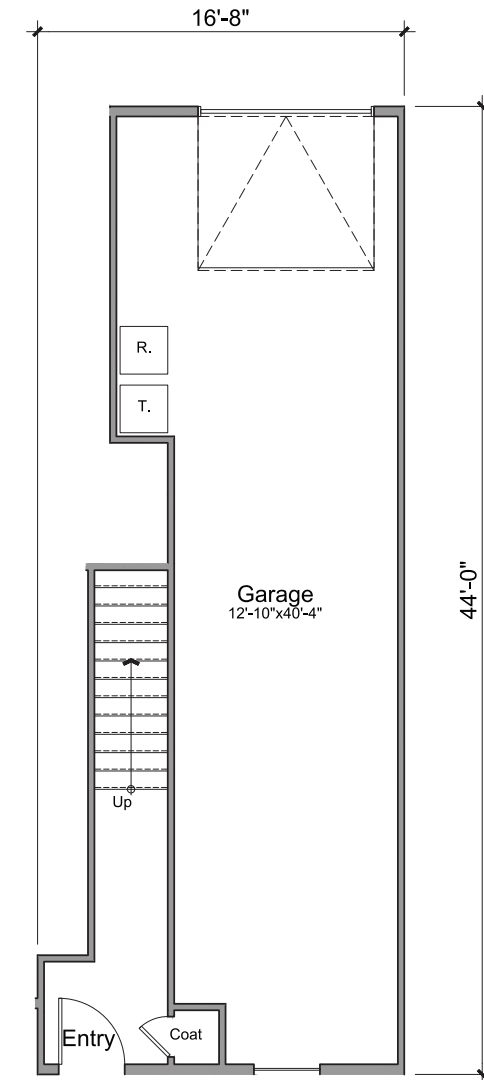
Plan 1  
2 Bed, 2 Bath  
1,257 Net SQ. FT. - Opt. A  
1,228 Net SQ. FT. - Opt. B  
Private Open Space: 72 SQ. FT.



Third Floor  
606 Net SQ. FT.



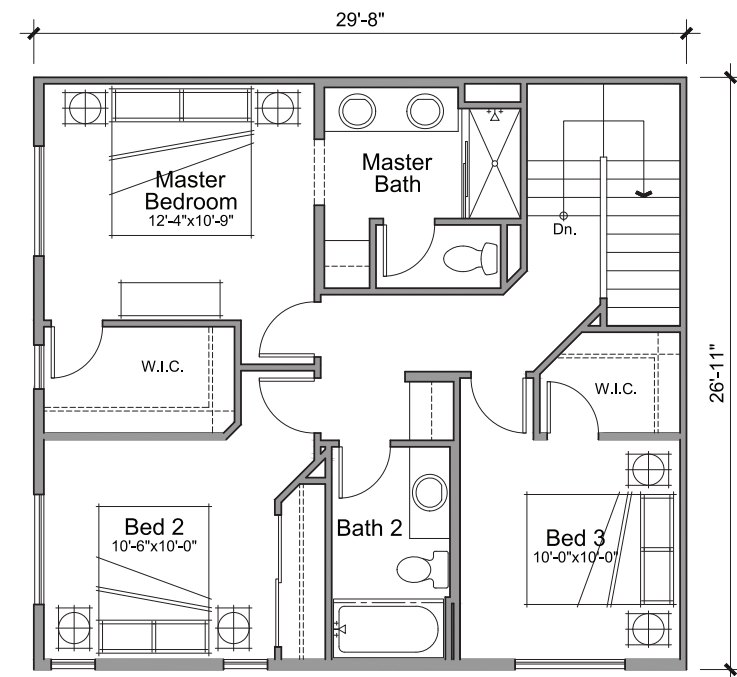
Second Floor  
605 Net SQ. FT.



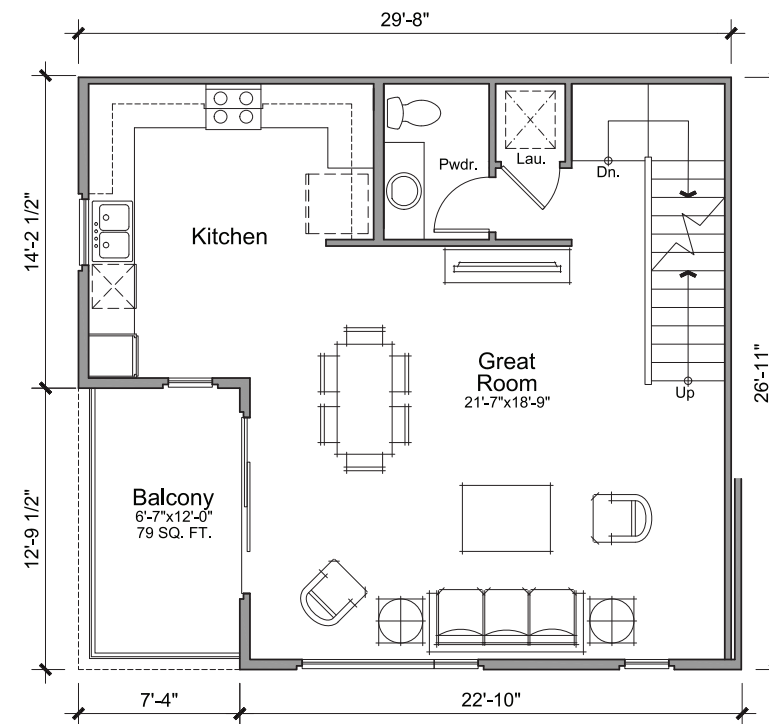
First Floor  
91 Net SQ. FT.

Plan 2  
2 Bed, 2.5 Bath  
1302 Net SQ. FT.  
Private Open Space: 86 SQ. FT.

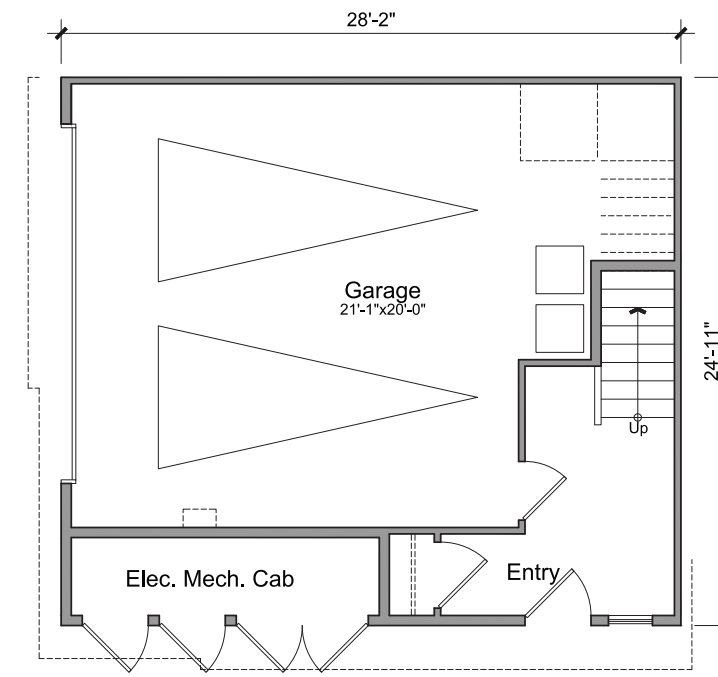




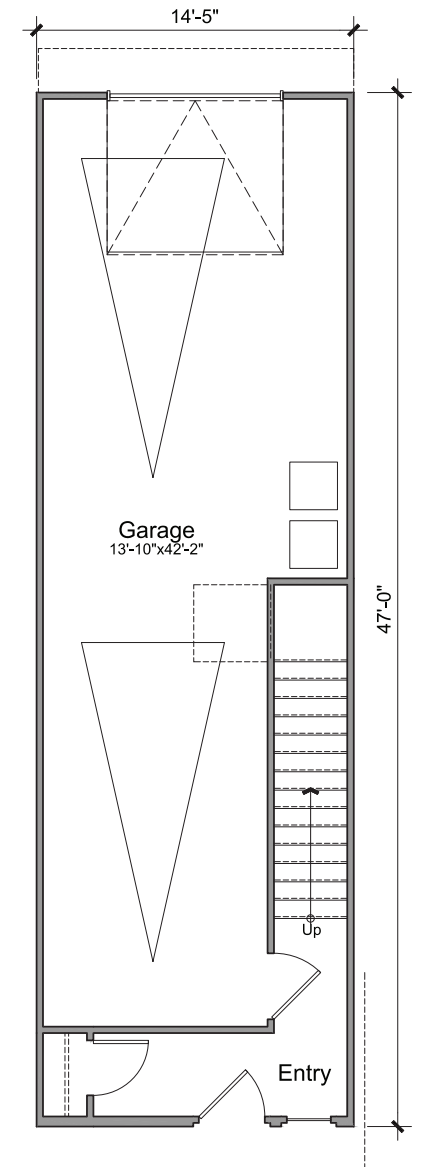
Third Floor  
692 Net SQ. FT.



Second Floor  
663 Net SQ. FT.

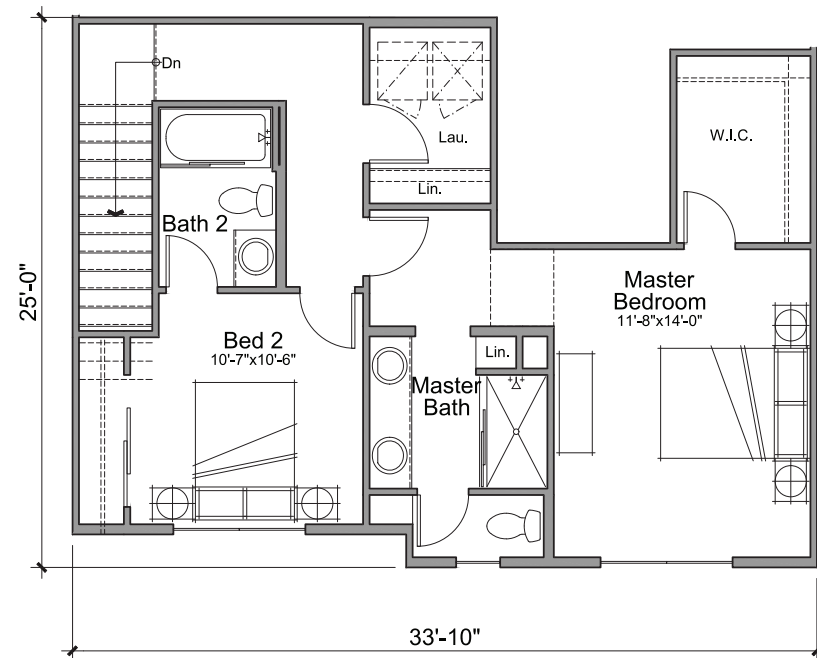


First Floor - Opt. A  
158 Net SQ. FT.

