



Draft
**UNIVERSITY
COMMONS**

Amendment No. 4
to the
University Commons Specific Plan
SP 18-0004 (Formerly SP 90-22)

Amendment No. 3
Adopted by the City Council, August 12, 2003
Modified by Propositions F & G, March 2, 2004
Amendment No. 4
Adopted by the City Council, Month Day 2019

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UNIVERSITY COMMONS

Amendment No. 3

to the

University Commons Specific Plan

Adopted by the City Council, August 12, 2003

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Amendment No. 4

Adopted by the City Council Month Day, 2019

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University Commons Specific Plan
Amendment Number 3
SP 90-22 (03M)
Administrative Changes and Errata to the Final Document
Approved by the City Council on August 12, 2003
Amended by Propositions F and G on March 2, 2004

The following administrative changes are hereby incorporated into Amendment Number 3 of the University Commons Specific Plan. These changes supersede the information in the document where any inconsistency may exist.

1. The Land Use Plan is revised to depict Boulderidge Drive extending from Rancho Santa Fe Road to Melrose Drive as a local street. The Land Use Plan on the following page correctly depicts Boulderidge Drive and is intended to supersede and replace the Land Use Plans contained in this document.
2. The elevation of Planning Area 7 is established as approximately 420 to 424 feet. This elevation and associated grading supersedes the grading depicted for PA 7 in the Grading Plan contained in the document.
3. Permitted architectural styles are expanded to include Tuscan Style architecture as shown in Figure 55, Conceptual Residential Elevation, Tuscan, and 56, Architectural Details, Tuscan, as depicted on pages III-52a and III-52b of the document.

University Commons Specific Plan
Amendment Number 4
SP 18-0004
Administrative Changes and Errata to the Final Document
Approved by the City Council on XXXX XX, 2019

The following administrative changes are hereby incorporated into Amendment Number 4 of the University Commons Specific Plan. These changes supersede the information in the document where any inconsistency may exist.

- 1. The Land Use Plan is revised to change Planning Area 4 from Light Industrial to Senior Residential (SR) and is intended to supersede and replace the Land Use Plans contained in this document. Revisions were made to Figure 4 & 7, Table 1, Sections II-B, III-C, & III-L.**
- 2. Permitted architectural styles are expanded to include the SR zoning. Permitted zoning standards and regulations are expanded to include development within the SR zone.**

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Executive Summary

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The University Commons Specific Plan was adopted by the City of San Marcos on February 28, 1991, was amended in November 2001, in December 2002, in August 2003 and modified in March 2004. Amendment of the University Commons Specific Plan has been necessary to respond to changes in planning considerations, ownership, new regulatory demands, and changes in the marketplace. The University Commons Specific Plan, Amendment No. 3 as adopted by the City Council on August 12, 2003 and modified by Propositions F&G on March 2, 2004, amends and supersedes the previously adopted Specific Plan Amendment No.2 and represents a contemporary approach for development of the 416.0-acre University Commons project. Specific Plan Amendment No. 3 establishes land uses, residential densities, and a circulation pattern for University Commons. Specific Plan No. 4 was adopted on Month day, 2019 and established a Senior Residential zone for University Commons. This document also establishes a set of zoning regulations, regulatory procedures, and design guidelines that have been specifically formulated for the implementation of land uses included within University Commons. Implementation of this Specific Plan will provide assurance to the City of San Marcos that ultimate development of the site will be consistent with the intended goals and objectives of the General Plan and the Questhaven/La Costa Meadows Community Plan.

The University Commons project is located along the southwestern edge of the City of San Marcos, southwest of Lake San Marcos. The project site is nestled among the rolling hills of the San Elijo Valley. Although presently rural in character, the San Elijo Valley is being planned as the setting for a vital new community, consisting of numerous master-planned residential neighborhoods. University Commons represents a vital component of the overall development of the San Elijo Valley. Artfully landscaped to continue the rural traditions, University Commons has cooperated with the neighboring development to create a cohesive, Valley-wide identity. The site is well-suited for residential development, offering vistas of nearby mountains and Creekside parkland, and the rugged natural beauty of on-site rock outcroppings.

On November 13, 2001, the City of San Marcos (Ordinance No. 2001-1127) adopted the University Commons Specific Plan Amendment No. 1. Amendment No. 1 consisted of 477 single-family residences, with lot sizes ranging from 4,000 square feet to 6,000 square feet and 747 multi-family units. The total number of dwelling units was 1,224. Other land uses adopted under Amendment No. 1 include light industrial land uses on 12.8 acres, an approximately 2.1- acre site designated as Multi-Use, which could be devoted to 42 multi-family attached dwelling units or a maximum of about 25,000 square feet of commercial office or retail use. In addition, 33.2 acres of recreation was planned in the center of the community, providing a setting for both active and passive recreational pursuits, and approximately 172.9 acres were set aside as natural open space. A trail system accommodating pedestrian, bicycle and limited equestrian, winds and provides access to the natural open space. The trail system would be designed to permit future connections with adjacent off-site trails, including two trail connections with San Elijo Hills, an adjoining master-planned community.

On December 10, 2002, the City of San Marcos (Ordinance No. 2002-1161) adopted the University Commons Specific Plan Amendment No. 2. Amendment No. 2 enabled minor modifications to two Planning Areas and realignment of a roadway. Such modifications resulted in an increase of approximately 100 residential units (maximum allowable). The extension of a proposed collector road

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(Sparrow Lane) consolidated the two entry points serving Planning Areas 1 and 3 into one entry point serving both parcels. This resulted in the enlargement of Planning Area 1 to 20.6 acres and the reduction of Planning Area 3 to 24.5 acres. Planning Area 2 remained 16.6 acres of Open Space. Specifically, Planning Area 1 was converted from 225 to 300 units while keeping the size, bulk, and scale of the proposed buildings the same. Because of the change of shape of Planning Area 3 and its relationship to adjacent land uses, it would have been built as 126 attached condominium homes (Multi-Family zone) rather than 101 single-family homes on 4,000 square-foot lots. Specific Plan Amendment No. 2 allowed a maximum of 1,324 residential units, including 376 single family detached units and 948 multi-family attached and/or detached units, occupying approximately 181.0 acres of the project site. Amendment No. 2 also included the following land uses: an approximately 2.1-acre Multi-Use zone, proposed to accommodate 25,000 square feet of Commercial land uses (25% coverage) but alternatively permitting the development of 42 Multi-Family units; a 12.8-acre Industrial zone; the 33.2-acre recreation area comprising of a 1.5-acre detention basin, a 5.1-acre active recreation park, and the 26.6-acre San Marcos Creek Resource Recreation Area; and 146.5 acres of Open Space. Major roadways occupied approximately 15.0 acres of the site.

University Commons Specific Plan Amendment No.3 was adopted by the City Council on August 12, 2003 in two separate actions: one action approved a 20-acre commercial site on PA 1; the second action approved the land uses in Planning Areas 2 through 16. On March 2, 2004, City voters modified the City Council approvals by approving City Ballot Proposition "F" and defeating City Ballot Proposition "G". The defeat of Proposition "G" overturned the City Council designation of Planning Area 1 as commercial and eliminated the original designation from Amendment #3. The approval of Proposition "F" confirmed the City Council's action for Planning Areas 2 through 16. Because of the defeat of Proposition "G", Planning Area 1 remains 300 multi-family residential units, and Boulderidge Drive remains a Cul-de-Sac. Final Subsequent Environmental Impact Report (FSEIR) for University Commons Specific Plan Amendment #3 was certified by the City Council on August 12, 2003.

As adopted and modified, Specific Plan Amendment No.3 allows for a maximum of 1,524 residential units, including 401 single family detached units and 1,123 multi-family units, occupying approximately 176.1 acres (35%) of the project site. Specifically, Planning Area 1 remain designated as Multi-Family and its area will be increased from 20.6 acres to 20.9 acres, with access from Boulderidge Drive and a private drive from Rancho Santa Fe Road; Planning Area 3 remains designated as Multi-Family with a maximum of 156 units, and will be reduced from 24.5 acres to 21.5 acres, increasing the density to 7.2 du/ac. Planning Area 4 changes from 2.1 acres devoted to Multi-Use (maximum of 42 dwelling units) to 2.2 acres devoted to Light Industrial uses, permitting a maximum of 1.6 net acres of development; Planning Area 5, formerly 12.8 acres of Industrial, will be divided into Planning Area 5a, 4.7 acres devoted to 112 Multi-Family units, and Planning Area 5b, 8.1 acres of Light Industrial uses permitting

6.0 net acres of development; Planning Area 12a remains residential, while increasing the number of dwelling units from 131 to 156 and decreasing the acreage from 43.0 acres to 35.4 acres, which results in an increase in density from 3 du/ac to 4.4 du/ac. Planning Area 6c changes from 5.1 acres of Private Active

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Recreation to 3.6 acres of Multi-Family, allowing the development of 57 residential units at a density of 15.8 du/ac.

In addition to the changes to the residential planning areas indicated above, Amendment No.3 increases Planning Area 6b, Detention Basin, from 1.5 acres to 3.0 acres and increases Planning Area 12b, Open Space, from 22.55 ac to 29.5 acres. The San Marcos Creek Resource Recreation Area (Planning Area 6a) will remain the same use, and the project Open Space would increase to 180.9 acres constituting approximately 43% of the project site, consisting of natural canyons, ridgelines, washes, hiking trails, manufactured slopes, and portions of San Marcos Creek. The trail system would be designed to permit future connections with adjacent off-site trails, including a trail connection with San Elijo Hills, an adjoining master-planned community. To offset the elimination of private Active Recreation area in Planning Area 6c, Specific Plan Amendment No.3 provides for the development of five pocket parks totaling 0.72 acres located within the single-family residential Planning Areas 8, 9, 11, and 12a, and private recreation facilities in PA 1, 3, 5a, 6c, 7 and 10a. The project provides access to Planning Areas 1 and 3 by the extension of Sparrow Lane as a Cul-de-Sac local street called Boulderidge Drive.

The University Commons Specific Plan Amendment No. 3 area includes elements of the regional transportation system, including Rancho Santa Fe Road, San Elijo Road, and Melrose Drive. Primary access to the northern portion of the project is provided by Rancho Santa Fe Road, Sparrow Lane, Boulderidge Drive, and by the extension of Melrose Drive from San Elijo Road to Rancho Santa Fe Road. Access to the southern portion of the project would be provided by Melrose Drive, La Costa Meadows Drive and San Elijo Road. Access to the residential neighborhoods would be provided by Melrose Drive, Sparrow Lane, San Elijo Road and Dove Tail Drive, and by neighborhood roadways to be constructed within the project. Class II bikeways would be provided in many of the project roadways.

The project is phased in a logical sequence, in response to market demands. Two development phases are proposed through project buildout. Development of roadways and public facilities would occur concurrently with residential development.

An extensive urban trail system has been designed to interconnect the residential neighborhoods, providing convenient access to the light industrial area and the resource recreation area and regional trail connections. A soft surface trail will wind through the project, providing access to the natural open space. The trail system will be designed to permit future connections with adjacent off-site trails, including a trail connection with San Elijo Hills, and will serve to link together the developments within the San Elijo Valley.

The design guidelines for University Commons establish the project's character and ensure a high-quality development. By providing continuity throughout the community, the landscape plan helps create a strong "sense of identity." The landscape plan emphasizes a naturally integrated design theme in which the landscaped areas are harmonized with the features of the surrounding natural terrain. Elements of the landscape theme include generously landscaped communal areas and rich landscape materials including river rock stone, boulder outcrops, clusters and groves of trees, wood materials, earthtone colors, and a diversity of materials. Incorporated within the theme is a recreational identity which is identifiable and serves the needs of the community. Community elements such as entries, streetscapes,

Executive Summary

walls and fences, and land use transition areas establish the design theme for the community by reinforcing the design hierarchy and visually defining the community areas and boundaries. These features are created through a thematic blend of hardscape and planting elements.

This Specific Plan document is organized into six chapters:

- Chapter I Introduction
- Chapter II Detailed Plan Description
- Chapter III Design Guidelines
- Chapter IV Zoning Standards and Regulations
- Chapter V Review Process

Included in Chapter I are descriptions of this Specific Plan purpose, the project's location, physical setting, and the Specific Plan goals that guided the design of University Commons. Contained within Chapter II are detailed descriptions of the proposed land use plan, the circulation system, infrastructure, phasing, maintenance, financing mechanisms, and the Development Agreement. Chapter III presents the landscape and architectural design guidelines. Chapter IV outlines zoning standards and development regulations for University Commons, and Chapter V outlines the steps involved in the review process, including steps necessary for future Specific Plan Amendments. Lastly, Chapter VI describes conformity of the project with the City of San Marcos General Plan.

Specific Plan Amendment No. 4 was adopted to change Planning Area 4 from Light Industrial (LI) zone to Senior Residential (SR) zone. Amendment No. 4 also established zoning standards and regulations for the SR zone.

Chapter I

Introduction

Introduction

I. Introduction

A. Purpose

The University Commons Specific Plan was adopted by the City of San Marcos on February 28, 1991. Amendment of the University Commons Specific Plan has been necessary to respond to changes in planning considerations, ownership, new regulatory demands and changes in the marketplace. The University Commons Specific Plan, Amendment No. 1, was adopted on November 13, 2001, by the City of San Marcos (Ordinance No. 2001-1127). The University Commons Specific Plan, Amendment No.2, was adopted on December 10, 2002, by the City of San Marcos (Ordinance No. 2002-1161). Specific Plan Amendment No. 3 as adopted on August 12, 2003 and modified by Propositions F&G on March 2, 2004 supersedes and amends University Commons Specific Plan Amendment No. 2 and establishes land uses, residential densities, and a circulation pattern for University Commons. Specific Plan Amendment No. 4 was adopted on Month day of 2019 and establishes a Senior Residential zone for University Commons. This document also establishes a set of zoning standards, regulatory procedures and design guidelines that have been specifically formulated for the implementation of the land uses included within University Commons. The zoning standards are presented in Chapter IV, Zoning Standards and Regulations. Implementation of this Specific Plan will provide assurance to the City of San Marcos that ultimate development of the site will be consistent with the intended goals and objectives of the General Plan and the Questhaven/La Costa Meadows Community Plan. This Specific Plan represents a contemporary approach for development of the 416.0-acre University Commons project. This Specific Plan will function as a vital component in the development implementation process. The adopted Specific Plan Amendment No.4 will serve as the basis for reviewing subsequent development plans, subdivisions, and other discretionary permits. Should any conflict arise between this Specific Plan zoning regulations and existing City policies, procedures or ordinances, the provisions of this Specific Plan Amendment shall prevail. If any term, provision or condition of this Specific Plan Amendment is found to be invalid or unenforceable, the remainder of this Specific Plan Amendment shall not be affected.

B. Authorization

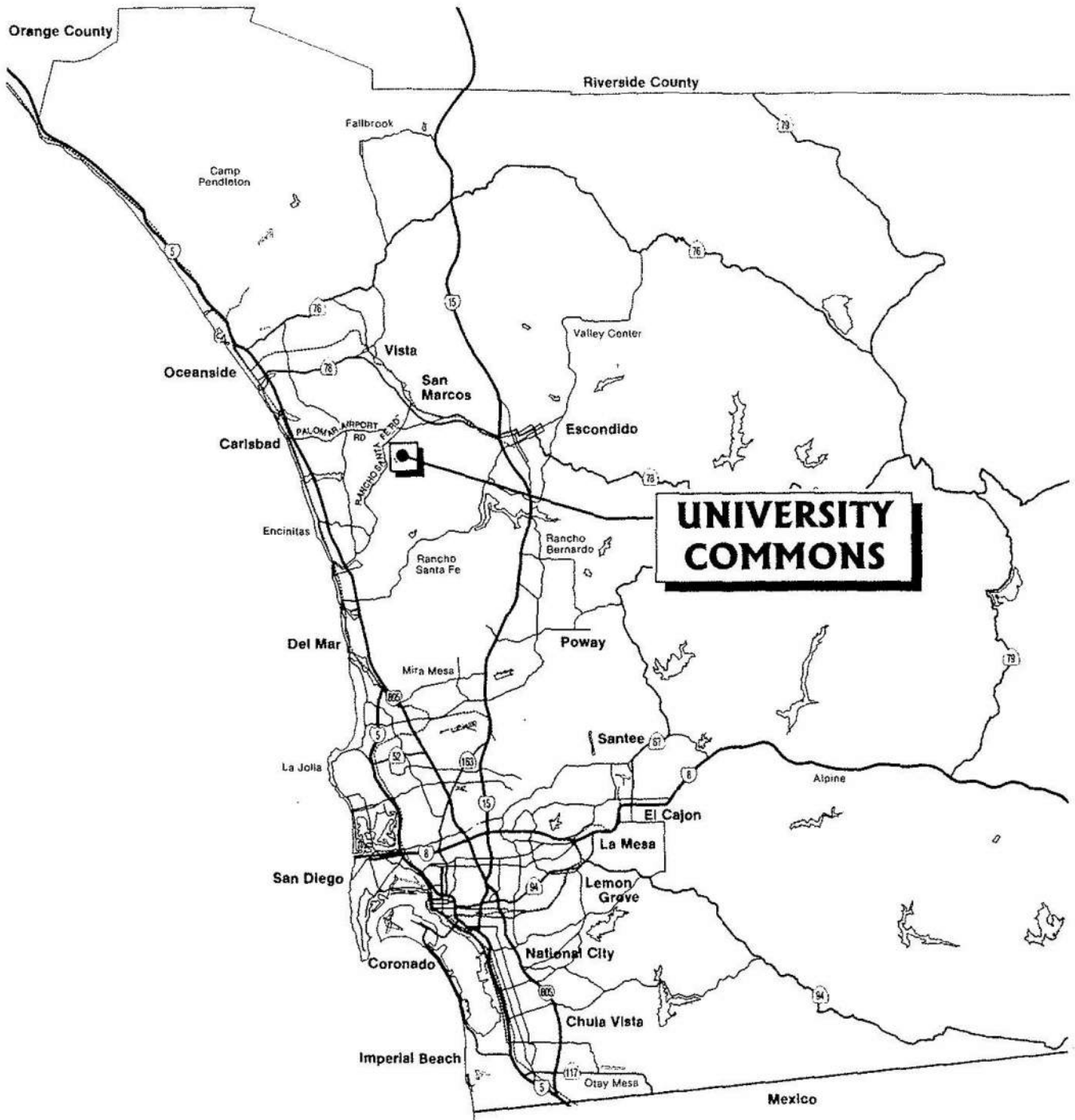
The preparation of this Specific Plan has considered all regulations, conditions, programs, and proposed legislation necessary for the implementation of the City of San Marcos General Plan, in conformance with the California Government Code (Title 7, Article 8, Section 65450, et seq.). These considerations include: 1) the location of and standards for land uses, building and facilities; 2) the location of and standards for roadways, drainage, and other essential facilities; 3) standards for population density and building intensity and provisions for supporting services; 4) standards for the conservation, development and use of natural resources; 5) a program of implementing the conservation and open space element, and 6) other implementation measures. This Specific Plan has been prepared in accordance with the City of San Marcos Zoning Ordinance, Section 20.535, which sets forth provisions, regulations, and standards for the Specific Plan Zone.

C. Location

The University Commons project site is located along the southwestern edge of the City of San Marcos, as depicted on Figure 1, Regional Map. The 416.0-acre project is situated southwest of

Introduction

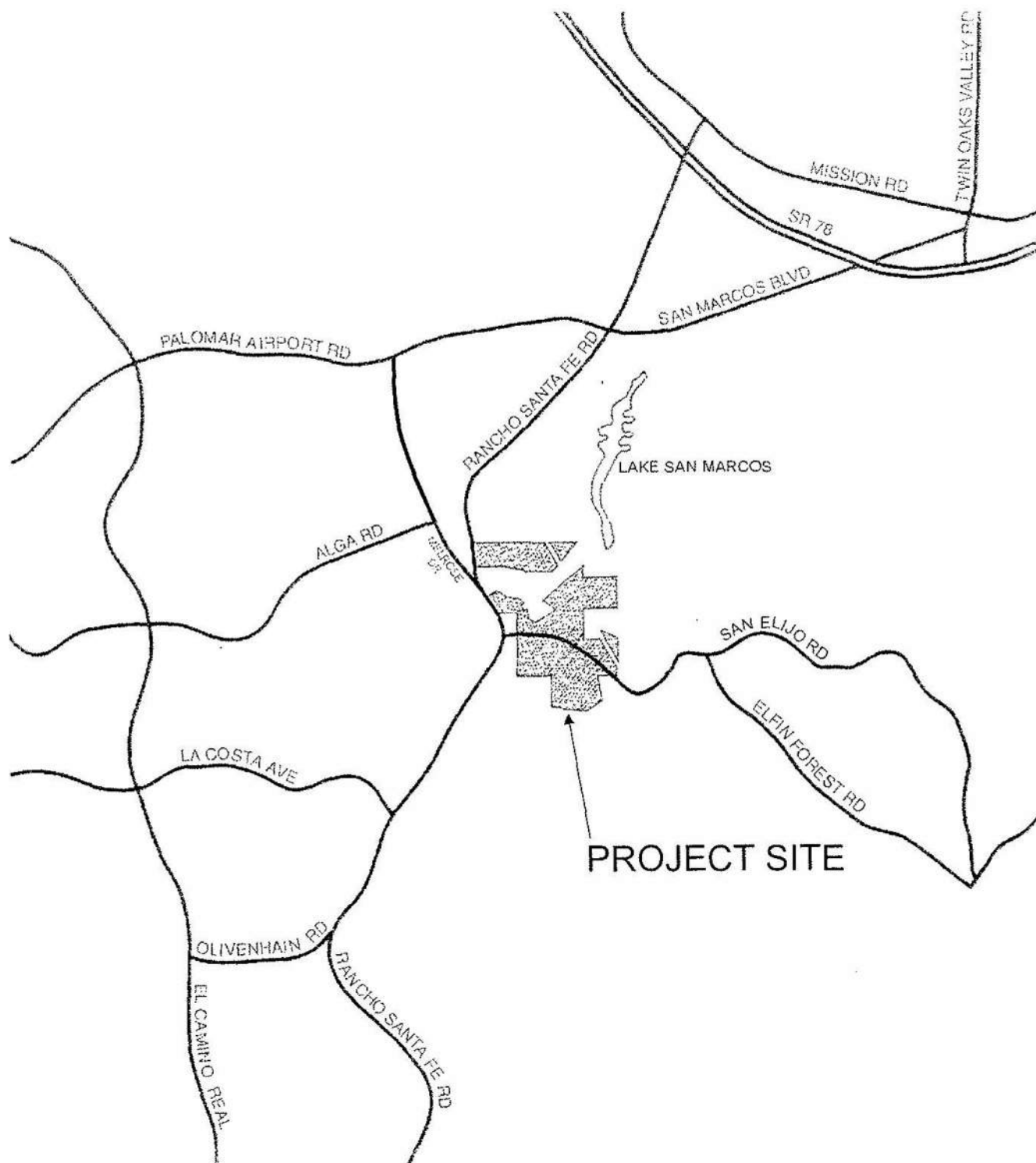
Lake San Marcos, as illustrated on Figure 2, Vicinity Map. Access to the site is provided by Rancho Santa Fe Road, San Elijo Road, Melrose Drive, Sparrow Lane (formerly Patton Street), La Costa Meadows Drive, and Street "A." San Elijo Road and Melrose Drive traverse the site, La Costa Meadows Drive and Sparrow Lane offer alternative access to the site, and Rancho Santa Fe Road borders the site to the west. Existing land uses surrounding the project site consist predominantly of undeveloped and agricultural land, and roadways, as shown on Figure 3, Aerial Photo. The existing 82-acre La Costa Meadows Industrial Park, a light industrial area along La Costa Meadows Drive, bisects the project site from east to west. To the northwest are single family residential parcels. Beyond these areas are clustered residential developments. Less than one-half mile to the north is the residential community surrounding Lake San Marcos. The Lake San Marcos development consists of a large, planned residential community centered around the lake and includes a golf course, hotel, small businesses and a service station. Avocado groves and open space separate the Lake San Marcos community from the project. Less than one-half mile to the southwest of University Commons lies a portion of the Villages of La Costa planned community, which is located within the adjacent city of Carlsbad. Less than one-quarter mile to the northwest of University Commons lies a second portion of the Villages of La Costa community. To the east lies the master planned, 2,149-acre community of San Elijo Hills, which is located within the City of San Marcos. Located approximately one-half mile to the southeast, just south of existing Questhaven Road, is the San Marcos Landfill, which is no longer in operation. The site is within the boundaries of the City's Questhaven/La Costa Meadows Community Plan area. Land uses in the City of San Marcos, surrounding and including the University Commons project, are illustrated on Figure 4, General Plan Designations. Project conformance with the San Marcos General Plan and the Questhaven/La Costa Meadows Community Plan are addressed in Chapter VI.



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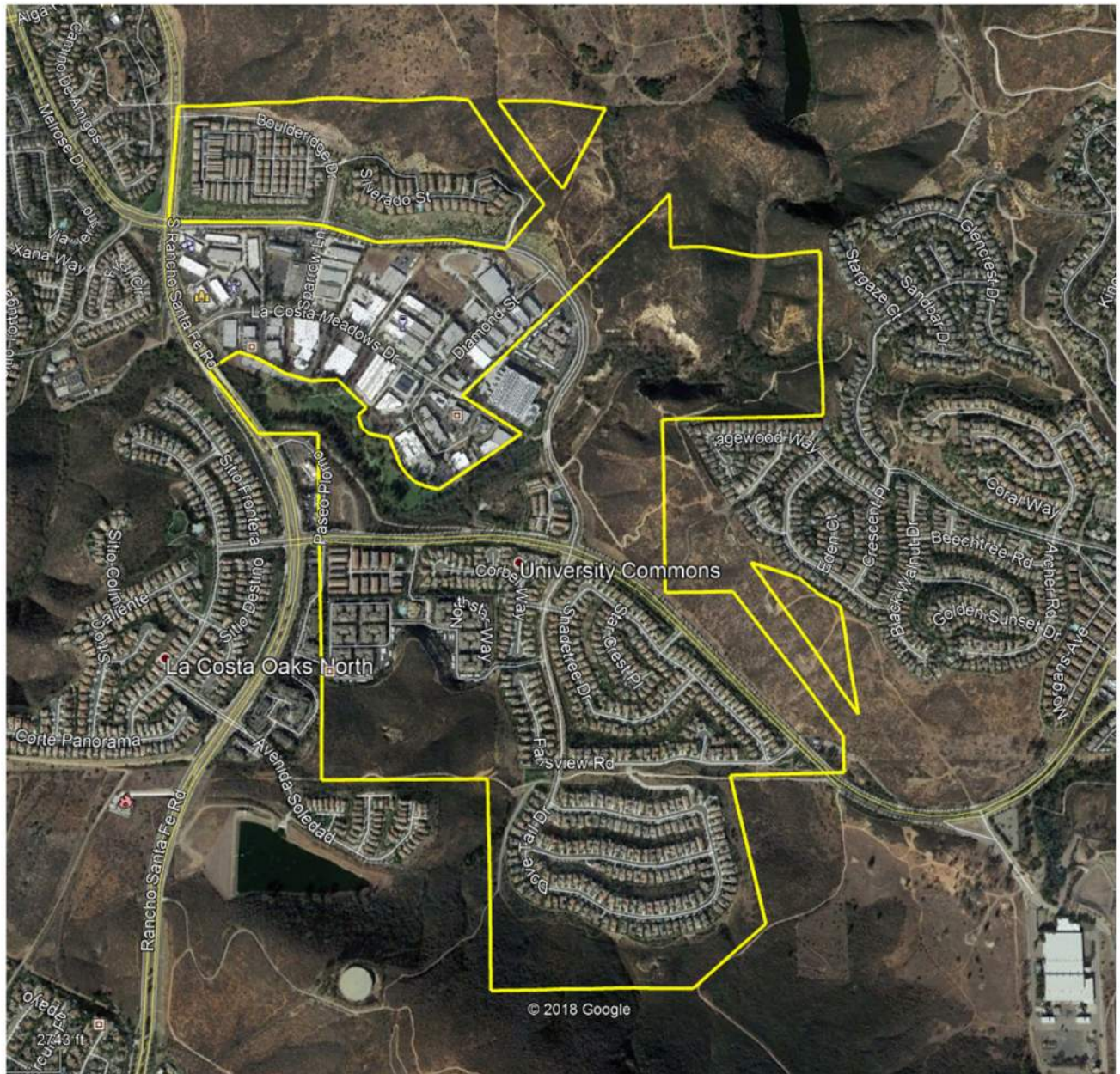
Figure 1
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MAP**
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Figure 2
VICINITY
MAP
Amendment #4



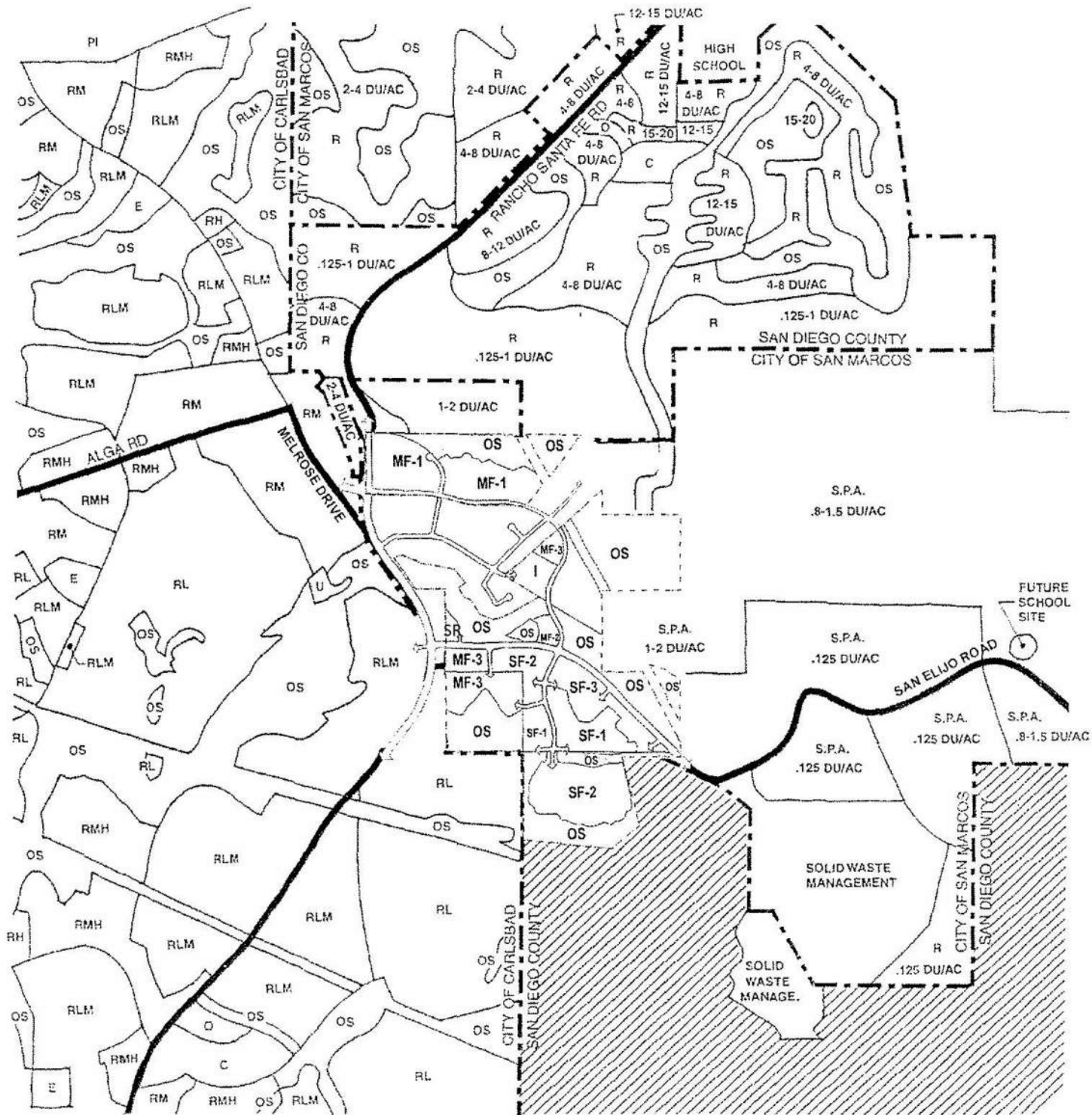
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Figure 3
**AERIAL
PHOTOGRAPH**

Amendment #4

Introduction




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Figure 4
Land Uses
Amendment #4

Introduction

TABLE 1 GENERAL PLAN DESIGNATIONS

City of San Marcos General Plan Designation	County of San Diego
SPA – Specific Plan Area	 - San Dieguito Community Plan Area
	OS – Open Space
Adopted University Commons Specific Plan	R – Residential
MF1 – Multi-Family (10.0-16.0 DU/AC)	City of Carlsbad
MF-2 – Multi-Family (20.0-25.0 DU/AC)	RL – Low Density Residential (0-1.5 DU/AC)
C – Commercial	RLM – Low-Medium Density Residential (0-4.0 DU/AC)
E – Elementary School	RM – Medium Density Residential (4.0-8.0 DU/AC)
SF1 – Single Family (2.0-3.0 DU/AC)	RMH – Medium-High Density Residential (8.0-15.0 DU/AC)
SF2 – Single Family (3.1-4.0 DU/AC)	RH – High-Density Residential (15.0-23.0 DU/AC)
SF3 – Single Family (4.1-5 DU/AC)	O – Office & Related Commercial
P – Park	C – Community Commercial
MU – Multi-Use	PI – Planned Industrial
OS – Open Space	U – Public Utilities
I – Industrial	E – Elementary School
SR – Senior Residential	OS – Open Space

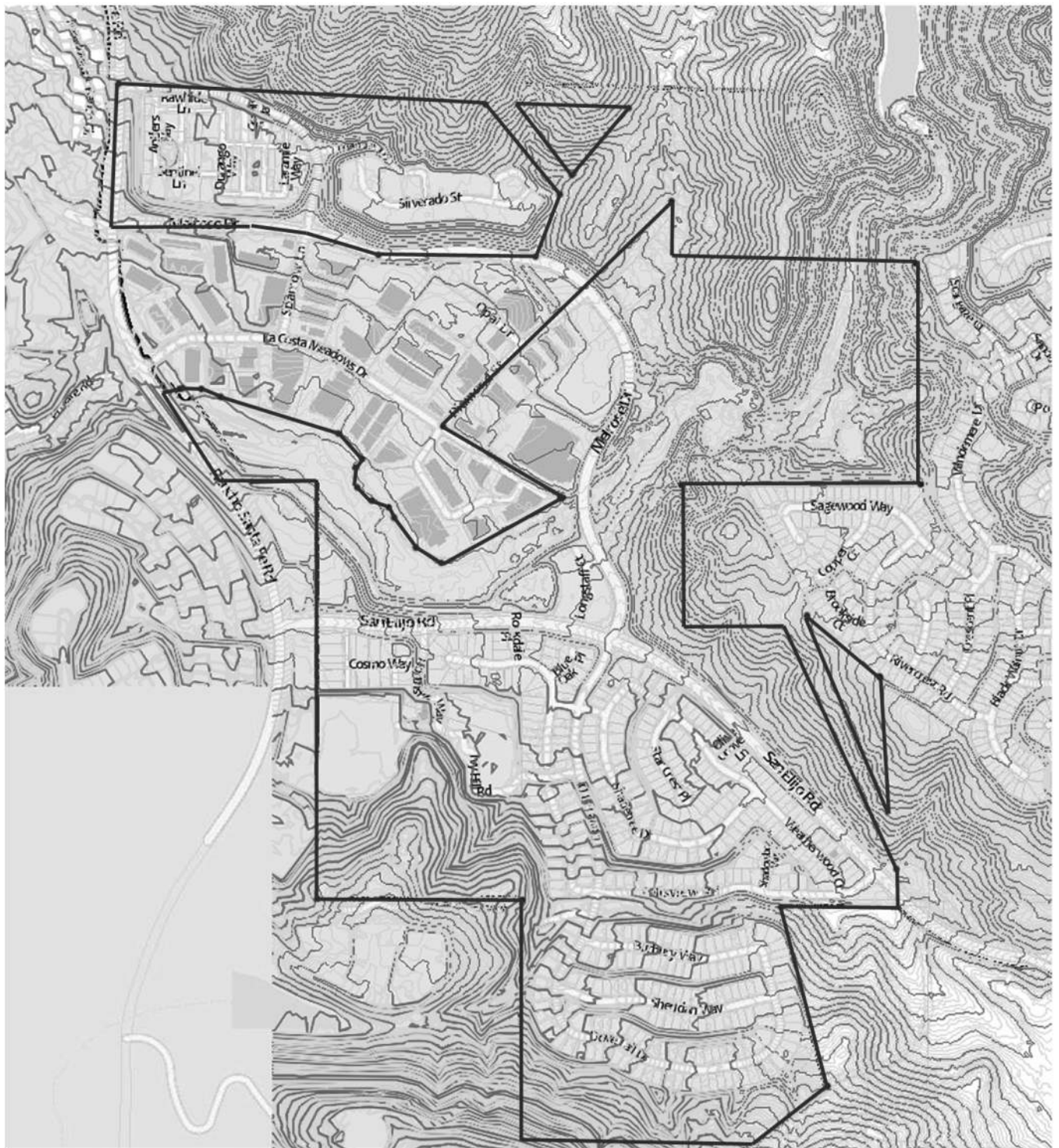
Introduction

D. Physical Setting

The area is characterized by rolling hills that reach elevations of approximately 700 feet and relatively flat areas of the site that fall to an elevation of about 320 feet, as shown on Figure 5, Topographic Map. The character of the project vicinity is primarily defined by the distinctive natural landforms. The most prominent landforms are the mountains located in the northern and southern portions of the area, featuring ridgelines, rocky terrain, canyons, washes, alluvial fans, and large open space areas. Off-site to the northeast, Cerro de las Posas reaches an elevation of 1,320 feet. The project area includes a section of San Marcos Creek with its adjacent floodplain. San Marcos Creek, which flows in an east to west direction, will not be physically developed by the project and will remain in its current state. An abandoned rock, sand, and gravel quarry lies at the southeastern edge of the creek bed. The existing light industrial development adjoining the project comprises another important influence upon the project setting. In examining the development potential for University Commons, these features-- as well as other significant opportunities and constraints, including biology, geology, view opportunities and access-- were fully considered.

E. Ownership Pattern

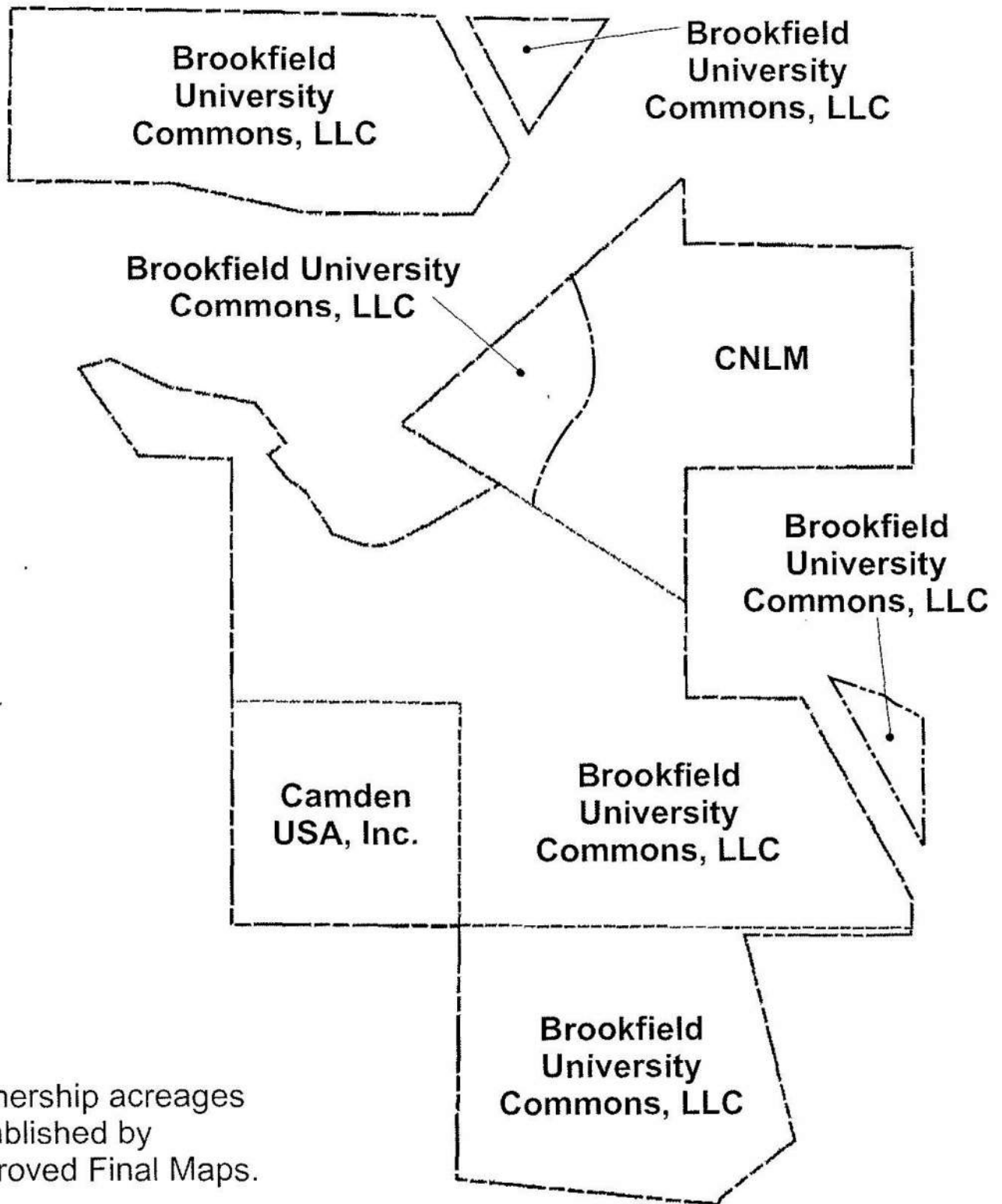
An essential element that was considered in developing Specific Plan Amendment No.3 for University Commons was the existing multiple ownership pattern, as shown on Figure 6, Ownership Map. The 416.0-acre University Commons Specific Plan area has three property owners. One owner controls an approximately 40-acre parcel (Planning Areas 10A and 10B), the Center for Land Management owns PA 15 for conservation purposes, and the remainder of the Specific Plan site area is under one ownership. Issues such as road alignments and equitable distribution of development rights and infrastructure financing were considered in conjunction with the ownership pattern during preparation of Specific Plan Amendment No. 3.