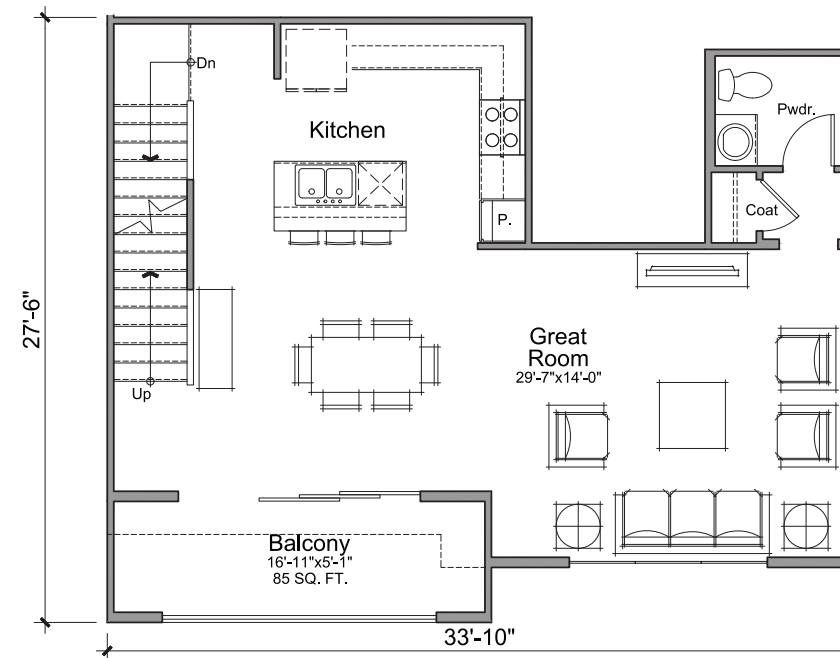


First Floor - Opt. B  
141 SQ. FT.

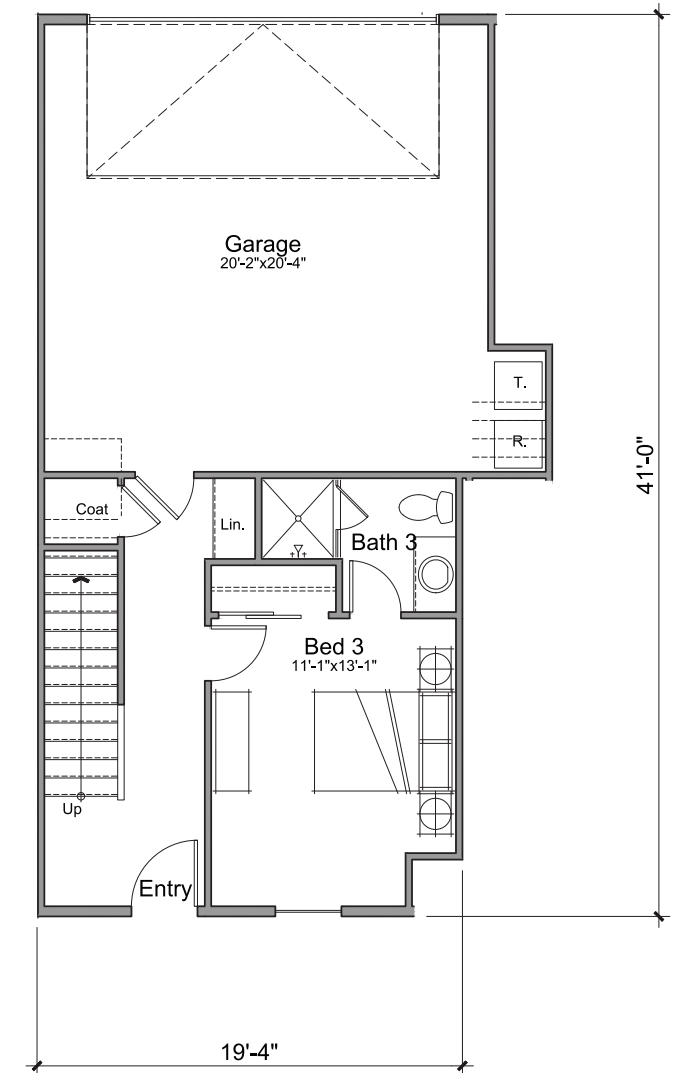
Plan 3  
3 Bed, 2.5 Bath  
1,513 Net SQ. FT. - Opt. A  
1,496 Net SQ. FT. - Opt. B  
Private Open Space: 79 SQ. FT.



Third Floor  
648 Net SQ. FT.

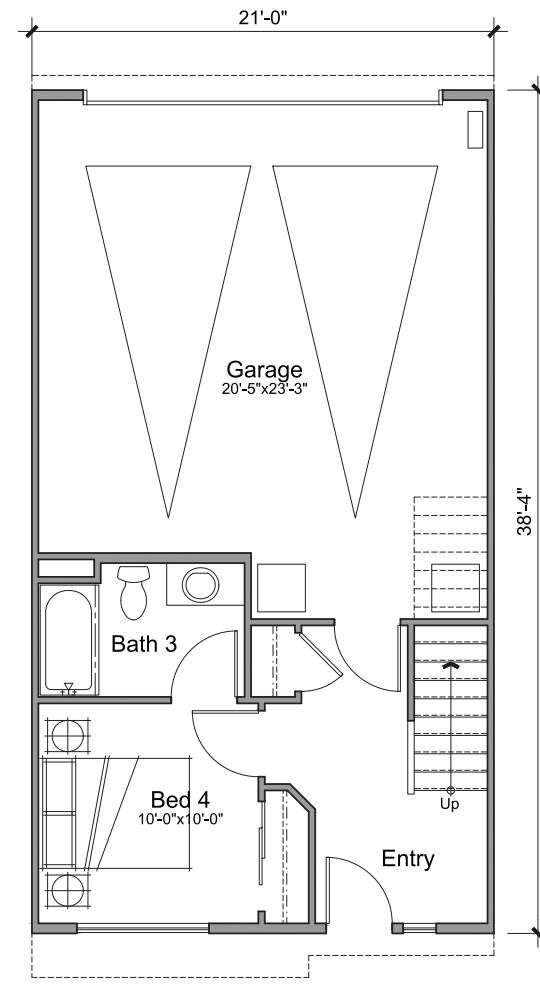
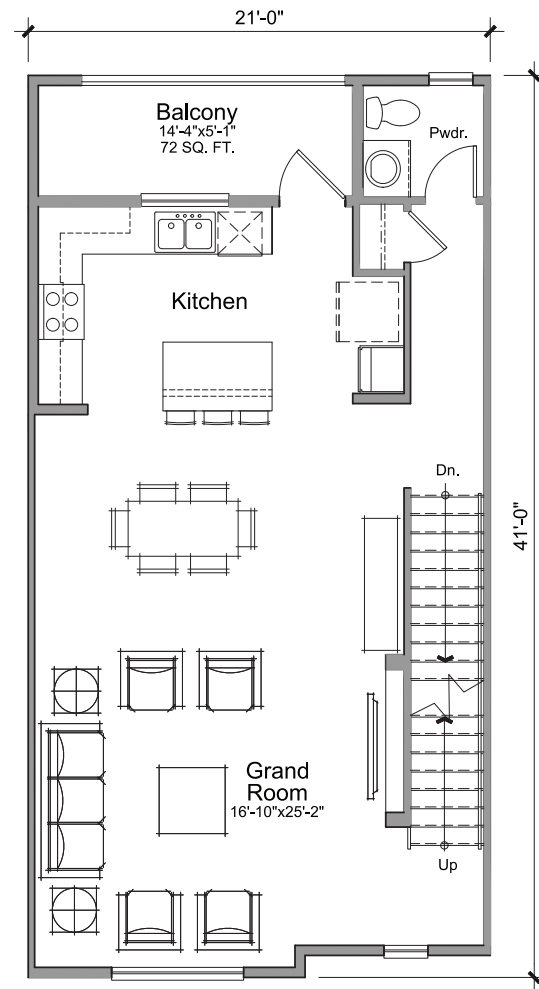
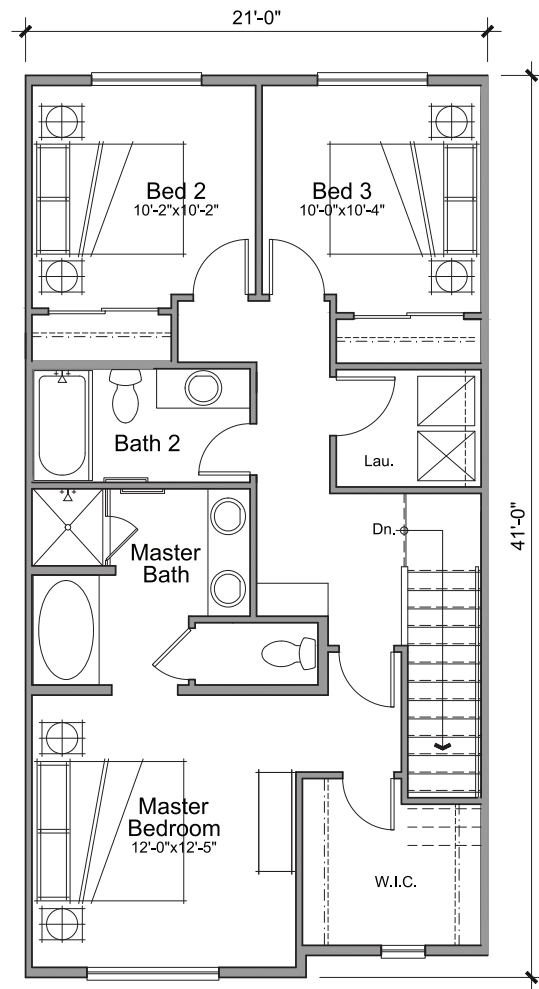


Second Floor  
658 Net SQ. FT.



First Floor  
369 Net SQ. FT.

Plan 4  
3 Bed, 3.5 Bath  
1668 Net SQ. FT.  
Private Open Space: 85 SQ. FT.



Plan 5  
4 Bed, 3.5 Bath  
1,816 Net SQ. FT.  
Private Open Space: 72 SQ. FT.

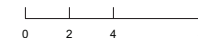


Architecture + Planning  
888.456.5849  
ktgy.com

Hassen Development Corporation  
100 N Barranca Ave, Suite 900  
West Covina, CA 91791

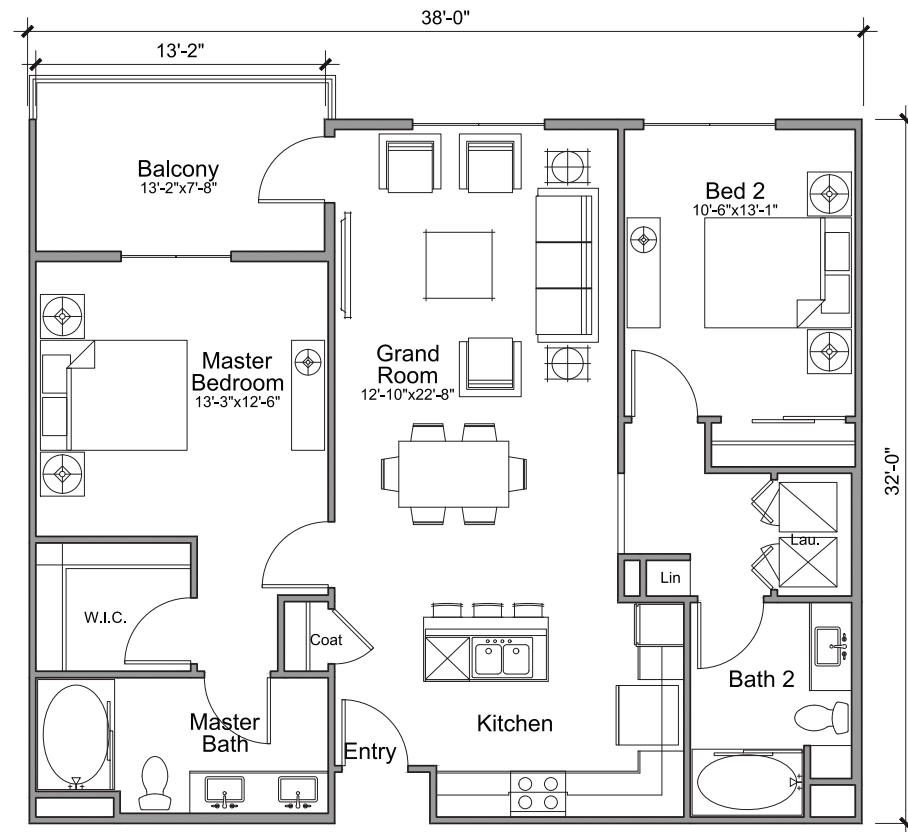
**COVINA SITE A**  
COVINA, CA # 2016-0207

SCHEMATIC DESIGN  
OCTOBER 31, 2017

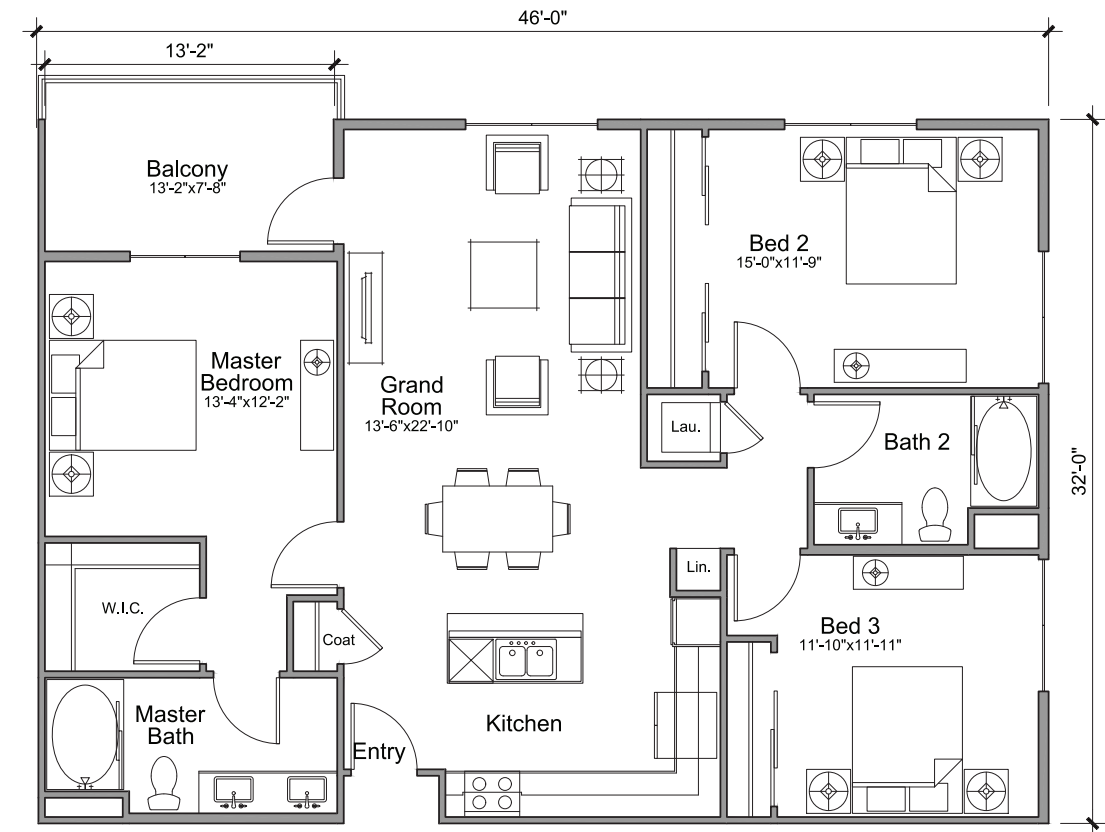


UNIT PLANS  
PLAN 5

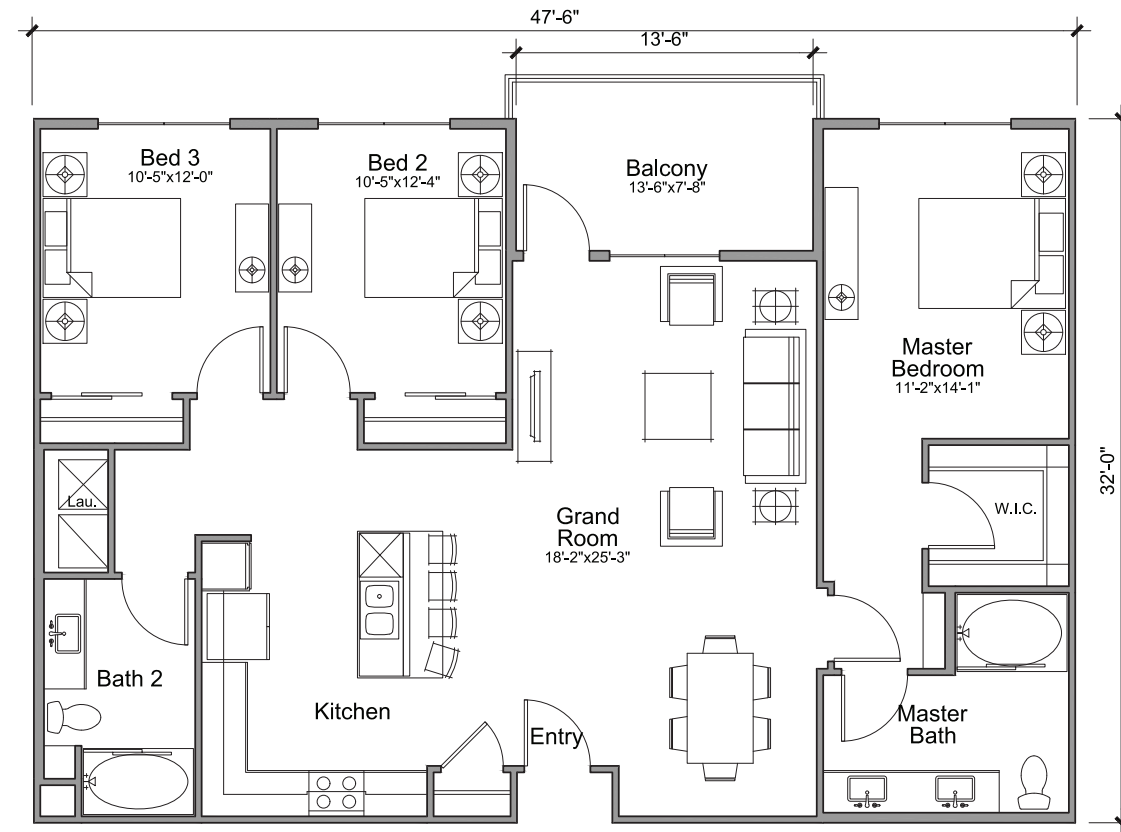
A5.4



Plan 6  
2 Bed, 2 Bath  
1059 Net SQ. FT.  
Private Open Space: 99 SQ. FT.



Plan 7  
3 Bed, 2 Bath  
1306 SQ. FT.  
Private Open Space: 99 SQ. FT.



Plan 8  
3 Bed, 2 Bath  
1356 SQ. FT.  
Private Open Space:104 SQ. FT.