**UNIVERSITY
COMMONS**



Figure 5
**TOPOGRAPHIC
MAP**
Amendment #4



Ownership acreages established by approved Final Maps.



Figure 6
**OWNERSHIP
MAP**
Amendment #4

*Ownership represented in graphic was prior to Specific Plan Area Buildout

Introduction

F. Specific Plan Goals

The following project-wide goals have been established to guide development of the University Commons project. All development within the project area shall comply with the goals listed below. The Specific Plan shall:

1. Provide for the establishment of a master-planned community, consisting of a maximum of 1,524 residential units.
2. Provide a well-balanced and functional mix of residential opportunities supported by opportunities for both employment and active and-passive recreation, which will create a high-quality living environment.
3. Create a plan that proposes a series of individual neighborhoods within a master-planned community, each contributing through high-quality architectural style to the overall character developed by the landscape plan for the community.
4. Develop a robust design theme which creates a unique and distinctive project identity and character.
5. Develop a plan that provides appropriate areas for community facilities such as trail areas and open space areas for habitat preservation.
6. Develop a plan which is sensitive to existing hillside areas and provides contour grading, where feasible.
7. Minimize potential negative impacts from the adjacent industrial park through adequate buffering and sensitive landscape treatments.
8. Anticipate citizen concerns regarding traffic, noise, and visual impacts, and incorporate project design mitigation measures.

Chapter II

Detailed Plan

Description

Detailed Plan Description

II. Detailed Plan Description

A. Project Summary

University Commons Specific Plan, Amendment No.3, is the result of extensive environmental analysis and market research. The Land Use Plan for the project will create an aesthetically-pleasing, master-planned community for future residents by implementing the goals and objectives of the City of San Marcos General Plan. Through use of its natural surroundings and unifying landscape theme, University Commons will create a village of distinctive character. Residents will enjoy several different settings offering mountain vistas or a serene creek side environment. The 416.0-acre University Commons project is envisioned as a balanced, master planned community, integrating residential, light industrial, recreational, and open space land uses. University Commons Specific Plan, Amendment No. 3, assures that the proposed project will be developed in a coordinated manner. Infrastructure and public facilities, both on-site and off-site, are planned to accommodate the build-out requirements of University Commons, ensuring that the City's goals for balanced, orderly growth are implemented. Design guidelines and zoning standards contained within the Specific Plan create a cohesive community identity, while providing flexibility to accommodate future market demands. The Specific Plan Amendment No. 3 provides the opportunity for the project to be developed with 401 single-family residences, with lot sizes ranging from 5,000 square feet to 5,500 square feet and 1,123 multi-family units. The total number of dwelling units permitted would be 1,524. Specific Plan Amendment No. 4 replaces the Light Industrial land use planned on 2.2 acres (Planning Area 4) adjacent to San Elijo Road, east of Ranch Santa Fe Road with Senior Residential (SR) zoning. An approximately 8.1-acre site (gross) (Planning Area 5b), adjacent to the existing light industrial La Costa Meadows Industrial Park, would be devoted to 4.0 net acres of Warehousing uses. A 3.0-acre Detention Basin is in Planning Area 6b. The San Marcos Creek Resource Recreation Area, located in Planning Area 6a, provides for a total of 25.0 acres of private recreation opportunities in the center of the community. Approximately 180.9 acres of the site would be set aside as natural open space. In addition, approximately 0.72 acres within the single-family residential planning areas would be devoted to the development of pocket parks, the design and placement of which will be determined at the tentative map stage. Planning Areas 8, 9, and 11 would accommodate one pocket park each, and two pocket parks would be in Planning Area 12a, for a total of five pocket parks. In addition, private recreation facilities will be provided in PA 1, 3, 5a, 6c, 7 and 10a. Pocket parks may include play equipment, picnic area, passive overlook, and/or trailhead. A trail system, accommodating pedestrian, bicycle and limited equestrian traffic, would wind through the project, providing access to the natural open space. The trail system would be designed to permit future connections with adjacent off-site trails, including a trail connection with San Elijo Hills, an adjoining master-planned community. The University Commons Specific Plan Amendment No. 3 includes elements of the regional transportation system, including Rancho Santa Fe Road, San Elijo Road, and Melrose Drive. Primary access to the northern portion of the project would be provided by Rancho Santa Fe Road, Sparrow Lane, Boulderidge Ridge Drive, and by the extension of Melrose Drive from San Elijo Road to Rancho Santa Fe Road. Access to the southern portion of the project would be provided by Melrose Drive, La Costa Meadows Drive and San Elijo Road.

Amendment No. 3

Adopted by the City Council, August 12, 2003

Modified by Propositions F & G, March 2, 2004

Amendment No. 4

Adopted by the City Council, Month Day 2019

Detailed Plan Description

Access to the residential neighborhoods would be provided by Melrose Drive, San Elijo Road and Street "A," and by neighborhood roadways to be constructed within the project. Class II bikeways would be provided in most of the project roadways. The design guidelines for University Commons establish the project's character and ensure a high-quality development. By providing continuity throughout the community, the landscape plan helps create a strong "sense of identity." The naturally integrated landscape theme draws the natural environment into the community by emphasizing generous landscaped common areas and strong, rich landscape materials including river rock stone, boulder outcrops, clusters and groves of trees, wood materials, earth tone colors, and a diversity of materials. Incorporated within the plan is a recreational theme which is identifiable and serves the needs of the community. Community elements such as entries, streetscapes, walls and fences, and land use transition areas establish the design theme for the community by reinforcing the design hierarchy and by articulating the community areas and boundaries. These features are created through a thematic blend of hard scape and planting elements. A more detailed description of the landscape and architectural design guidelines is provided in Chapter III, Design Guidelines. The University Commons project will be phased in a logical sequence, in response to market demands. Two development phases are planned through project buildout. Development of roadways and public facilities will occur concurrently with residential development according to the Phasing Plan section of Specific Plan Amendment No.3. Tentative subdivision maps, filed concurrently with or subsequent to Specific Plan Amendment No. 3, shall serve to more specifically define road locations, neighborhood boundaries, and lot dimensions. Subdivision maps shall implement this-amended Specific Plan without requiring further amendment. Development within the Specific Plan requires the submittal and approval of development plans in accordance with requirements discussed in Section V (Review Process) of this Specific Plan document.

B. Land Use Description

The University Commons Specific Plan Amendment No.3 creates a high-quality community, composed of residential, industrial, recreational, and open space land uses as illustrated on **Figure 7**, Proposed Land Use Plan. The project is divided into distinct planning areas for each of the proposed land uses as shown on **Figure 7**. A land use summary for University Commons Amendment No. 3, presenting the proposed land uses, acreage, number of dwelling units, density, and the location of each land use by planning area is given in Table I, Detailed Land Use Summary. Amendment No. 4 adds Senior Residential to Table 1 and Figure 4, Land Uses. A description of the land use proposed by this Specific Plan are as follows.

Detailed Description

Following is a detailed description of each of the proposed land uses which are illustrated on **Figure 7**, Land Use Plan, and delineated in **Table I**, Detailed Land Use Summary:

Residential

A total of 1,524 dwelling units are proposed on 176.1 acres for a net project density of 8.7 dwelling units per acre. Product types will consist of single-family residences, with lot sizes including both

Detailed Plan Description

5,000 square foot lot minimums and 5,500 square foot lot minimums. Additional residential opportunities include multi-family attached residences. Of the total 1,524 proposed dwelling units, 26 percent or 401 units are to be developed as single-family detached residences and 74 percent or 1,123 units will be developed as multi-family units. Of the single-family detached residences, 148 units will be developed on 5,000 square-foot lots and 253 units will be constructed on 5,500 square-foot lots. Product type is planned to be distributed as follows:

Minimum 5,500 S.F. Lots: This product will be constructed in Planning Areas II and I2a, which are located south of San Elijo Road. A total of 253 single-family detached homes will be constructed on 70.2 acres at a density of 3.6 dwelling units per acre. This category comprises 16.6 percent of the residential units included in the project.

Minimum 5,000 S.F. Lots: This product will be constructed in Planning Areas 8 and 9, which are located south of San Elijo Road. A total of 148 single-family detached homes will be constructed on 37 acres at a density of 3.8 dwelling units per acre. This category comprises 9.7 percent of the residential units included in the project.

Multi-Family: This product will be in Planning Areas 1, 3, 5a, 6c, 7, and 10a. Abutting the northern edge of Melrose Drive and accessing Rancho Santa Fe Road from a private drive, Planning Area 1 contains 300 dwelling units on 20.9 acres at a density of 14.4 dwellings units per acre. Located adjacent to and north of Melrose Drive, Planning Area 3 contains 56 dwelling units on 21.5 acres at a density of 7.2 dwelling units per acre. Planning Area 5a (4.7 acres) is located near the center of the community and may accommodate 112 units at a density of 28.0 dwelling units per acre. Located north of San Elijo Road and adjacent to the west of Dove Tail Drive, Planning Area 6c contains 57 dwelling units on 3.6 acres at a density of 15.8 dwelling units per acre. Planning Area 7 is located along the western project boundary adjacent to San Elijo Road, just east of Rancho Santa Fe Road and contains 148 units on 6.0 acres at a density of 24.7 dwelling units per acre. Planning Area I 0a is located along the western project boundary, directly south of Planning Area 7, south of San Elijo Road and contains 350 multi-family units on 12.2 acres at a density of 28.7 dwelling units per acre. In total, multi-family provides a maximum of 1,123 units on 68.9 acres at a density of 16.3 dwelling units per acre and represents 74 percent of the residential units within the project.

Light Industrial

Light industrial land uses are in Planning Area 5b. Planning Area 5b (8.1 acres) is located adjacent to the existing La Costa Meadows Industrial Center near the center of the community and may accommodate Light Industrial uses on approximately 6.0 net acres. This location affords residents the opportunity to live near work.

Senior Residential

Senior Residential land use is located in Planning Area 4. Planning area 4 includes a total of 2.2 acres adjacent to the north side of San Elijo Road. Approximately 1.6 net acres of development is anticipated.

Detailed Plan Description

Recreation

San Marcos Creek Resource Recreation Area: The existing San Marcos Creek Recreation Area, located at the intersection of Melrose Avenue and San Elijo Road in Planning Area 6a, consists of a 25-acre, private passive park which contains a channelized creek-bed, pedestrian walkways, bridges, turf and landscaping which is reserved for the exclusive use of the employees of the La Costa Meadows Industrial Park. The park site is anticipated to continue to be a private park, available only to the employees and guests of the La Costa Meadows Industrial Park. However, it could become a public park at some point in the future. Also included in Specific Plan Amendment No. 3 is a 3.0-acre storm water detention basin, located adjacent to the Resource Recreation Area in Planning Area 6b, which would remain an undeveloped area. **Figure 9**, Open Space Plan, depicts the open space, San Marcos Creek Resource Recreation Area, and detention basin for University Commons Specific Plan Amendment No.3.

Pocket Parks and Private Recreation Facilities: In addition, a pocket park would be provided within each of the single-family residential Planning Areas 8, 9, and 10 and two in Planning Area 2a, for a total of five pocket parks. Pocket parks would account for approximately 0.72 acres of recreation space and may include play equipment, picnic areas, passive overlooks, and/or trailheads. In addition, private recreation facilities will be provided in PA 1, 3, 5a, 6c, 7 and 10a. See **Figure 9**, Open Space Plan, for approximate locations of pocket parks and recreation facilities.

Open Space/Natural Habitat

Approximately 180.9 acres of open space, comprising 43.5 percent of the project site, is set aside to preserve natural habitat areas. Manufactured slopes and open space occurs within most of the planning areas proposed for development and, because it is included within the acreage of each planning area, it is not included within the 180.9 acres of open space/natural habitat discussed here. Refer to **Figure 9**, Open Space Plan.

Major Roads

The project includes the right-of-way for 20.7 acres of major roadways. Major roadways include Rancho Santa Fe Road, San Elijo Road, Bolderidge Drive, and Melrose Drive. Neighborhood roadways will be constructed to provide circulation within proposed residential neighborhoods. The acreage of neighborhood roadways is included within the acreage of each planning area. In addition, a small private drive provides secondary access to PA 1 from Rancho Santa Fe Road.

Detailed Plan Description

TABLE 2 DETAILED LAND USE SUMMARY

University Commons Specific Plan Amendment No. 4 Statistical Abstract				
Land Use	Planning Area	Gross Acres	Dwelling Units	Density (DU's per acre)
Residential				
5,500 sf Lots	PA 11	34.8	97	2.8
	Pa 12a	35.4	156	4.4
Subtotal of 5,500 sf Lots		70.2	253	3.6
5,000 sf Lots	PA8	14.8	52	3.3
	PA9	22.2	96	4.1
Subtotal of 5,000 sf Lots		37.0	148	4.0
Subtotal Single-Family Residential		107.2	401	3.7
Multi-Family	PA 1	20.9	300	14.4
	PA 3	21.5	156	7.2
	PA 5a	4.7	112	23.8
	PA 6c	3.6	57	15.8
	PA 7	6.0	148	24.7
	PA 10a	12.2	350	28.7
Subtotal Multi-Family		68.9	1,123	16.3
Subtotal Residential		176.1	1,524	8.7
Other Land Uses				
San Marcos Recreation Area	PA 6a	25.0	-	-
San Marcos Recreation Area Detention Basin	PA 6b	3.0	-	-
Senior Residential	PA 4	2.2	-	-
Light Industrial	PA 5b	8.1	-	-
			-	-
Subtotal Other Land Uses		38.3	-	-
Open Space	PA 2	16.6	-	-
	PA 10b	28.3	-	-
	PA 12b	29.5	-	-
	PA 13	23.8	-	-
	PA 14	4.6	-	-
	PA 15	70.7	-	-
	PA 16	7.4	-	-
Subtotal Open Space		180.9	-	-
Major Roads	-	20.7	-	-
University Commons Project Total	-	416.0	1,524	3.6

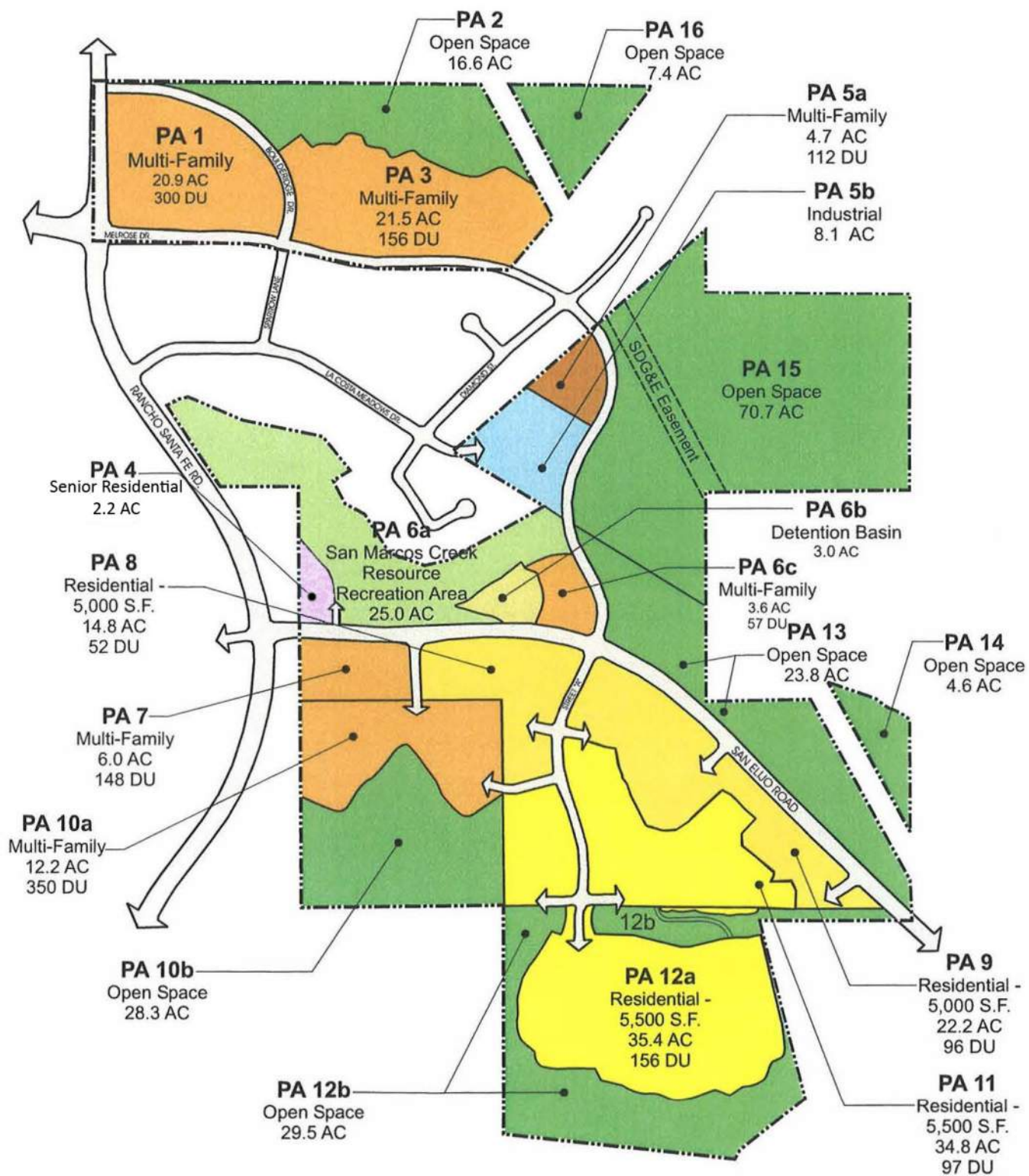
Amendment No. 3

Adopted by the City Council, August 12, 2003

Modified by Propositions F & G, March 2, 2004

Amendment No. 4

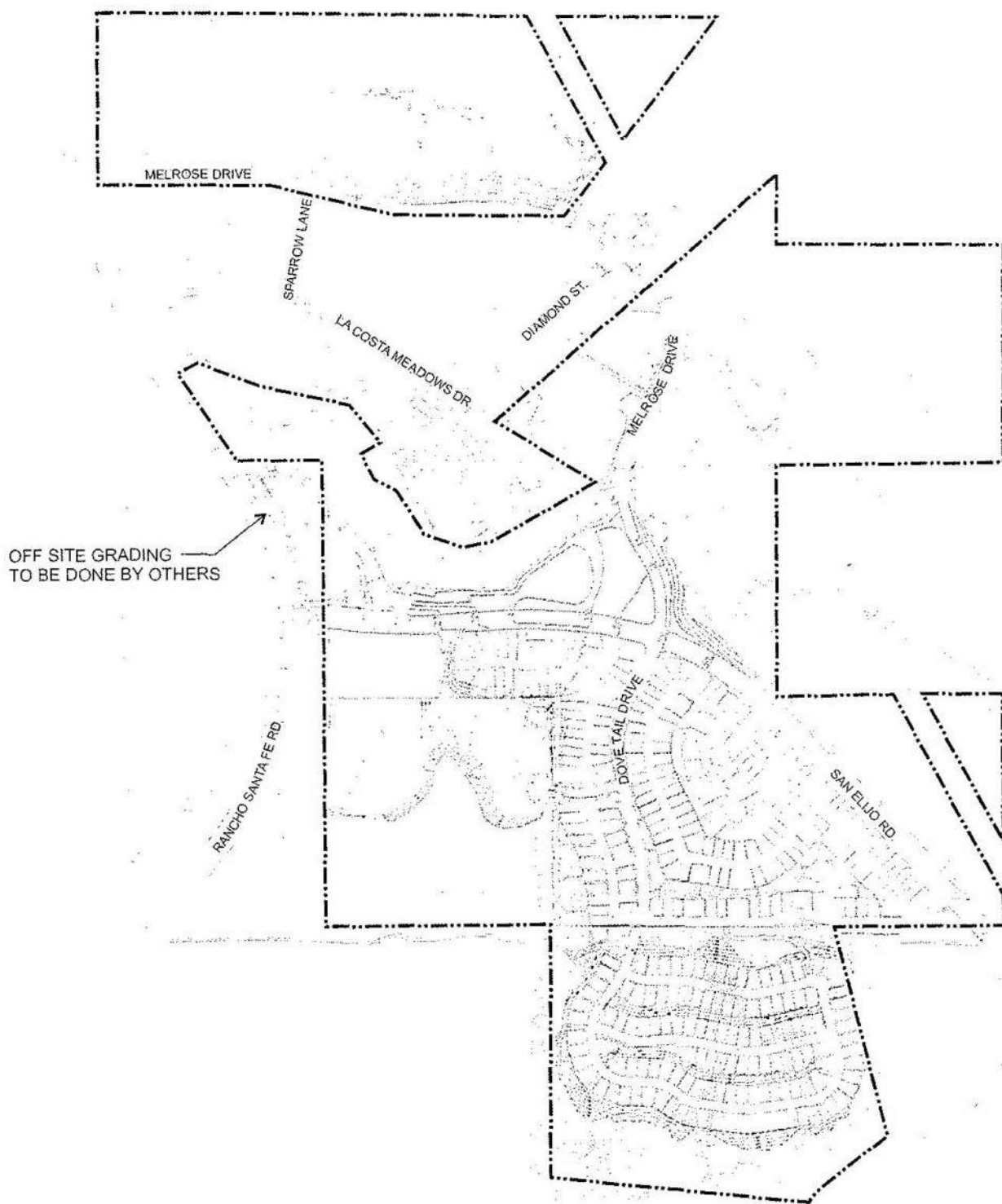
Adopted by the City Council, Month Day 2019



**UNIVERSITY
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Figure 7
Land Use Plan
Amendment No. 4
(Administrative Change)

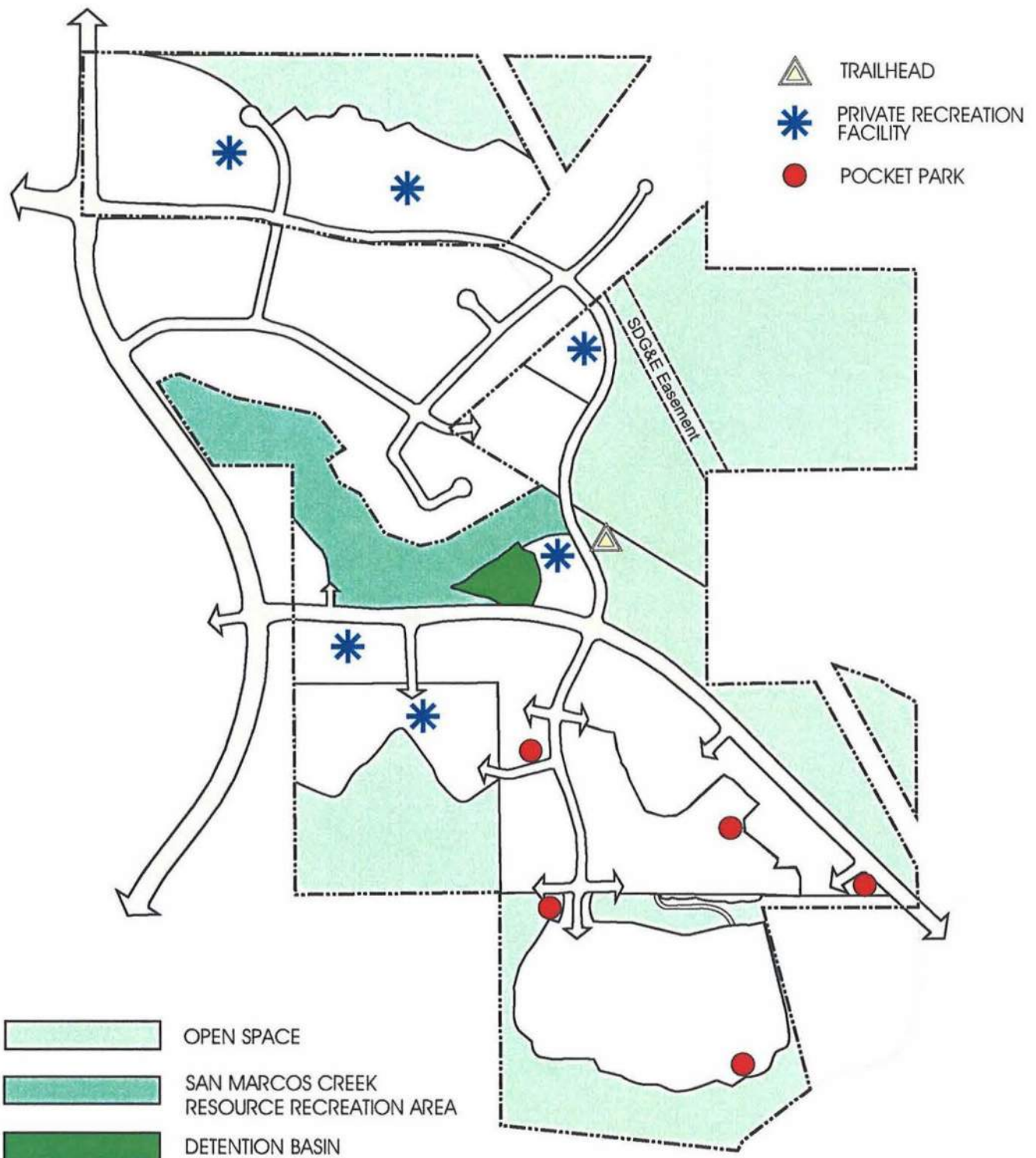


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Figure 8
**CONCEPTUAL
LOTING STUDY**
Amendment #4

Detailed Plan Description



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Figure 9
OPEN SPACE PLAN

Amendment #4

Detailed Plan Description

Detailed Plan Description

C. Circulation

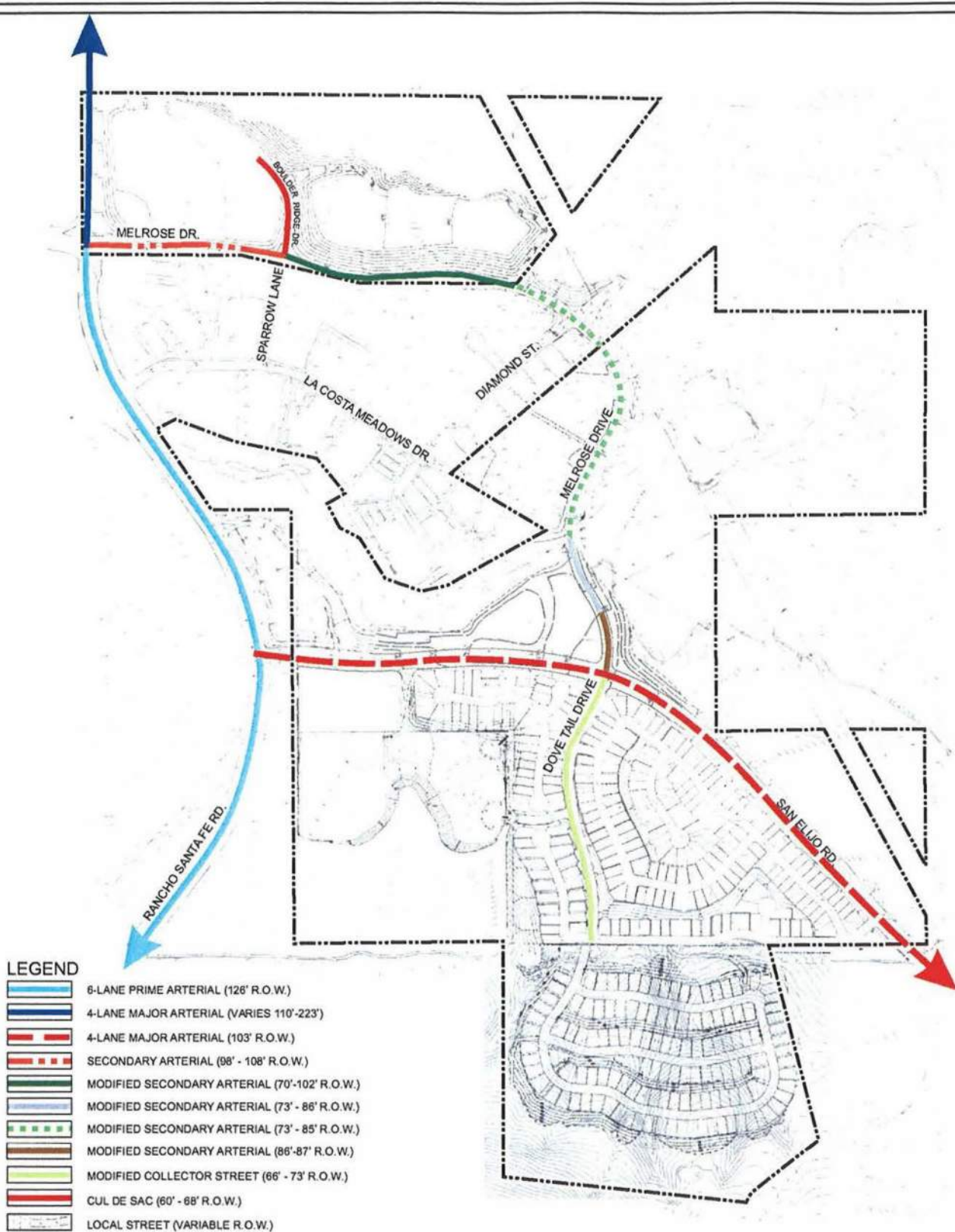
The University Commons project proposes a balanced and efficient transportation system that establishes a clear hierarchy for the vehicular traffic anticipated to occur within the community. The circulation system was created to accommodate the traffic projected to occur at the completion of the University Commons project. The standards for roadways within the University Commons Specific Plan are presented as follows.

◆ Existing Regional and Local Access

The project site is located approximately two miles south of State Route 78 (SR-78), a six-lane, east-west freeway linking Interstate 5 with Interstate 15. Rancho Santa Fe Road is adjacent to portions of the University Commons project and provides access to the project from the SR-78 freeway. Rancho Santa Fe Road is planned to be a four-lane major arterial extending from SR-78 southward past the project site, through the City of Carlsbad to El Camino Real, where it is a six-lane Prime Arterial proceeding westward to Interstate 5. San Elijo Road (formerly Questhaven Road), is planned as a Major Arterial and will be re-aligned and widened as part of the project. San Elijo Road will provide primary access to the southern portion of the project from the western and southern portions of the city. Access will be provided to the University Commons project from Rancho Santa Fe Road at four points: 1) the existing La Costa Meadows Drive, which provides access to the La Costa Meadows Industrial Center and serves as a secondary access to the proposed light industrial areas; 2) the proposed extension of Melrose Drive, which will serve the northern neighborhoods of University Commons; 3) San Elijo Road, which will be realigned and widened, to provide primary access to the southern portion of the community; and 4) an access drive into PA 1. Rancho Santa Fe Road will also access SR-78 which is approximately two miles north of the project site.

◆ Proposed Project Circulation Plan

To provide a safe and efficient vehicular circulation system, the University Commons project establishes a hierarchy of roadways that will accommodate projected traffic and will provide appropriate linkages to the regional roadway network. The circulation plan is illustrated on **Figure 10, Circulation Plan**. The classifications for the roadway hierarchy consist of: major arterial, secondary arterial, modified collector, collector, local street, and local access street. Rights-of-way will range in width from 233 feet on Rancho Santa Fe Road north of Melrose Drive, to 56 feet for local access streets. Primary north-south circulation through University Commons will be provided by Rancho Santa Fe Road, Melrose Drive, and Dove Tail Drive. Primary east-west circulation will be provided by San Elijo Road and La Costa Meadows Drive.



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Figure 10
CIRCULATION PLAN
Amendment #4

Detailed Plan Description

Detailed Plan Description

Proposed roadway improvements to be included in the University Commons Specific Plan, together with their respective classifications and right-of-way (ROW) widths are shown in Table 3, Roadway Improvements, as follows.

TABLE 3 ROADWAY IMPROVEMENTS

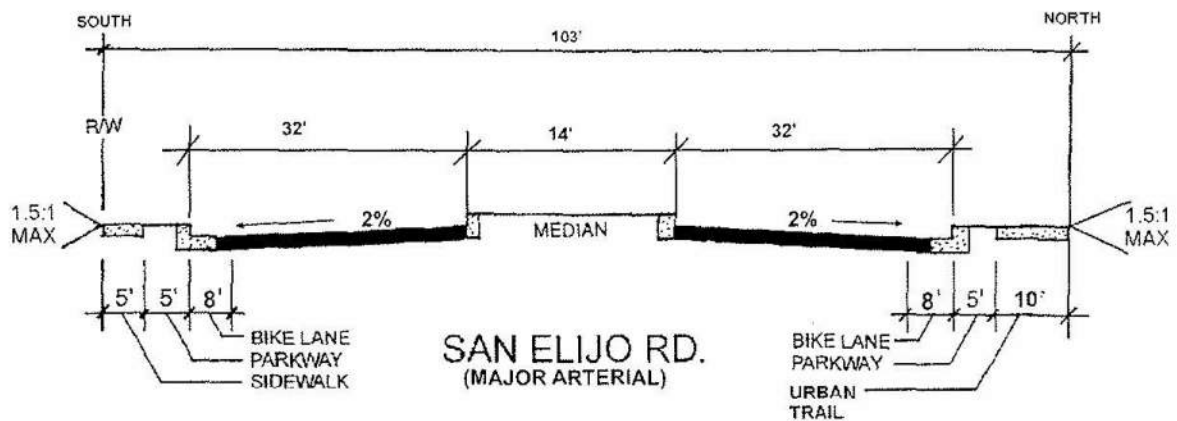
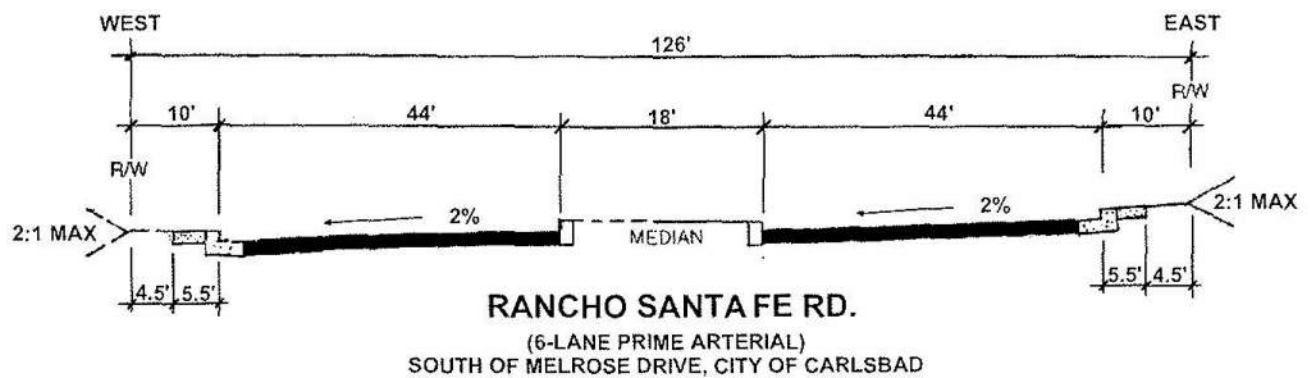
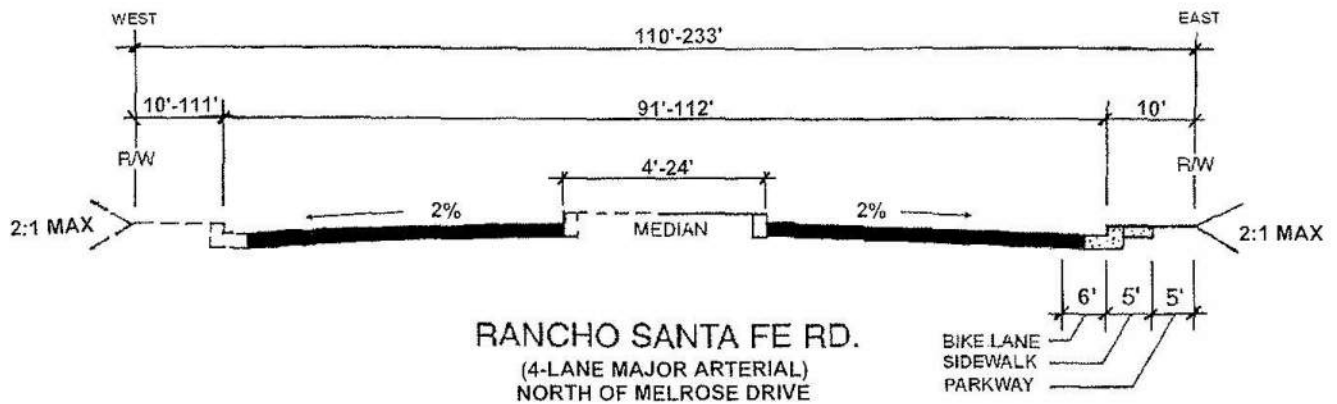
Roadway	Classification	R.O.W.
Rancho Santa Fe Road	Major Arterial (4-Lane) ^{8,9}	110-233 feet
San Elijo Road	Major Arterial (4-Lane)	103 feet
Melrose Drive¹	Secondary Arterial	98-108 feet
Melrose Drive²	Modified Secondary Arterial	70-102 feet
Melrose Drive³	Modified Secondary Arterial	73-85 feet
Melrose Drive⁴	Modified Secondary Arterial	73-86 feet
Melrose Drive⁵	Modified Secondary Arterial	86-87 feet
Dove Tail Drive⁶	Modified Collector	66-73 feet
Boulderidge Drive	Cul De Sac	60-68 feet
Neighborhood Roadway⁷	Local Access Street	Variable

Notes

1. Extension from Rancho Santa Fe Road to Sparrow Lane, 108 ft at Intersection of Rancho Santa Fe Road only.
2. From Sparrow Lane to Emergency Access Road for PA 3.
3. From Emergency Access Road for PA 3 to North of San Marcos Creek
4. Extension from 350 feet north of Sa11 Elijo Road to San Marcos Creek.
5. At intersection with San Elijo Road to 350 North of San Elijo Road.
6. At intersection with San Elijo Road. 73-foot R.O.W.
7. 36 feet curb to curb. At PA 12, 38 feet curb to curb.
8. Within City of San Marcos, North of Melrose, 110-233 ft. R.O.W.
9. Within City of Carlsbad, South of Melrose, 126ft. R.O.W.

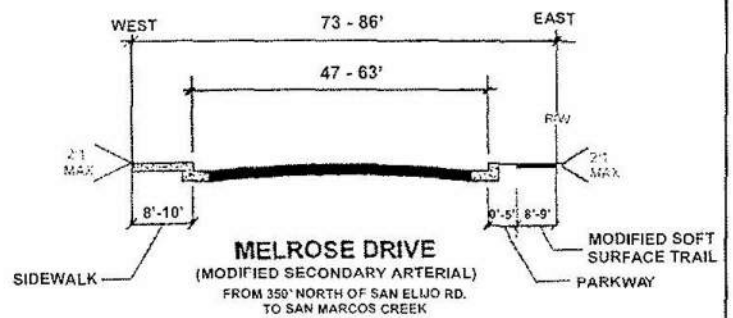
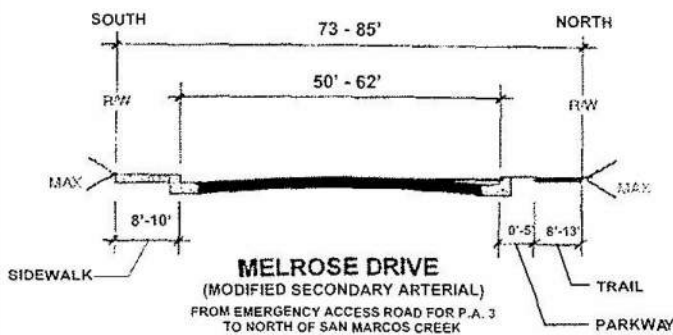
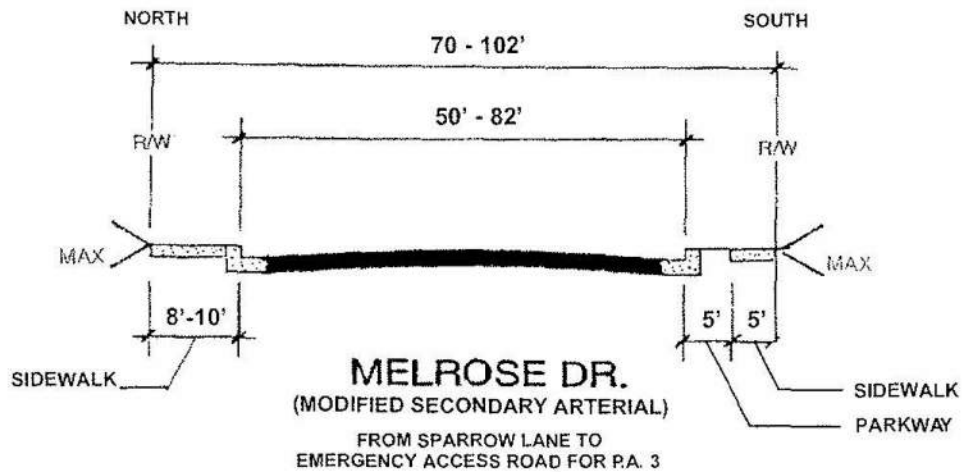
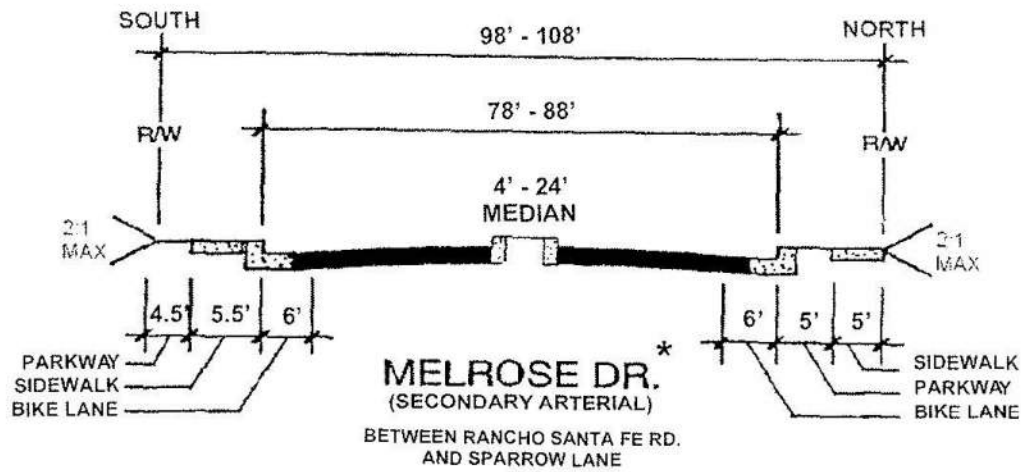
Responsibility for the construction of the major roadways of Specific Plan Amendment No. 3 will be borne by a number of parties. These responsibilities are detailed in the Public Facilities Financing Plan, attached hereto and incorporated herein as Appendix "A."