COVINA TOWNHOMES - COVINA, CA

HASSEN DEVELOPMENT CORPORATION

JULY 17, 2017

CONCEPTUAL LANDSCAPE PLAN- L1.0







COVINA TOWNHOMES - COVINA, CA

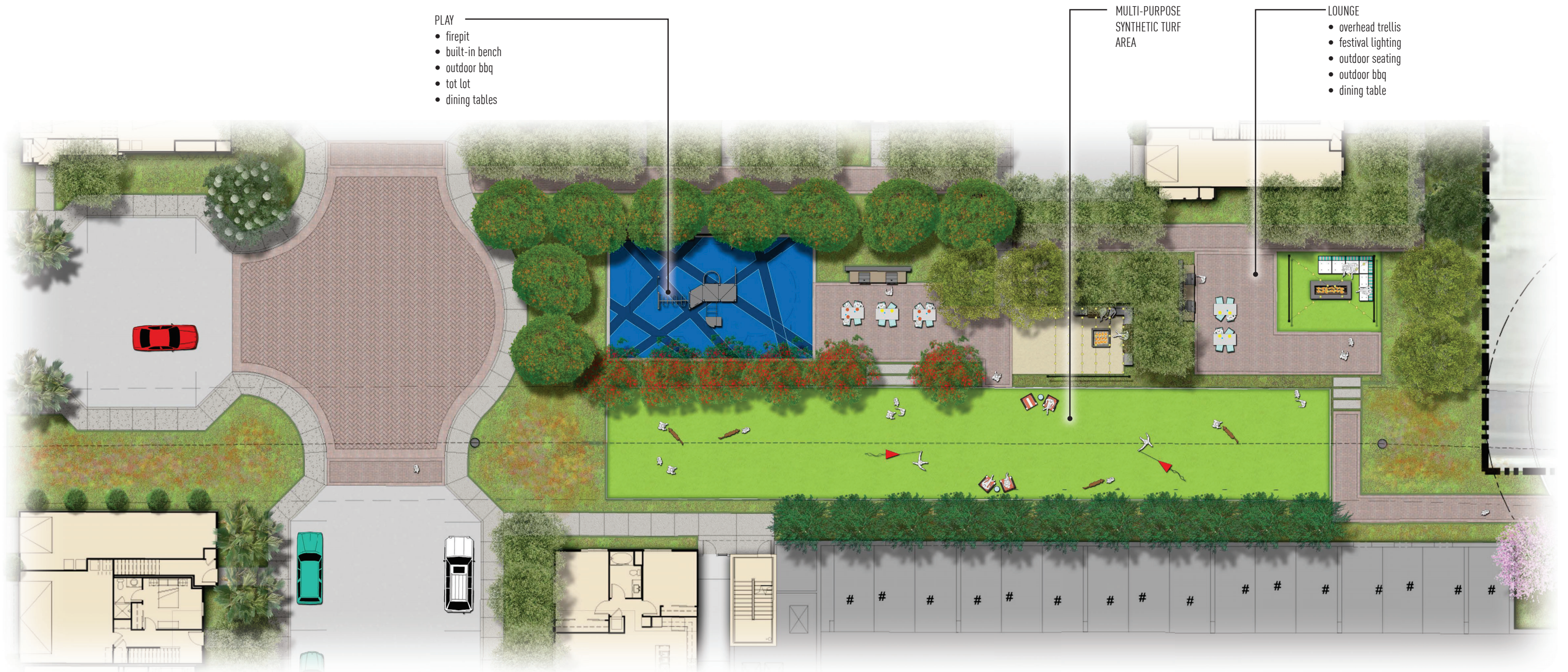
HASSEN DEVELOPMENT CORPORATION

JULY 17, 2017

GROUND LEVEL LANDSCAPE PLAN- L2.0







COVINA TOWNHOMES - COVINA, CA

HASSEN DEVELOPMENT CORPORATION

JULY 17, 2017

CENTRAL COURTYARD ENLARGEMENT - L3.0







COVINA TOWNHOMES - COVINA, CA

HASSEN DEVELOPMENT CORPORATION

JULY 17, 2017

PODIUM LEVEL COURTYARD ENLARGEMENT - L4.0



LANDSCAPE TREES COUNT		
REQUIRED TREE PERCENTAGE	24" BOX 48" BOX	40% OF ALL TREES 12-1/2% OF ALL TREES
PROVIDED TREE PERCENTAGE	TOTAL TREES PROVIDED	197
	24" BOX 48" BOX 15 GAL	77 25 95

PLANT PALETTE NOTES:

THIS PRELIMINARY PLANT PALETTE IS INTENDED TO REPRESENT A TYPICAL SAMPLE OF THE PROPOSED PLANTS BUT DOES NOT INDICATE THE EXACT SPECIES WHICH WILL BE DEVELOPED ON THE DETAILED PLANS.

WUCOLS NOTE:

WUCOLS, WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, IS A UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION PUBLICATION AND IS A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS.

TREE NOTE:

1. ROOT BARRIERS ARE REQUIRED FOR ALL TREES WITHIN 5' OF ANY HARDSCAPE SURFACE.

2. NO EXISTING TREES TO REMAIN ON SITE

IRRIGATION CONCEPT NOTE:

THE FOLLOWING IS A SUMMARY OF THE PROPOSED IRRIGATION CONCEPT FOR THE LANDSCAPED AREAS:

PURPOSE: TO PROVIDE THE LANDSCAPE MAINTENANCE COMPANY A MECHANICAL DEVICE TO DISTRIBUTE WATER AND ENSURE PLANT SURVIVAL IN THE MOST EFFICIENT MANNER AND WITHIN A TIME FRAME THAT LEAST INTERFERES WITH THE ACTIVITIES OF THE RESIDENTS.

CONCEPT: THE SYSTEM WILL DERIVE ITS WATER FROM THE COVINA WATER DISTRICT. ALL POINTS OF CONNECTIONS WILL BE PROTECTED BY A BACKFLOW PREVENTION UNIT, MASTER VALVE AND FLOW SENSOR IN ACCORDANCE WITH COVINA WATER DISTRICT STANDARDS. THE SYSTEM WILL UTILIZE VARIOUS TYPES OF IRRIGATION HEADS COMPATIBLE WITH THE AREA BEING WATERED AND INFILTRATION RATES OF THE SOIL WITH MATCHED PRECIPITATION RATES. THE SYSTEM WILL BE CONTROLLED BY MOISTURE SENSING EQUIPMENT. VALVES PROGRAMMED FROM AUTOMATIC CONTROLLERS WILL MAXIMIZE EFFICIENT WATER APPLICATION. TO AVOID WASTED WATER, THE CONTROLS WILL BE OVERSEEN BY A FLOW MONITOR THAT WILL DETECT ANY BROKEN SPRINKLER HEADS TO STOP THAT STATION'S OPERATION, ADVANCING TO THE NEXT WORKABLE STATION. IN THE EVENT OF PRESSURE SUPPLY LINE BREAKAGE, IT WILL COMPLETELY STOP THE OPERATION OF THE SYSTEM. ALL MATERIAL WILL BE NONFERROUS, WITH THE EXCEPTION OF THE BRASS PIPING INTO AND OUT OF THE BACKFLOW UNITS. WATERING WILL CONFORM WITH CITY OF COVINA'S WATER CONSERVATION REQUIREMENTS. THE LANDSCAPE DESIGN WILL COMPLY WITH CHAPTER 17.82 WATER-EFFICIENTS REGULATIONS.

WATER EFFICIENT LANDSCAPING

THE FOLLOWING MEASURES WILL BE INCORPORATED INTO THE PROJECT TO CONSERVE WATER:

1. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS OF THE CITY OF COVINA GUIDELINES (CMC 17.82.20) FOR WATER EFFICIENT LANDSCAPES.

2. THE ESTIMATED APPLIED WATER USE ALLOWED FOR THE LANDSCAPE AREA SHALL NOT EXCEED THE MAWA CALCULATION.

TOTAL LANDSCAPE AREA:

GROUND LEVEL LANDSCAPE AREA

PODIUM LEVEL LANDSCAPE AREA

TOTAL:

41,044 S.F.

4,903 S.F.

45,947 S.F.

Preliminary Plant Palette

CITRUS AVENUE, SAN BERNARDINO ROAD, AND THIRD AVENUE - CITY OF COVINA

THE OBJECTIVE OF THE OVERALL LANDSCAPING CONCEPT IS TO PROVIDE A DISTINCT VISUAL IMPRESSION AND COMMUNITY IDENTITY, SOFTEN THE URBAN EXPERIENCE, PROVIDE THE HIGHEST LEVEL OF AESTHETIC STANDARDS COMPLIMENTED BY THE QUALITY OF THE BUILDING MATERIALS THAT WILL ASSURE AN ATTRACTIVE ENVIRONMENT ENHANCING THE QUALITY OF LIFE AMONG ITS RESIDENTS AND VISITORS.

SUCCESSFUL STREETSCAPES ARE A PARTNERSHIP BETWEEN THE BUILDING DESIGN AND THE LANDSCAPED EDGE OF THE STREET DISTINGUISHING EACH TYPE OF STREET THROUGH DISTINCTIVE LANDSCAPING, LIGHTING AND STREET FURNISHINGS.

TREES

BOTANICAL NAMECOMMON NAMESIZE:

CITRUS AVENUE, SAN BERNARDINO ROAD, AND THIRD AVENUE:

CITRUS AVENUE		
Lagerstroemia hybrid 'Red'	Red Crape Myrtle	24" box

SAN BERNARDINO ROAD

Platanus acerifolia 'Bloodgood'	Bloodgood Plane Tree	24" box
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THIRD AVENUE

Lagerstroemia indica 'Natchez'	Natchez White Crape Myrtle	24" box
--------------------------------	----------------------------	---------

COURTYARD TREES:

Cercidium 'Desert Museum'	Palo Verde	36" / 48" box
Lagerstroemia indica 'Dynamite'	Dynamite Crape Myrtle	24" box
Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	24" box
Olea europeae 'Swan Hill'	Fruitless Olive	36" / 48" box
Platanus acerifolia 'Bloodgood'	Bloodgood Plane Tree	36" / 48" box
Rhus lancea	African Sumac (Standard Trunk)	24" box

BACKGROUND / PERIMETER TREES:

Arbutus x 'Marina'	Hybrid Strawberry Tree	36" / 48" box
Cistrus x sinensis	Orange Tree	24" box
Magnolia grandiflora Multi-Trunk	Multi-Tr Southern Magnolia	24" box
Melaleuca quinquinervia	Cajeput Tree	36" / 48" box
Tristania conferta	Brisbane Box	24" box

PALMS / ACCENT

Podocarpus 'Icee Blue'	Icee Blue Podocarpus	24" box
Washingtonia filifera	California Fan Palm	18' BTH
Washingtonia robusta	Mexican Fan Palm	18' BTH

VERTICAL TREES

Cupressus sempervirens	Italian Cypress	15 gal
Pittosoporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	15 gal
Strelitzia Reginae	Bird of Paradise	15 gal

SHRUBS and GROUNDCOVERS

BOTANICAL NAMECommon Name

LARGE SHRUBS (MINIMUM 5 GALLON SIZE)

Feijoa sellowiana	Pineapple Guava
Leptospermum lavigatum	Australian Tree Tree
Ligustrum j. 'Texanum'	Texas Privet
Photinia glabra 'Red Robin'	Japanese Photinia
Prunus carolina	Carolina Cherry Laurel
Westringia fruticosa	Coast Rosemary

MEDIUM SHRUBS (MINIMUM 5 GALLON SIZE)

Asparagus densiflorus 'Myersii'	Myer asparagus
Callistemon 'Little John'	Dwarf Bottlebrush
Bougainvillea species	Bougainvillea
Echinocactus grusonii	Golden Barrel Cactus
Pittosporum species	Mock Orange
Philodendron 'Xanadu'	Philodendron
Rhapiolepis indica 'Clara'	Clara Indian Hawthorn
Rosemarinus 'Tuscan Blue'	Upright Rosemary
Xylosma congestum	Compact Shiny Xylosma

LOW SHRUBS AND GROUNDCOVERS (MINIMUM 1 GALLON SIZE)

Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush
Carissa m. 'Horizontalis'	Natal Plum
Carex species	Sedge
Ceanothus t. 'Skylark'	Skylark Lilac
Ceanothus 'Joyce Coulter'	Joyce Coulter Ceanothus
Cupea hyssopifolia	False Heather
Dietes bicolor	Daylily
Nassella tenuissima	Mexican Feather Grass
Rosmarinus o. prostratus	Dwarf Rosemary

ACCENT/COLOR SHRUBS (MINIMUM 5 GALLON SIZE)

Agave species	Agave
Aloe species	Aloe
Anigozanthus flavidus	Kangaroo Paw
Bulbine frutescens	Orange Stalked Bulbine
Cistus ladaniferus latifolius	Rockrose
Dasyilirion wherlerii	Desert Spoon
Hesperaloe parvifola	Red Yucca
Muhlenbergia 'Pink Flamingo	Pink Flamingo Muhly Grass
Senecio serpens	Blue chalksticks

TURF GATHERING AREAS

Synthetic turf





PLATANUS ACERIFOLIA 'BLOODGOOD'  
BLOODGOOD PLANE TREE



WASHINGTONIA FILIFERA  
CALIFORNIA FAN PALM



RHUS LANCEA  
AFRICAN SUMAC



MELALEUCA QUINQUINERVIA  
CAJEPUT TREE



OLEA EUROPAEA 'SWAN HILL'  
FRUITLESS OLIVE



PODOCARPUS ICEE BLUE  
ICEE BLUE PODOCARPUS



LAGERSTROEMIA INDICA 'NATCHEZ'  
NATCHEZ WHITE Crape MYRTLE



ARBUTUS X 'MARINA'  
HYBRID STRAWBERRY TREE



LAGERSTROEMIA HYBRID 'RED'  
RED CREPE MYRTLE



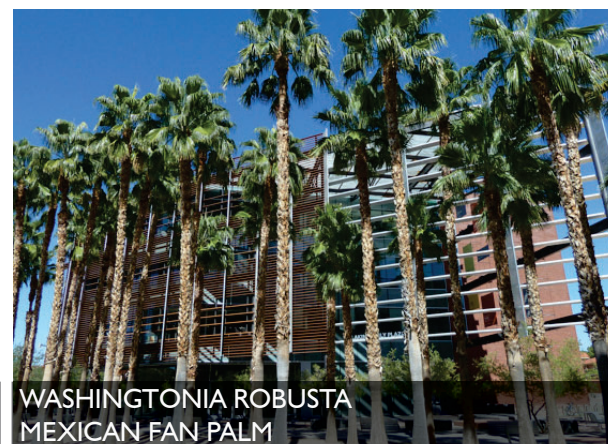
STRELITZA REGINAE  
BIRD OF PARADISE



PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'  
SILVER SHEEN KOHUHU



TRISTANIA CONFERTA  
BRISBANE BOX



WASHINGTONIA ROBUSTA  
MEXICAN FAN PALM



CUPRESSUS SEMPERVIRENS  
ITALIAN CYPRESS





AGAVE SPECIES  
AGAVE



ALOE SPECIES  
ALOE



ANIGOZANTHUS FLAVIDUS  
KANGAROO PAW



ASPARGUS D. 'MYERSII'  
MYER ASPARAGUS



BACCHARIS PILULARIS 'PIGEON POINT'  
DWARF COYOTE BRUSH



BOUGAINVILLEA SPECIES  
BOUGAINVILLEA



BULBINE FRUTESCENS  
ORANGE STALKED BULBINE



CALLISTEMON 'LITTLE JOHN'  
DWARF BOTTLEBRUSH



CAREX SPECIES  
SEDE



CARISSA M. 'HORIZONTALIS'  
NATAL PLUM



CEANOTHUS T. 'SKYLARK'  
SKYLARK LILAC



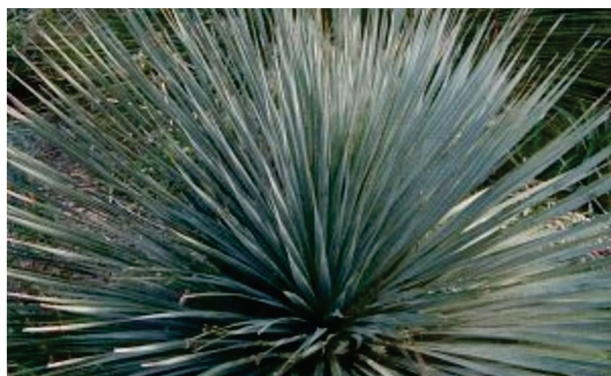
CEANOTHUS 'JOYCE COULTER'  
JOYCE COULTER CEANOTHUS



CISTUS LADANIFERUS LATIFOLIUS  
ROCKROSE



CUPEA HYSSOPIFOLIA  
FALSE HEATHER



DASYLIRION WHERLERII  
DESERT SPOON



DIETES BICOLOR  
DAYLILY



ECHINOCACTUS GRUSONII  
GOLDEN BARREL CACTUS



FEIJOA SELLOWIANA  
PINEAPPLE GUAVA



HESPERALOE PARVIFOLA  
RED YUCCA



LEPTOSPERMUM LAVIGATUM  
AUSTRALIAN TEA TREE





LIGUSTRUM J. 'TEXANUM'  
TEXAS PRIVET



MUHLENBERGIA 'PINK FLAMINGO'  
PINK FLAMINGO MUHLY GRASS



NASSELLA TENUISSIMA  
MEXICAN FEATHER GRASS



PHILODENDRON 'XANADU'  
PHILODENDRON



PHOTINIA GLABRA 'RED ROBIN'  
JAPANESE PHOTINIA



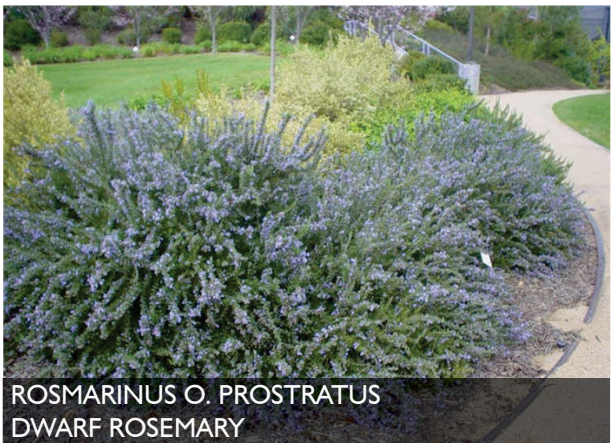
PITTOSPORUM SPECIES  
MOCK ORANGE



PRUNUS CAROLINA  
CAROLINA CHERRY LAUREL



RHAPIOLEPIS INDICA 'CLARA'  
CLARA INDIAN HAWTHORN



ROSMARINUS O. PROSTRATUS  
DWARF ROSEMARY



ROSMARINUS 'TUSCAN BLUE'  
UPRIGHT ROSEMARY



SENECIO SERPENS  
BLUE CHALKSTICKS



WESTRINGIA FRUTICOSA  
COAST ROSEMARY



XYLOSMA CONGESTUM  
COMPACT SHINY XYLOSMA





STREET LIGHT



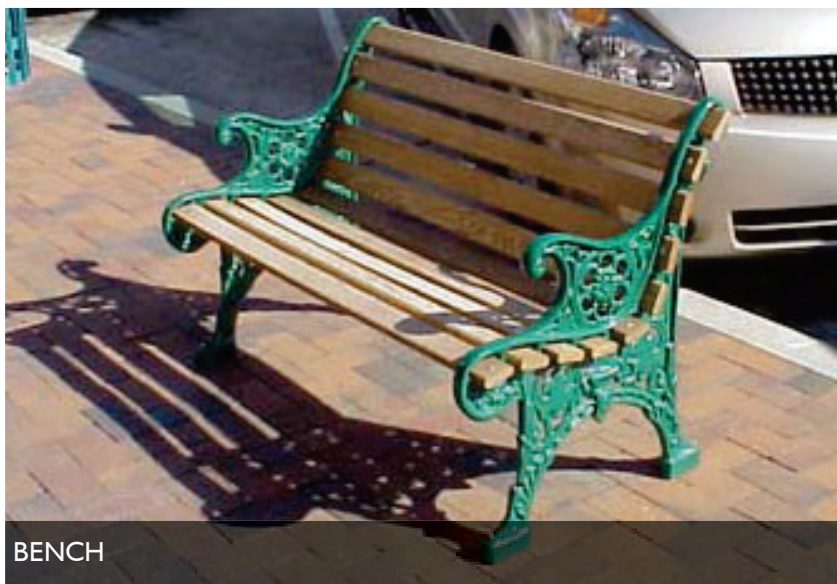
FIREPIT



BARBECUE



DINING TABLE



BENCH



TOT LOT



TRELLIS WITH FESTIVAL LIGHTS

COVINA TOWNHOMES - COVINA, CA

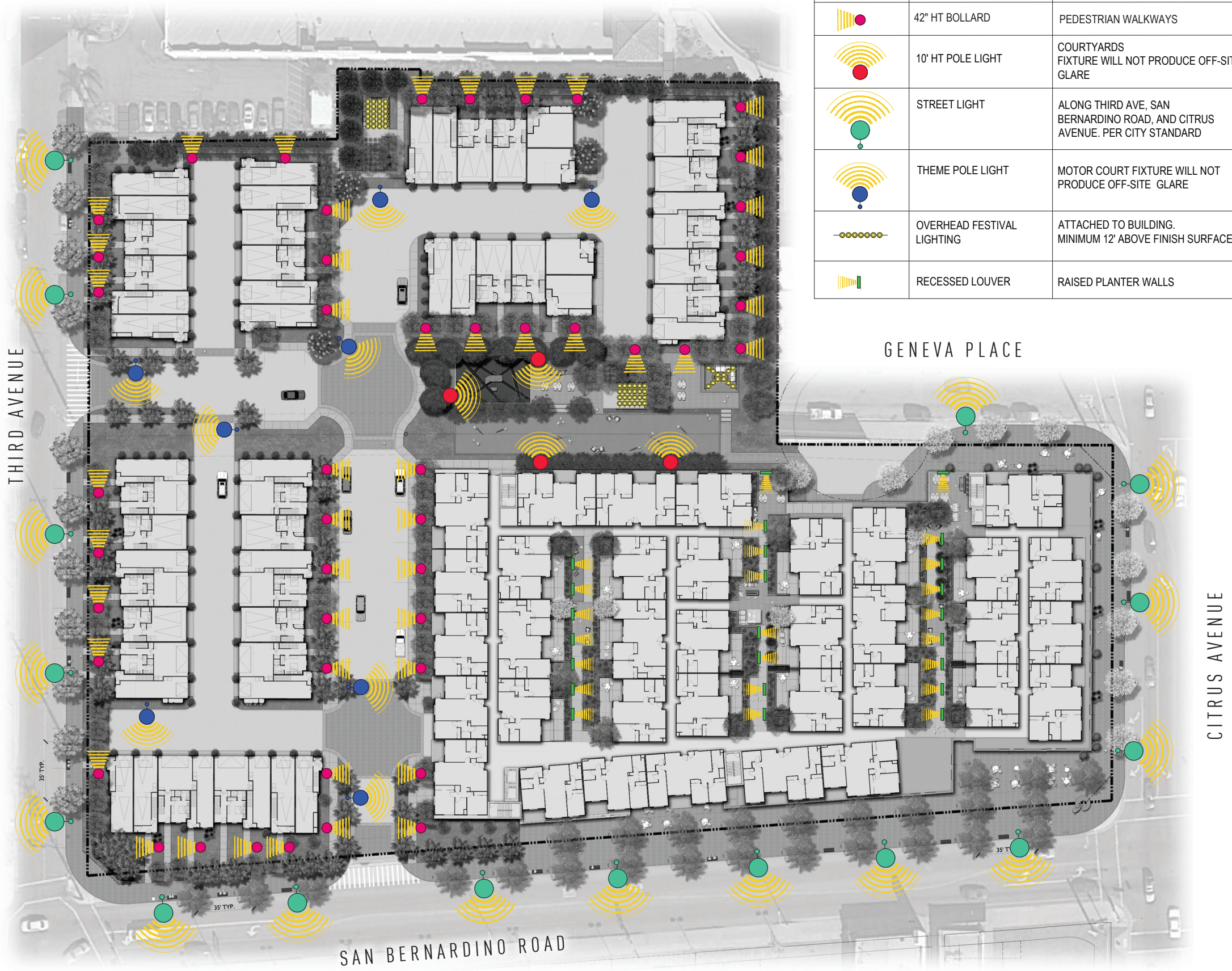
HASSEN DEVELOPMENT CORPORATION

JULY 17, 2017

SITE FURNISHING- L6.0







EXTERIOR LIGHTING LEGEND		
SYMBOL	TYPE/TECHNIQUE:	LOCATION:
	42" HT BOLLARD	PEDESTRIAN WALKWAYS
	10' HT POLE LIGHT	COURTYARDS FIXTURE WILL NOT PRODUCE OFF-SITE GLARE
	STREET LIGHT	ALONG THIRD AVE, SAN BERNARDINO ROAD, AND CITRUS AVENUE. PER CITY STANDARD
	THEME POLE LIGHT	MOTOR COURT FIXTURE WILL NOT PRODUCE OFF-SITE GLARE
	OVERHEAD FESTIVAL LIGHTING	ATTACHED TO BUILDING. MINIMUM 12' ABOVE FINISH SURFACE
	RECESSED LOUVER	RAISED PLANTER WALLS

**LIGHTING CONCEPT:**

THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.

WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTRUSIVE. LIGHT SOURCES WILL BE TUNGSTEN OR METAL HALIDE.

LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED.

ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE SYMPATHETIC AND COMPLIMENTARY TO THE ARCHITECTURAL THEME.

**PHOTOMETRICS TO BE PROVIDED BY ELECTRICAL CONSULTANT WITH THE FOLLOWING CRITERIA TO BE MET:**

- ILLUMINATION OF DOORWAYS, STEPS AND HIDING PLACES: 5.0 FOOT CANDLES.
- ILLUMINATION OF REMAINDER WALKWAYS: 5.0 FOOT CANDLES.
- ILLUMINATION OF OPEN PARKING AREAS AND COMMON OPEN SPACE: 1.0 FOOT CANDLE.



# TENTATIVE TRACT MAP NO. 73661

IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

## UTILITY PURVEYORS :

### ELECTRICITY

SOUTHERN CALIFORNIA EDISON  
(800) 655-4555

### SEWER

CITY OF COVINA PUBLIC WORKS  
(626) 384-5220

### GAS

SOUTHERN CALIFORNIA GAS CO.  
(800) 427-2200

### SEWER

LOS ANGELES COUNTY  
SANITATION DISTRICT  
(213)

### TELEPHONE

VERIZON COMMUNICATIONS  
(800) 483-4000

### STORM DRAIN

LOS ANGELES COUNTY  
DEPARTMENT OF PUBLIC WORKS  