Cross-sections of each of the project roadways are shown on the Typical Street Cross Sections, **Figures 11, 12 and 13**. The proposed roadways for University Commons shall be constructed in accordance with the City of San Marcos standards for Urban Street Design, which include standard street cross-sections and criteria for roadway design, unless otherwise indicated within this amended Specific Plan.



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Figure 11
**TYPICAL STREET
CROSS SECTIONS**
Amendment #4



* AT RANCHO SANTA FE ROAD - WIDENS TO A 108' R.O.W. ROADWAY WITH A 24' MEDIAN.

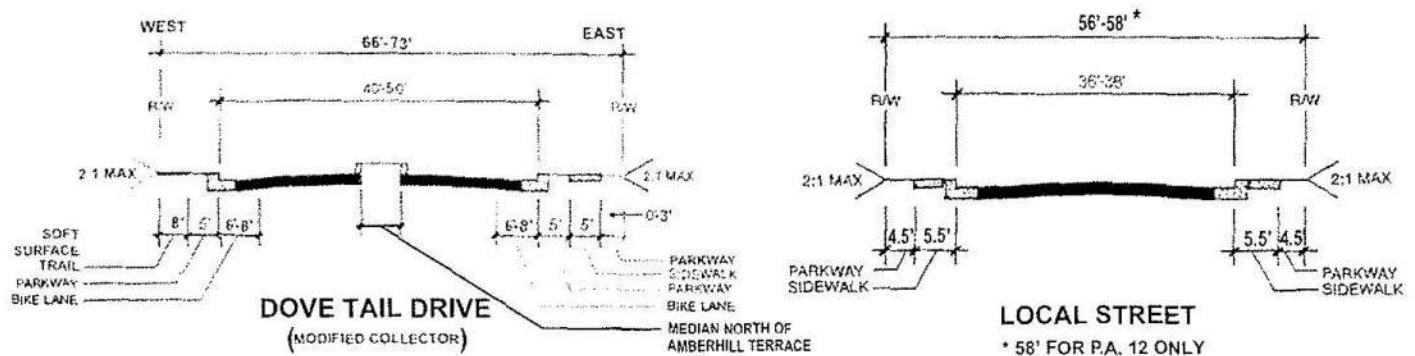
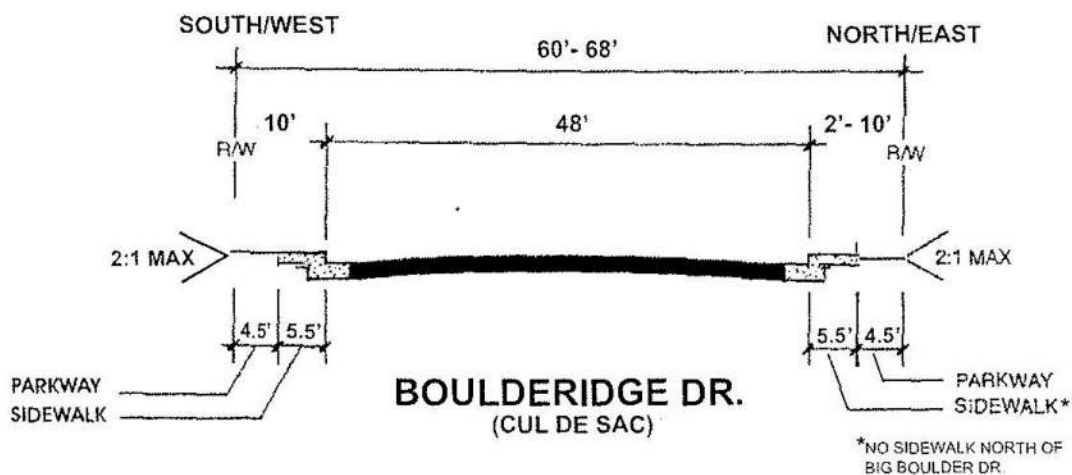
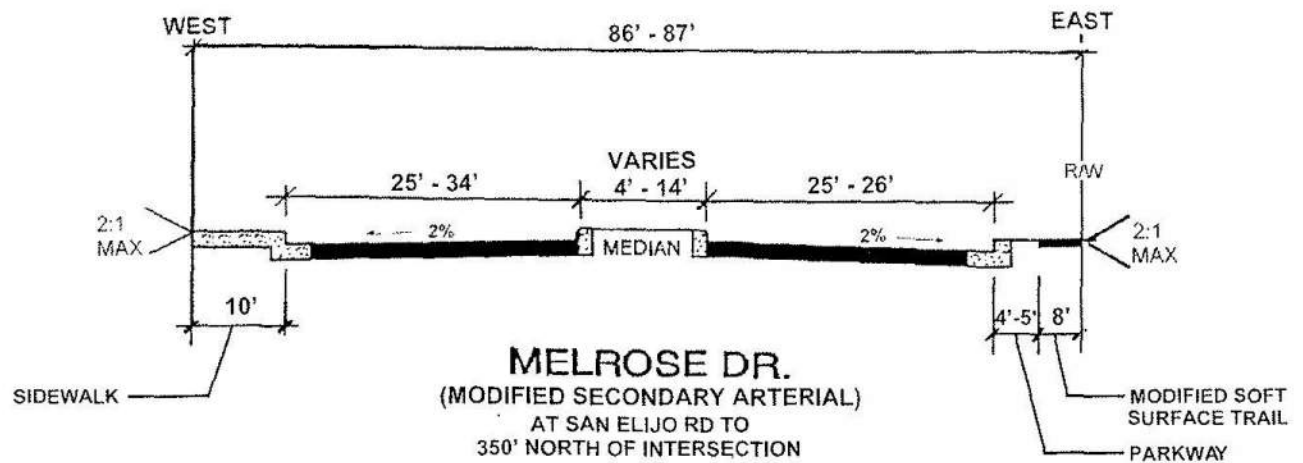
**UNIVERSITY
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Figure 12
TYPICAL STREET
CROSS SECTIONS

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Figure 13
**TYPICAL STREET
CROSS SECTIONS**

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Detailed Plan Description

Detailed Plan Description

◆ Non-Motorized Circulation

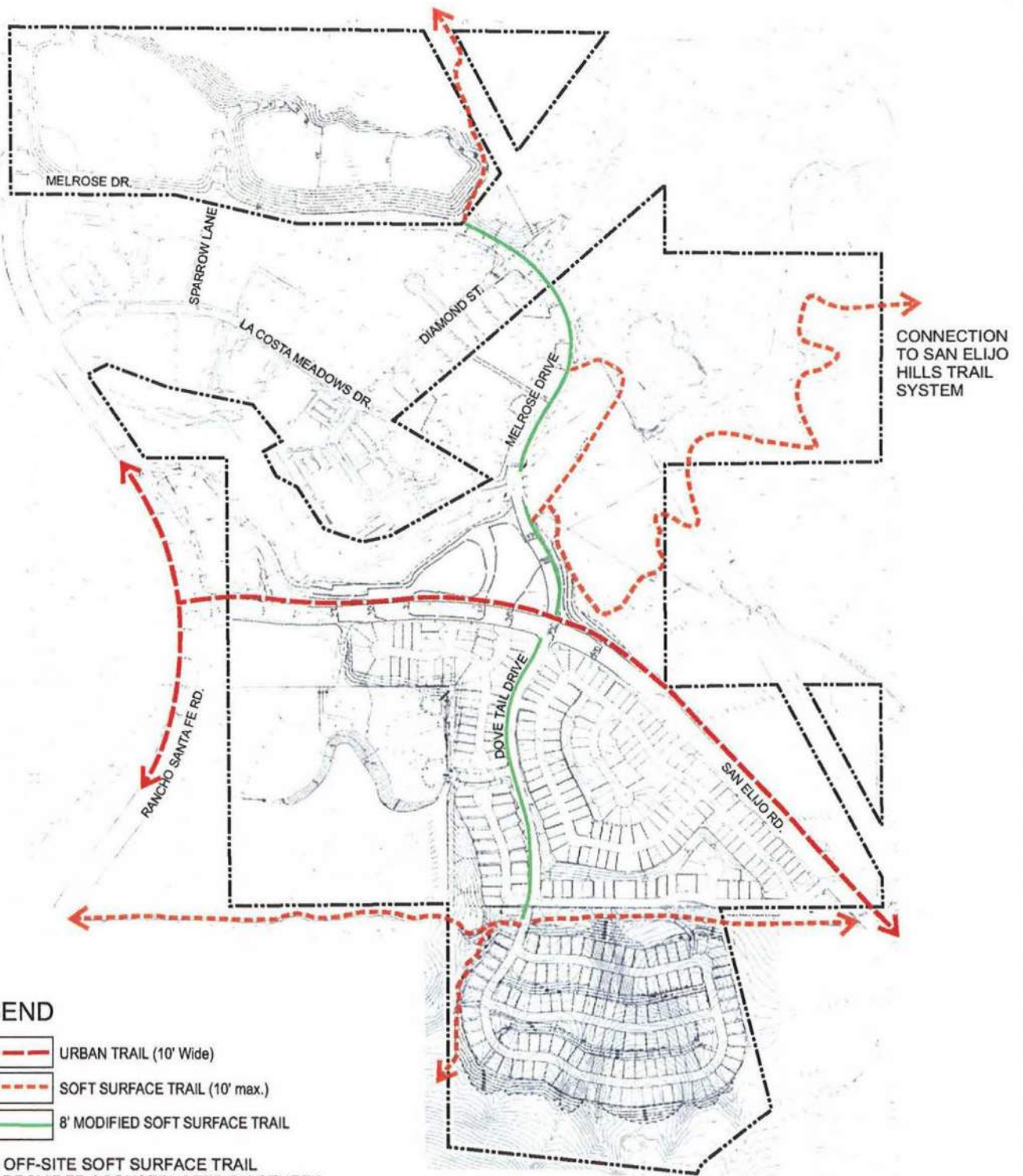
The University Commons project proposes a balanced circulation system that includes improvements for non-motorized forms of circulation. The plan includes a system of Class II bikeways within most major roadways and an extensive urban trail and soft surface trail system. Class II bikeways will consist of a six-foot wide bike lane on the east side of Rancho Santa Fe Road and eight-foot wide bike lanes on both sides of San Elijo Road.

The 10-foot-wide urban trail along the north side of San Elijo Road provides convenient access to the San Marcos Creek Recreation Area as shown on **Figure 14**, Trail System Plan. Urban trails will include a ten-foot wide paved walkway.

The extensive soft surface trail system will wind through the project, providing access to the San Marcos Creek Recreation Area, the San Elijo Hills trail system, and the natural open space, as shown on **Figure 14**, Trail System Plan. Segments of the soft surface trail system will be located along the eastern portion of the proposed community, and along the SDG&E corridor that traverses the southern portion of the project site from east to west. Some segments of the soft surface trails in the eastern portion of the site will be located within existing dirt roadways on the site and will provide connection to the off-site regional trail system. These segments will be constructed to City Standards of 10 feet wide decomposed granite with lodge pole trail fences. Modified Soft Surface Trails eight feet wide will be provided along portions of Melrose Drive and along Dove Tail Drive. Typical section views of the proposed trails are provided within Chapter III, Design Guidelines, of this amended Specific Plan.

The overall trail system is consistent with the City Master Trails Plan and will serve to link together the developments within the San Elijo Valley. The trail system will be designed to permit future connections with adjacent off-site trails, including two trail connections with neighboring San Elijo Hills, a connection with Carlsbad west of Rancho Santa Fe Road adjacent to San Marcos Creek, and a connection with Encinitas to the south from the SDG&E easement toward the water tank.

Off-site segments of the trail system, located within easements or on adjacent property, would require the cooperation of adjacent property owners and the City of San Marcos to implement the fully-connected trail system.



LEGEND

- URBAN TRAIL (10' Wide)
- SOFT SURFACE TRAIL (10' max.)
- 8' MODIFIED SOFT SURFACE TRAIL

NOTE: OFF-SITE SOFT SURFACE TRAIL
TO BE PROVIDED / CONSTRUCTED BY OTHERS

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Figure 14 TRAIL SYSTEM PLAN

Amendment #4

Detailed Plan Description

Detailed Plan Description

D. Grading

The development of the University Commons Specific Plan project requires site specific grading regulations because of site geology and topography. These regulations supersede the following sections of the San Marcos Grading Ordinance, San Marcos Municipal Code Section 17.32:

17.32.080(i)-Stockpiling; 17.31.090-Slope Height; 17.32.100(b)-Fills-Fill Location. All other sections of the Grading Ordinance remain in effect.

The conceptualized version of the project grading for the preferred plan is illustrated on **Figure 15**, Conceptual Grading Plan. Final grading shall be governed by the tentative maps(s).

◆ Grading Standards and Recommendations

1. The following site-specific grading regulations shall be incorporated for site grading and shall be the regulations which govern the development of the project site. The limited quantity of soils materials for use in capping will require stockpiling during grading operations. Prior to rough grading operations, topsoil in graded areas shall be stripped, removed and stockpiled for re-application to manufactured slope areas.
2. Heights of cut and fill slopes, the requirements for benching and terrace drains (if any) shall be per the recommendations of the Geotechnical Engineer. However, unless revised by the Geotechnical Engineer, the following standards and specifications shall be used in grading design and implementation:
 - a. For cut or fill slopes above streets or non-building areas, terrace drains are not required.
3. In areas where fill slopes are proposed to be constructed on natural slopes steeper than three to one, the Geotechnical Engineer shall provide a certified report based on a field investigation indicating that such slopes are safe and feasible.
4. All permanent manufactured slope banks shall be constructed at a gradient of 2 to 1 (horizontal to vertical) or less for fill slopes and 1 to 1 or less for cut slopes unless otherwise directed by the City Engineer or the Geotechnical Engineer. The City Engineer shall require support documentation from a licensed geotechnical engineer for graded slopes in excess of this requirement.
5. Grading operations which impact significant natural resources shall be adequately mitigated. Grading operations shall not result in substantial damage to, or alteration of, significant natural resource areas, wildlife habitats, or native vegetation areas which are designed for preservation.
6. Where visible manufactured slopes are unavoidable, they shall be contoured to simulate the natural terrain, except where such contouring will conflict with the geotechnical engineer's recommendations or where the granitic nature of the terrain makes it physically or economically infeasible. Where feasible, permanent manufactured slopes should have varied gradients (i.e.: 1.5:1, 2:1, 3:1) to produce an

Detailed Plan Description

- undulating slope. Slopes with rigid angular characteristics shall be avoided where possible.
7. Special landscaping techniques using plant material of varying heights shall be used in conjunction with contour grading to create a modulated slope appearance.
 8. With the exception of natural habitat areas, existing landforms may be re-contoured, as necessary, to provide a smooth and gradual transition to graded slopes, while preserving the basic character of the site.
 9. Local internal streets as well as collector streets shall meander where possible to undulate slope banks, as shown in the proposed grading plan.
 10. Phasing of grading within each planning area shall provide for the safety and maintenance of other planning areas already developed or under construction.
 11. Where possible, phasing should preclude hauling of earth over residential streets in developed areas. All import and/or export activities of earth material to or from the University Commons site shall conform with Section 17.32.080 of the San Marcos Grading Code.
 12. Temporary runoff/erosion control devices shall be installed prior to any grading activities. Runoff/erosion control and maintenance shall be employed subject to Section 17.32.130 of the San Marcos Grading Code.
 13. All graded slope areas shall be managed with temporary landscape material and other techniques immediately after rough grading is completed to control erosion.
 14. The application for any grading permit must provide assurance to the City Engineer that manufactured slope banks will be properly landscaped and irrigated, and that the landscape will be maintained either by the developer, the property owner(s), a City Maintenance District, a Homeowners Association, or an acceptable trust.
 15. Grading, excavation and other related forms of earth movement shall be conducted only during the hours and days specified under Section 17.32.180 of the City of San Marcos Grading Code unless specifically exempted by the City Engineer.
 16. A re-vegetation plan shall be prepared for review and approval by the City Engineer and Director of Planning for manufactured slopes occurring adjacent to undisturbed native plant communities.
 17. A soils engineering report, engineering geology report, and a hydrology and hydraulics study shall be prepared and approved for the proposed grading, as required by Sections 17.32.040(f) and (g) of the City of San Marcos Grading Code.
 18. Grading Plans which require excess materials to be exported from the University Commons project site shall identify the export disposal site and provide proof of

Detailed Plan Description

acceptance of the export by the disposal site owner, as part of the Site Development Permit process.

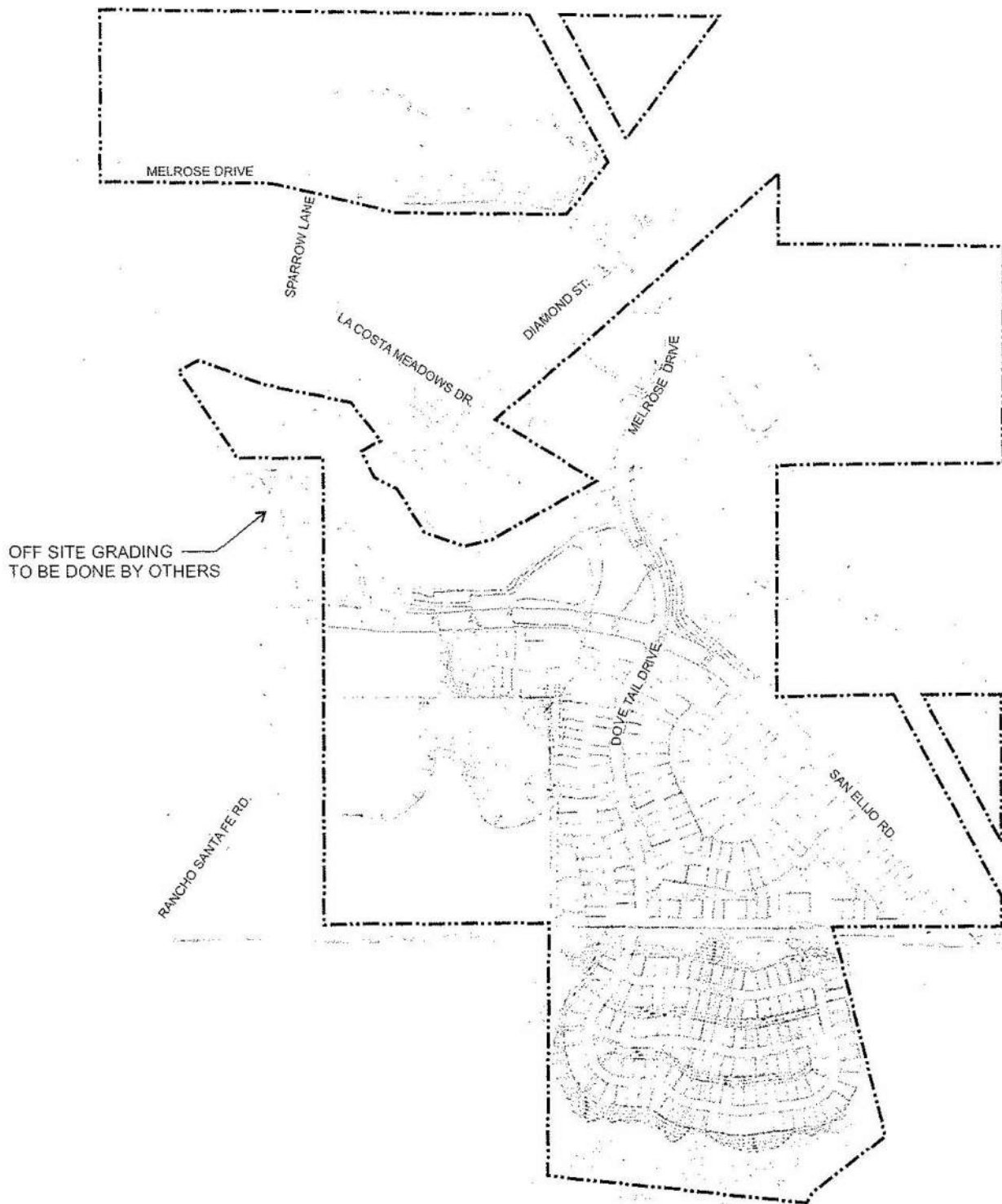
E. Drainage

The University Commons project site drains into San Marcos Creek, which bisects the property as it flows in a southwesterly direction from Lake San Marcos. The internal ridge lines of the project site form several drainage sub-basins which drain generally into San Marcos Creek. The drainage system for University Commons Specific Plan Amendment No. 3 is designed to transport storm runoff from each of these sub-basins through the site to points where it will be discharged into the natural water course. The storm runoff generally will be carried in an underground pipe system, as illustrated on **Figure 16**, Conceptual Drainage Plan.

◆ Drainage Standards and Requirements

The following drainage standards and requirements shall be incorporated into the project:

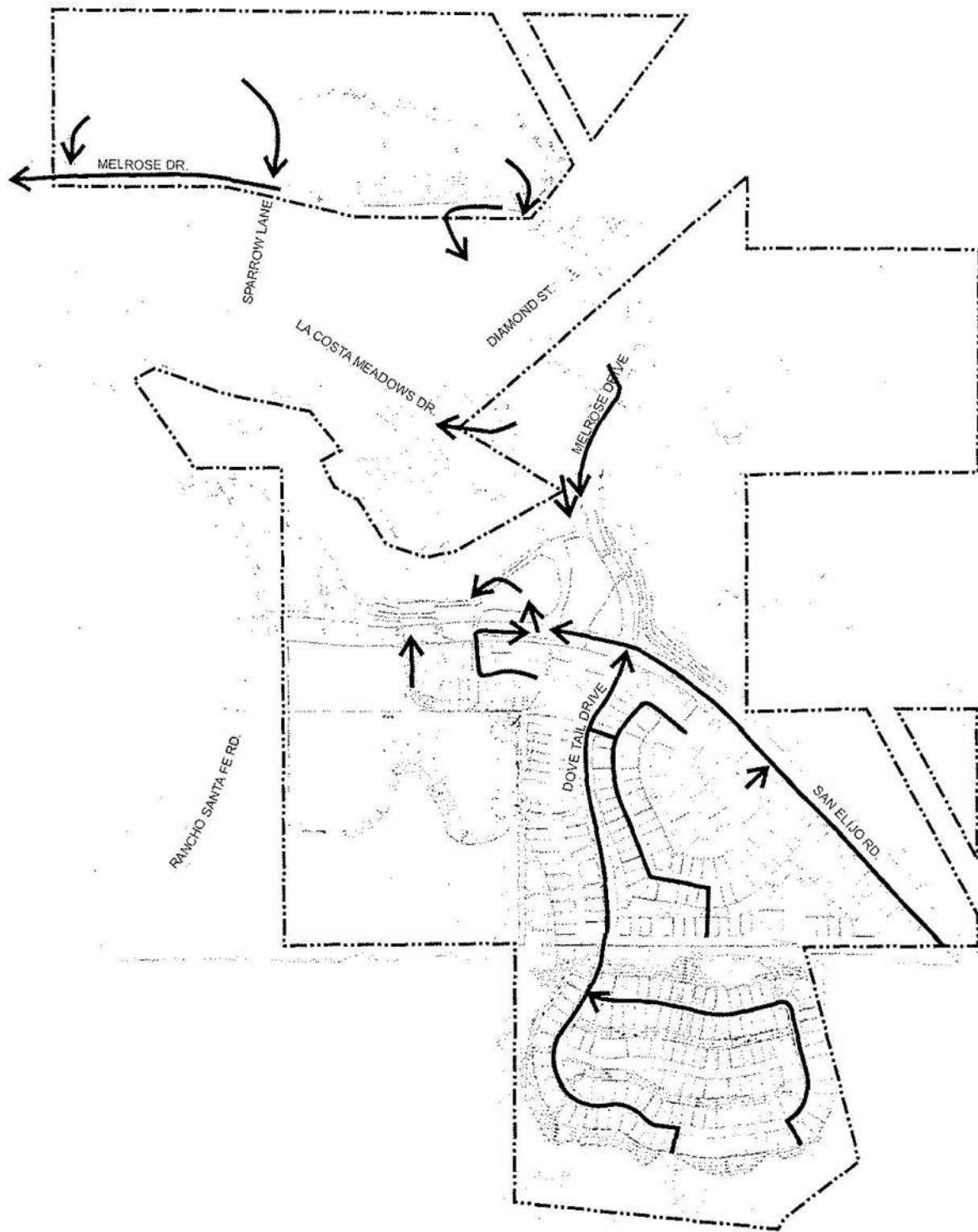
1. Energy dissipaters will be provided as needed at drainage discharge points to control erosion.
2. Grading and improvement plans prepared for each final map in University Commons will include drainage facilities engineered in accordance with the design standards of the City of San Marcos. Appropriate hydrology and hydraulic calculations will be provided for the City Engineer's review and approval.
3. The project shall employ Regional Water Quality Control Board Best Management Practices to control sedimentation and runoff at discharge points.



**UNIVERSITY
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Figure 15
**CONCEPTUAL
GRADING PLAN**
Amendment #4



**UNIVERSITY
COMMONS**



Figure 16
**CONCEPTUAL
 DRAINAGE PLAN**
 Amendment #4

Detailed Plan Description

F. Water Plan

The University Commons project is located within the water service boundaries of the Vallecitos Water District. The Vallecitos Water District's master plan for water facilities identifies the project as being in the "Las Posas" and "Meadowlark" pressure zone service or "hydraulic gradeline" areas. Due to high service pressures in the area, pressure reducing stations will be required for a number of connections. At this time the supply of water from the Vallecitos Water District is adequate to meet the demands of the City of San Marcos and unincorporated areas include: the fire flow and domestic water requirements of the project. The construction of additional storage for fire protection and domestic service will be required as a condition of the project.

Figure 17, Conceptual Water Plan, illustrates the proposed water system for the project.

◆ Water Standards and Requirements

The following water standards and requirements shall be incorporated into the project:

1. The applicant shall coordinate with the Vallecitos Water District with regard to the provision of water service for the project.
2. All on-site and any necessary off-site water line and/or water facility improvements shall be designed by a registered civil engineer in accordance with the applicable City and District standards.

G. Sewer Plan

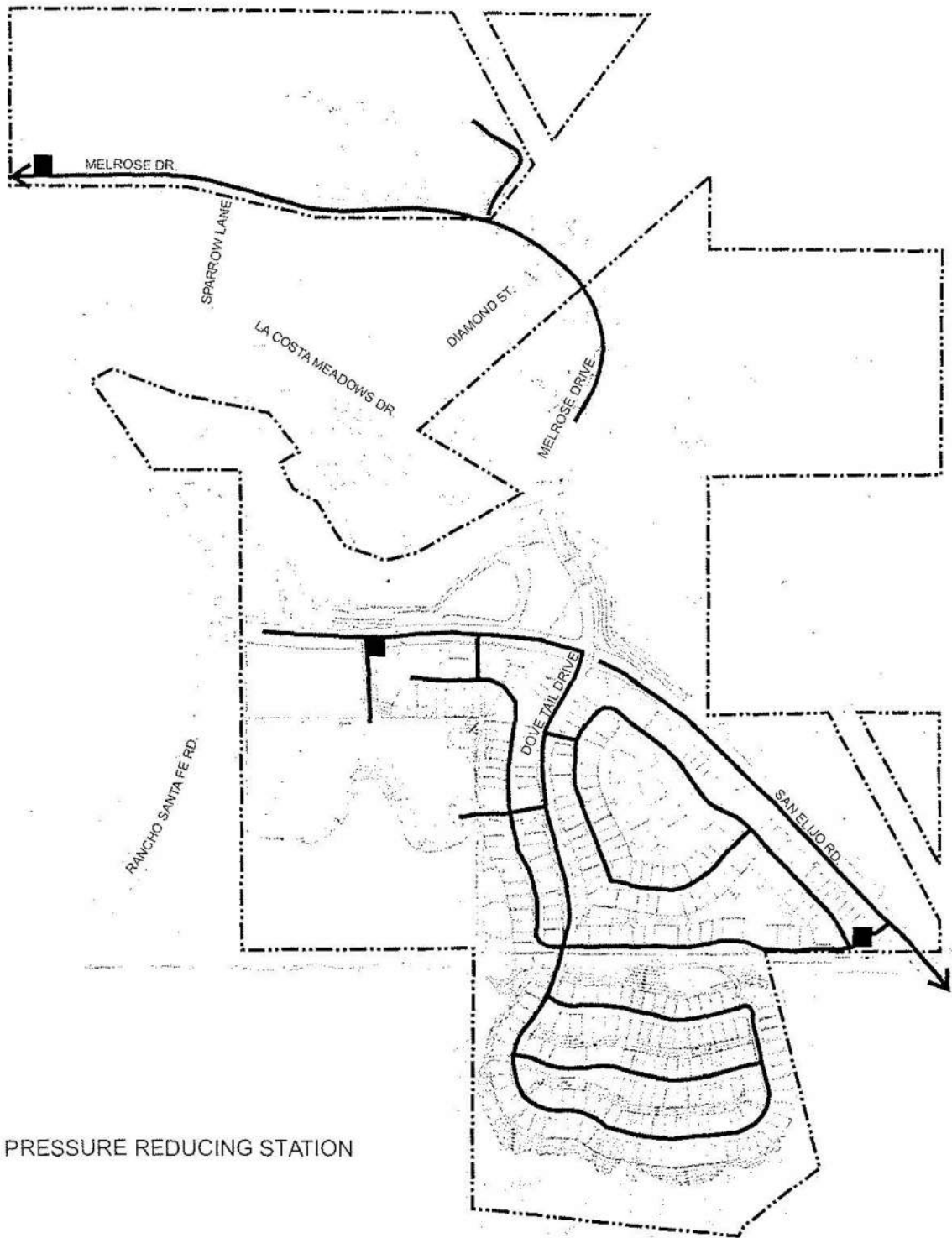
The University Commons project site lies within the sewer service boundaries of the Vallecitos Water District. The nearest point of connection is located at the intersection of Rancho Santa Fe Road and La Costa Meadows Drive. The existing sewer facilities within Rancho Santa Fe Road need to be un-sized to adequately provide service capacity to the University Commons project. The existing system in Rancho Santa Fe Road and that portion which enters the Meadowlark Reclamation Plant to the west will require expansion/replacement as a condition of the project. The actual size of the replacement facilities will be based on the District's Master Plan for Sewer Facilities.

Diagrams of the proposed sewer systems for the preferred plan is depicted on the **Figure 18**, Conceptual Sewer Plan.

◆ Sewer Standards and Requirements.

The following sewer standards and requirements shall be incorporated into the project:

1. The applicant shall coordinate with the Vallecitos Water District with regard to the provision of sewer service for the project.
2. All on-site and any necessary off-site sewer improvements shall be designed by a registered civil engineer in accordance with the applicable City and District standards.



■ PRESSURE REDUCING STATION

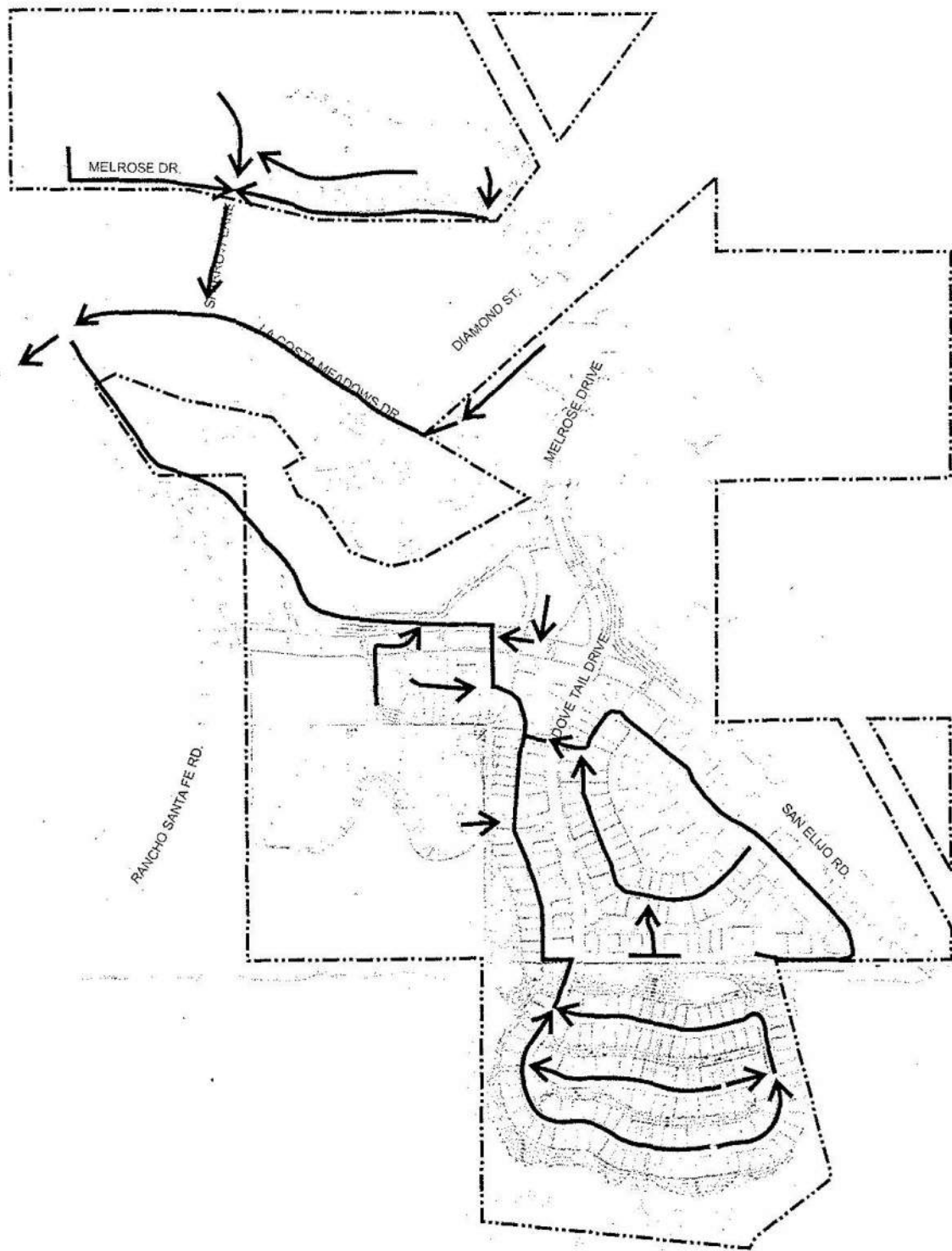
**UNIVERSITY
COMMONS**



Figure 17
**CONCEPTUAL
WATER PLAN**

Amendment #4

Detailed Plan Description



**UNIVERSITY
COMMONS**



Figure 18
**CONCEPTUAL
SEWER PLAN**
Amendment #4

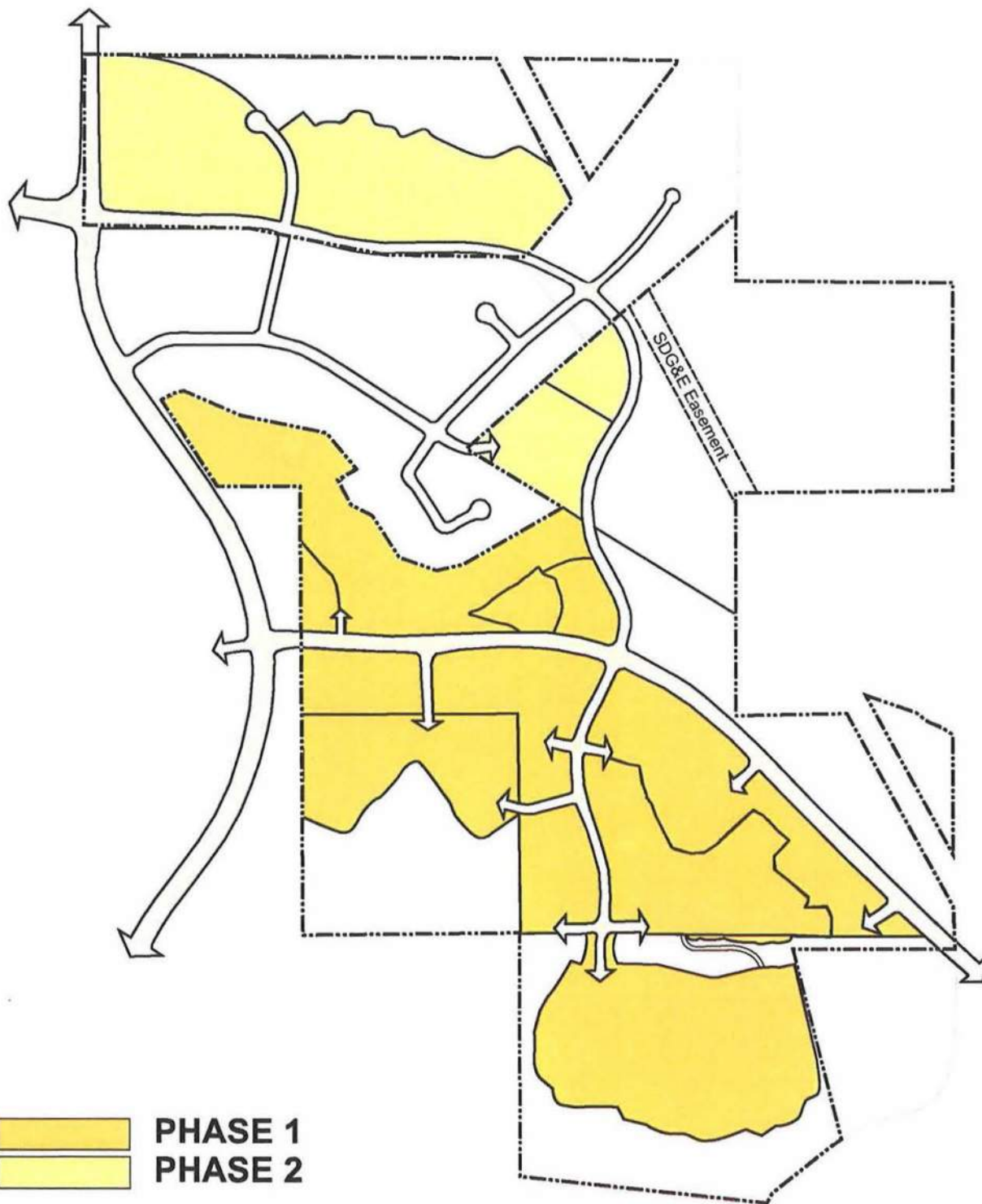
Detailed Plan Description

H. Phasing Plan

Development of the University Commons project will be coordinated with the provision of public facilities and services by means of the project's phasing plan. The phasing plans for the development of University Commons is illustrated on the **Figure 19**, Conceptual Phasing Plan. The phasing plan may change over time in response to market conditions. Such changes in the phasing plan may be implemented so long as the required public improvements are provided at the time of the project development. Such modifications to the phasing plan are considered administrative in nature and may be approved by the Planning Director, without the need to amend this Specific Plan. The University Commons Specific Plan is expected to be constructed over a period of 5 years, beginning in 2002.

I. Construction/Maintenance Plan

The construction and maintenance of public and community-wide facilities will be the responsibility of a number of parties, including but not limited to the developer, the Master Homeowners Association, the City Landscape and Lighting Maintenance District, resource protection agencies (public or private), and others. These facilities include, but are not limited to, the resource recreation area, trails, open space areas, and landscape zones. Construction and maintenance responsibilities for University Commons are set forth in the Public Facilities Financing Plan, which is attached hereto and incorporated herein as Appendix A.



 PHASE 1
 PHASE 2

**UNIVERSITY
COMMONS**



Figure 19
**CONCEPTUAL
PHASING PLAN**
Amendment #4

Detailed Plan Description

J. Financing Mechanisms

A combination of financing mechanisms may be employed during development of the University Commons project. The precise nature of these mechanisms will be described in detail in the Amended Development Agreement that will be adopted concurrently with Specific Plan Amendment No. 3.

It is anticipated that long-term operation and maintenance of public facilities will be accomplished through the formation of one or more special assessment districts, redevelopment area financing, Mello-Roos Community Facilities Districts and/or Landscape and Lighting Districts. The district(s) would be administered by the City of San Marcos and funded by annual fees or taxes paid by property owners within the district(s). Facilities to be maintained by the district(s) may include, but are not limited to, public streets and other public facilities; pedestrian trails; major open space areas; fuel management zones; community landscape areas, and/or street lights.

It is anticipated that the development of certain public facilities, such as major public streets, public trails, etc., may be financed and established by a 1911-1913-1915 Assessment District, a Mello Roos Community Facilities District, redevelopment area financing or other financing mechanism(s) found acceptable by the City of San Marcos. It is further anticipated that redevelopment funds would be employed as an additional financing mechanism for regional-serving and other public facilities associated with the development of the project.

It is anticipated that facilities described in the Public Facilities Financing Plan may be financed by mechanisms such as a 1911-1913-1915 Assessment District, CFD, Redevelopment District, or other financing mechanisms acceptable to the City of San Marcos.

K. Development Agreement

In accordance with Government Code Sections 675864 through 65869.5, a Development Agreement between the property owners of University Commons and the City of San Marcos was adopted on February 28, 1991. The primary purpose of the Development Agreement is to establish certainty in the development process for the City and the property owners. An Amended and Re-Stated Development Agreement will be adopted concurrently with the adoption of this Specific Plan Amendment.

Chapter III

Design

Guidelines

Design Guidelines

III. Design Guidelines

A. Project Theme

The existing natural environment of University Commons project site is characterized by varied topography, rock outcrops, and riparian vegetation along San Marcos Creek. The community design concept described in this section focuses on enhancing the existing natural character of the site through the establishment of a naturally integrated landscape theme. The naturally integrated design theme harmonizes the developed landscape with the features of the surrounding natural terrain. Elements of the landscape theme include generous landscape common areas and strong, rich landscape materials including river rock stone, boulder outcrops, clusters and groves of trees, wood materials, earthtone colors, and a diversity of materials. Incorporated within the theme is a recreational identity which is identifiable and serves the needs of the community.

The theme is first and most significantly established at the intersection of San Elijo Road and Melrose Drive, which is the community core. The project branches out thematically from this point, using medians in major streets, street trees and a carefully crafted landscape palette to tie the neighborhood architecture, the natural surroundings of San Marcos Creek, the rolling hills and the dramatic rock outcrops into one thematically-unified community.

The intent of the University Commons Design Guidelines is to create the foundation for the development of a community that integrates the natural environment with the desirable aspects of contemporary architecture and street-theme design, such as recessed garages, front porches, and boulevards or parkways. Because the University Commons project is intended to offer a wide variety of architectural styles, a strong landscape design plan has been established to weave each of the potentially diverse neighborhoods within University Commons into a unified community. By providing continuity throughout the community, the landscape plan helps create a strong "sense of identity."

B. General Design Guidelines Objectives

The University Commons Design Guidelines provide general criteria for landscape, architecture, signage, and lighting design in order to ensure a high-quality living environment and strong community character. The overall goal of the design guidelines is to create a community that is cohesive and aesthetically pleasing. The design guidelines set forth in this section define the

means to achieve this goal. These guidelines are intended to provide criteria by which to evaluate future development proposals in the community, while allowing flexibility for architects, landscape architects, developers, and others involved in the design of neighborhood elements. Landscape and building design should conform to the community design concepts outlined in this section, while being responsive to specific site conditions of each individual development area of the village. More specifically, the objectives of the design guidelines are to:

1. Provide guidance to developers, builders, engineers, architects, landscape architects and other professionals who will be responsible for the implementation of this plan.

Amendment No. 3

Adopted by the City Council, August 12, 2003

Modified by Propositions F & G, March 2, 2004

Amendment No. 4

Adopted by the City Council, Month Day 2019

Design Guidelines

2. Provide a conceptual framework to guide the preparation of Covenants, Conditions and Restrictions.
3. Provide guidance in formulating precise development plans.
4. Provide the City of San Marcos with the necessary assurances that the University Commons project will be developed in accordance with the quality and character proposed in this document.

C. Landscape Design Guidelines

As noted above, the University Commons Landscape Design Guidelines establish a landscape theme for the village and set forth general criteria for the landscaping of University Commons. The naturally integrated landscape theme weaves together elements of the developed landscape with the character of the existing natural environment. These guidelines, consisting of a written summary and graphic exhibits, establish landscape criteria for streetscapes, medians, parkways, boulevards, trail design, and plant palette to create a unifying fabric for the community. The landscaping theme for San Elijo Road through the project will be compatible with the existing and planned treatments of San Elijo Hills.

◆ Landscape Master Plan

The University Commons Master Landscape Plan, **Figure 20**, is driven by the desire to integrate the proposed village into the existing natural character of the project site and to create a sense of place. This desire is intended to be achieved by carefully blending ornamental landscape elements into the property's natural environment. Landscape and streetscape elements will be used to create visual continuity throughout University Commons. Community elements such as entries, streetscapes, walls and fences, and land use transition areas establish the design theme for the community by reinforcing the design hierarchy and by providing a reassurance of the community areas and boundaries. These features are created through a thematic blend of hardscape and planting elements.

The master landscape plans of the University Commons Specific Plan Amendment No. 3 call for a compatible plant palette of trees, shrubs and ground covers. Once a particular plant or plant combination is used for a particular application, it is being repeated in similar areas of the village to reinforce a sense of neighborhood cohesion. Landscape design should not, however, result in monotony, nor in a lack of variety or biological diversity.

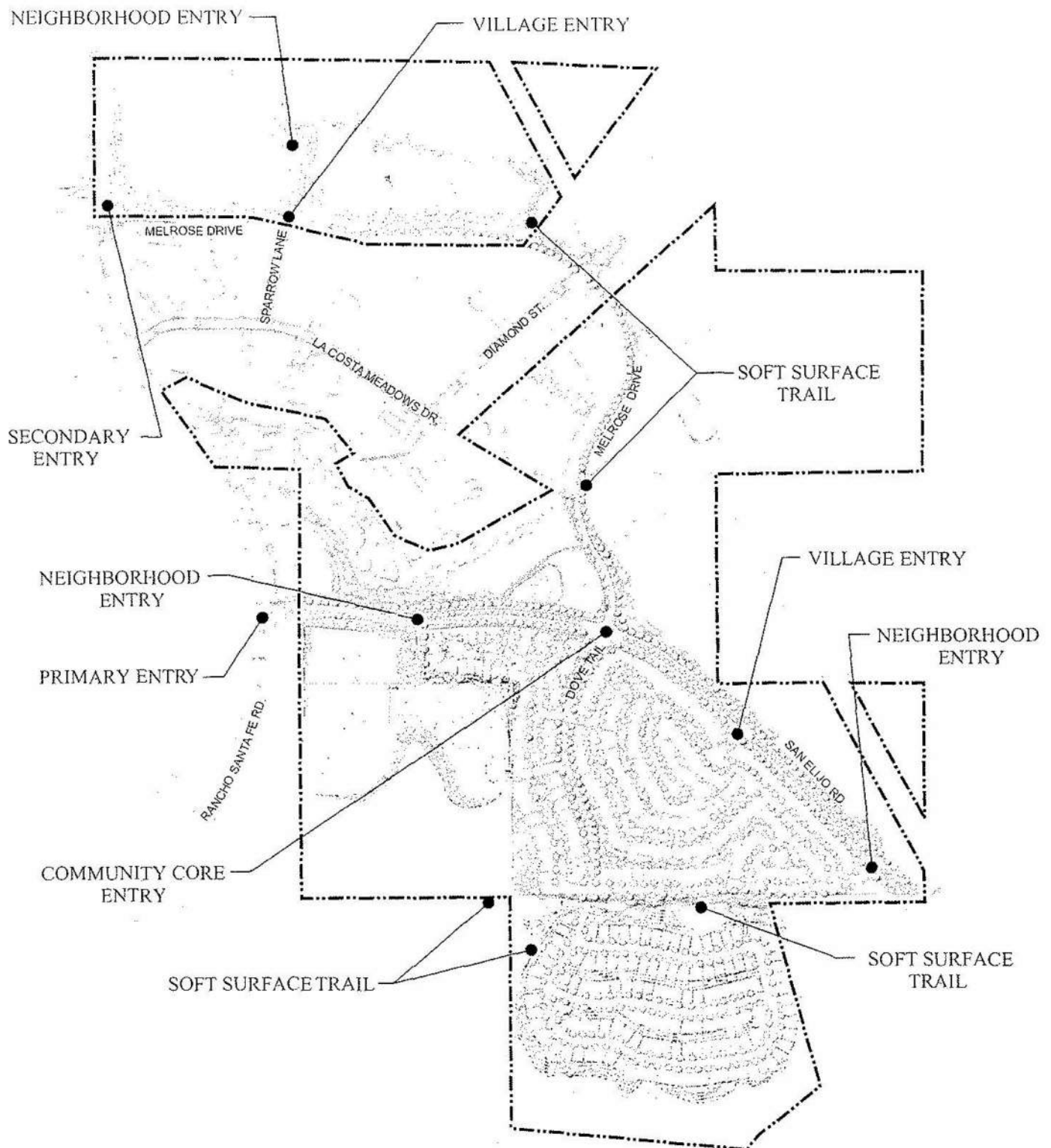
◆ Community Monumentation

Careful consideration has been given to the design of community entries. The intent of community monumentation design is to create visual gateways into the village and to provide aesthetically pleasing entry statements that highlight the distinctiveness of University Commons. Described below is the landscape design envisioned for each type of village entry. Each entry statement consists of a combination of signage, lighting and landscaping. A more detailed description of signage and lighting standards is located in Sections E and F of this Chapter. The University Commons development has cooperated with the neighboring San

Design Guidelines

Elijo Hills development to create a distinctive identity for the San Elijo Valley. The developers and the cities of San Marcos and Carlsbad are encouraged to work together to create appropriate monumentation for the three major San Elijo Valley projects University Commons, San Elijo Ranch, and Villages of La Costa.

1. **Primary Entry Monumentation:** The primary entry occurs at the intersection of San Elijo Road and Rancho Santa Fe Road. The primary entry will include plant and thematic materials used at the community core entry, but at a lesser scale and intensity. For example, rather than attempting the landscape density achieved at the Community Core with the use of both Background and Accent trees, the primary entry monumentation uses large scale oak and sycamore trees (36" or 48" boxed) as accents to the stone and split faced block walls, and to act as the entrance backdrop. The perimeter walls and fences will terminate at stone pilasters similar to those employed at the community core. The foreground will be planted with small flowering trees, colorful shrubs and ground cover. The Primary Entry Landscape details (Elevation), **Figure 21** and Primary Entry Landscape Details (Plan View), **Figure 22**, provide a conceptual illustration of the Primary entry. Construction of the primary entry will require the cooperation of the adjacent property owner for the off-site portion on the south side of San Elijo Road.



**UNIVERSITY
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Figure 20
**MASTER
LANDSCAPE PLAN**

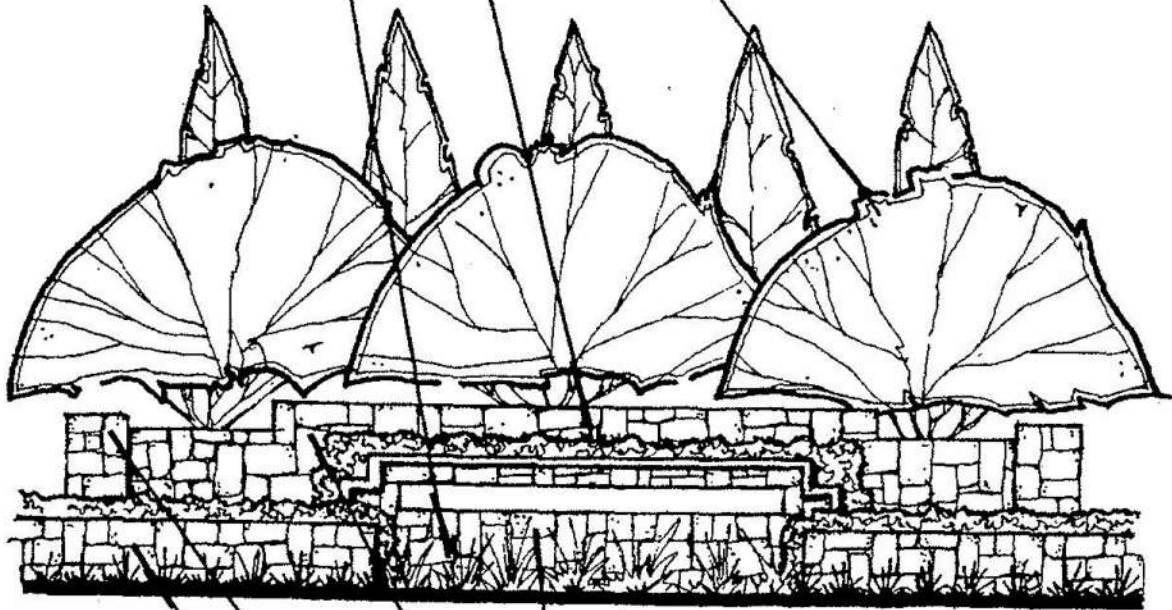
Amendment #4

Design Guidelines

ENTRY TREE
(36" OR 48" BOX SIZE)

BACKGROUND SHRUBS
(15 GAL. @ 3' O.C.)

ACCENT SHRUBS
(5 GAL. @ 2'-6" O.C.)



STONE SIGNAGE WALL

STONE MONUMENT WALL

STONE PILASTERS

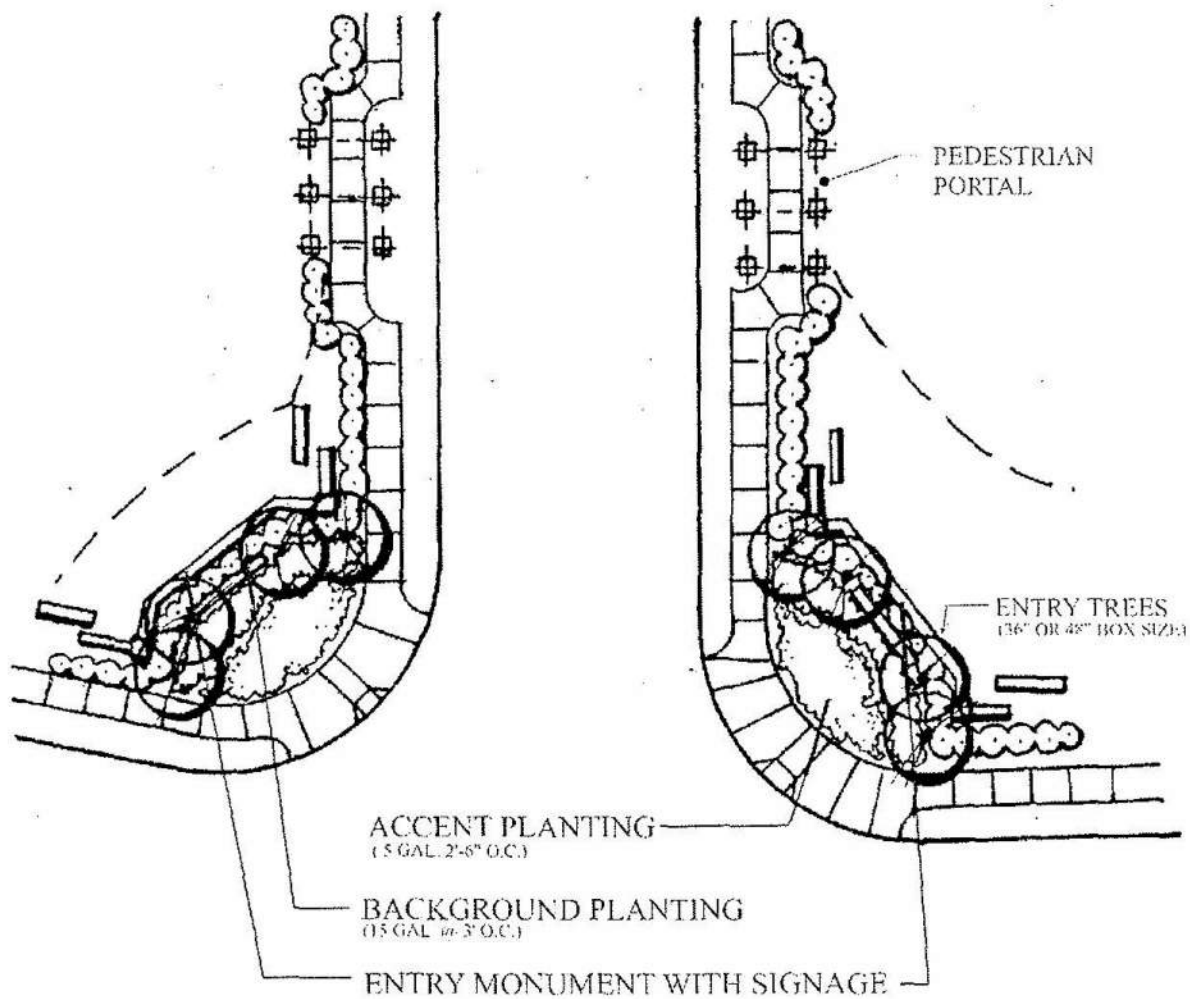
STONE PLANTER WALLS

**UNIVERSITY
COMMONS**

Figure 21
PRIMARY ENTRY
LANDSCAPE DETAILS
(ELEVATION)

Amendment #4

Design Guidelines



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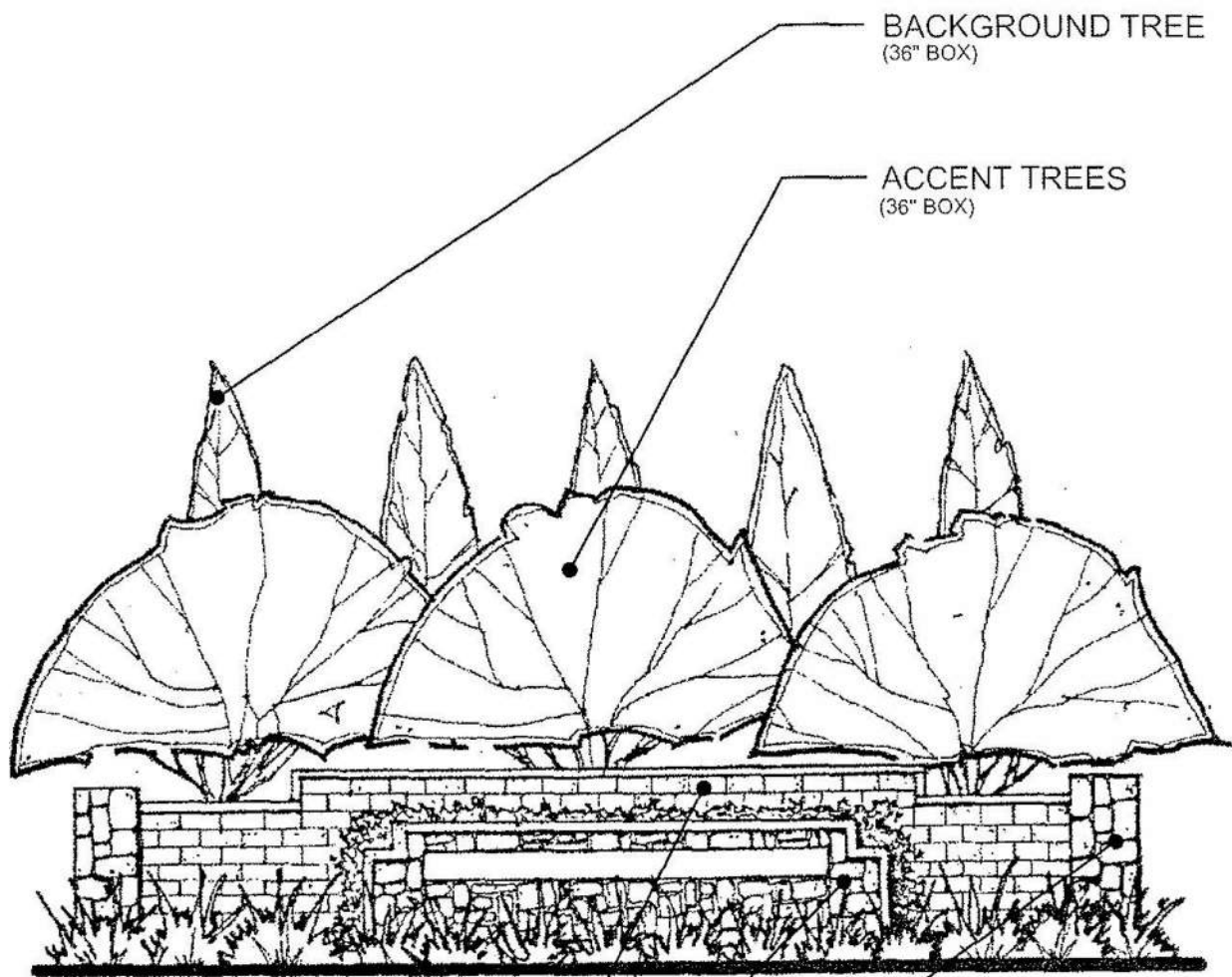


Figure 22
PRIMARY ENTRY
LANDSCAPE DETAILS
(PLAN VIEW)

Amendment #4

Design Guidelines

2. **Secondary Entry Monumentation**: The secondary entry occurs at the intersection of Rancho Santa Fe Road with Melrose Drive. The secondary village entry will repeat the plant palette and thematic materials of those used at the community core entry, but at a lesser scale and intensity, in a manner similar to the Primary Entry. The walls will terminate at stone pilasters similar to those employed at the community core. The foreground will be planted with small flowering trees, colorful shrubs and ground cover. The Secondary Entry Landscape Details, **Figure 23** (elevation) and Secondary Entry Landscape Details, **Figure 24** (plan view), provides conceptual illustrations of the secondary entry. Construction of the secondary entry will require the cooperation of the adjacent property owner for the off-site portion on the south side of Melrose Drive.
3. **Village Entry Monumentation**: Residential village entries occur in select locations where neighborhood streets intersect with major or collector streets. As shown on the Village Entry Landscape Details, **Figure 25** (elevation) and Village Entry Landscape Details, **Figure 26** (plan view), village entries should convey the overall identity by selective repetition of community core, primary and secondary entry monumentation features described above.
4. **Neighborhood Entry Monumentation**: Residential neighborhood entries occur in areas that will define a more intimate grouping of streets and homes. As shown on the Neighborhood Entry Landscape Details, **Figure 27** (elevation) and Neighborhood Entry Landscape Details, **Figure 28** (plan view), neighborhood entries should convey the overall community identity by selective repetition of village entry monumentation features described above.
5. **Community Core Entry Statement**: The intersection of San Elijo Road and Street "A" will introduce the major components of the landscape concept for University Commons. The community core entry statement is conceptually illustrated on Community Core Landscape Details, **Figure 29** (elevation) and Community Core Landscape, **Figure 30** (plan view). Oak and sycamore trees in 36" boxes will be planted at this entry and will be visually prominent as the entry backdrop. Flowering accent trees in 36" boxes will be used in the foreground, and shrub plantings, which are visible on the major slopes, will be used as the understory, as well as foreground. These shrub plantings will flow to the base of the community core monuments and will be anchored by stone pilasters representing the waters of San Marcos Creek. The resultant effect is to weave all the landscape elements into a visually perceivable whole.



SPLIT FACE OR TEXTURAL
MASONRY MONUMENT WALL

MASONRY SIGNAGE WALL

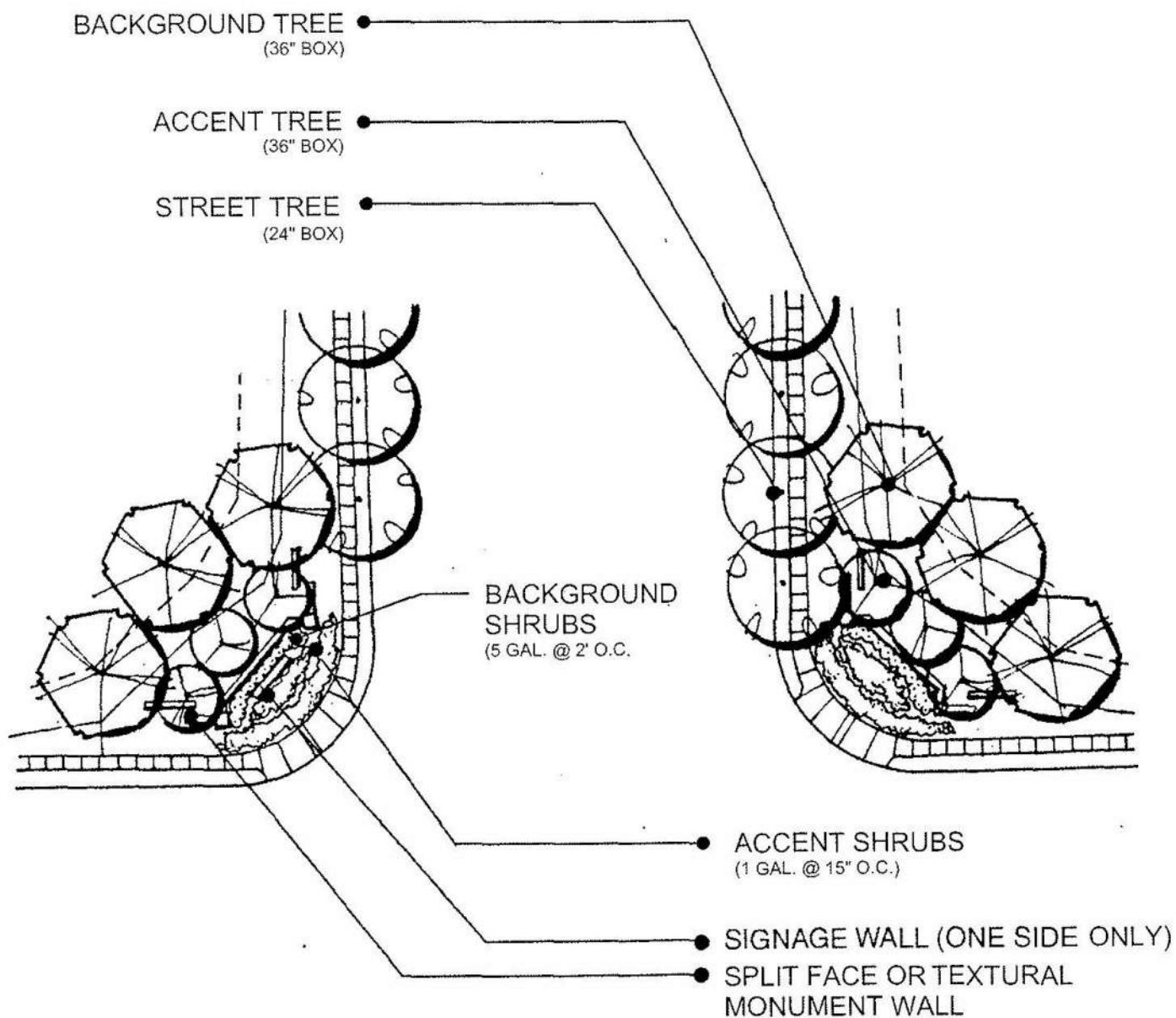
SPLIT FACE OR TEXTURAL
MASONRY PILASTERS

**UNIVERSITY
COMMONS**



Figure 23
SECONDARY ENTRY
LANDSCAPE DETAILS
(ELEVATION)

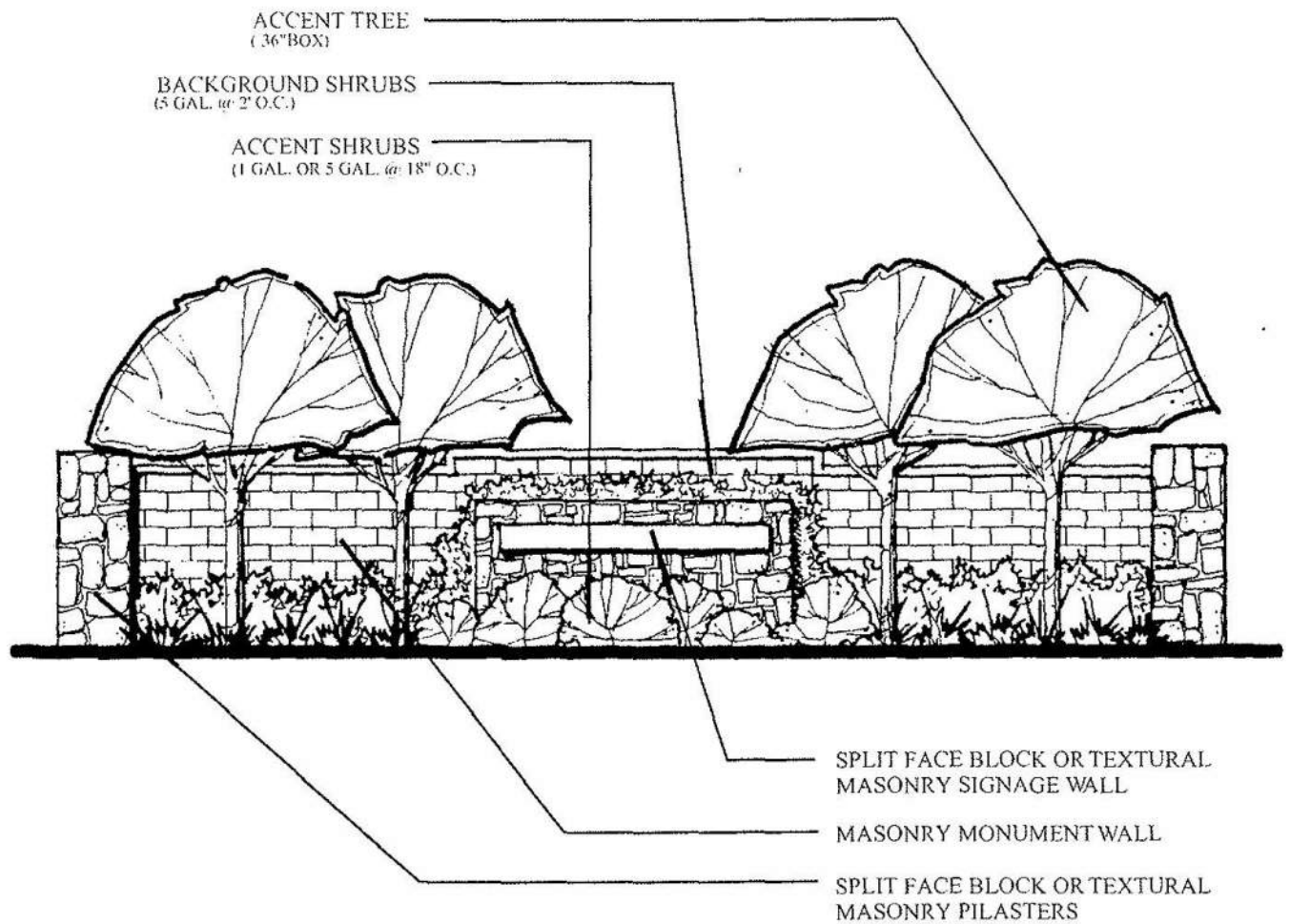
Amendment #4



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Figure 24
SECONDARY ENTRY
LANDSCAPE DETAILS
(PLAN VIEW)

Amendment #4

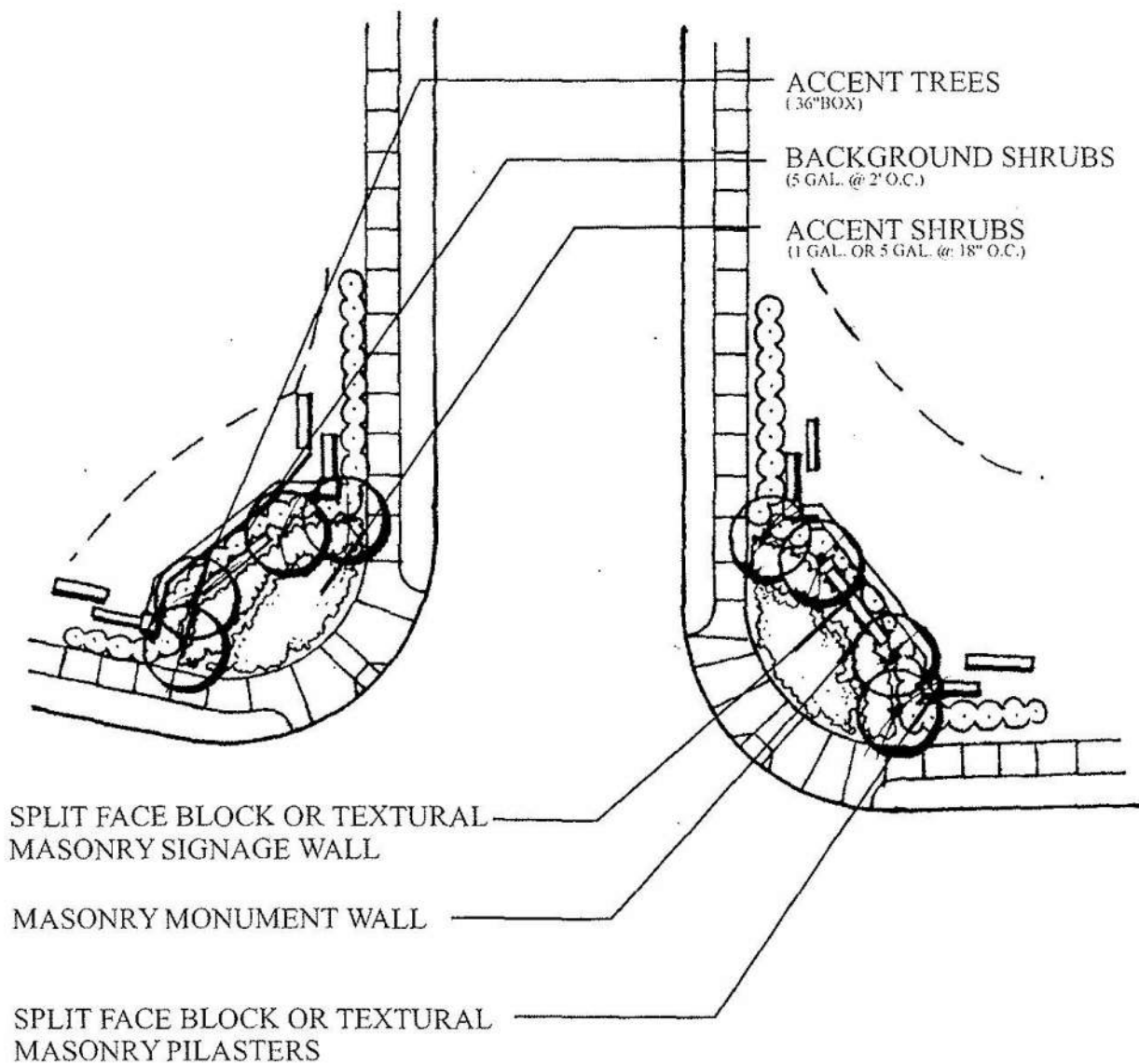


**UNIVERSITY
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Figure 25
VILLAGE ENTRY
LANDSCAPE DETAILS
(ELEVATION)

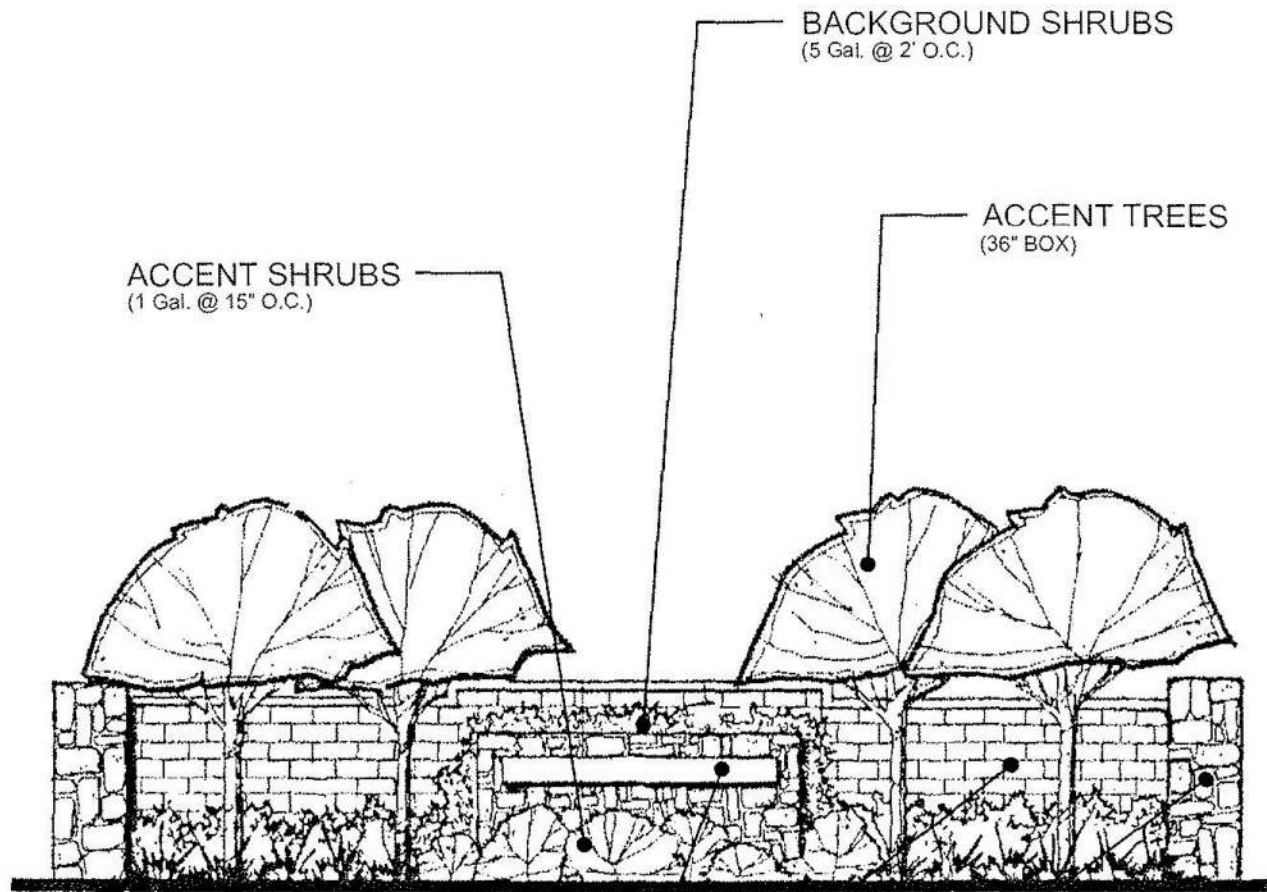
Amendment #4



**UNIVERSITY
COMMONS**

Figure 26
VILLAGE ENTRY
LANDSCAPE DETAILS
(PLAN VIEW)

Amendment #4

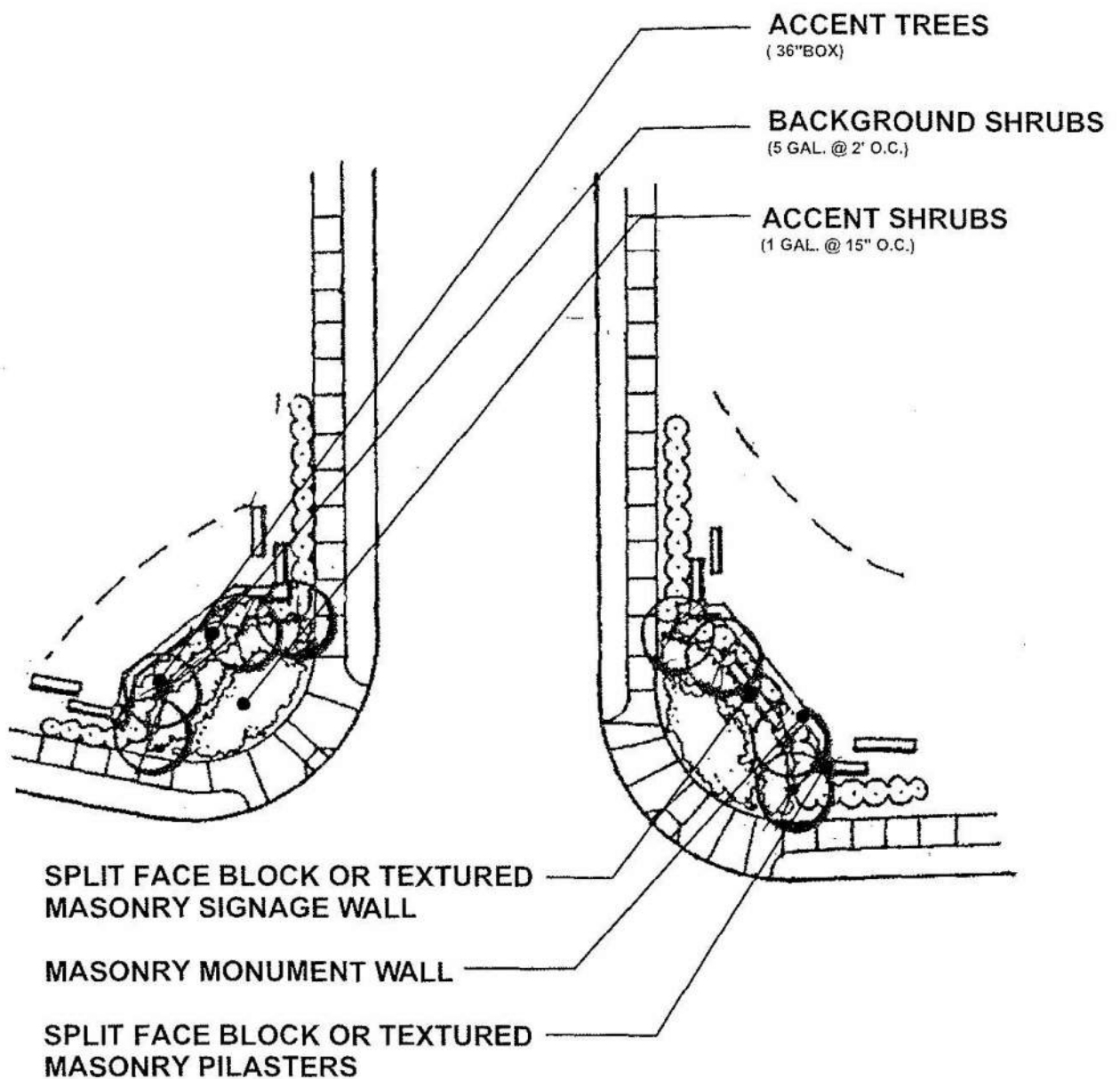


**UNIVERSITY
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Figure 27
NEIGHBORHOOD ENTRY
LANDSCAPE DETAILS
(ELEVATION)