(626) 458-7860

### WATER

CITY OF COVINA WATER DIVISION  
(626) 394-5230

### CABLE TV

TIME WARNER CABLE  
(714) 903-4000

### TRASH/REFUSE

ATHENS SERVICES  
COVINA DISPOSAL  
(888) 336-6100

### SCHOOL DISTRICT

COVINA VALLEY UNIFIED SCHOOL DISTRICT  
(626) 974-7000

## LEGEND :

FS	FINISH SURFACE	ST. LT.	STREET LIGHT
TC	TOP OF CURB	DI	DROP INLET
FL	FLOW LINE	VLT	VAULT
NG	NATURAL GRADE	SCO	SEWER CLEANOUT
BW	BACK OF WALK	YL	YARD LIGHT
WS	WATER SERVICE	WV	WATER VALVE
SMH	SEWER MANHOLE	EV	ELECTRICAL VAULT
WM	WATER METER	SD	STORM DRAIN
PP	POWER POLE	CLF	CHAIN LINK FENCE
FH	FIRE HYDRANT	MH	MANHOLE
---	ALLEY TO BE VACATED	---	EXISTING TOPO CONTOUR

## GENERAL NOTES :

- SUBDIVISION AREA: 5.30 ACRES GROSS - 5.30 ACRES NET
- PROPOSED AND EXISTING ZONING:  
EXISTING ZONING - TCSP-5 (RETAIL AND SERVICE CORE FOCUSED ACTIVITY AREA)
- GENERAL PLAN DESIGNATION:  
TOWN CENTER SPECIFIC PLAN
- PROPOSED LOTS: 1 LOTS FOR CONDOMINIUM PURPOSES
- EXISTING USE: PARKING LOTS, CAR DEALERSHIP, ALLEY WAY
- PROPOSED USE: 109 TOWNHOME UNITS  
COMMERCIAL USE  
PRIVATE STREETS
- 1 FOOT CONTOUR INTERVAL
- SOURCE CONTOURS:  
TOPOGRAPHIC SURVEY BY ANALYTICAL TOPO MAPS, 10/24/14
- EXISTING ADJACENT PROPERTY USE:  
ALL SIDES PROPERTY USE: EXISTING COMMERCIAL SITE
- LANDSCAPE PLANTER TREES EXIST ON THE SITE IN CURBED LANDSCAPED AREAS THROUGHOUT THE SITE.
- NO SPECIAL FLOOD HAZARDS EXIST.
- SEWERAGE:  
PROJECT PROPOSES TO PROTECT EXISTING CITY OF COVINA 8" V.C.P. SEWER IN EXISTING RIGHT-OF-WAY. NEW SEWER MANHOLES AND P.V.C. MAINS WILL BE CONSTRUCTED IN DRIVE AISLES BETWEEN NEW BUILDINGS AND DISCHARGE INTO EXISTING 8" V.C.P. SEWER MAIN IN EXISTING STREET. ON-SITE SEWER WILL BE PRIVATE.
- WATER:  
WATER WILL BE SERVED FROM EXISTING CITY OF COVINA WATER MAINS IN GENVA AND SAN BERNARDINO.
- STORM DRAINAGE:  
AN ON-SITE STORM DRAINAGE PIPE SYSTEM WILL INTERCEPT RUN-OFF ON-SITE AND DISCHARGE RUN-OFF THROUGH A BIO-FILTRATION SYSTEM PRIOR TO DISCHARGE INTO CITY RIGHT OF WAY.

## PROJECT AREA:

EXISTING & PROP. LOT AREAS  
LOTS 1: 230,686 SQ. FT. (+/-)

230,686 SQ. FT. OR 5.30 ACRES

## LEGEND

● UTILITY POLE	■ SIGNAL PULLBOX	CL CENTER LINE
① SEWER MANHOLE	■ CABLE TV PULLBOX	PP POWER POLE
① STORM DRAIN MANHOLE	■ TELEPHONE PULLBOX	BW BACK OF WALK
① TELEPHONE MANHOLE	■ COMMUNICATIONS PULLBOX	TR TOP OF RAIL
① UNKNOWN MANHOLE	■ STREET LIGHT PULLBOX	AC ASPHALT PAVEMENT
■ FIRE HYDRANT	■ UNKNOWN PULLBOX	EXISTING ELEVATION
○ FLOOD LIGHT	○ FIRE DEPT CONNECTION	○ CENTERLINE
○ HOSE BIB	○ IRON FENCE	○ PINE
○ SEWER CLEANOUT	○ CHAIN LINK FENCE	○ BUSH
○ WATER VALVE	○ WOOD FENCE	○ TRASH ENCLOSURE
○ GAS VALVE	○ BLOCK WALL	○ ELECTRICAL TRANSFORMER
○ WATER METER	○ TREE	○ EDGE OF PAVEMENT
○ GAS METER	○ PALM	○ FINISHED SURFACE
○ WATER VAULT	○ PINE	○ TOP OF CURB
○ GAS VAULT	○ BUSH	○ FLOW LINE
○ TELEPHONE VAULT	○ TRASH ENCLOSURE	○ TOP OF GRATE
○ ELECTRIC VAULT	○ ELECTRICAL TRANSFORMER	○ GRADE BREAK
○ MONITORING WELL	○ TOP OF PAVEMENT	○ DOUBLE DETECTOR CHECK
○ STREET LIGHT	○ FINISHED SURFACE	○ VALVE
○ TRAFFIC SIGNAL	○ NATURAL GROUND	○ SIGN POST
○ GAS RISER	○ TOP OF CURB	○ TOP OF BERM
○ RAILROAD SIGNAL	○ FLOW LINE	○ INVERT
○ CAR STOP	○ TOP OF GRATE	○ AERIAL TARGET
○ LIGHT POLE	○ GRADE BREAK	○ PA PLANTER
○ PORTLAND CONC CEMENT	○ DOUBLE DETECTOR CHECK	○ ROLL BOX
○ MAN HOLE	○ SIGN POST	○ IRRIGATION CONTROL
○ LIGHT POLE	○ CATCH BASIN	○ VALVE
○ CATCH BASIN	○ POST INDICATOR VALVE	○ AIR RELEASE VALVE
○ STREET LIGHT	○ POST INDICATOR VALVE	○ AIR RELEASE VALVE

## LEGAL DESCRIPTION:

LEGAL DESCRIPTION-PTE NHSC-5213993 (50)  
REAL PROPERTY IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:  
LOTS 15, 18, 23, 24 AND THE WEST 46.5 FEET OF LOT 16 OF TRACT NO. 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:  
LOT 17 OF TRACT NO. 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3:  
LOT 16 AND LOT "B" OF TRACT NO. 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 4:  
LOTS 13, 14, 21 AND 22 OF TRACT NO. 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 5:  
LOTS 1, 2 AND 3 OF THE FAIRLY TRACT, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12 PAGE 105 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 6:  
LOTS 8 TO 12 INCLUSIVE, 19 AND 20, ALL OF TRACT 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGAL DESCRIPTION-PTF NHSC-5213996 (50)  
REAL PROPERTY IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:  
LOT 5 OF TRACT 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:  
LOT 6 OF TRACT 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3:  
LOT 7 OF TRACT 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 4:  
LOT 25 AND THAT PORTION OF LOT 2 OF TRACT 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTH 158 FEET; THENCE SOUTH 89 DEGREES 47' EAST 145 FEET; THENCE SOUTH TO THE SOUTH LINE OF SAID LOT; THENCE WEST 145 FEET TO THE POINT OF BEGINNING.