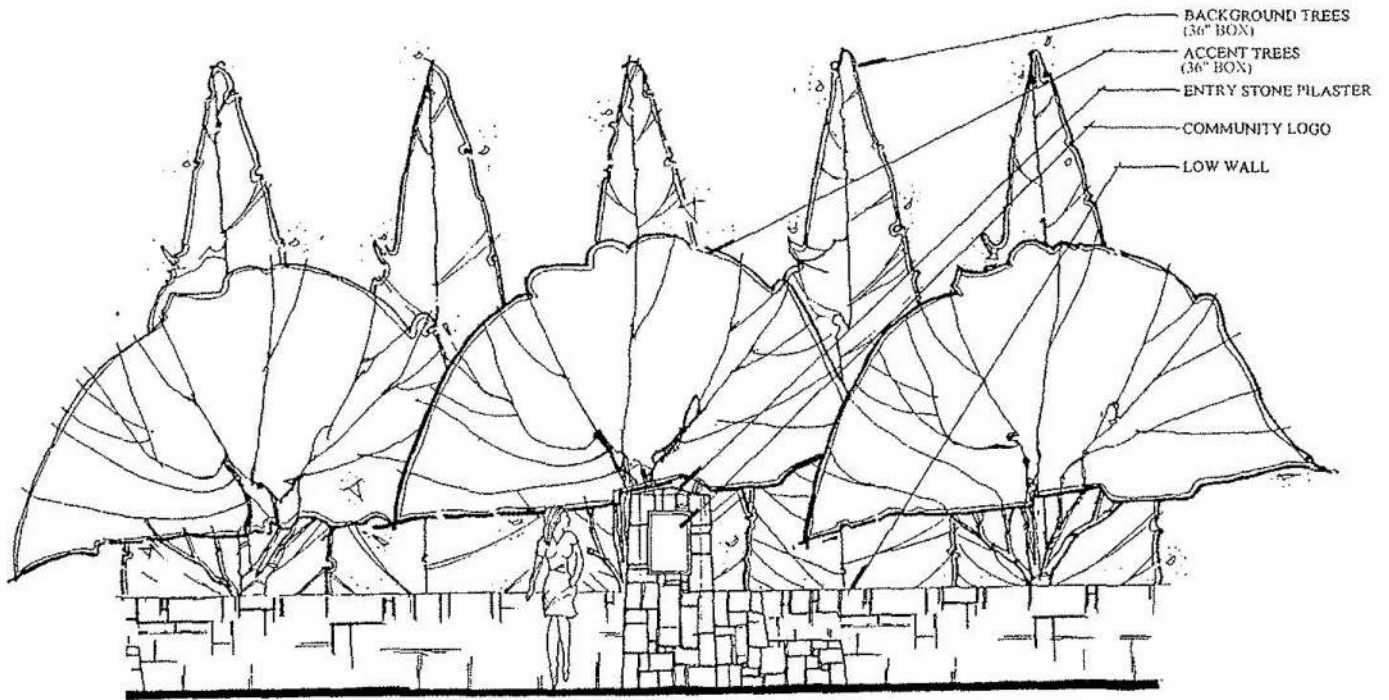
Amendment #4



**UNIVERSITY
COMMONS**

Figure 28
NEIGHBORHOOD ENTRY
LANDSCAPE DETAILS
(PLAN VIEW)

Amendment #4

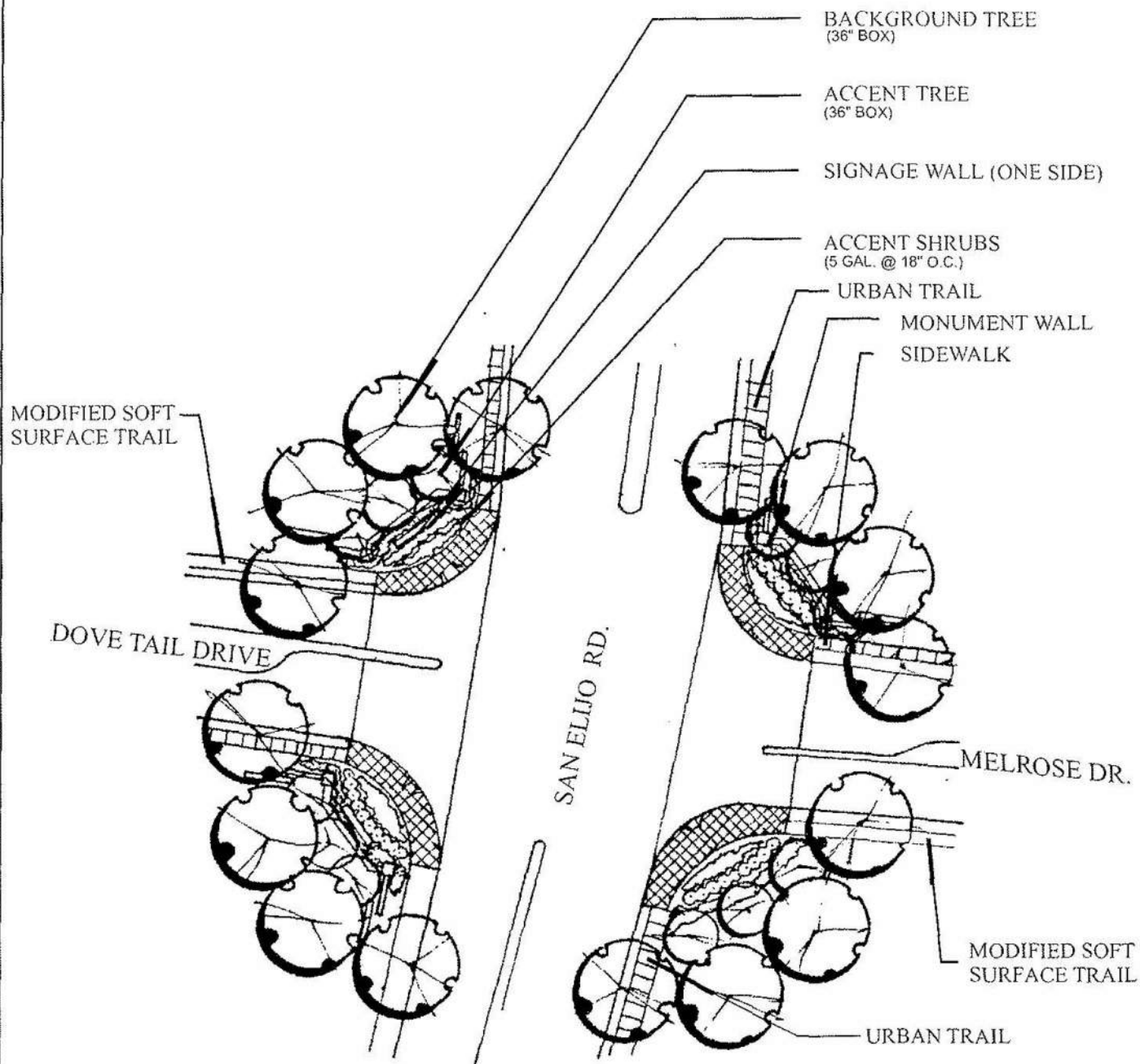


**UNIVERSITY
COMMONS**



Figure 29
COMMUNITY CORE
LANDSCAPE DETAILS
(ELEVATION)

Amendment #4



**UNIVERSITY
COMMONS**

Figure 30
COMMUNITY CORE
LANDSCAPE DETAILS
(PLAN VIEW)

Amendment #4

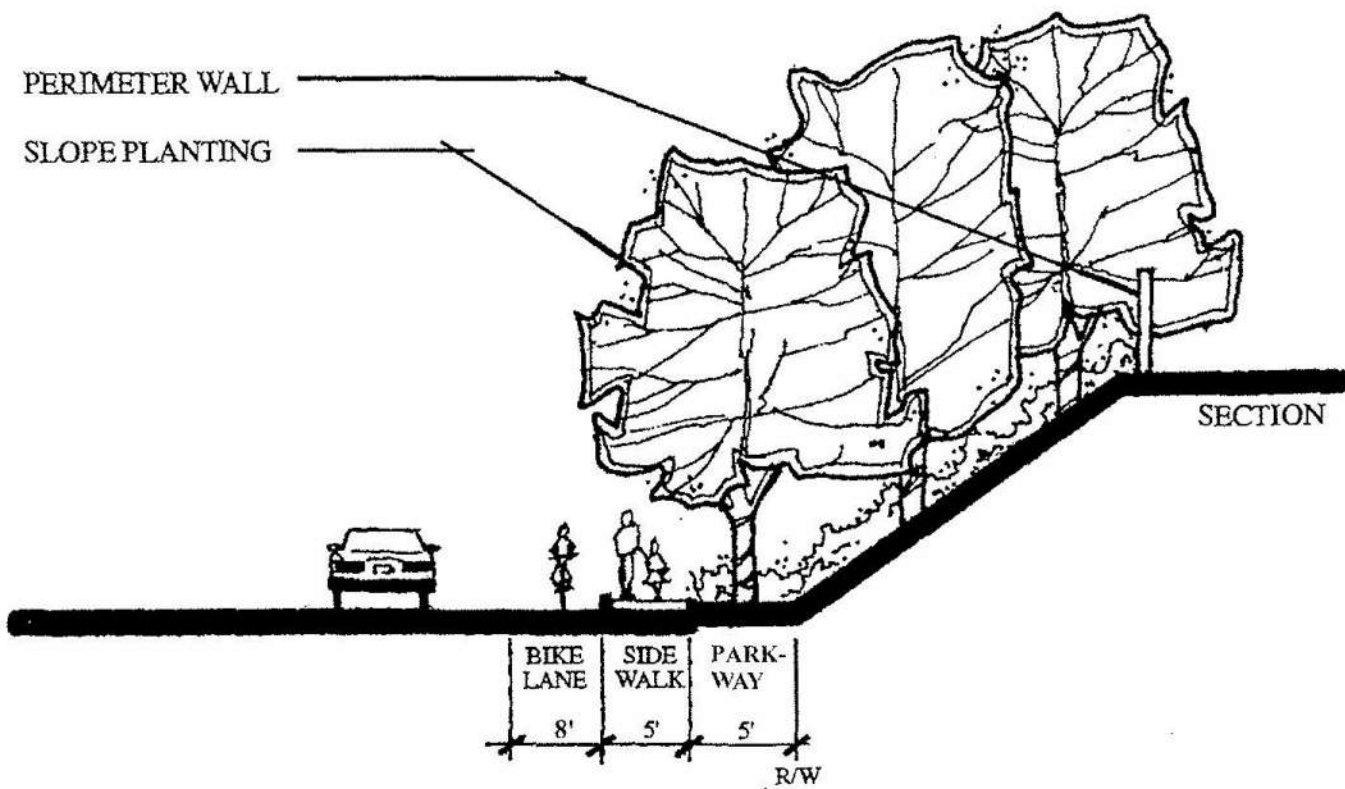
Design Guidelines

◆ Community Streetscenes and Streetscapes

A hierarchy of landscape development zones for perimeter, interior and neighborhood streetscenes is planned for the village. Provided below is a description of the landscape treatments proposed for portions of Rancho Santa Fe Road, San Elijo Road, Melrose Drive, Street "A", and local residential streets.

1. **Rancho Santa Fe Road**: Rancho Santa Fe Road forms a portion of the project's western boundary. Along portions of this roadway's eastern parkway, a continuation of the sycamore/oak woodland landscape theme will be established to continue the rural feel of this road as it passes through the area. In order to further maintain a rural character, eucalyptus groupings also may be incorporated. However, they should be situated well away from San Marcos Creek and residential units. All trees should be planted in random groupings of three to five trees in a linear fashion. This approach will add additional depth where space allows or where it is appropriate. Average spacing of 30-feet on-center (o.c.) should be employed. Specialized, dense landscaping may be employed along the roadway if deemed necessary and appropriate to the overall character of the streetscape. The streetscene is depicted on Rancho Santa Fe Road Conceptual Streetscape, **Figure 31**, landscape materials and sizes are indicated in the Plant Palette which follows.
2. **San Elijo Road**: San Elijo Road (formerly Questhaven Road) is planned to traverse the southern portion of the village in an east/west alignment. A combination of planting schemes will make up the streetscene of San Elijo Road, as illustrated on the San Elijo Road Conceptual Streetscape, **Figure 32**, which depicts the 103' R.O.W condition. The landscape combination is proposed in order to coincide with the variety of uses occurring along this corridor. Extending east and west from the community core, ornamental flowering multi-trunk trees regularly spaced an average of 30-feet o.c. will provide a strong statement befitting the residential and potential commercial uses coming together in this area. Landscape materials and sizes are indicated in the Plant Palette which follows.

Extending east and west on the north side of the road, tall trees will indicate a transition to San Marcos Creek. Planting arrangements at this location should be clustered in large random groupings, and the plant palette should reflect the oak woodland to the west through San Marcos Creek. These trees will be the most striking of the native trees used in the University Commons streetscape, and they provide an appropriate scale in relation to the width and breadth of this major circulation element. Further west, as San Elijo Road approaches Rancho Santa Fe Road, the planting will be more linear in nature, but established in random groupings.

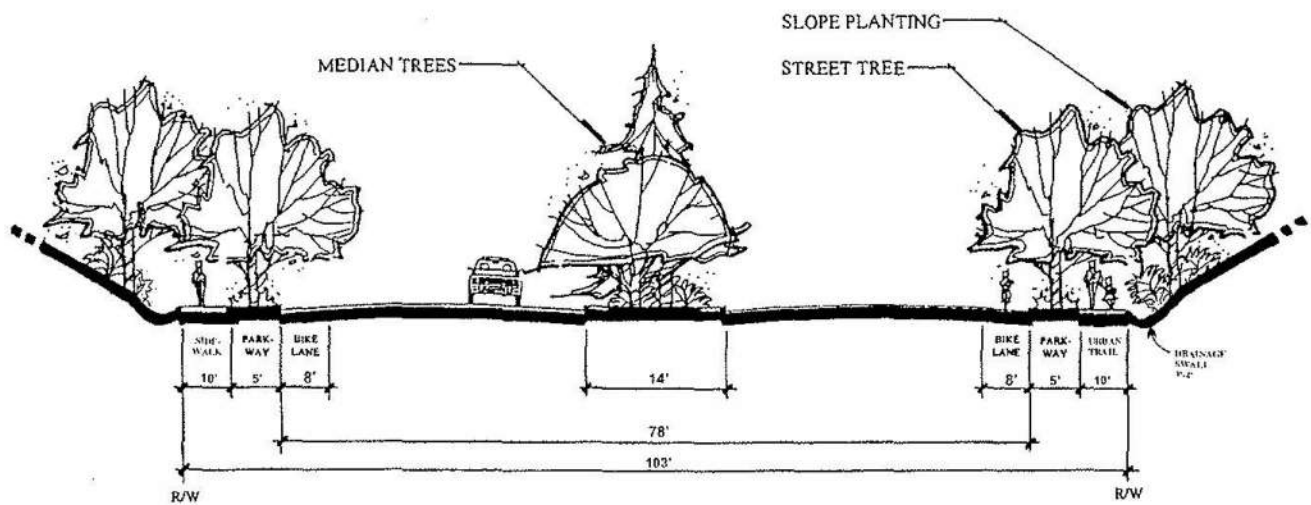


**UNIVERSITY
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Figure 31
RANCHO SANTA FE ROAD
CONCEPTUAL
STREETSCAPE

Amendment #4

Design Guidelines



**UNIVERSITY
COMMONS**

Figure 32
SAN ELIJO ROAD
CONCEPTUAL
STREETSCAPE

Amendment #4

Design Guidelines

Design Guidelines

The south side of San Elijo Road will be treated similarly to the community core. The median planting all along San Elijo Road will act as a transition. This transition will be created by medium sized flowering trees, oaks, and sycamores, which will be planted in random groupings and then become more formal as the median approaches the core. Specialized, dense landscaping may be employed along the roadway if deemed necessary and appropriate to the overall character of the streetscape. Trees will be planted at an average spacing of 30-feet o.c. in 15 gallon and 24-inch box sizes. Landscape materials and sizes are indicated in the Plant Palette which follows.

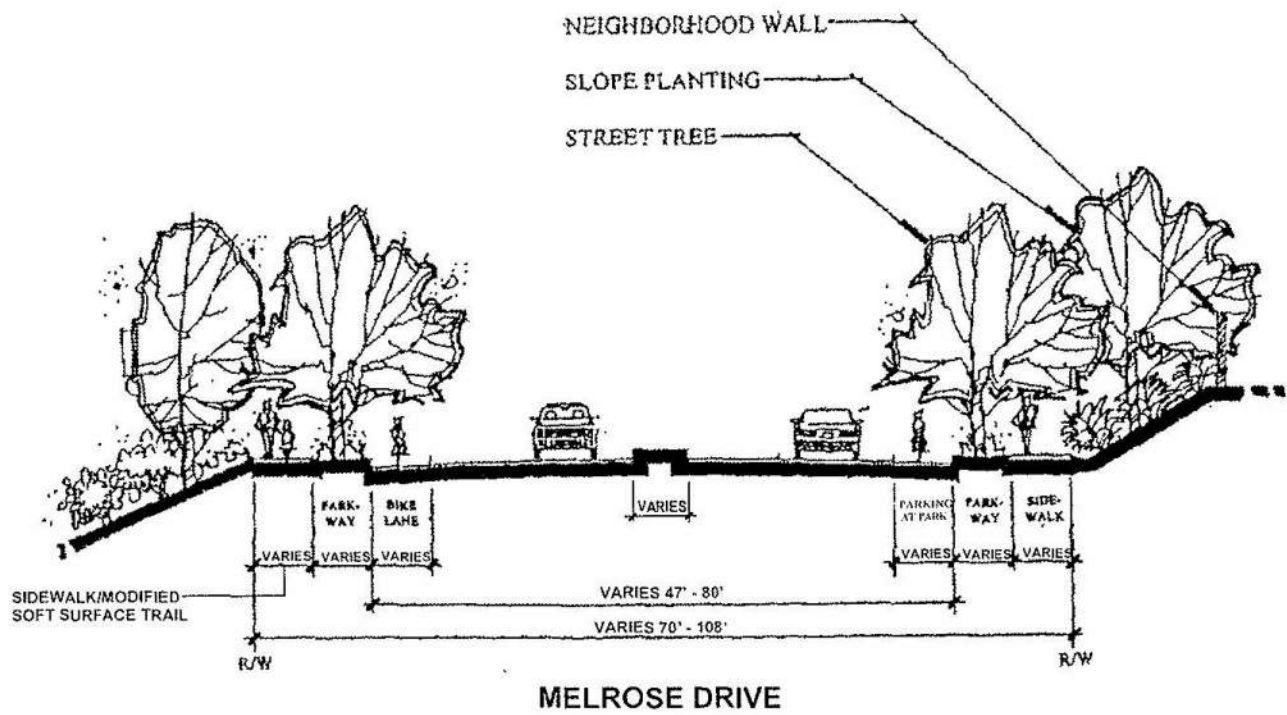
3. **Melrose Drive:** A smaller tree, more appropriate to the scale of local streets should be used for Melrose Drive, as shown on the Melrose Drive Conceptual Streetscape, **Figure-33**, which also depicts the 70'-108' right-of-way variation. The same species of standard medium- sized flowering tree will be used for both Melrose Drive, Dove Tail Drive, and Boulderidge Drive to create thematic unity. This consistent tree planting will be enhanced, by accent plantings at neighborhood entries. Landscape materials and sizes are indicated in the Plant Palette which follows.

Screening of the proposed pressure reducing station may be provided, if necessary, at the corner of Melrose Drive and Rancho Santa Fe Road.

4. **Dove Tail Drive and Boulderidge Drive:** The entire length of Boulderidge Drive and the segment of Dove Tail Drive running south from San Elijo Road will receive a landscape treatment similar to Melrose Drive, and will be developed on a varying 60'-87' R.O.W., except as noted below. Where Dove Tail Drive meets San Elijo Road, a short, "button" landscape median will be introduced. The landscape treatment for these streets is illustrated on Dove Tail Drive and Boulderidge Drive Conceptual Streetscape, **Figure 29**. Landscape materials and sizes are indicated in the Plant Palette which follows.
5. **Local Streets:** To maintain consistency and establish a sense of identity, the streets within each neighborhood will have their own particular selection of one or two ornamental trees specific to the individual neighborhood. These trees will be planted within the parkway at 30-feet to 50-feet o.c., creating a striking line representative of a "neo-traditional" design.

◆ **Community Edges, Boundaries and Interfaces**

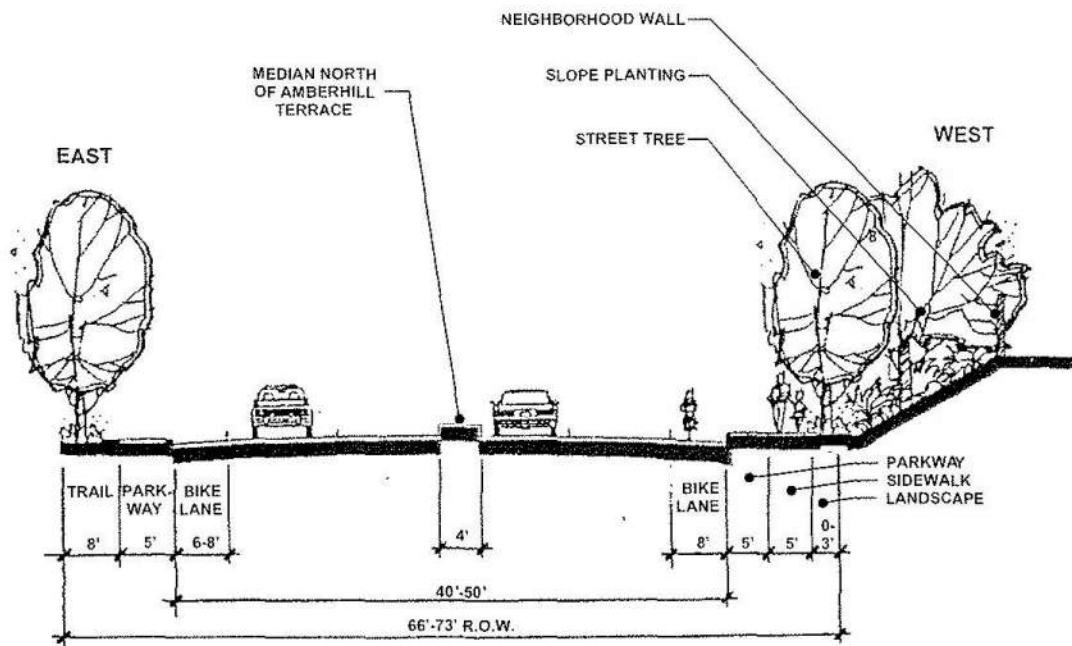
Careful consideration has been given to the design of land use interfaces within the village and at project boundaries. Provided below is a description of general landscape treatments that should be incorporated between varying land uses and at specific edge conditions.



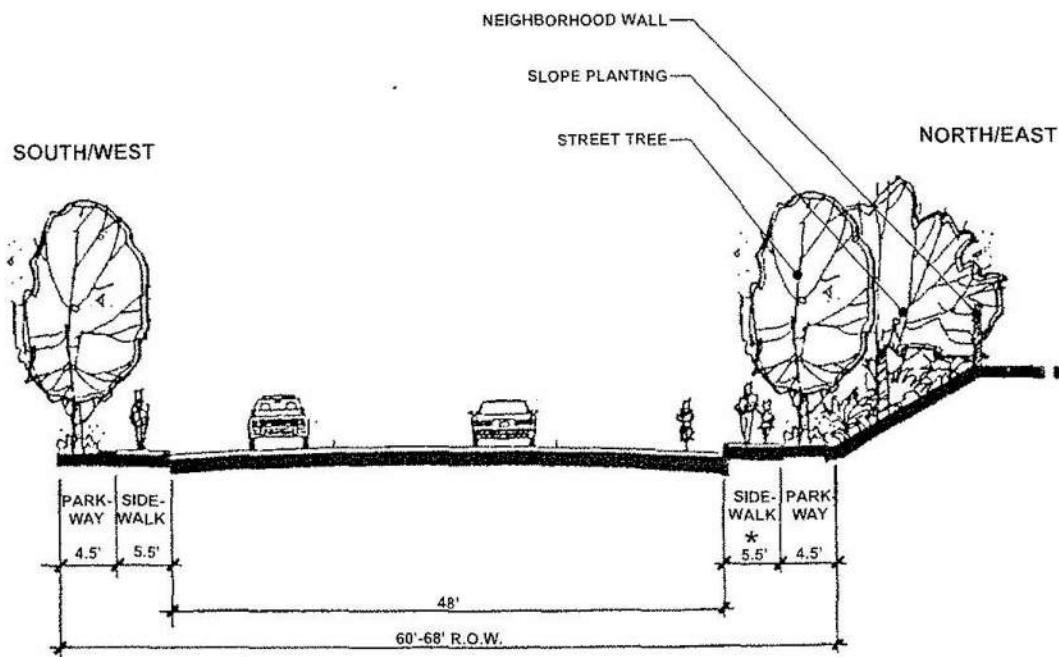
**UNIVERSITY
COMMONS**

Figure 33
MELROSE DRIVE
CONCEPTUAL
STREETSCAPE

Amendment #4



DOVE TAIL DRIVE



* NO SIDEWALK NORTH OF STREET "O" THIS SIDE.

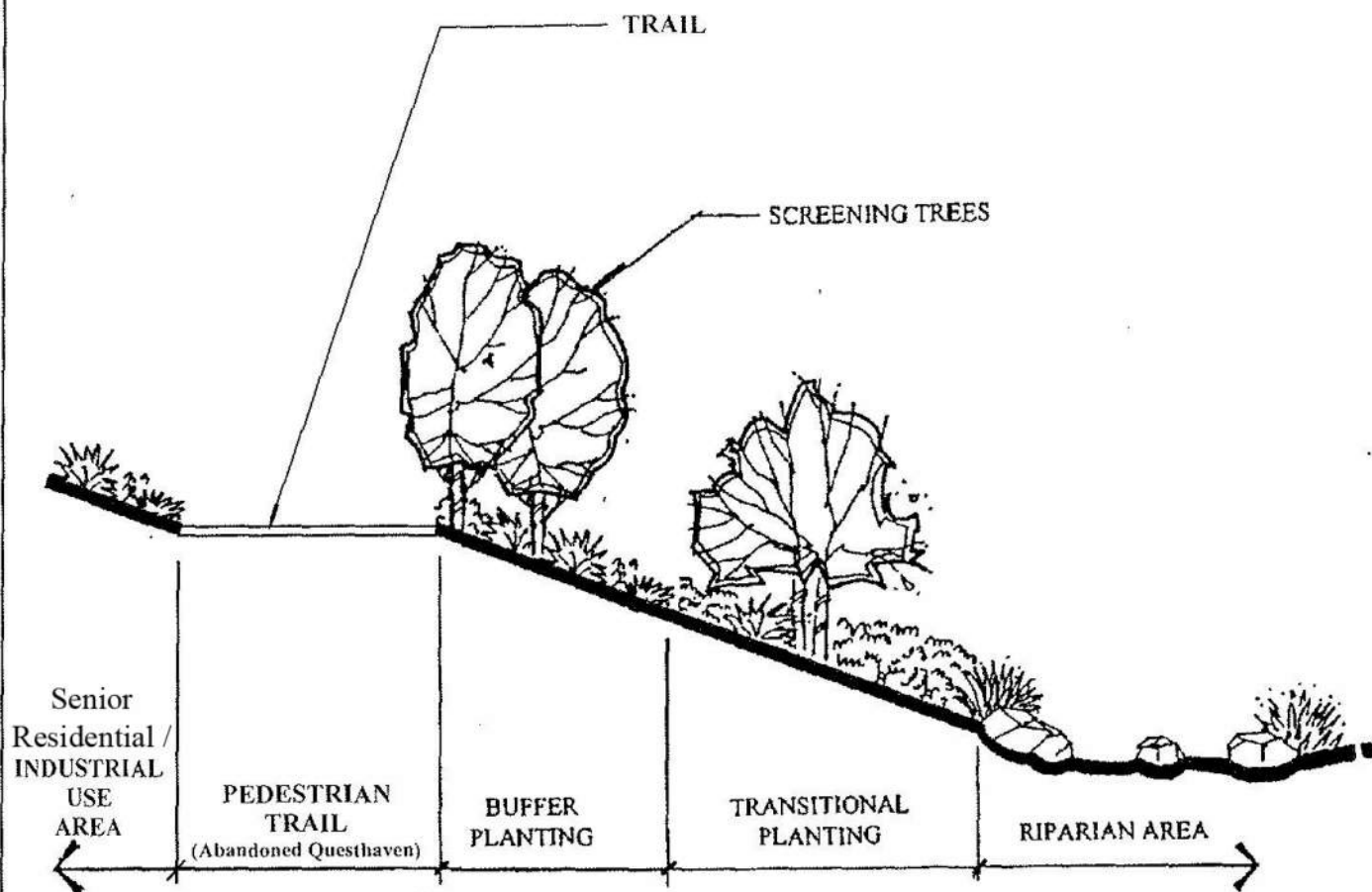
BOULDERIDGE DRIVE

**UNIVERSITY
COMMONS**

Figure 34
DOVE TAIL DRIVE AND
BOULDERIDGE DRIVE
CONCEPTUAL
Amendment #4

Design Guidelines

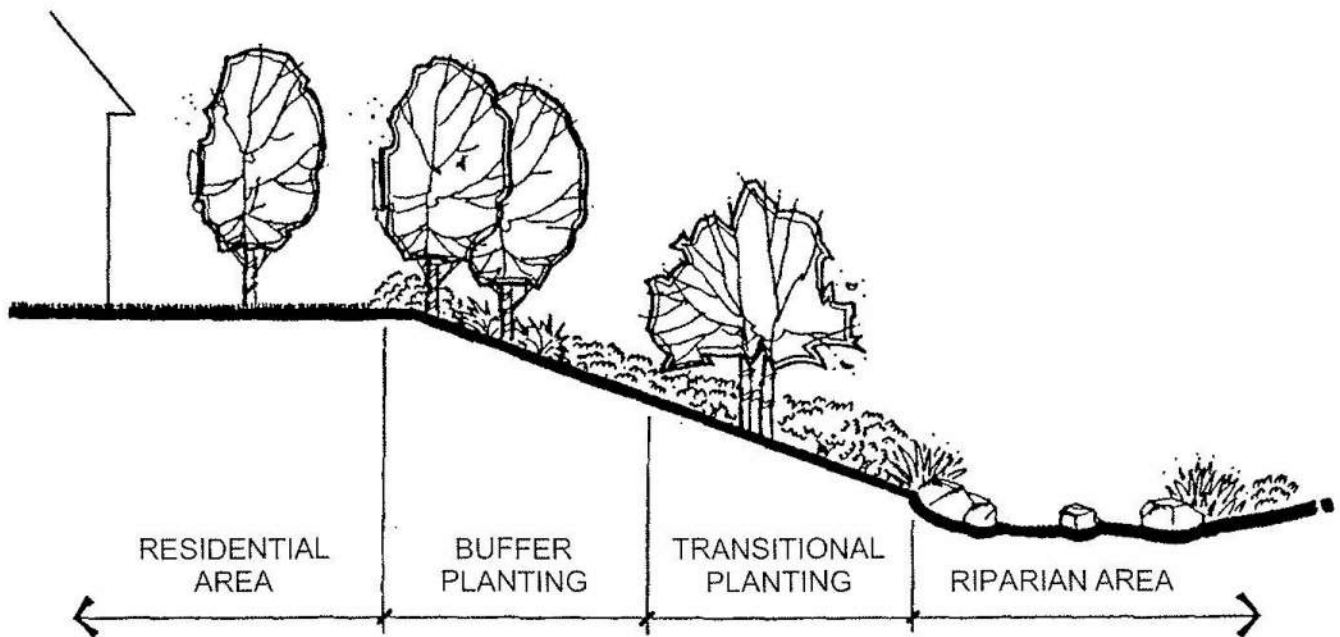
1. **San Marcos Creek/Senior Residential/Industrial Use Interface Detail:** This condition occurs where the Senior Residential and industrial uses of PA 4 and PA 5b respectively, abut the San Marcos Creek Recreation Area. The transition area within the recreation area would consist of dense plantings of screening trees and shrubs. This concept, which is depicted on the San Marcos Creek Senior Residential/Industrial Use Interface Detail, **Figure 35**, would be implemented in order to protect views from the creek areas, as well as adjacent to Senior Residential and industrial uses. Landscape materials and sizes are indicated in the Plant Palette which follows.
2. **Residential/San Marcos Creek Edge Condition:** In areas where parkland within the San Marcos Creek Recreation Area abuts residential land uses (Planning Areas 5 and 6c), an edge condition would occur that consists of a transition and buffer area. In this situation, trees should be planted in the upper portions of the transition area to screen lighting. Understory plantings should be employed to focus access to limited, controlled points. Treatment of the edge condition described above is illustrated on the Residential/San Marcos Creek Edge Condition Detail, **Figure 36**. Landscape materials and sizes are indicated in the Plant Palette which follows.
3. **Fire Fuel Modification Zone:** In accordance with City of San Marcos requirements, a fire fuel modification zone will be implemented adjacent to the open space edges depicted on the Fuel Modification Plan, **Figure 37**. The City Multiple Habitat Conservation Plan (MI-ICP) proposes a 100-foot setback from a structure. The Fire Fuel Modification Zone will be implemented in two conditions established by the City Fire Department, as illustrated on the Fuel Modification Zone Downslope/Up slope Condition, Figure 33. In the upslope condition, a 100-foot zone from the structure will be irrigated and planted with ornamental landscape consisting of ground cover only. In the downslope condition, a 30-foot zone from the structure will be irrigated and planted with ornamental landscape consisting of ground cover only. Trees with a ten-foot distance between crowns are allowed within the zone. A temporary irrigation system should be used for plant establishment.



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Figure 35
SAN MARCOS CREEK/
Senior Residential & INDUSTRIAL USE
INTERFACE DETAIL

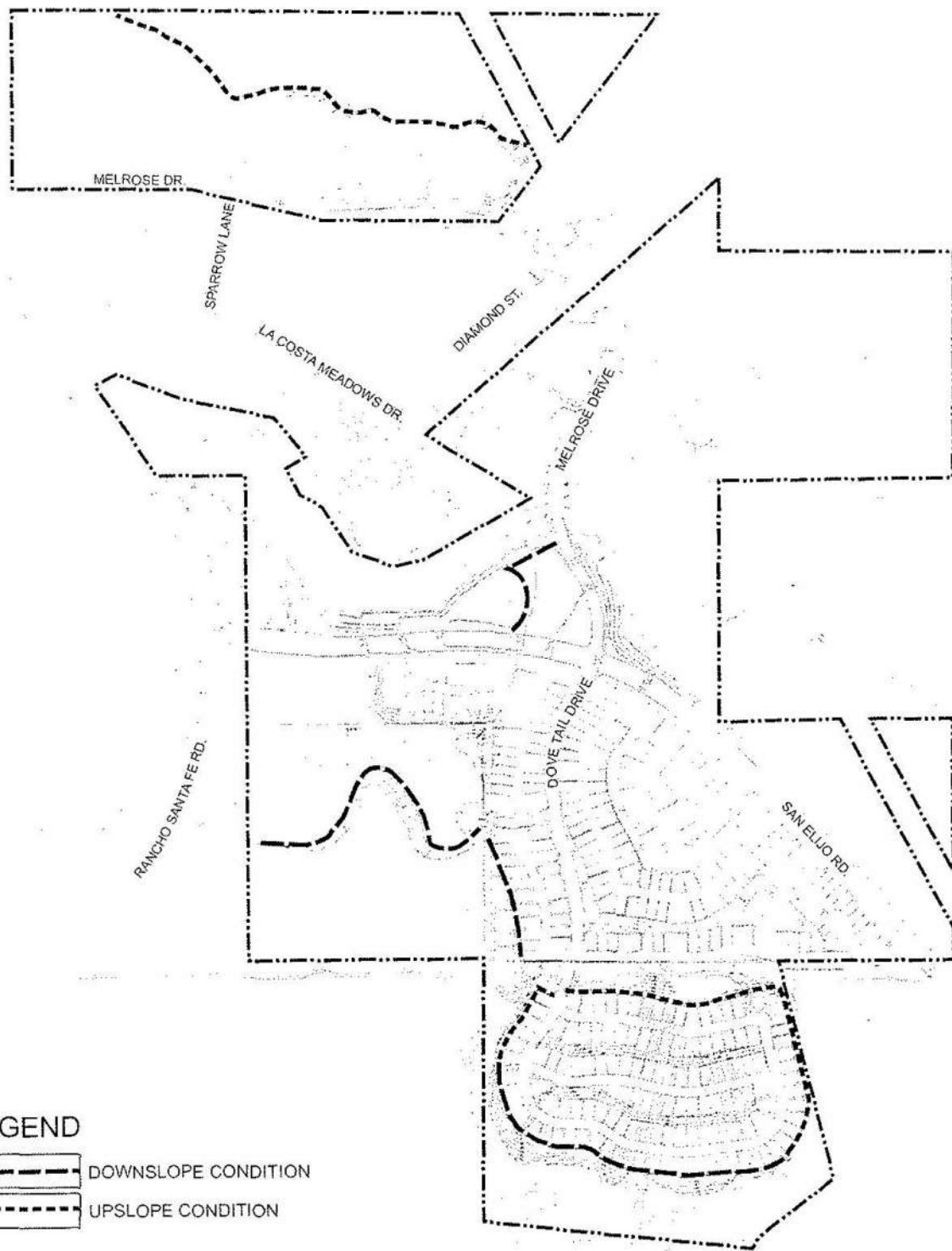
Amendment #4




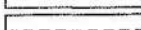
**UNIVERSITY
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Figure 36
RESIDENTIAL/
SAN MARCOS CREEK
EDGE CONDITION DETAIL
Amendment #4



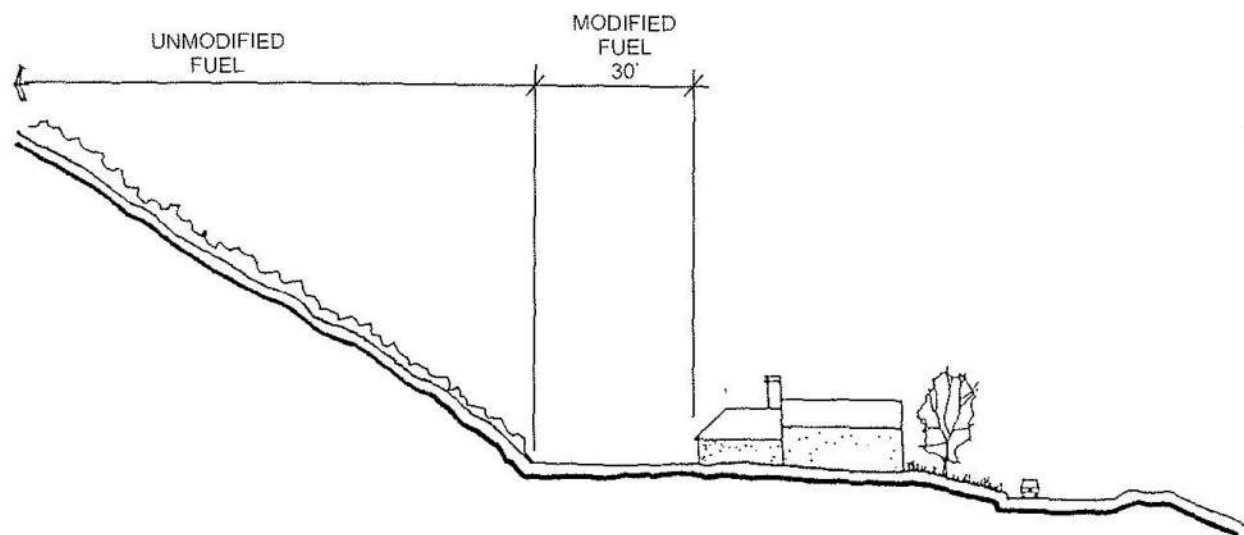
LEGEND

-  DOWNSLOPE CONDITION
-  UPSLOPE CONDITION

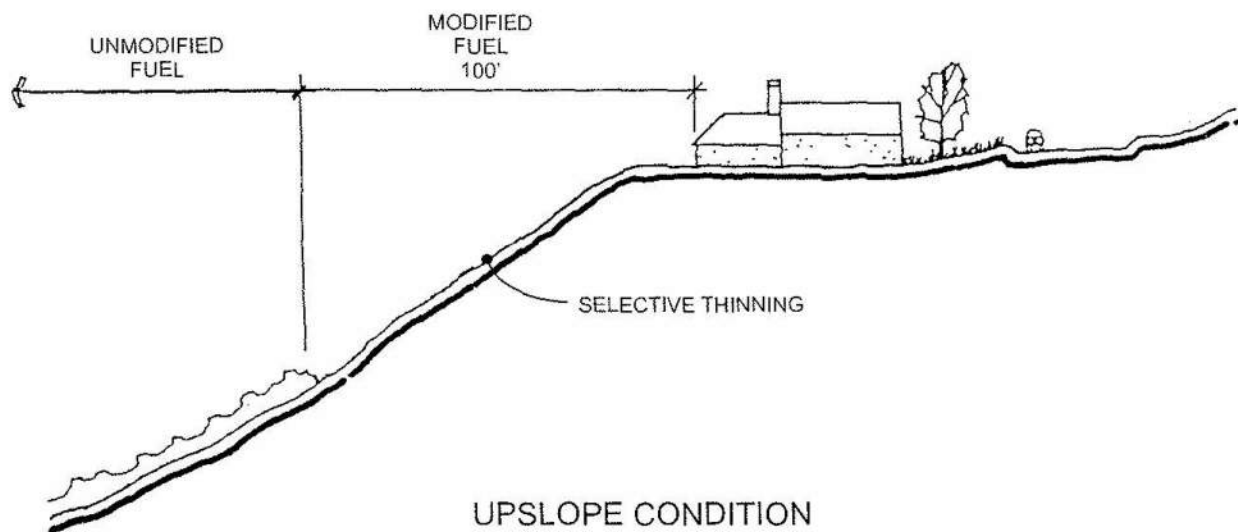
**UNIVERSITY
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Figure 37
FUEL MODIFICATION PLAN
Amendment #4



DOWNSLOPE CONDITION



UPSLOPE CONDITION

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Figure 38
FUEL MODIFICATION
ZONE DOWNSLOPE/
UPSLOPE CONDITION

Amendment #4

Design Guidelines

◆ Parks, Recreational Amenities and Trails

1. **Planning Areas 6a and 6b - San Marcos Creek Recreation Area/Detention:** The existing San Marcos Creek Recreation Area, located at the intersection of Melrose Avenue and San Elijo Road in Planning Area 6a, consists of a 25-acre creek-side private park with no recreational amenities, reserved for the exclusive use of the employees of the La Costa Meadows Industrial Park and residents and guests of University Commons. In addition, a 3.0-acre storm drain detention basin would be constructed in Planning Area 6b, adjacent to the San Marcos Creek Resource Recreation Area. The San Marcos Creek Resource Recreation Area Plan, **Figure 39**, depicts the layout of Planning Areas 6a and 6b. To retain the character of the recreation area, the existing eucalyptus trees will be removed to accommodate construction activity and replaced following completion of construction in the area.
2. **Trails:** Three types of trails are proposed: urban trails and two widths of soft surface trails, as shown on the Trail System Plan, **Figure 14**.

The 10-foot wide urban trails along the northern side of San Elijo Road will be framed by a parkway, a 34-inch high lodge pole single rail fence on the roadway side of the trail, and the slope, and will be landscaped in accordance with the appropriate conceptual streetscapes discussed and illustrated earlier in this chapter. A typical treatment of this type of trail is depicted on the Urban Trail Section Detail, **Figure 40**.

Soft surface trails are intended to accommodate pedestrian and other uses. Segments of the soft surface trail system are located within the open space area of Planning Area 12a along the SDG&E corridor that traverses the southern portion of the project site from east to west; within the open space area of Planning Area 15 which will provide an additional connection to the off-site San Elijo Hills trail system; and within Planning Area 3, connecting to off-site regional trails. These segments are to be constructed to a maximum of 10 feet in width and will include a 48-inch high, double rail lodge pole trail fence on the downslope side, where necessary and appropriate. A typical trail treatment is depicted on the Soft Surface Trail Section Detail, **Figure 41**. The trail surface will consist of decomposed granite or other approved material. When soft surface trails are located within utility easements or utility access roads, the trails may consist of existing, unimproved dirt roads. In addition, a "modified soft surface trail", 8 feet in width and composed of decomposed granite or other approved material, will be provided along the west side of Dove Tail Drive and along a segment of Melrose Drive, providing a link between the trail within the SDG&E easement to the south, and the trail traversing the open space area of PA 15, as well as through Planning Area 3 to connect to regional trails to the north. **Figure 42**, Modified Soft Surface Trail, illustrates this trail. The modified soft surface trail will include a 4-foot high double rail lodge pole trail fence between the trail and the roadway, as well as on the downslope side of the trail when necessary. The trail system is designed to permit future connections with adjacent off-site trails, consistent with the City Master Trail Plan, including two trail connections with neighboring San Elijo Hills, a connection with Carlsbad west of Rancho Santa Fe Road adjacent

Design Guidelines

to San Marcos Creek, and a connection with Encinitas to the south from the SDG&E easement toward the water tank.

3. **Pocket Parks**: Specific Plan Amendment No. 3 provides for the development of a total of five pocket parks which may include tot lots, passive overlooks, and trailheads. One pocket park is to be located within each of the single-family residential Planning Areas 8, 9, and 11, and two pocket parks are to be located within Planning Area 12a. The approximate location of these parks is depicted in Figure 9, Open Space Plan, and a conceptual layout is provided in **Figure 74, Neighborhood Pocket Park**.

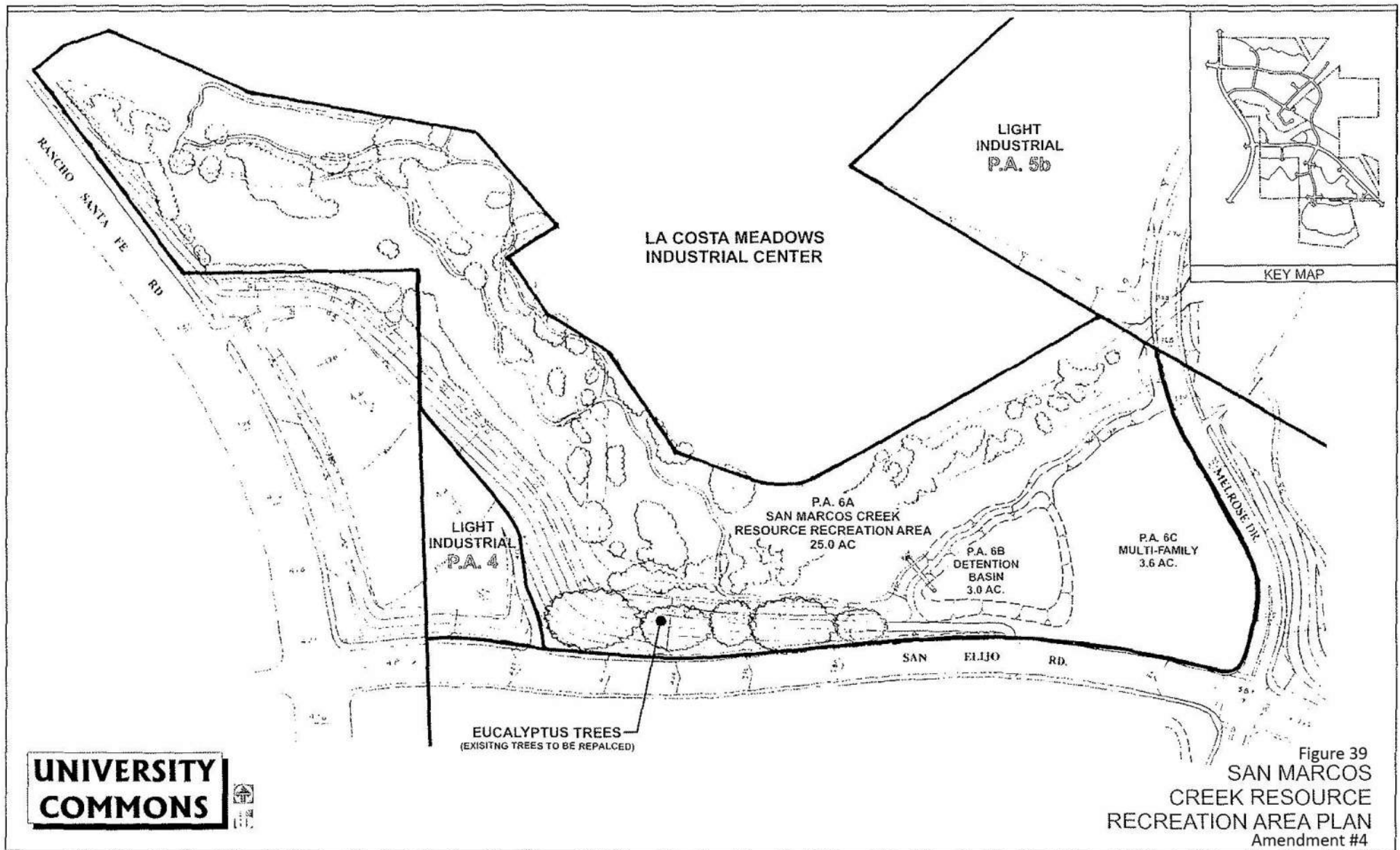
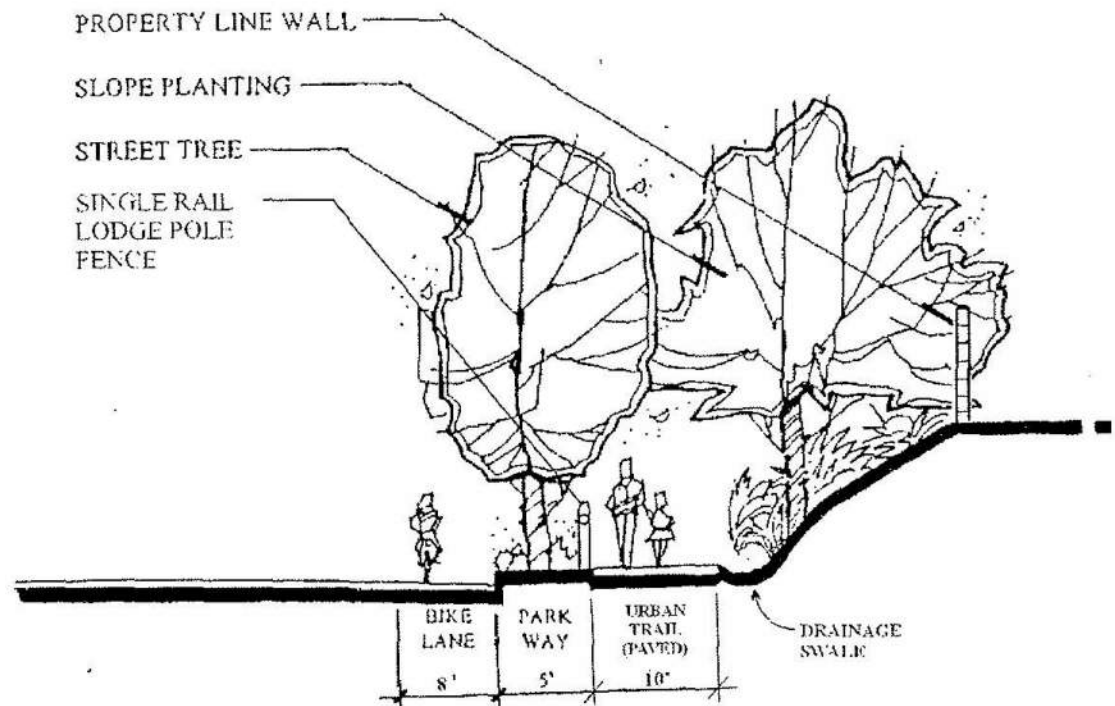
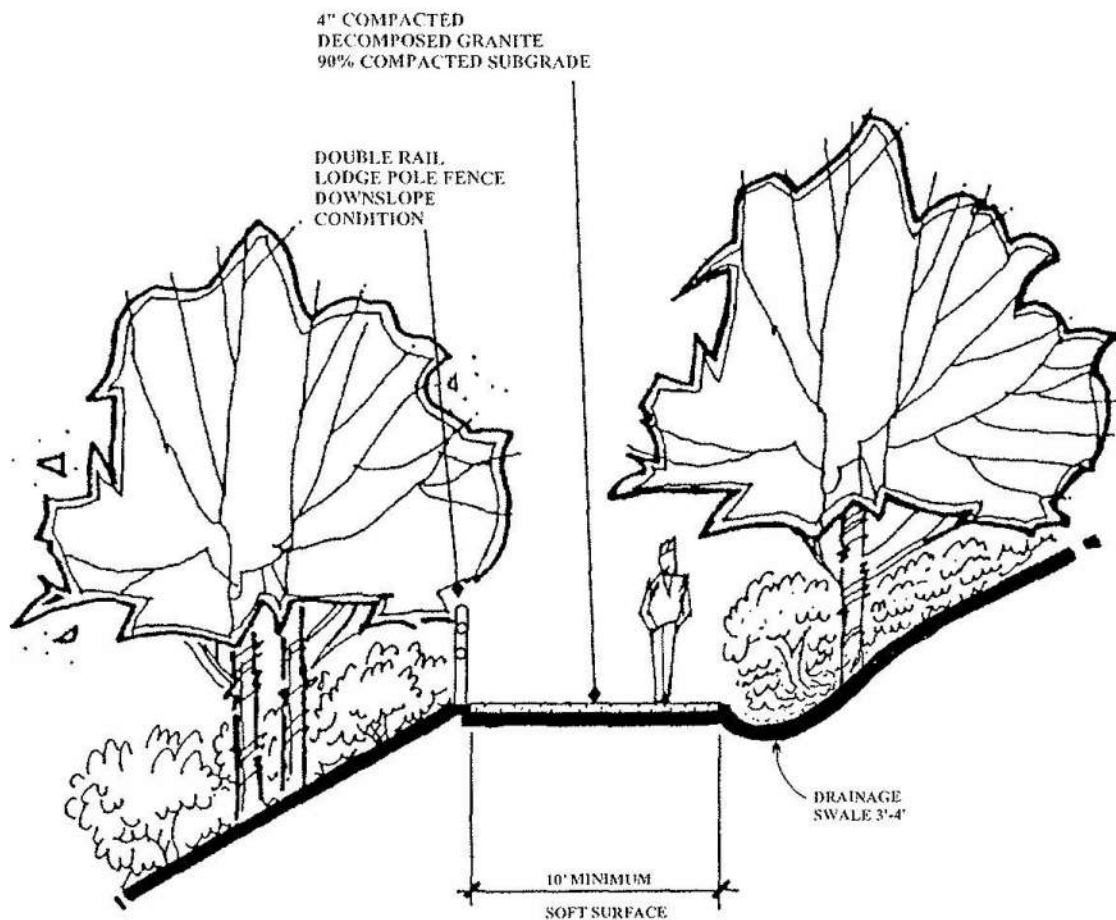


Figure 39
SAN MARCOS
CREEK RESOURCE
RECREATION AREA PLAN
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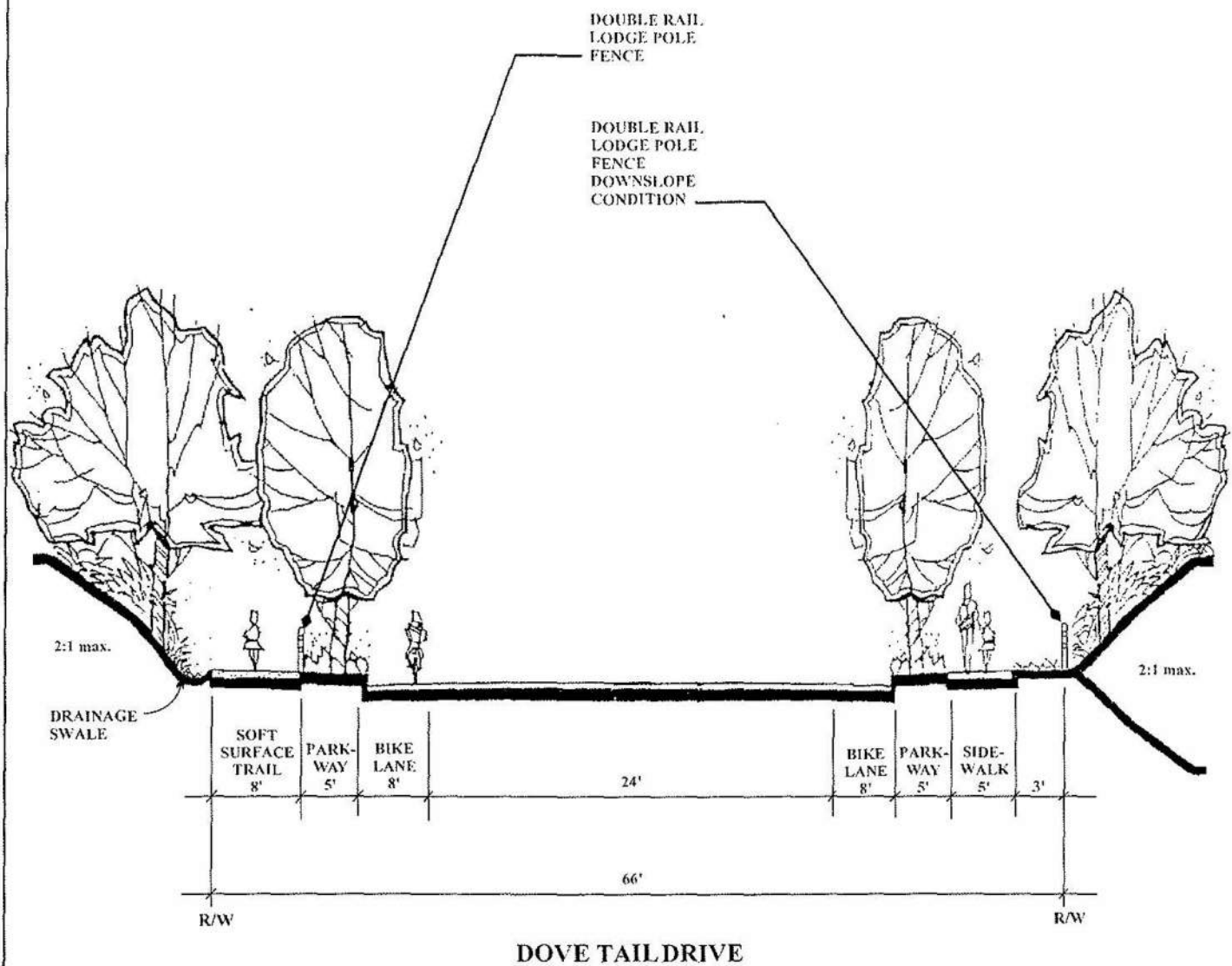
Figure 40
URBAN TRAIL
SECTION
Amendment #4



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Figure 41
SOFT SURFACE
TRAIL SECTION DETAIL
Amendment #4



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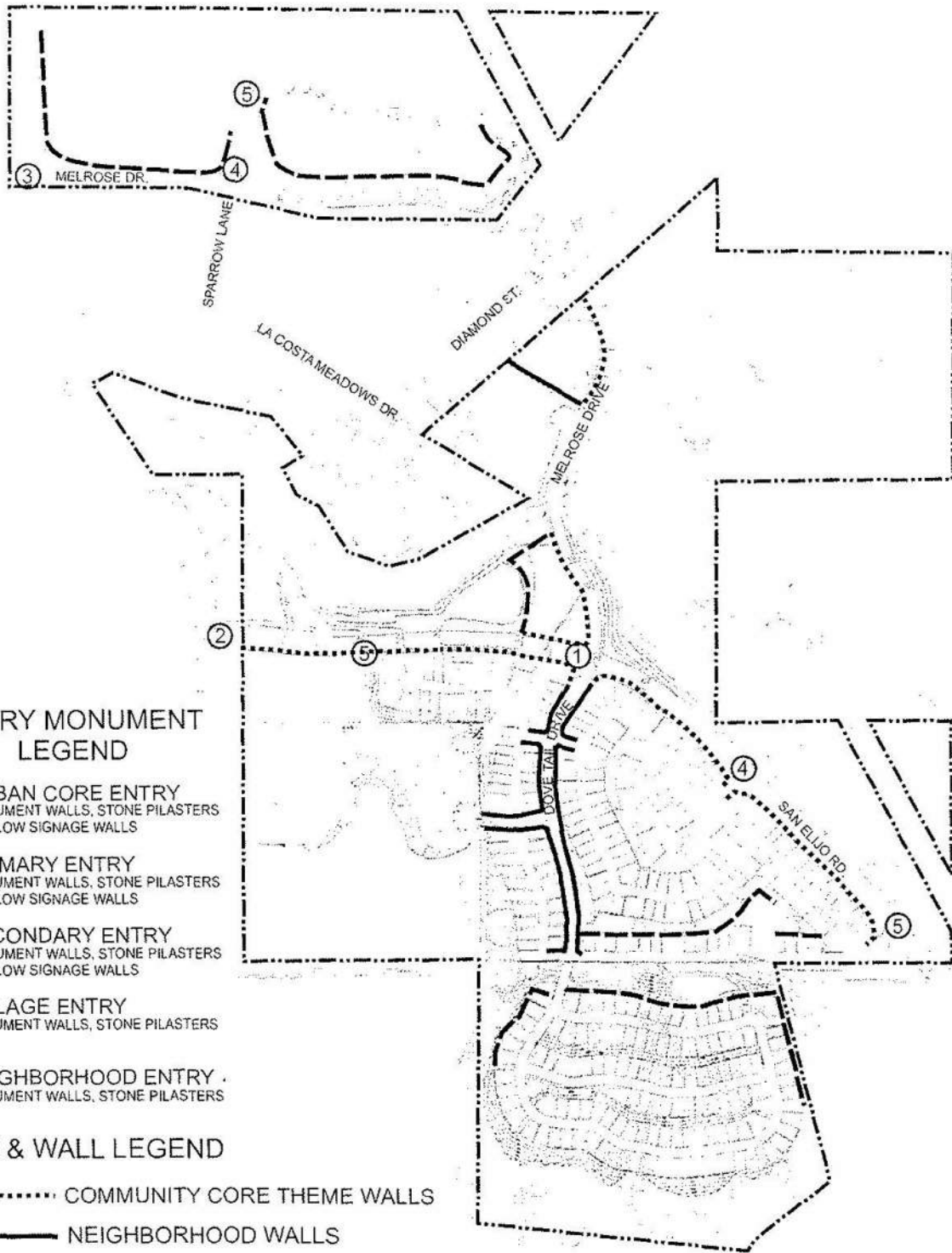
Figure 42
MODIFIED SOFT
SURFACE TRAIL DETAIL
Amendment #4

Design Guidelines

◆ Walls and Fences

All fences and walls within University Commons should be designed as integral elements of building architecture or to be complementary to the architecture and landscape character. Three types of fencing will occur in University Commons: community core: theme walls, neighborhood walls and perimeter view fencing, as described below. Proposed locations for these three types of fences are set forth on the Fence and Wall Plan, **Figure 43**.

1. **Community Core Theme Wall**: The community core theme wall is proposed to be constructed primarily along San Elijo Road and will consist of tan split face or precision block wall with a stone cap and stone or split face pilasters that tie back to the community core entry, secondary entry and neighborhood entry monumentation. This type of wall is illustrated on the Community Core Theme Wall, **Figure 44**.
2. **Neighborhood Walls**: Neighborhood walls are expected to be constructed along the northeastern edge of Rancho Santa Fe Road, along the northern edge of Melrose Drive, and along portions of northern and southern legs of Street "A." These walls will be constructed with tan split face or precision block walls, a thickened tan cap and split face or stone pilasters. This type of wall is depicted on the Neighborhood Wall Section, **Figure 45**.
3. **Perimeter View Fencing**: Where residential lots abut downslope conditions, perimeter view fencing is proposed. Perimeter view fencing, should consist of wrought iron or galvanized tubular steel, painted black or dark green, with stone split face, or tan precision pilasters demarcating selected property lines. Pickets have rounded tops. This type of fencing is shown on the Perimeter View Fence Section, **Figure 46**.
4. **Wall/Fence Materials and Colors**: All wall surfaces shall be medium to light earth tones or grays, while stone material shall be reminiscent of existing natural stone outcroppings occurring within the village. As noted above, view fencing should be painted black or dark green.
5. **Wall/Fence Guidelines**: The following guidelines should be used for all fences and walls:
 - a. Appropriate materials include wrought iron, masonry, and wood. Transparent materials, such as glass, can also be used where views are desirable.
 - b. The maximum height for fences and walls shall be six feet, except as may be required for sound attenuation or in Planning Area 4- Senior Residential for safety and/or security purposes as approved by the Planning Division Manager.
 - c. Solid fences and walls which are visible from public ways should include design elements incorporated to reduce monotony. These elements shall include pilasters, which should be placed at intervals not to exceed 150 feet.
 - d. The placement of a fence or wall should be such that it minimizes the visual impact of the wall and maximizes its effectiveness as mitigation.



ENTRY MONUMENT LEGEND

- ① URBAN CORE ENTRY
MONUMENT WALLS, STONE PILASTERS
AND LOW SIGNAGE WALLS
- ② PRIMARY ENTRY
MONUMENT WALLS, STONE PILASTERS
AND LOW SIGNAGE WALLS
- ③ SECONDARY ENTRY
MONUMENT WALLS, STONE PILASTERS
AND LOW SIGNAGE WALLS
- ④ VILLAGE ENTRY
MONUMENT WALLS, STONE PILASTERS
- ⑤ NEIGHBORHOOD ENTRY
MONUMENT WALLS, STONE PILASTERS

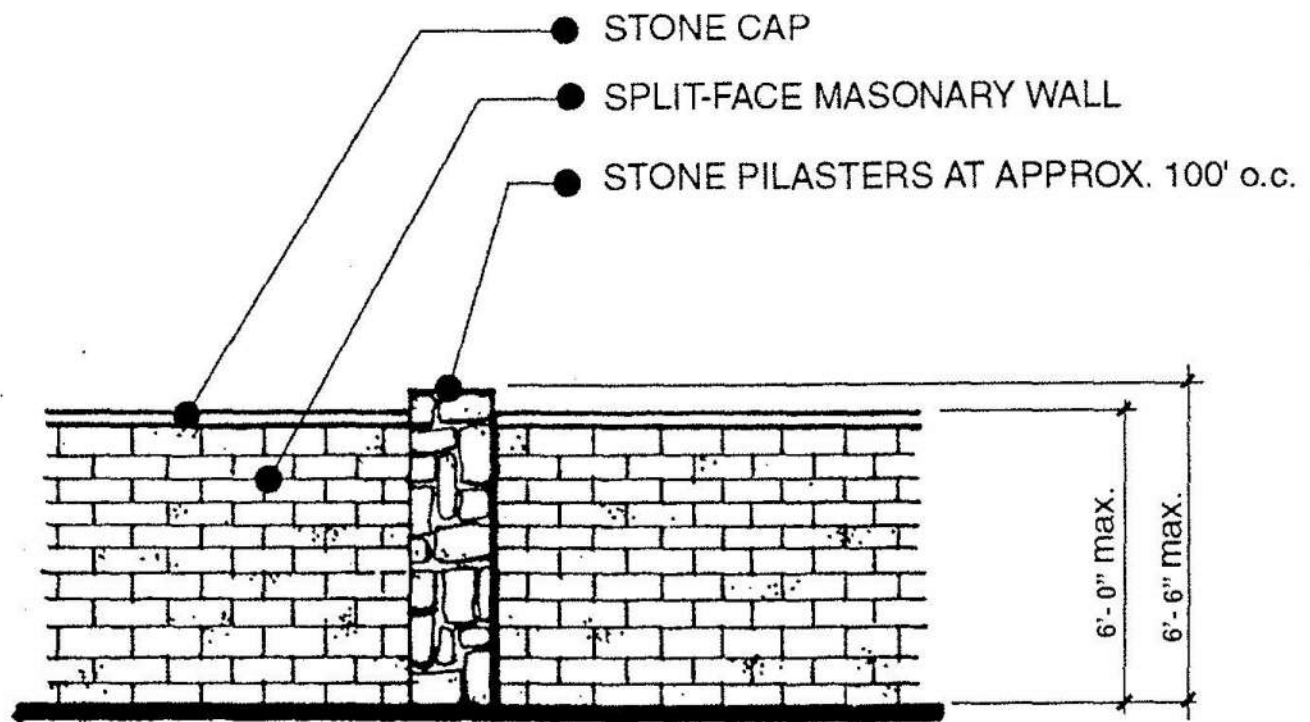
FENCE & WALL LEGEND

- COMMUNITY CORE THEME WALLS
- NEIGHBORHOOD WALLS
- PERIMETER VIEW FENCE

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Figure 43
FENCE AND WALL PLAN
Amendment #4

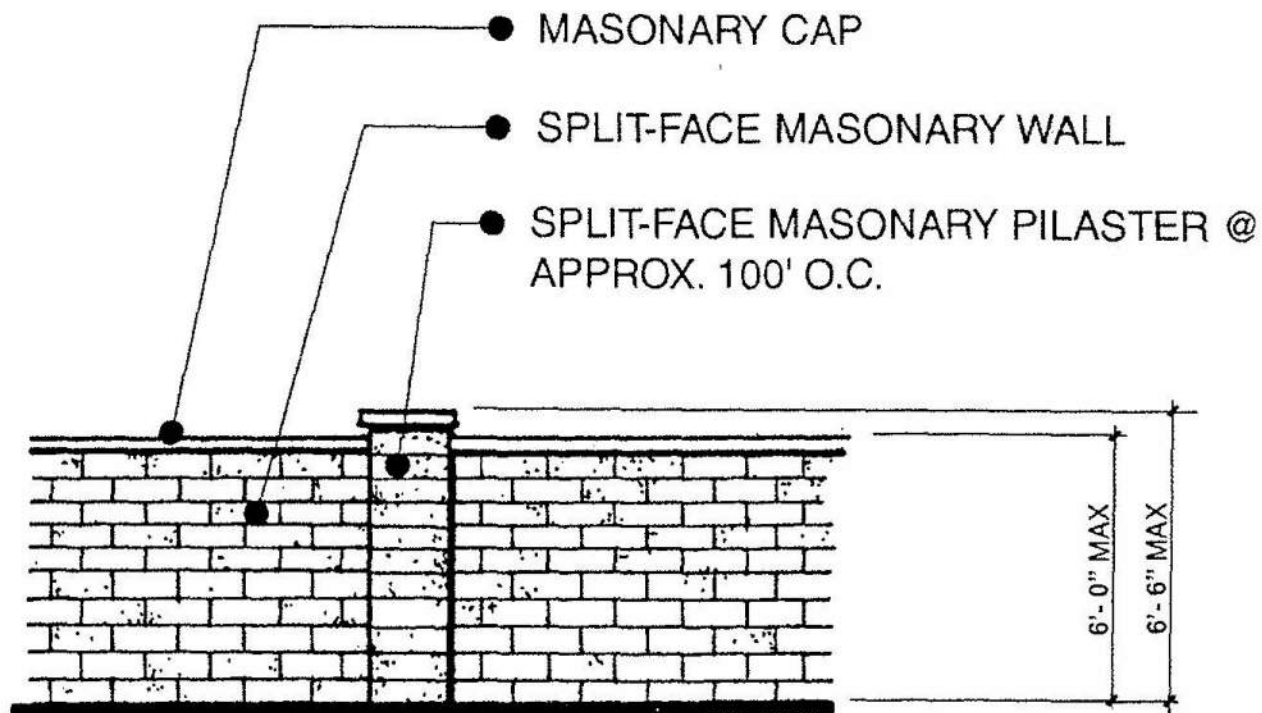


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Figure 44
COMMUNITY CORE
THEME WALL

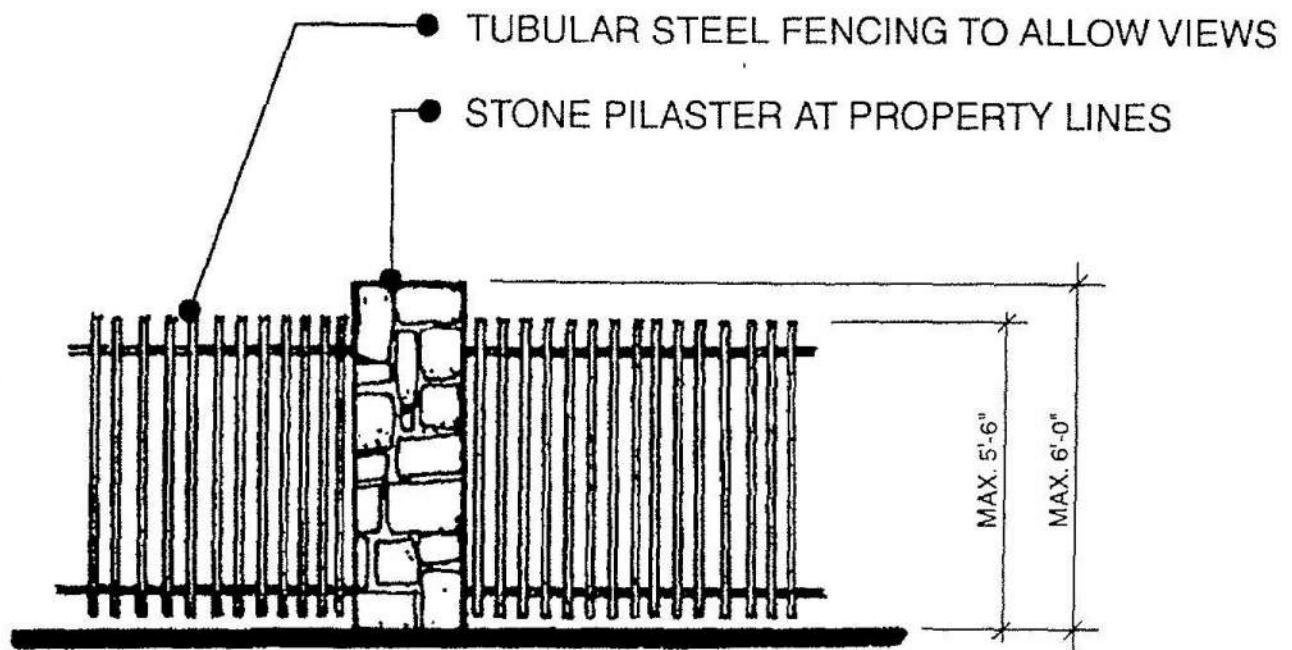
Amendment #4



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Figure 45
 NEIGHBORHOOD WALL
 SECTION
 Amendment #4



**UNIVERSITY
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Figure 46
PERIMETER VIEW
FENCE SECTION
Amendment #4

Design Guidelines

◆ Landscape Standards and Guidelines

1. **General Standards**: All areas required to be landscaped should be planted with turf, groundcover, shrubs or trees selected from the plant palette contained in these guidelines. A combination of hydroseed mix and flatted groundcovers should be used to cover between shrubs and trees to prevent erosion. Colorful perennials should be a part of these plantings. Plants with similar watering requirements should be planted together in order to simplify the irrigation systems and reduce water use inefficiency. Primary use of water shall be mandatory, meaning that visually sensitive areas are entitled to use more water than low visual impact areas. Visually sensitive areas include entries (major and minor) and highly traveled street frontages.
2. **Drought Tolerance**: The landscape palette for University Commons shall promote selective xeriscape practices in open space areas through the use of native and naturalizing species. All common landscape areas should be equipped with automatic irrigation systems. Drip or bubbler irrigation should be provided where feasible. Large open areas should be irrigated with low precipitation rate spray heads. Automatic controllers should be equipped with automatic rain-shut-off devices and provide for various types of water management options.

Design Guidelines

TABLE 4 LANDSCAPE THEME PALETTE

◆ **Landscape Theme Palette**

The following is a list of plant material species that blend into the overall landscape theme for the University Commons project area. Other plant material may be used that adapts to the theme and concept.

Application	Density	Latin Name	Common Name
Streetscapes			
RANCHO SANTA FE ROAD			
Primary Tree 24" Box @ 40' O.C.	60%	<i>Platanus acerfolia (Bloodgood)</i> ¹	London Plane Tree
Secondary Tree 24" Box in Massing	30%	<i>Quercus agrifolia</i> ¹	Coast Live Oak
Accent Tree 24-inch Box	10%	<i>Lagerstroemia indica</i>	Crape Myrtle
SAN ELIJO ROAD/MELROSE DRIVE IN FRONT OF P.A.'s 6A, 6B, AND 6C			
Primary Tree 24" Box	50%	<i>Tristania Conferta @ 35' O. C.</i> <i>At Creek: Platanus racemosa</i> ¹ @ 400 O.C.	Brisbane Box California Sycamore
Secondary Tree 24" Box in Massing	40%	<i>Pinus eldarica</i> ¹ <i>At Creek: Quercus agrifolia</i> ¹	Pinon Pine Coast Live Oak
Accent Tree 24" Box	10%	<i>Lagerstroemia indica</i> ¹ <i>Liquidwirber Styracifolia</i> <i>Populus fremontii</i> <i>Pinus canariensis</i> ¹	Crape Myrtle American Sweetgum Western Cottonwood Canary Island Pine
MELROSE DRIVE/DOVE TAIL DRIVE/BOULDERIDGE DRIVE			
Primary Tree 24" Box @ 40' O.C.	90%	<i>Platanus acerifolia (Bloodgood)</i> <i>or Hmphephyllum caffrum</i>	London Plane Tree Harphephyllum
Accent Tree 24" Box	90%	<i>Lagerstroemia indica</i>	Crape Myrtle
SLOPE TREES (ADJACENT TO STREETS)			
Density (20% 24" Box, 80% 15 gallon)		<i>Albizia julibrissin</i>	Silk Tree

Amendment No. 3

Adopted by the City Council, August 12, 2003

Modified by Propositions F & G, March 2, 2004

Amendment No. 4

Adopted by the City Council, Month Day 2019

Design Guidelines

Application	Density	Latin Name	Common Name
		<i>Koelreuteria bipinnata</i> (multi)	Chinese Flame Tree
		<i>Lagerstroemia indica</i> (multi)	Crape Myrtle
		<i>Platanus Acerifolia</i> (Bloodgood)	London Plane Tree
		<i>Quercus agrifolia</i> (multi/low branching)	Coast Live Oak
PARKWAY AND MEDIAN SHRUBS			
Density (70% at 5 gallon, 30% at 1-gallon size)		<i>Abelia grandiflora</i> 'Edward Goucher'	Glossy Abelia
		<i>Agapanthus orientais</i>	Lily of the Nile
		<i>Dietes bicolor</i>	African Iris
		<i>Grevillea noe/lili</i>	Grevillea
		<i>Phormium tenax</i> 'Atropwpurem'	New Zealand Flax
		<i>Pittosporum tobira</i> 'Variegata'	Tobira
SLOPE SHRUBS			
(30% at 5-gallon size, 70% at 1-gallon size)		<i>Agave attenuata</i>	Agave
		<i>Arbutus unedo</i>	Strawberry Tree
		<i>Dietes bicolor</i>	African Iris
		<i>Myoporum pacificum</i>	Myoporum
		<i>Pittosporum tobira</i> 'Variegata '	Tobira
		<i>Raphiolepis indica</i> 'Springtime'	India Hawthorne
SLOPE GROUNDCOVER			
(Flatted@18" O.C.)		<i>Baccaris Pilularis</i> "Prostrata"	Dwarf Coyote Bush
(Rooted Cuttings, 18" O.C.)		<i>Juniperus</i>	Juniper
(1 Gal@ 4'-0" O.C.)		<i>Myoporum parvifolium</i> 'Prostratum'	Myoporum
		<i>Rosemarinus Officinais</i> "Prostratum"	Rosemary
SAN MARCOS CREEK AREA/PARK PERIMETER			
Trees		<i>Cercis occidentalis</i>	Western Redbud
(20% 24" Box, 80% 15 Gallon)		<i>Platanus acerifolia</i>	London Plane Tree
		<i>Quercus agrifolia</i>	Coast Live Oak
		<i>Salix lasiolepis</i> (lower slopes)	Willow
		<i>Eucalyptus Sideroxylon</i>	Red Ironbark Eucalyptus
Shrubs (Lower Slopes)		<i>Baccharis Pilulrsis</i>	Baccharis
(Gallon @4' O.C.)		<i>Iva haysiana</i>	Iva

Amendment No. 3

Adopted by the City Council, August 12, 2003

Modified by Propositions F & G, March 2, 2004

Amendment No. 4

Adopted by the City Council, Month Day 2019

Design Guidelines

Application	Density	Latin Name	Common Name
Shrubs (Upper Slopes) (1 Gallon@3' to 4' O.C.)		<i>Heteromeles arbutifolia</i>	Toyon
		<i>Manonia 'golden abundance'</i>	Manonia
		<i>Rhus ovata</i>	Sugar Bush
		<i>Rosa californica</i>	Rose

Note: 1: Minimum 4 feet from hardscape.