PARCEL 5:  
THE EAST 50 FEET OF THE WEST 195 FEET OF LOT 2 OF TRACT 8354, IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104 PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THEREFROM ANY PORTION LYING WITHIN TRACT NO. 45283, IN THE CITY OF COVINA, AS PER MAP RECORDED IN BOOK 1107 PAGES 56, 57 AND 58 OF MAPS.

APN: 8431-015-045

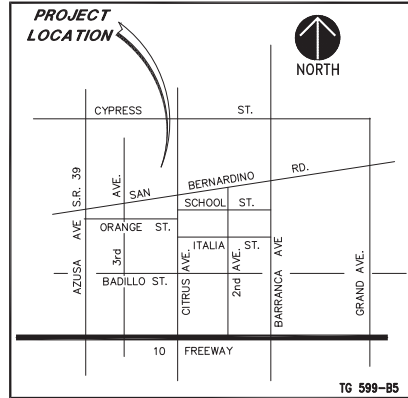
1" = 40'  
0 20 40 80

## EARTHWORK QUANTITIES

DESCRIPTION	CUT	FILL
EARTHWORK	17850 CY	7100 CY
OVEREXCAVATION	9940 CY	9940 CY
SUBSIDENCE AT 0.10"		500 CY
SHRINKAGE @ 15%		1490 CY
TOTAL	27790 CY	19090 CY
NET: 27790-19090=8700 EXPORT		

## REVISIONS

NO.	DATE	DESCRIPTION	BY



## VICINITY MAP

N.T.S.

## FLOOD ZONE:

FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN (500-YEAR FLOOD).

COMMUNITY MAP NO. 06037C1700F DATED: SEPTEMBER 26, 2008.

## BENCH MARK :

LOS ANGELES COUNTY BM NO. 4934

ELEVATION:  
543.181 (ADJUSTED 2005) (NAVD 88)

LOCATION:  
CITRUS AVENUE AND BADILLO STREET

DESCRIPTION:  
DPW BM TAG IN W CB 1M(3.3FT) S/O BCR @ SW COR CITRUS AVE & BADILLO ST.

## OWNER :

BENTLEY REAL ESTATE, LLC

## SITE ACCESS:

137 SAN BERNARDINO ROAD, 141 W GENEVA PLACE COVINA CA

## LID CALCULATIONS

PRE-DEVELOPMENT IMPERVIOUS:  
GROSS /NET AREA = 223,765 Sq.Ft. / 5.13 Acres  
POST-DEVELOPMENT IMPERVIOUS:  
GROSS /NET AREA = 166,093 Sq.Ft. / 3.81 Acres

## SUBDIVIDER :

BENTLY REAL ESTATE, LLC  
100 N BARRANCA, STE 900  
WEST COVINA, CA 91791

## TENTATIVE MAP PREPARED BY :

MKessler  
Civil Engineering, Land Planning, Surveying

ONE VENTURE, STE 130  
IRVINE, CA 92618  
(949) 339-5330



03/03/18

ALI MONSHIZADEH, R.C.E. 67674 DATE

## SHEET INDEX :

SHT. NO.	DESCRIPTION
1	TENTATIVE MAP
2-3	CONCEPTUAL GRADING, UTILITY AND MAPPING

## SITE A TENTATIVE TRACT MAP NO. 73661

"FOR CONDOMINIUM PURPOSES"

IN THE CITY OF COVINA  
COUNTY OF LOS ANGELES, CALIFORNIA

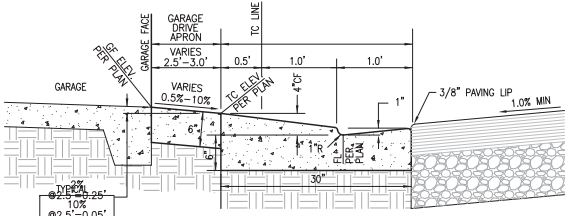
DATE: 07/05/17

SHEET: 1 OF 3

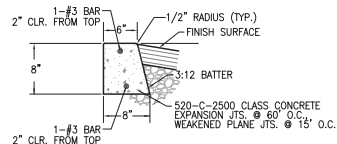


TENTATIVE TRACT MAP NO. 73661

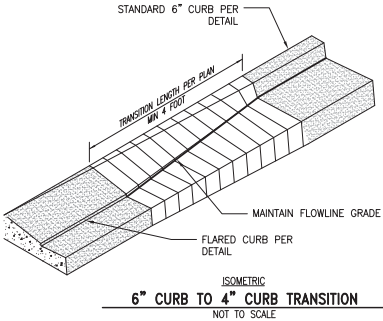
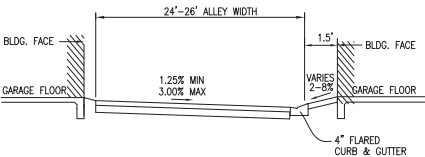
IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



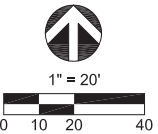
4" CF P.C.C. ROLLED CURB AND GUTTER/GARAGE APRON  
NOT TO SCALE



0" CURB DETAIL  
NOT TO SCALE

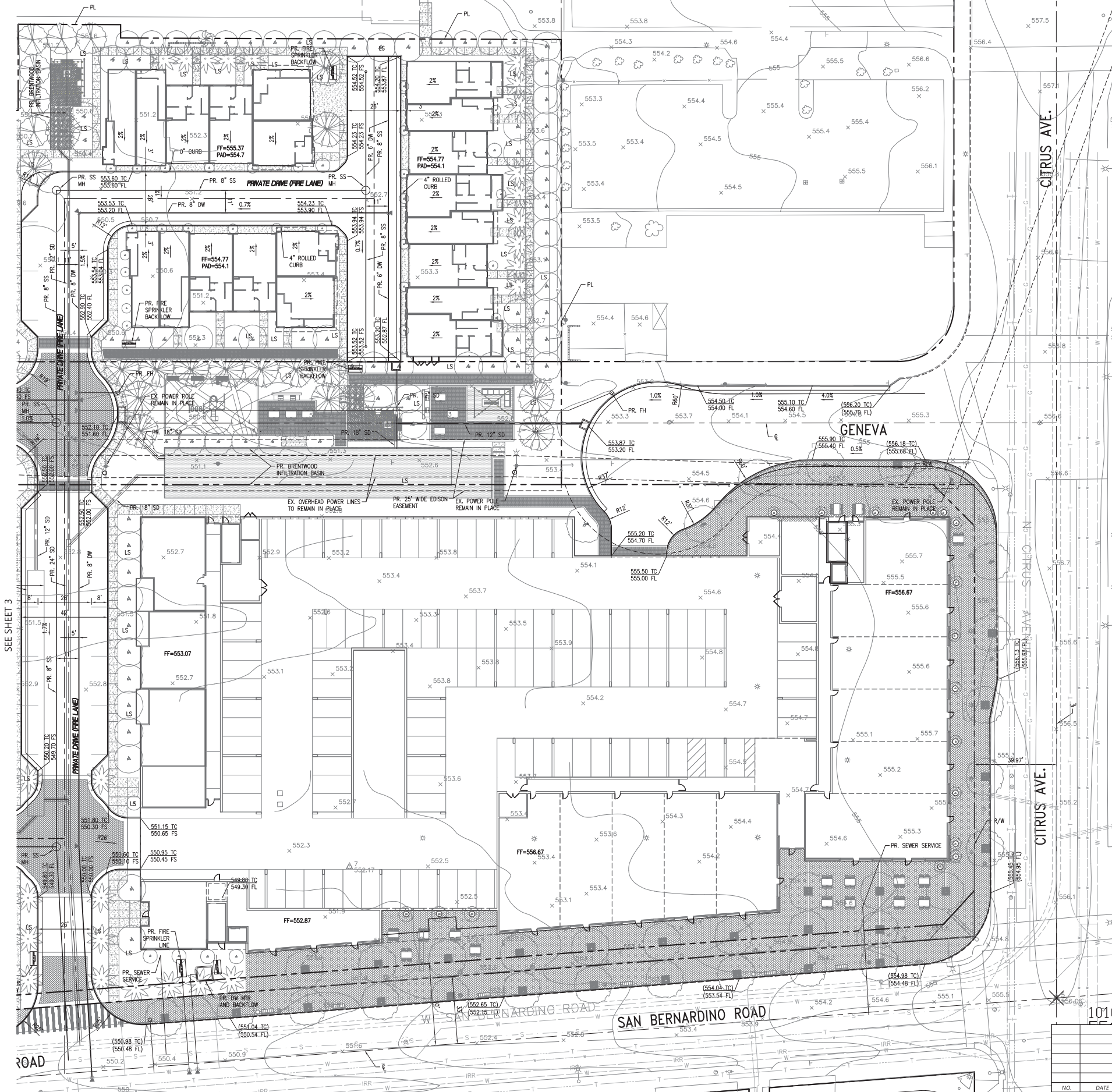


6" CURB TO 4" CURB TRANSITION  
NOT TO SCALE



REVISIONS			
NO.	DATE	DESCRIPTION	BY

SITE A  
TENTATIVE TRACT MAP  
NO. 73661  
"FOR CONDOMINIUM PURPOSES"  
IN THE CITY OF COVINA  
COUNTY OF LOS ANGELES, CALIFORNIA  
DATE: 07/05/17  
SHEET: 2 OF 3

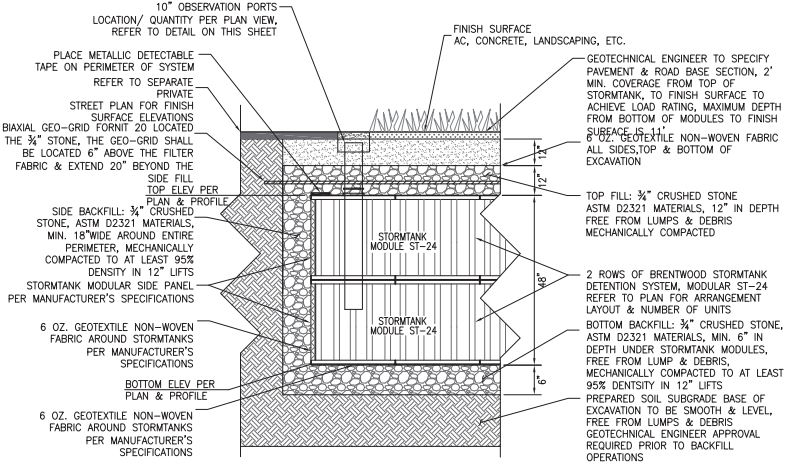
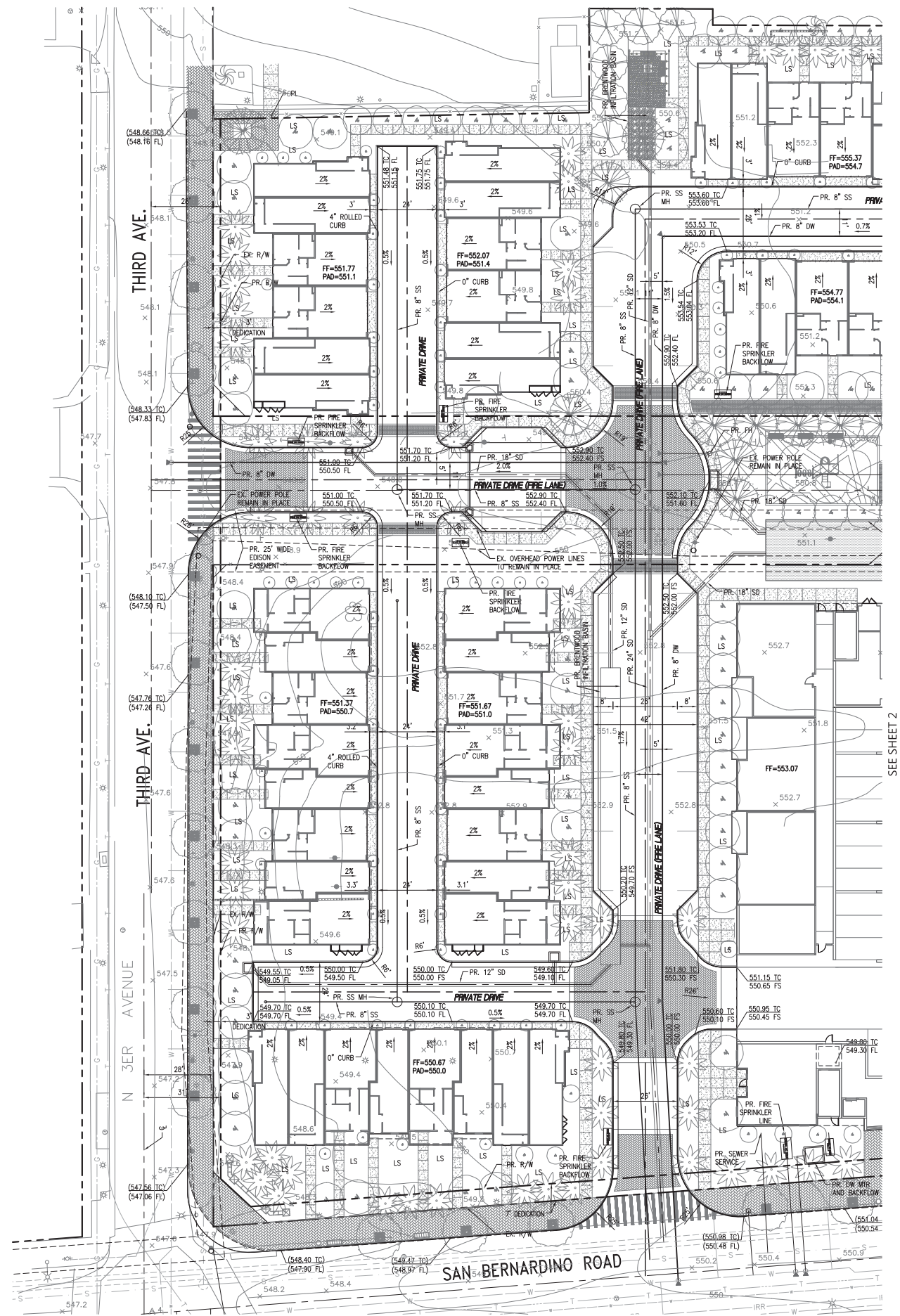


SEE SHEET 3



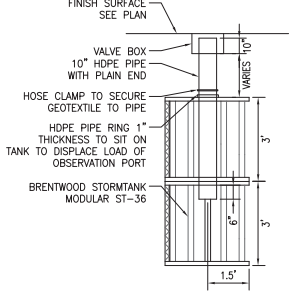
TENTATIVE TRACT MAP NO. 73661

IN THE CITY OF COVINA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

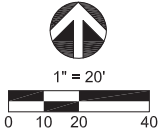


BRENTWOOD UNDERGROUND STORAGE SYSTEM

NOTE:  
MANUFACTURER TECHNICIAN PRESENT ONSITE DURING ENTIRE BRENTWOOD STORMTANK INSTALLATION. CERTIFICATION BY TECHNICIAN OF INSTALLATION REQUIRED.  
SOIL SUBGRADE BASE SHALL BE INSPECTED, TESTED AND CERTIFIED BY PROJECT'S GEOTECHNICAL ENGINEER PRIOR TO BACKFILL.



TYPICAL BRENTWOOD STORMTANK 10" OBSERVATION PORT DETAIL



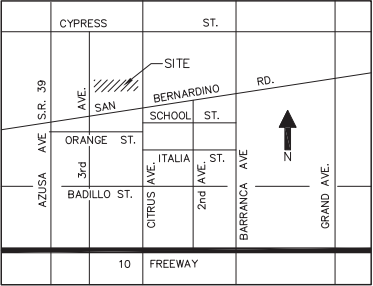
REVISIONS			
NO.	DATE	DESCRIPTION	BY

SITE A  
TENTATIVE TRACT MAP  
NO. 73661  
"FOR CONDOMINIUM PURPOSES"  
IN THE CITY OF COVINA  
COUNTY OF LOS ANGELES, CALIFORNIA  
DATE: 07/05/17  
SHEET: 3 OF 3



# FIRE ACCESS AND HYDRANT LOCATION PLAN

TRACT NO. 73661, CITY OF COVINA  
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



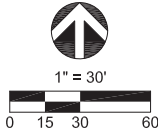
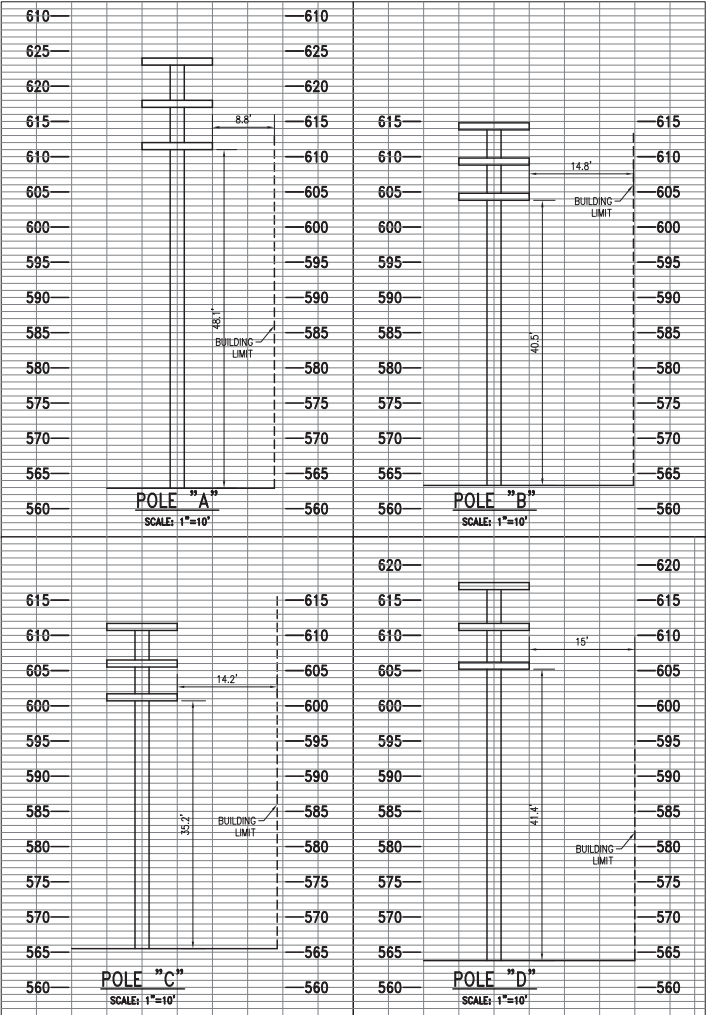
THOMAS BROTHERS GUIDE PAGE 599 GRID B5  
VICINITY MAP  
N.T.S.

### ABBREVIATIONS AND LEGEND

- BLDG BUILDING
- CL CENTERLINE
- EX. EXISTING
- FH FIRE HYDRANT
- GPM GALLONS PER MINUTE
- MAX. MAXIMUM
- MIN. MINIMUM
- PL PROPERTY LINE
- PR. PROPOSED
- R/W RIGHT OF WAY
- R RADIUS
- TYP. TYPICAL
- HOSE PULL
- PROPOSED FIRE TRUCK ACCESS
- FIRE HYDRANT
- BUILDING NUMBER



TURNING RADIUS  
N.T.S.



PLAN PREPARED BY:  
**MF Kessler**  
Civil Engineering, Land Planning, Surveying  
ONE VENTURE, STE 100  
IRVINE, CA 92618  
(949) 339-5330

PLAN PREPARED FOR / OWNER:  
BENTLY REAL ESTATE  
100 N. BARRANCA, STE. 900  
WEST COVINA, CA 91791

CITY OF COVINA  
FIRE ACCESS AND HYDRANT LOCATION PLAN  
TRACT 73661  
SAN BERNARDINO ROAD AND STIRUS AVE.

SHEET  
1 OF 1

3/14/2017 10:00 AM C:\Users\jessica\Documents\73661\Fire Access and Hydrant Location Plan.dwg 3/14/2017 10:00 AM 3/14/2017 10:00 AM