Amendment No. 3

Adopted by the City Council, August 12, 2003

Modified by Propositions F & G, March 2, 2004

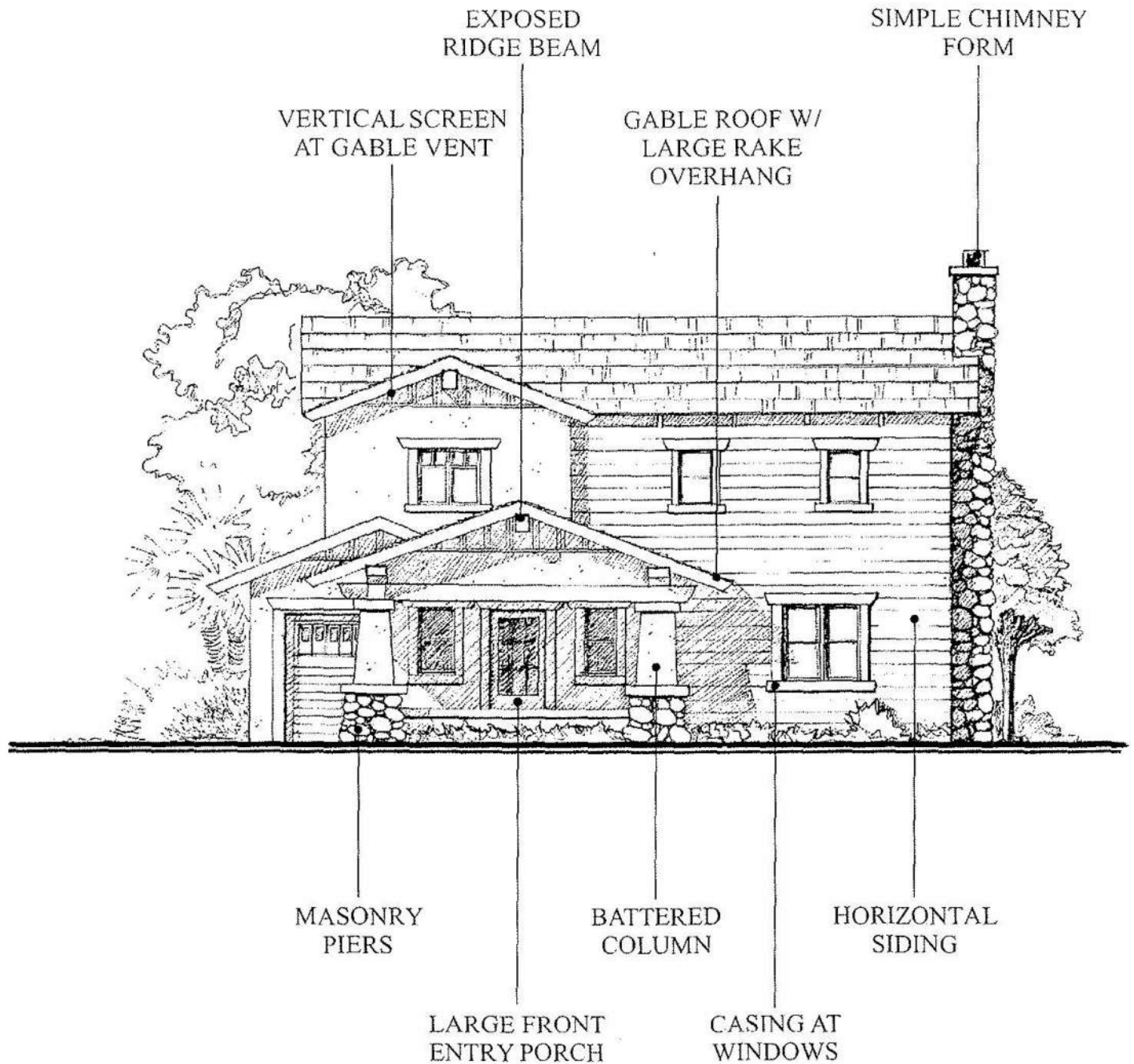
Amendment No. 4

Adopted by the City Council, Month Day 2019

D. Architectural Design Guidelines

◆ Residential Architectural Design Criteria

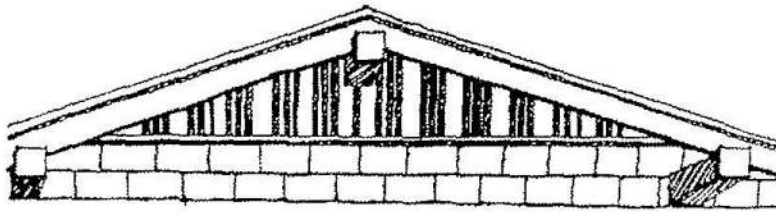
1. **Introduction:** The intent of these Architectural Design Guidelines is to establish general guidelines that facilitate residential projects which exhibit excellence in design and provide a variety of housing opportunities. It is envisioned that the architecture for the village will be created through consideration of the project's overall theme and the constraints, opportunities and characteristics of each neighborhood within the village. Each neighborhood enclave should provide diversity in design through architectural character and floor plan livability. Architectural diversity should be created by manipulating building materials, colors and textures in conjunction with architectural features (for example, roofs, windows, doors, fascia's, and trim), rather than by designing buildings that vary greatly in architectural styles. All architecture shall enhance and enrich the community theme. Development within the Specific Plan requires the submittal and approval of development plans in accordance with requirements discussed in Section V (Review Process) of this Specific Plan document.
2. **Architectural Concept:** Architecture within University Commons should evoke the traditional and contemporary materials, forms and colors that have evolved overtime in the San Marcos and San Diego areas and the Southern California region. Each village within University Commons should have a distinctive architectural product type and/or style. This approach will ensure that each residential development within the village will have a strong, coherent identity resulting in an aesthetically pleasing community. Possible conceptual architectural styles and the architectural details that define the styles for single family residences are illustrated on the Conceptual Residential Elevations and Architectural Details, **Figure 47** through **Figure 56**. The following descriptions and graphics offer an overview of the general architectural styles desired for University Commons. Although individual character and interpretation are strongly encouraged, the following standards and guidelines should be followed to achieve the overall design theme. Although intended to apply to all residential products within University Commons, some standards and guidelines may need to be applied differently to multi-family attached housing types. Where this may be the case, it is so noted.
3. **Building Mass, Form and Scale:** Residential buildings in University Commons, with the exception of multi-family attached units, should be designed low to the ground and blend in with their surroundings. The apparent mass of buildings should be reduced through the following techniques:
 - a. Use patio walls and balconies to break-up the monotony of exterior walls.
 - b. Utilize projections and recesses to provide shadow and relief at exterior walls and roof areas.



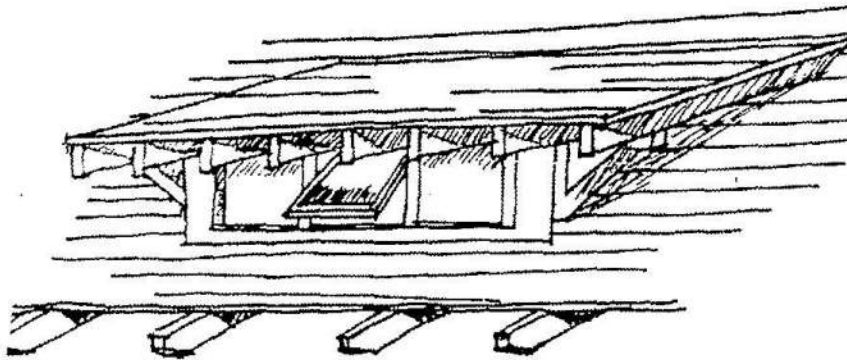
**UNIVERSITY
COMMONS**

Figure 47
CONCEPTUAL
RESIDENTIAL ELEVATION,
CALIFORNIA BUNGALOW

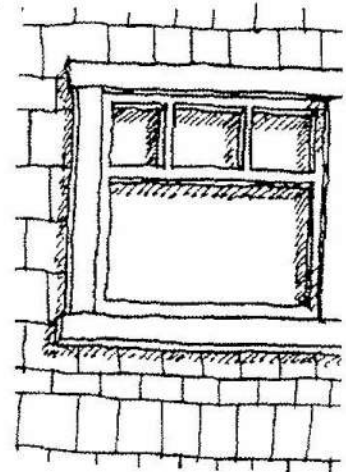
Amendment #4



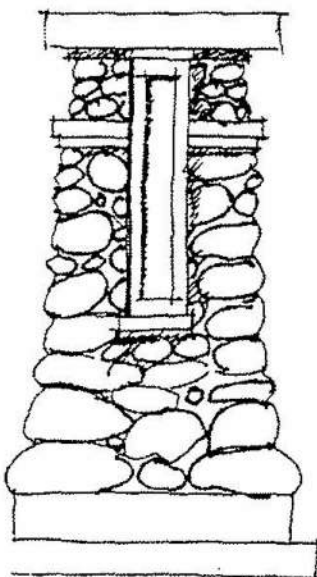
Screened gable vent, ridge beam,
beam tail



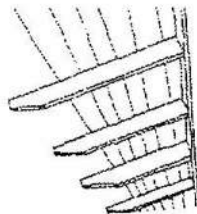
Shed dormer, roof rafters



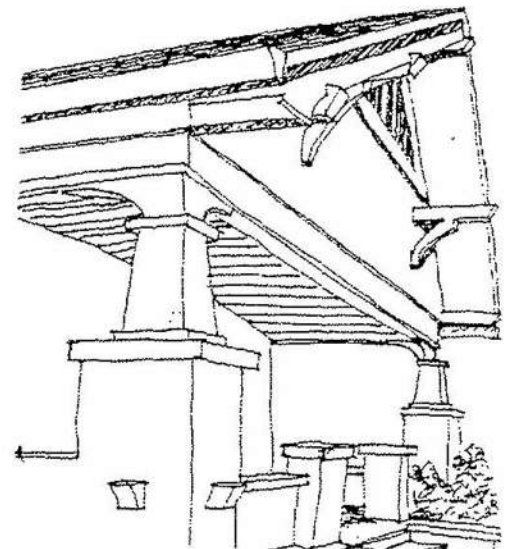
Window casing



Stone pier w/ inset motif



Roof rafters w/
wood soffit



Entry porch w/ battered columns,
piers, knee braces, gable vent

SOURCE: CASEGROUP ARCHITECTS

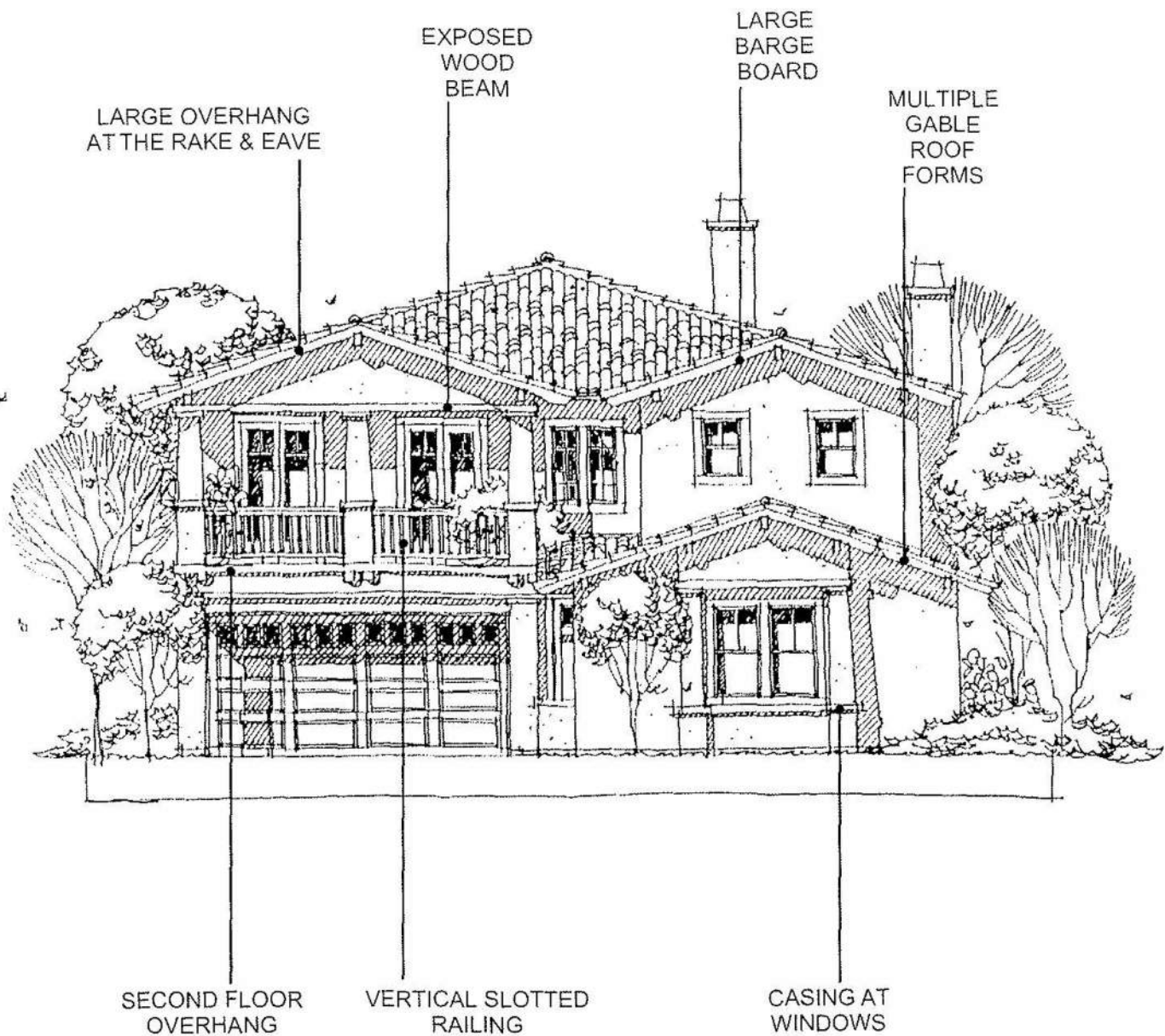
**UNIVERSITY
COMMONS**



Figure 48
ARCHITECTURAL DETAILS,
CALIFORNIA BUNGALOW

Amendment #4

Design Guidelines

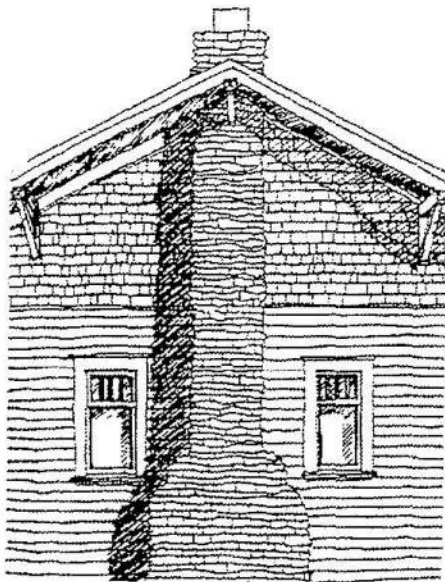


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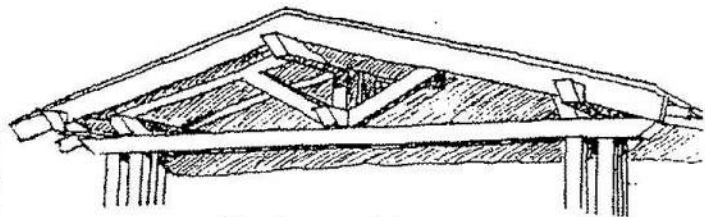
**UNIVERSITY
COMMONS**

Figure 49
CONCEPTUAL
RESIDENTIAL ELEVATION,
CRAFTSMAN STYLE

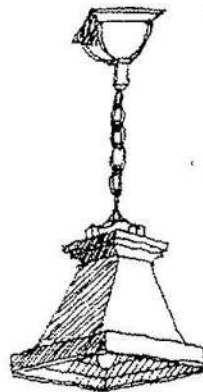
Amendment #4



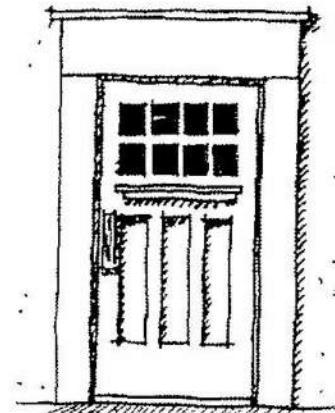
Rusticated brick chimney w/
flanking windows, knee braces



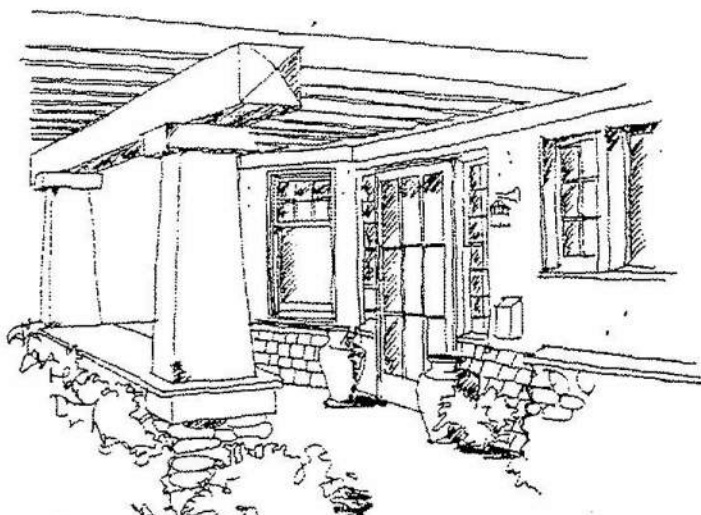
Tie beam w/ beam tails and
wood columns



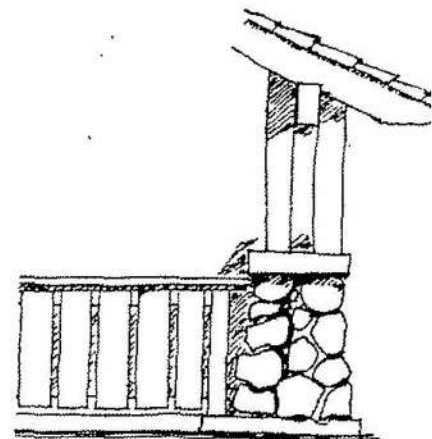
Metal lantern



Entry door w/ casing



Battered columns on stone pier
w/ beam porch entry, metal lantern



Stone pier w/ wood columns
and wood railing

SOURCE: CASEGROUP ARCHITECTS

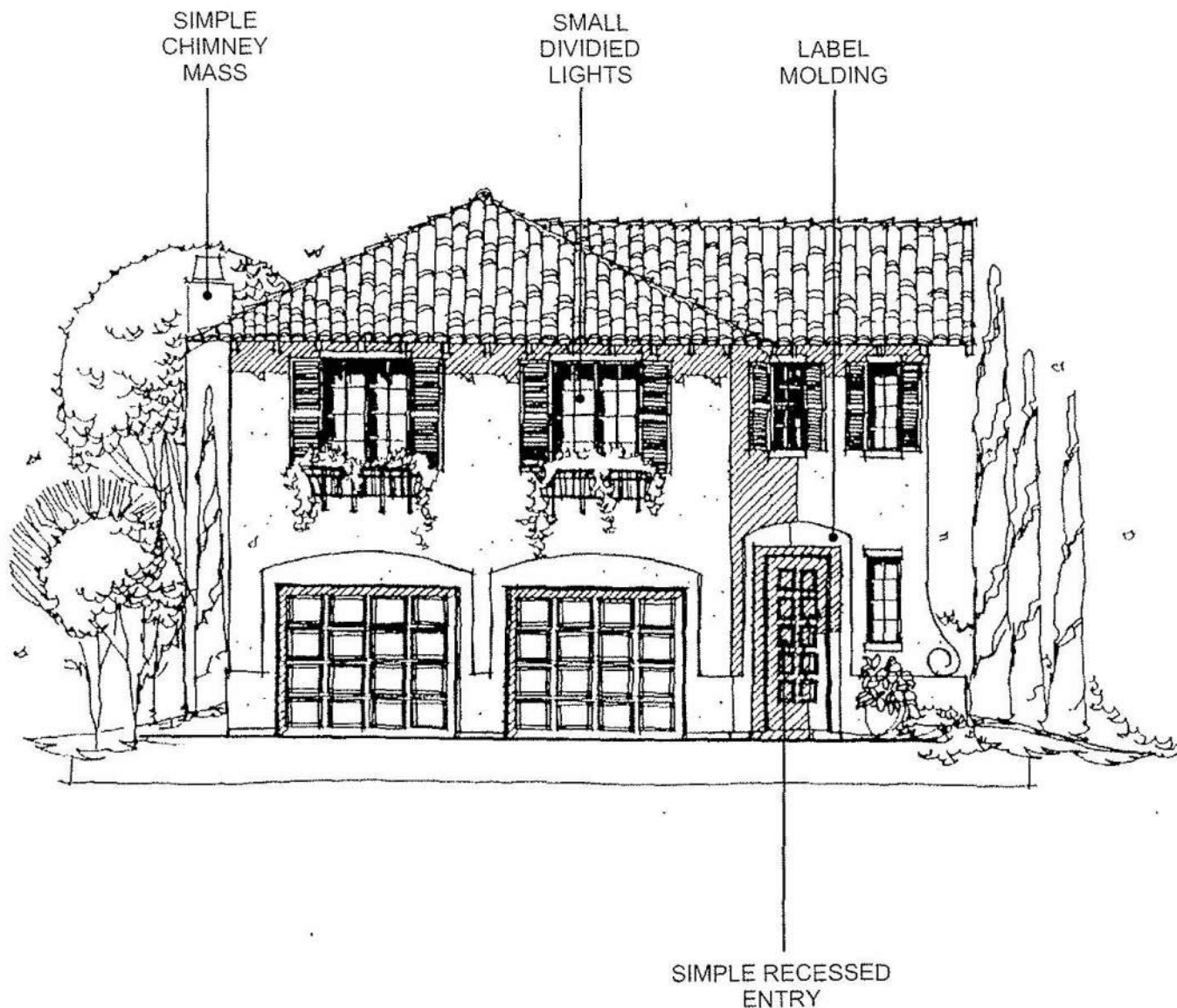
**UNIVERSITY
COMMONS**



Figure 50
ARCHITECTURAL DETAILS,
CRAFTSMAN STYLE

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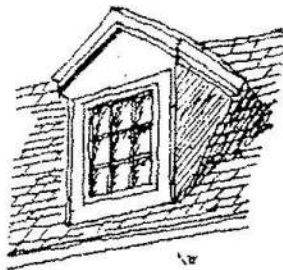
Design Guidelines



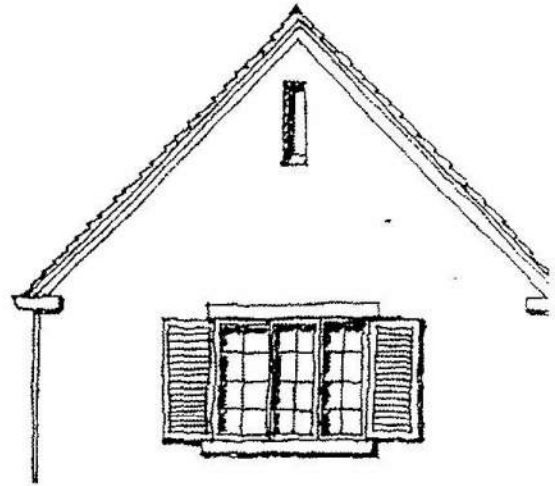
SOURCE: CASEGROUP ARCHITECTS

**UNIVERSITY
COMMONS**

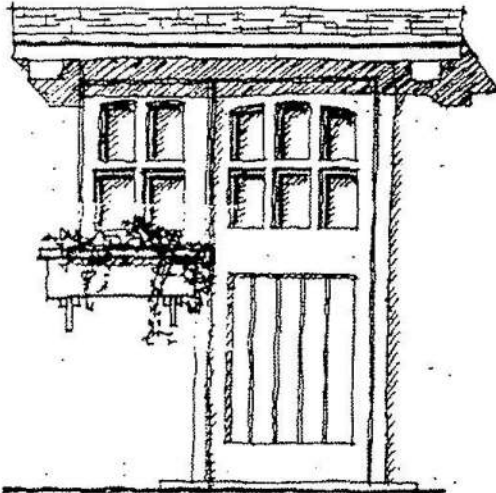
Figure 51
CONCEPTUAL
RESIDENTIAL ELEVATION,
ENGLISH COUNTRY
Amendment #4



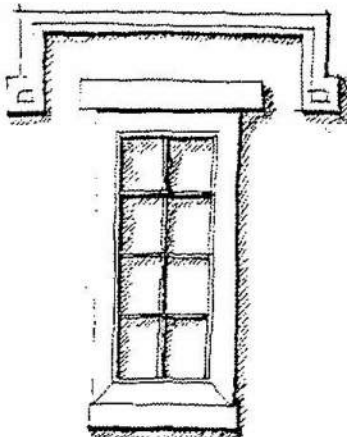
Gable dormer



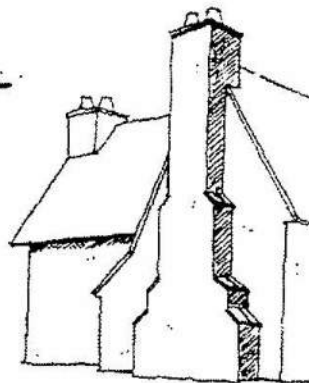
Clean rake, small thin recess
at gable, shutters at windows



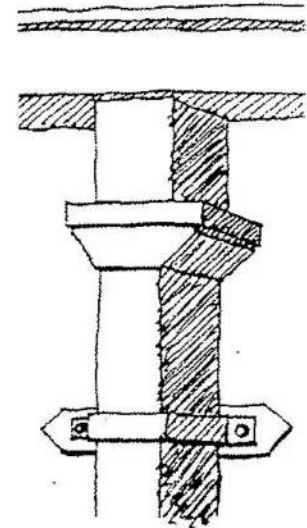
Entry door w/ roof awning



Label molding at window



Gable forms w/ multiple flue
chimney



Decorative metal downspout

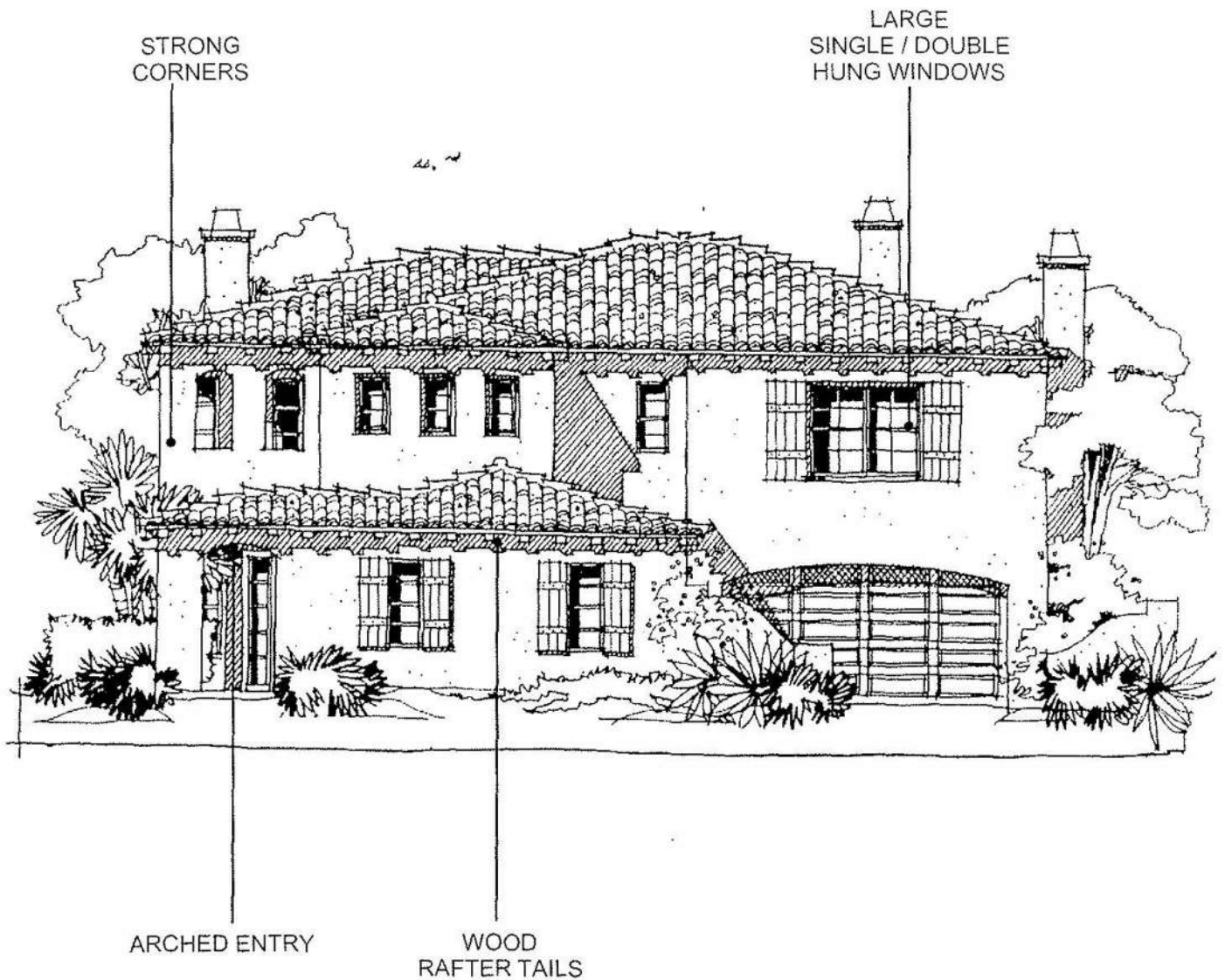
SOURCE: CASEGROUP ARCHITECTS

**UNIVERSITY
COMMONS**

Figure 52
ARCHITECTURAL DETAILS,
ENGLISH COUNTRY

Amendment #4

Design Guidelines

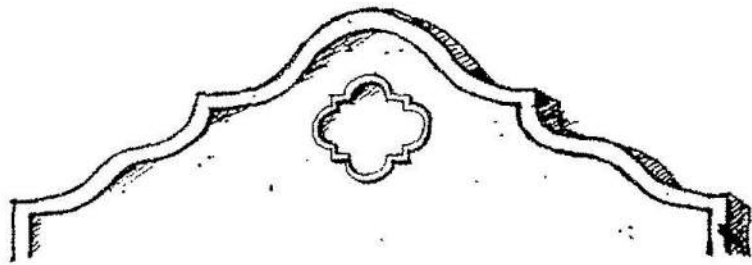


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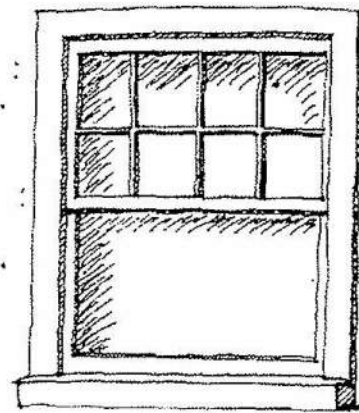
**UNIVERSITY
COMMONS**

Figure 53
CONCEPTUAL
RESIDENTIAL ELEVATION,
MISSION STYLE

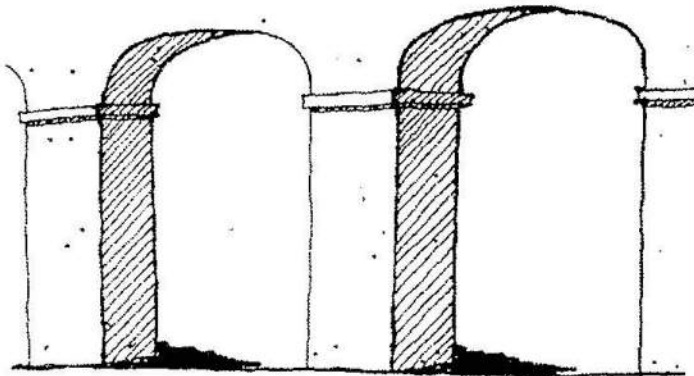
Amendment #4



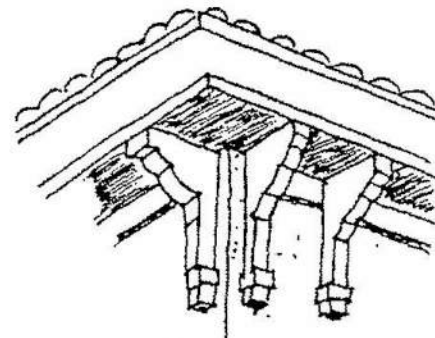
Mission shaped parapet w/ quatrefoil window



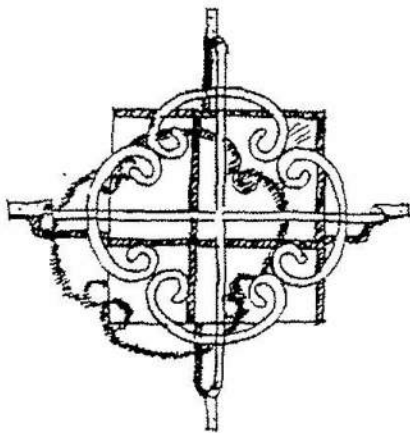
Large single hung window



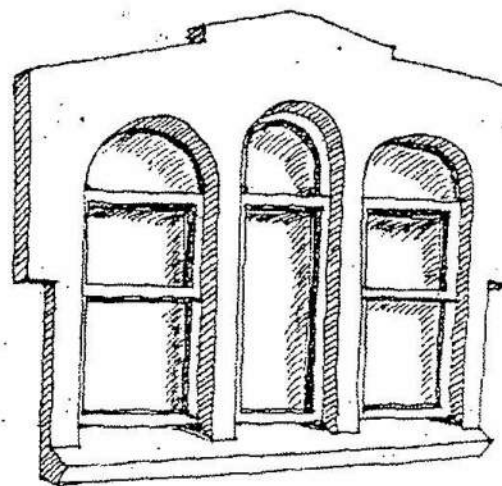
Semielliptical arches with banding at spring line



Roof braces w/ large overhang



Decorative metal work



Casing around prominent window

SOURCE: CASEGROUP ARCHITECTS

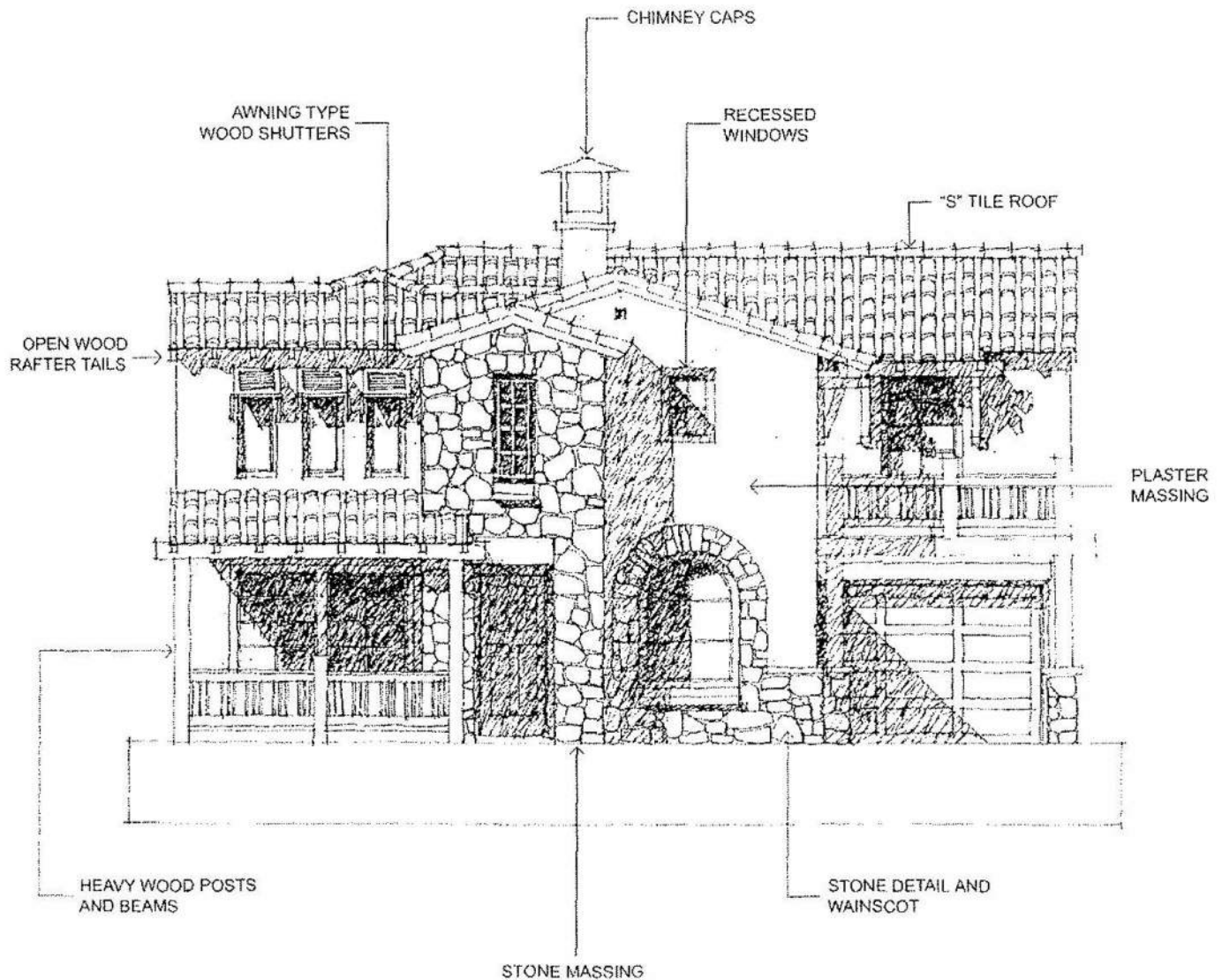
**UNIVERSITY
COMMONS**



Figure 54
ARCHITECTURAL DETAILS,
MISSION STYLE

Amendment #4

Design Guidelines

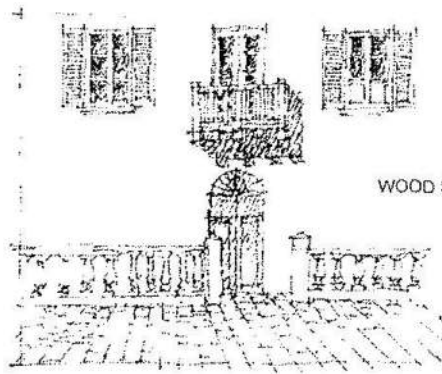


SOURCE: STARCK ARCHITECTURE + PLANNING

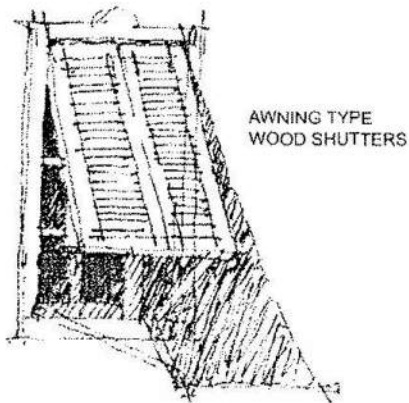
**UNIVERSITY
COMMONS**



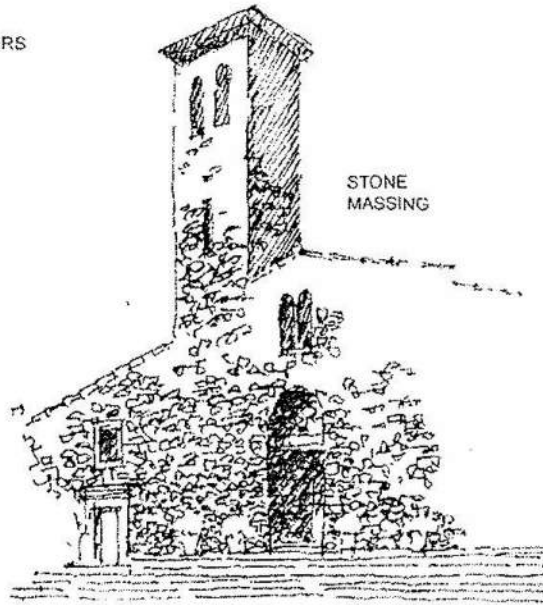
Figure 55
CONCEPTUAL
RESIDENTIAL ELEVATION,
TUSCAN
Amendment #4



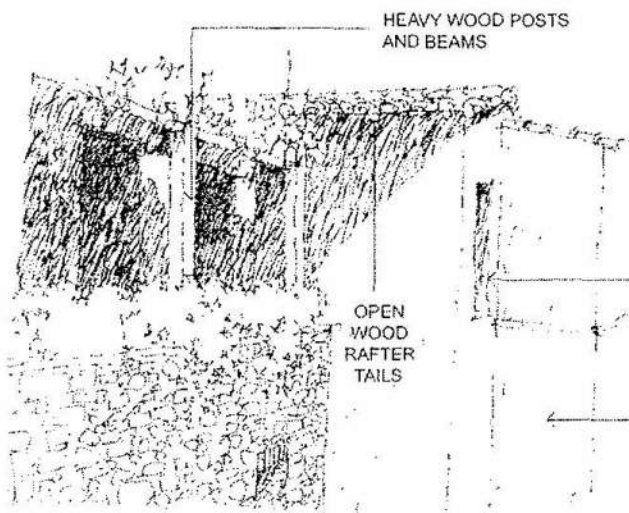
WOOD SHUTTERS



AWNING TYPE
WOOD SHUTTERS



STONE
MASSING

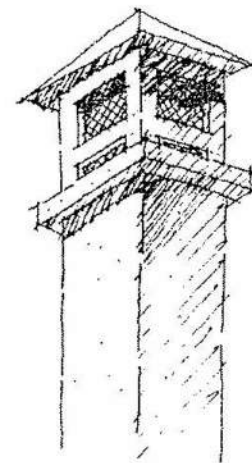


HEAVY WOOD POSTS
AND BEAMS

OPEN
WOOD
RAFTER
TAILS

RECESSED
WINDOWS

PLASTER MASSING



CHIMNEY CAP

SOURCE: STARCK ARCHITECTURE + PLANNING

**UNIVERSITY
COMMONS**



Figure 56
ARCHITECTURAL DETAILS,
TUSCAN
Amendment #4

Design Guidelines

- c. Combine one- and two-story architectural elements within facades. For mid-rise multi-family attached product types, distinction in levels through elevational changes, roofline variances, step-backs and other architectural relief is encouraged.
- d. Utilize a variety of floorplans to create variations in elevations and rooflines.
- e. Provide overhead structures (porches, trellises, pergolas, etc.) at entries.
- f. Use simple roof forms, provide interest by jogging the roof lines, varying plate lines and roof heights, including pop outs and gabled roof forms.
- g. Maintain a strong indoor/outdoor relationship.
- h. Recess windows and doors to provide depth. Accent trim and color- divided window lights and raised panels are examples of detailing that provide individuality and interest. Awnings are permitted, if they are consistent with the overall architectural style of the building. Metal awnings are prohibited.
- i. Fully integrate garage doors into the design of the architecture. They should be simple in design and recessed from adjacent walls. Applied decoration should be minimized, but accent colors are encouraged to complement the architecture and to provide visual variety along streetscapes. Windows in garage doors are encouraged for a portion of each neighborhood. Staggered setbacks, recessed garages and side-entry garages are encouraged to further vary the streetscape.
- j. Consider designs with garages located to the rear of the main structure.
- k. Use balconies to break up wall masses and to take advantage of views of the surrounding hillsides and creekside area. Chimneys and spark arrestors should be used as a thematic architectural form but should be simple in design. Materials should match those used on the main buildings.
- l. Keep private walls and fences consistent with community wall themes and compatible with the architectural style of the buildings. Foreground plantings, vines and espaliers are strongly encouraged to soften long stretches of walls and fencing.
- m. Screen from public view mechanical equipment, such as air conditioning equipment, soft water tanks, gas meters and electric meters.
- n. Conceal, as much as feasible, gutters and downspouts. If they must be exposed, they should be designed as a continuous architectural feature, painted to match the adjacent building surface. All flashing, sheet metal, vent stacks and pipes should be painted to match the adjacent building surface. Skylights should be designed as an integral part of the roof. Their location and color should be related to the building. Solar panels are encouraged and should be integrated into the

Design Guidelines

roof design, flush with roof slopes. Frames should be colored to complement the roof. Support solar equipment should be enclosed and screened from view.

- o. Use patio trellises, pergolas and other exterior structures to soften building masses, provide shade and define spaces. As with main buildings, clean forms are encouraged, using materials and colors complementary to building architecture and project design themes.
4. **Building Elevations:** Buildings facing streets, project entries and major open spaces will be seen from all angles. Therefore, they should be well-detailed and distinctively articulated. Special priority and architectural enhancements and articulation such as balconies, shutters, banding and window trim are required on building rear and side facades that can be seen above community walls adjacent to open space areas and/or from major public streets. **Figure 57**, Enhanced Architectural Elevation Site Plan, indicate those residential lots which are required to receive enhanced side and rear elevations. Likewise, major rear and side building entrances should receive treatment similar to front or main building entrances. In addition, long stretches of unbroken exterior walls are discouraged in favor of articulated elevations with projections, recesses, windows, doors and specialized architectural detailing. See **Figure 58**, Rear and Side Elevation Architectural Enhancements.



NOTE:
ADDITIONAL ENHANCED ELEVATIONS
MAY BE REQUIRED BY THE CITY STAFF
DURING SITE DEVELOPMENT REVIEW.

LEGEND

- REAR BUILDING ENHANCEMENT REQUIRED
- REAR & ONE SIDE BUILDING ENHANCEMENT REQUIRED
- ONE SIDE BUILDING ENHANCEMENT REQUIRED



Figure 57
**ENHANCED ARCHITECTURAL
ELEVATIONS**
Amendment #4

INTERSECTION OF
HIP ROOFS FOR ROOF
ARTICULATION

DORMER STYLE SECOND STORY
FOR BUILDING ARTICULATION

WINDOW SHUTTERS

VARYING WALL
PLANES FOR
BUILDING RELIEF

STAGGERED BUILDING PLANES
TO MINIMIZE BULK

TRIM DETAILS FOR
ADDED WALL INTEREST



SIDE ELEVATION

HIP STYLE ROOF MASS TO
MINIMIZE WALL SCALE

DECORATIVE CHIMNEY DETAILS
FOR VISUAL INTEREST AND IDENTITY

FIRST STORY ROOFS
TO BREAK UP WALL
MASSIVENESS

MULTIPLE WINDOWS/
BAY WINDOW TO PROVIDE
A VARIETY OF STYLES

VARIED WINDOW
TRIM TREATMENT



REAR ELEVATION

**UNIVERSITY
COMMONS**

Figure 58
REAR AND SIDE ELEVATION
ARCHITECTURAL
ENHANCEMENTS

Amendment #4

Design Guidelines

Design Guidelines

5. **Building Materials and Colors:** Building materials and colors should complement the natural, climatic and built environment of the University Commons village. If desired, materials may be left in their natural state and allowed to weather and blend into the natural environment. All materials may be durable and require little maintenance. Large expanses of flat, windowless wall planes that are not articulated by materials should be limited. Contrasting materials may be employed in areas in which special emphasis is desired, such as building entrances and patios. Masonry and brick may be used to provide vertical and horizontal accents, such as chimneys and architectural banding, on buildings.

Paints and stains should be subdued and limited primarily to soft pastels, neutral colors, grays and light to medium earth tones. Selected contemporary accent colors and pure hues are encouraged when limited to moldings, doors, window frames, fascia's, awnings, shutters, cornices and accent rim. Contrasting materials, textures and colors may be used to add emphasis to entry areas and significant architectural features. Wood may be treated with transparent stains or paints.

Acceptable building materials include, but are not limited to:

- Wood siding, including rough sawn wood
- Board and batten
- Concrete, including tinted and stamped concrete
- Concrete tile roofing
- Stucco or plaster finish
- Stucco-covered block, including walls
- Rock and stone
- Rock and mission-tile roofing
- Brick and used brick, in natural browns, tans, beiges and subdued shades of red.

Conditionally acceptable materials include stucco when it is integrally incorporated into the architecture on two or more elevations of the structure and is not finished with a heavy texture.

Discouraged materials including the following:

- Blue or green tile roofs
- Brightly painted steel roofs, painted steel accent trim is permitted
- Galvanized
- Fiberglass
- Painted brick and stone, except stucco-covered masonry and painted concrete block slump block walls, which are permitted
- Aluminum or vinyl/plastic siding

Design Guidelines

6. **Roofs:** Roofs should serve as major structural and architectural design elements. A variety of roof types are permitted and encouraged within the village. Roofs should reflect the selected neighborhood or product-type concept and respond to the style, materials and scale of the building. Roof overhangs are encouraged; they provide shade and also are aesthetically pleasing. Solar panels and skylights are encouraged, provided that they are designed as an integral part of the roof form.

As it relates to styles, a variety of roofs shall be permitted and encouraged, including hip, gable and shed roofs. Roof pitches of 3:12 to 6:12 are permitted. Mansard, Gambrel and flat roofs are not permitted on single family construction. However, Mansard roofs and small areas of flat roofs may be permitted on multi-family construction provided that the use of a flat roof style is consistent with the architectural style of the building, and the majority of the roof includes a sloping condition consistent with the chosen architectural style. Flat roof areas should have a roof surface material colored to match the primary roofing material.

Roof heights and planes should vary to create interplay between the roof and the walls of the structure.

Acceptable roofing materials include, but are not limited to, clay, tile, and concrete tile. Tile shapes include S-Tile, Barrel, Flat, Slate, Italian and Low Profile. Limited color variance in tiles are acceptable, but variegated tiles are prohibited. Unacceptable roofing materials include wood shakes and shingles and composition shingles.

Accessory structures should have roofs similar to or compatible with the primary or major structure they support. There is no minimum roof pitch required for accessory structures. Flat roofs on accessory structures are permitted.

Roofing trim materials should be of similar materials and complementary colors. Acceptable materials include clay and concrete tile. Composition, plastic and wood roofing materials are prohibited for aesthetic and fire safety reasons. Roof vents and appurtenances should be painted to match the roof color.

7. **Chimneys:** Chimneys should act as major vertical element in the architecture. Caps on chimneys should have low profiles; they should not be visually distractive. Acceptable building materials include stone veneer, brick (including used brick), stucco and wood. Spark arrestors should be consistent with the architectural style.
8. **Doors and Windows:** By varying the spacing, sizes, shapes, and locations of door and window openings in building facades, structures may be made more visually interesting and attractive. However, care must be taken to avoid too much variety, or the end result will be a chaotic, cluttered, building facade. It is especially important to vary the placement of doors and windows on buildings located in close proximity to each other in the same development. In addition, windows and doors may be recessed into or projected out of structures to emphasize important areas of the building.

Design Guidelines

To further enhance the individual identity of each structure, pot shelves, window boxes and built-in planters may be utilized. However, all such containers must be easily accessible for plant maintenance. Windows, frames, mullions and door frames shall be color coordinated with the rest of the building. Doors may be somewhat ornate and include inset panels, carvings and/or window panes. Pediments should not be used above windows or doors.

9. **Garages**: In order to de-emphasize the role of the garage in front elevations, setbacks, side-entries, detached garages and other "non-traditional" treatments are encouraged. Garages set at rear of lots or use of an alley also is permitted. Garages should be constructed of materials compatible with the architectural style of the adjacent primary structure. A variety of possible garage orientations are shown for each lot configuration (lot size) in Section IV.
10. **Porches, Arcades and Entryways**: Entrances to buildings should be clear and easily recognizable. Covered entrances, porches and arcades are desirable, because they serve to identify entrances and provide front-yard and side-yard elevational differences. Front entrances should be designed as significant architectural features. Porches and entryways may be used to visually break up large, monolithic buildings into smaller units, more in keeping with the desired human scale. Porches may be used on buildings of two or more stories as a transition from nearby single-story structures or other taller structures. Porches may be constructed of wood, stucco, stone, brick and other similar materials. Wrought iron railings are permitted and acceptable.
11. **Balconies and Overhangs**: Balconies and overhangs are desirable elements of a building, because they provide architectural interest even when not serving a practical purpose. Balconies also are encouraged in higher-density units, because they provide residents with necessary outdoor areas and spaces. Balconies and overhangs add visually to a structure by breaking-up wall masses, offsetting floors and creating a sense of human scale. Balcony railings may be constructed of wood, masonry, decorative metal and/or stucco. Balcony railings may be solid, if desired. Accent tile may be used in moderate amounts. Pipe railings should not be used. In all cases, balconies, overhangs and arcades should be designed such that detailing, form, color and materials are similar and/or compatible to the main structure.

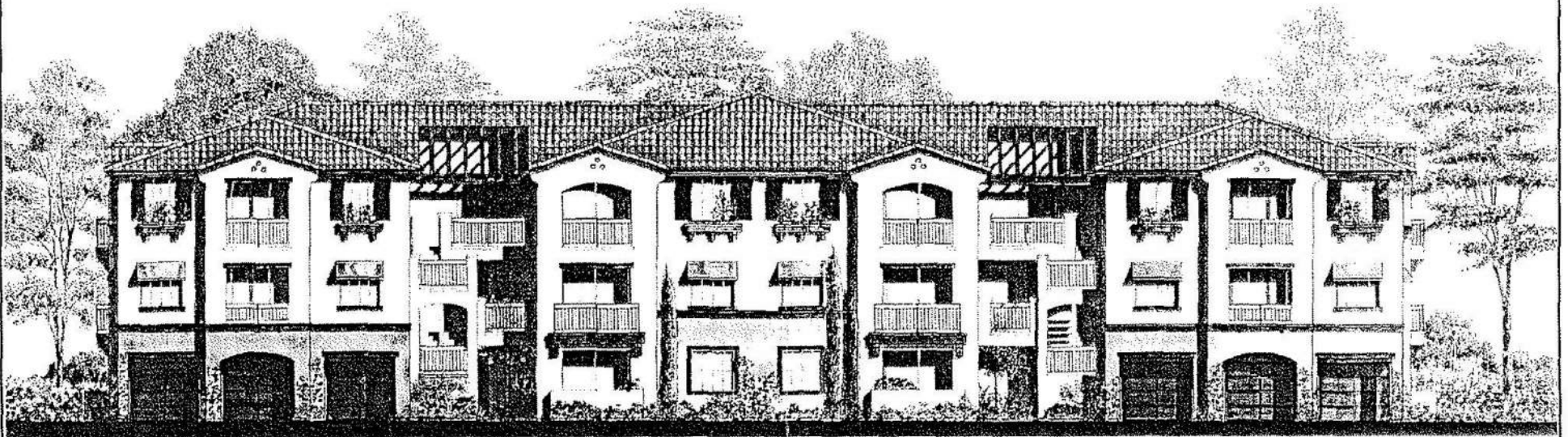
No balcony should protrude more than 2 feet on the front or side elevation and no deck should protrude more than ten (10) feet from any rear wall of a residential structure.
12. **Refuse Collection Areas**: Trash enclosures should be harmonious with the overall design theme or concept of the development. All trash enclosures should be constructed in an architectural style similar to adjacent structures and of compatible materials. The following provisions shall apply to all refuse collection areas and trash enclosures within the village.

Design Guidelines

- a. Refuse collection areas or trash enclosures should not be located within any required setback areas and shall be screened from off-site views by structures, solid walls or fences and/or landscaping. Refuse collections should be screened from views from any public street or adjacent residential areas.
- b. Refuse collection areas or trash enclosures should be conveniently accessible to the units/buildings they are designed to serve.
- c. Refuse collection areas in parks shall be screened by landscaping, walls, fences or other architectural features in such a manner as not to be visible from any public street or adjacent residential building.
- d. Refuse collection areas in residential neighborhoods should be screened with a six-foot high decorative solid fence or wall and have an opaque gate.
- e. The number of refuse collection bins provided shall meet all of the City of San Marcos policies and codes.

◆ Multi-Family Architecture Design Criteria

Although the above listed residential criteria apply to multi-family residential development in the University Commons Specific Plan, the following standards should be applied to any multi-family attached residential construction. See **Figure 59**, Multi-Family Three Story Elevation, Typical; **Figure 60**, Multi-Family Two Story Elevation, Typical; **Figure 61**, Multi-Family Typical Building Footprint; **Figure 62**, Multi-Family Typical Building Footprint (Two Story); **Figure 63**, Planning Area 1 – Conceptual Multi-Family Site Plan; **Figure 64**, PA 3 Conceptual Multi-Family Site Plan, and **Figure 65**, PA6C- Conceptual Multi-Family Site Plan.



SOURCE: CIC

**UNIVERSITY
COMMONS**



Figure 59
MULTI-FAMILY
TYPICAL ELEVATION
(THREE STORY)

Amendment #4

Design Guidelines



SOURCE: CASE GROUP

**UNIVERSITY
COMMONS**



Figure 60
MULTI-FAMILY TYPICAL
BUILDING ELEVATION
(TWO STORY)

Amendment #4

Design Guidelines

OFF-SETS REDUCE
APPARENT BUILDING MASS

RECESSES INCREASE
INTEREST

RECESSED ENTRY
CREATES SENSE
OF PRIVACY

BALCONIES PROVIDE
OUTDOOR LIVING SPACE

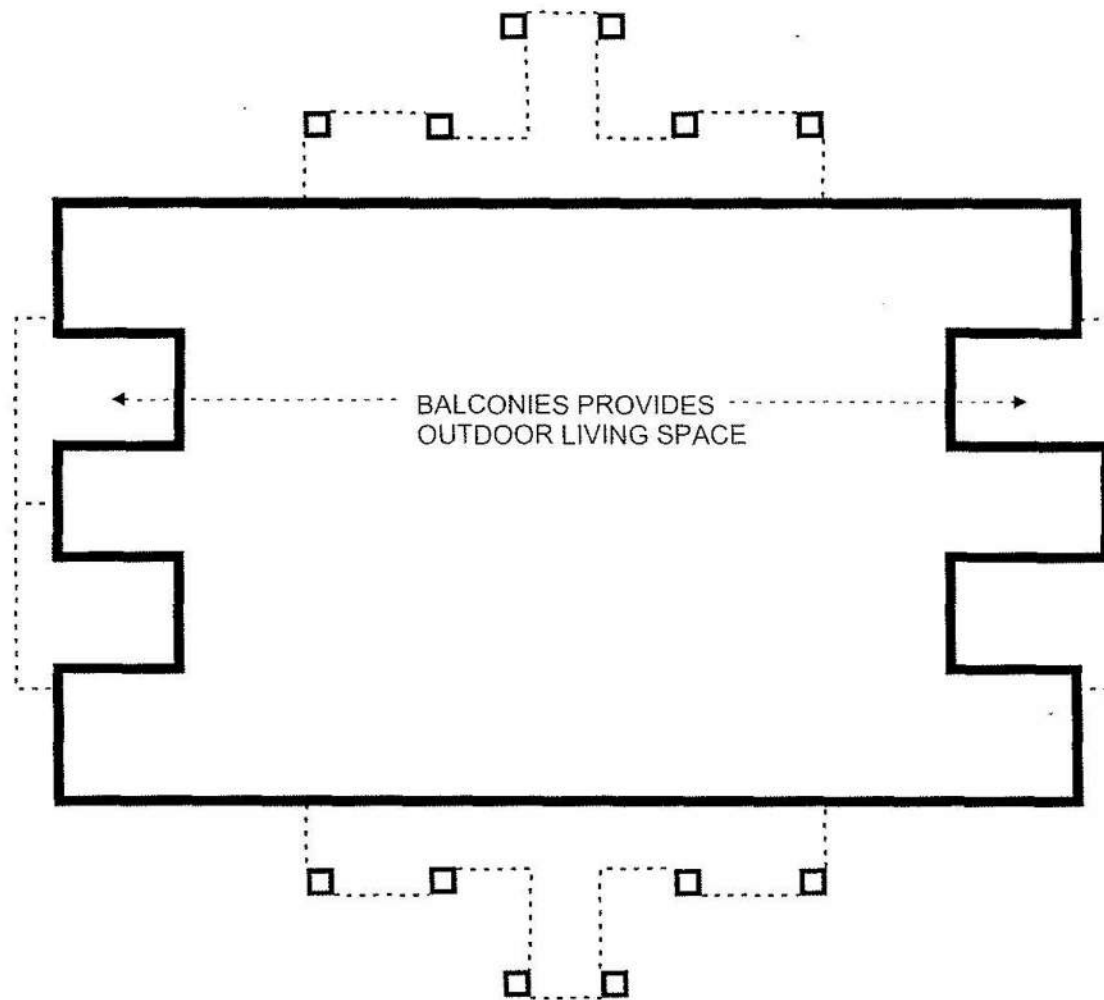
POP-OUTS VARY WALL
PLANES AND REDUCE
APPARENT MASS.

SOURCE: CIC

**UNIVERSITY
COMMONS**



Figure 61
MULTI-FAMILY
TYPICAL BUILDING FOOTPRINT
(THREE STORY)
Amendment #4



SOURCE: CASE GROUP

**UNIVERSITY
COMMONS**



Figure 62
MULTI-FAMILY
TYPICAL BUILDING FOOTPRINT
(TWO STORY)
Amendment #4



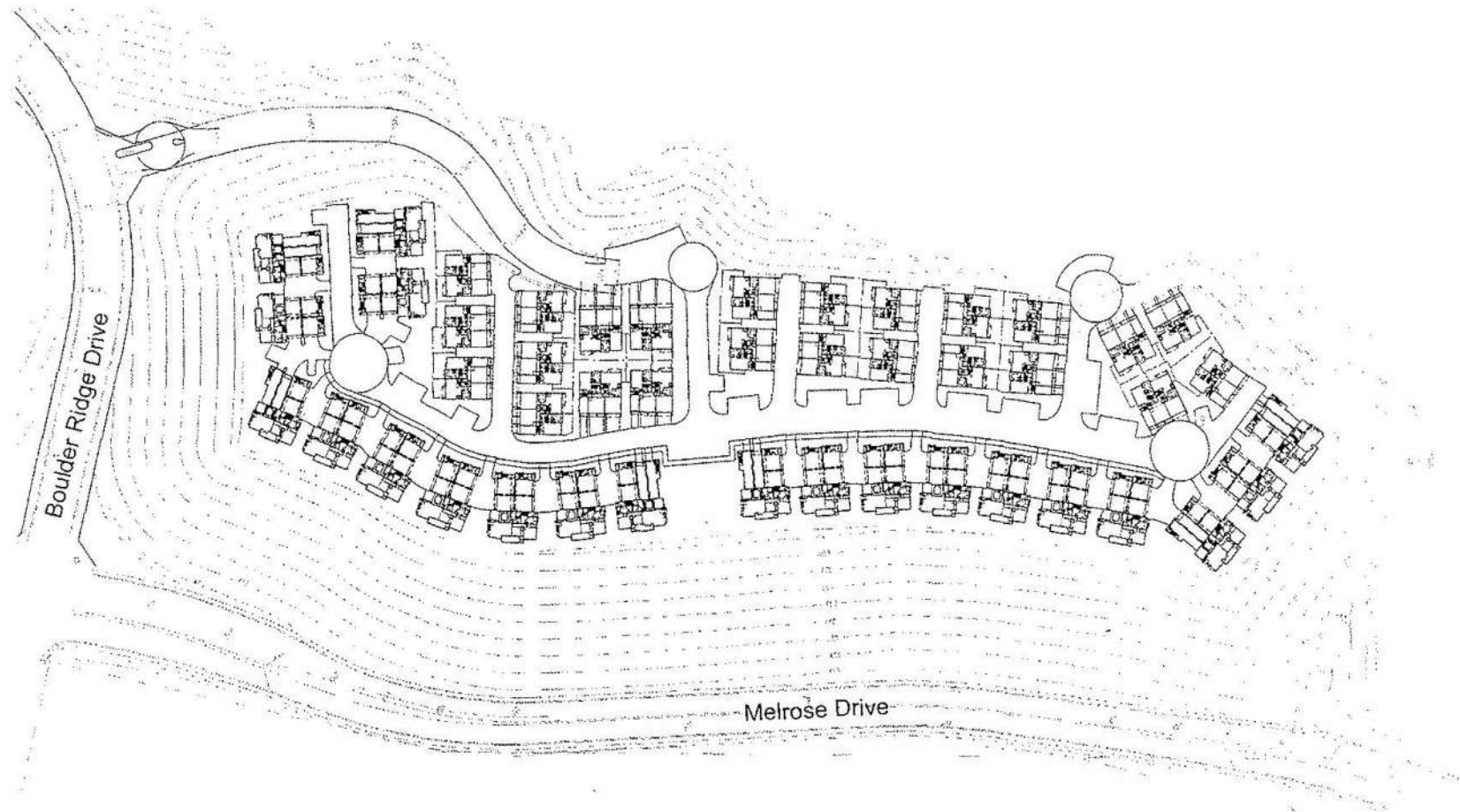
**UNIVERSITY
COMMONS**



Figure 63
**PLANNING AREA 1 -
CONCEPTUAL MULTI-FAMILY SITE PLAN**

Amendment #4

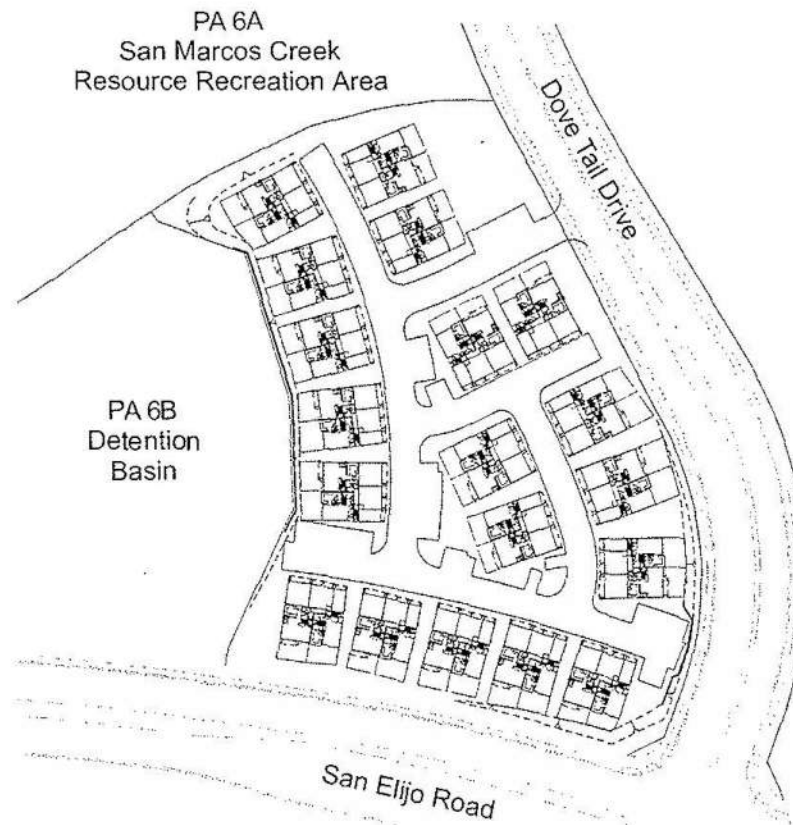
Design Guidelines



**UNIVERSITY
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Figure 64
PLANNING AREA 3 -
CONCEPTUAL MULTI-FAMILY SITE PLAN
Amendment #4



**UNIVERSITY
COMMONS**



Figure 65
PLANNING AREA 6C -
CONCEPTUAL MULTI-FAMILY SITE PLAN
Amendment #4

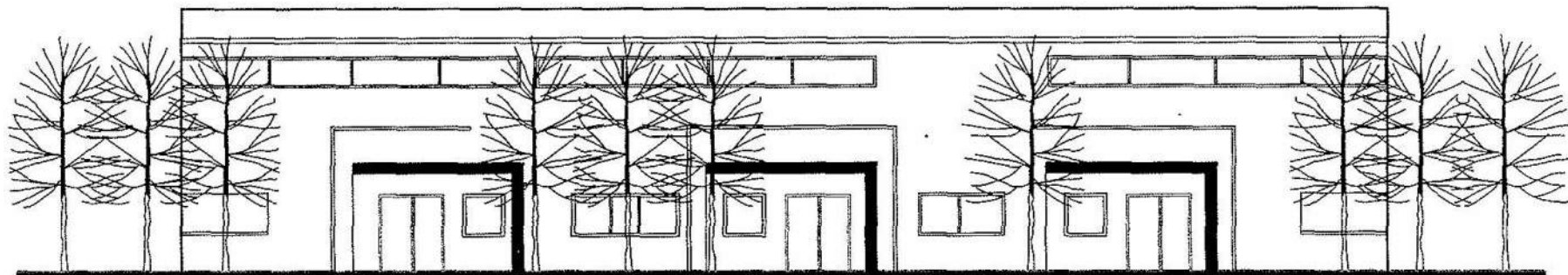
Design Guidelines

1. When practical, buildings should “step down” at the building ends to soften the massing.
2. Building setbacks should be varied to prevent monotonous street scene.
3. Offsets, pop-outs, overhangs, recesses and porches shall be used to avoid large unbroken expanses of building planes.
4. Carports and accessory buildings such as laundry buildings shall be designed to complement the architecture of the main buildings.
5. A system of pedestrian walkways shall be provided which are designed to be safe from vehicular traffic.
6. Utility and trash areas shall be screened by use of fences, walls or landscaping.
7. Parking areas shall be visually screened from adjacent public roads and public open space through the use of walls, building placement, landscaping or other effective measures.
8. Recreational amenities and/or tot lots are to be provided within each multi-family development.
9. Careful attention shall be given to the provision of adequate unit and guest parking.

◆ Light Industrial Architectural Design Criteria

1. **Introduction:** Although most, if not all of the above listed residential criteria also apply to potential commercial/industrial uses in the University Commons, certain special standards should be applied to any industrial uses constructed within the project. Industrial architecture shall be compatible with existing industrial structures. The following criteria are intended to apply specifically to those uses.
2. **Elevations:** Building elevations should be articulated to create interesting roof lines, strong patterns of shade and shadow and relief in wall planes. See **Figure 66**, Conceptual Industrial Elevation.

The use of wood frame windows is encouraged. If metal frame windows are used, the frame should be painted or appropriately colored to match the facade or trim material.
3. **Roofs:** Industrial building roofs should be composed of tile and produce the appearance of a natural variation without high contrast. Pitch roofs are preferred. Flat roof areas should have a roof surface material colored to match the primary roofing material.



**UNIVERSITY
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Figure 66
**CONCEPTUAL LIGHT
INDUSTRIAL ELEVATION**

Amendment #4

Design Guidelines

Design Guidelines

Skylight framing material shall be bronze anodized or colored to match the roof.

Roof vents, flashing and mechanical appurtenances should be painted to blend with the roofing material.

When used on roofs, solar energy equipment such as solar panels, solar modules or piping should be integrated into the roof design in terms of placement and color.

All antennas are restricted to the attic or interior of the building. Roof mounted satellite dish antennas must be hidden from view.

4. **Color Palette:** Exterior services should be colored or painted with off-white, light beige, or earth-tone colors.

Exterior doors, windows, shutters and similar features should be colored in appropriate accent colors that complement the overall color-scheme and architectural style of the industrial complex.

◆ Senior Residential Architectural Design Criteria

5. **Introduction:** Although most, if not all many of the above listed residential criteria may apply to potential Senior Residential uses in the University Commons, certain special standards should be applied to any Senior Residential uses constructed within the project. Senior residential architecture shall be compatible or complimentary with adjacent structures. The following criteria are intended to apply specifically to those uses.
6. **Elevations:** Building elevations should be articulated to create interesting roof lines, strong patterns of shade and shadow and relief in wall planes. See **Figure 67**, Conceptual Senior Residential Elevation.

The use of wood frame windows is encouraged. If metal frame windows are used, the frame should be painted or appropriately colored to match the facade or trim material.

Roofs: Building roofs should be composed of tile and produce the appearance of a natural variation without high contrast. Pitch roofs are preferred. Flat roof areas should have a roof surface material colored to match the primary roofing material. Skylight framing material shall be bronze anodized or colored to match the roof.

Roof vents, flashing and mechanical appurtenances should be painted to blend with the roofing material.

When used on roofs, solar energy equipment such as solar panels, solar modules or piping should be integrated into the roof design in terms of placement and color.

All antennas are restricted to the attic or interior of the building. Roof mounted satellite dish antennas must be hidden from view.

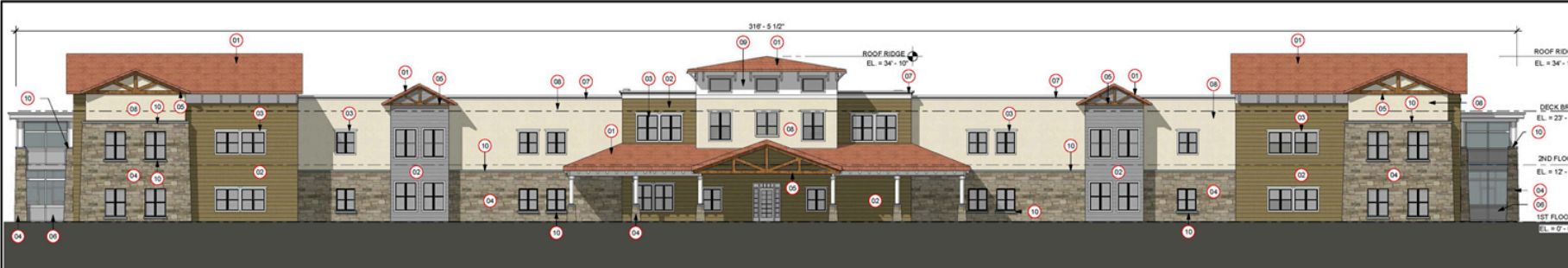
Design Guidelines

7. **Color Palette**: Exterior services should be colored or painted with off-white, light beige, or earth-tone colors.

Exterior doors, windows, shutters and similar features should be colored in appropriate accent colors that complement the overall color-scheme and architectural style of the senior residential building.

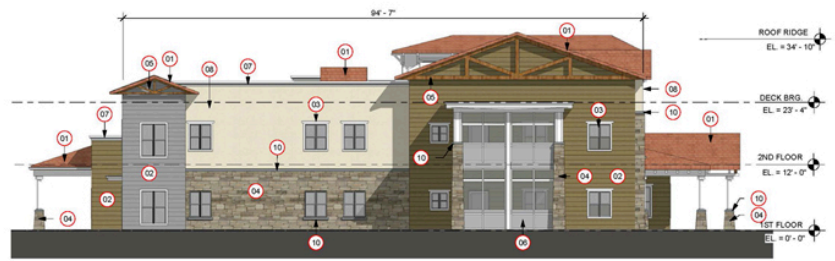
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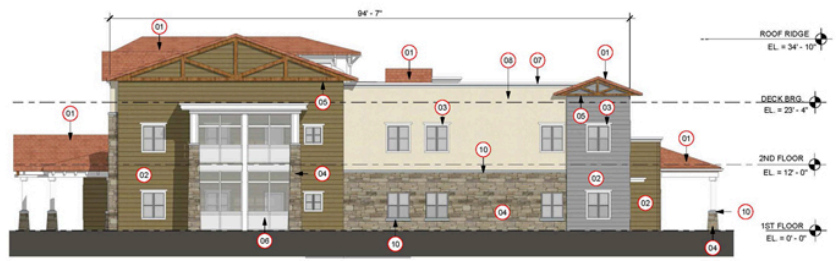


1 EAST ELEVATION
3/32" = 1'-0"

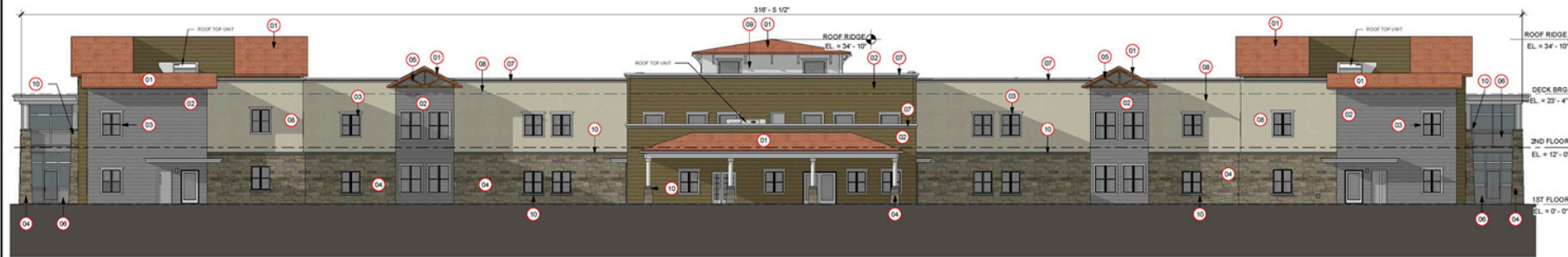
- MATERIAL LEGEND**
- 01 CONCRETE ROOF TILES
 - 02 CEMENT FIBER SIDING 7" EXPOSURE
 - 03 CEMENT FIBER TRIM 5/4 X4 AT WINDOWS AND DOORS. ADD 8/4 X8 TRIM AT WINDOW HEADS
 - 04 MANUFACTURED STONE VENEER
 - 05 EXPOSED WOOD TRUSS
 - 06 METAL PANEL (FINISH BOTH SIDES)
 - 07 PREFINISHED METAL COPING
 - 08 EPIS
 - 09 CEMENT FIBER PANEL SIDING
 - 10 CAST STONE SILL



2 SOUTH ELEVATION
3/32" = 1'-0"



4 NORTH ELEVATION
3/32" = 1'-0"



3 WEST ELEVATION
3/32" = 1'-0"

Figure 67
Conceptual Senior Residential Elevation
Amendment #4



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Design Guidelines

E. Signage

◆ Purpose and Implementation

Signage and graphics within the University Commons village should be of a consistent style and format. A detailed sign program must be provided to and approved by the Planning Director. Signage within the village will be used for a variety of purposes, including but not necessarily limited to:

- Community entry signs
- Individual neighborhood entry signs
- Street signs
- Directional signs
- Trail and bike lane signs

Conceptual designs for project signage are presented on the following figures. Community entry signs are shown on: **Figure 21**, Primary Entry Landscape Elevation; **Figure 22**, Primary Entry Landscape Plan View; **Figure 23**, Secondary Entry Landscape Elevation; **Figure 24**, Secondary Entry Landscape Plan View; **Figure 25**, Village Entry Landscape Elevation; and **Figure 23B**, Village Entry Landscape Plan View. Individual neighborhood entry signs are shown on **Figure 26**, Neighborhood Entry Landscape Elevation and **Figure 27**, Neighborhood Entry Landscape Plan View. Street signs are shall be consistent with the City Standard Street sign; directional signs are shown on **Figure 28**, Directional Sign; and trail signs are shown on **Figure 29**, Trail Marker.

◆ General Guidelines

Although most signage within University Commons will be residentially oriented, some signage will be necessary for potential commercial uses and in recreational areas. Signage will most likely be provided in three forms: ground-mounted signs, wall signs, and free-standing monument signs. No roof signs will be allowed.

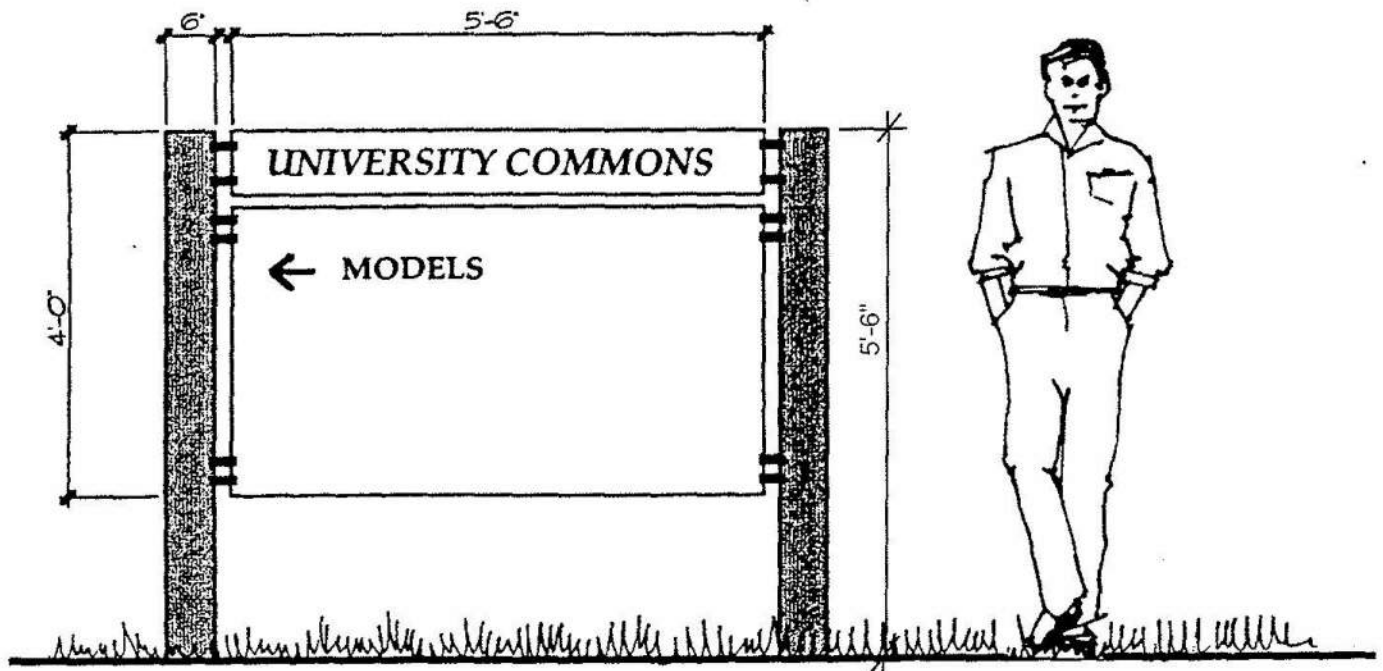
The following general guidelines apply to all signage.

1. All signs shall conform with or exceed the current selection of the City of San Marcos zoning ordinance standards which regulate signage design and construction.
2. Materials and colors of signs should be consistent with the architectural materials and color schemes used within residential neighborhoods. Predominantly plastic and metal signs shall be prohibited.
3. Information should be located on a single sign rather than using multiple signs.
4. The Master Developer should establish a sign design vocabulary which is consistent with the overall theme of the village. Signage design vocabularies should consider lettering typeface, sign, form, color and materials. Sign materials, such as natural stone, brass and wrought iron, should be consistent with the community theme.

Design Guidelines

5. The height of all ground-mounted signage shall be measured from the finish grade elevation of the nearest right-of-way to the top of the ground-mounted sign.
6. In general, signs should be simple in form and shape to minimize visual impacts.
7. Neon, backlit, and billboard sign types are prohibited in residential areas. Signs such as directional, trail, biking or parking should use graphic symbols in lieu of, or in addition to, verbiage wherever possible.

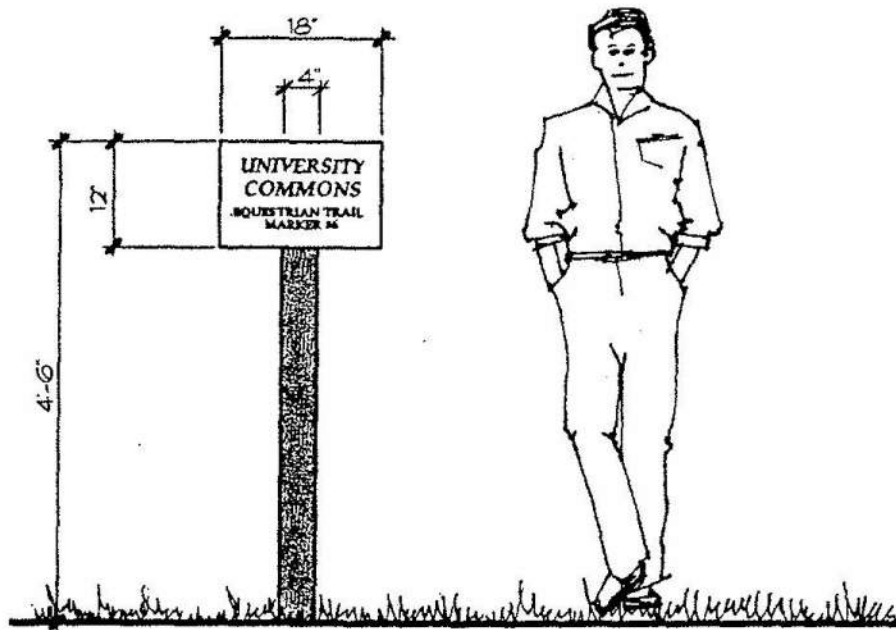
(MODEL COMPLEX ONLY)



**UNIVERSITY
COMMONS**

Figure 68
DIRECTIONAL SIGN

Amendment #4



**UNIVERSITY
COMMONS**



Figure 69
TRAIL MARKER
Amendment #4

Design Guidelines

The following more specific guidelines address each of the three sign types listed above.

◆ **Ground-Mounted Signs**

Ground-mounted signs are defined as any sign supported entirely by uprights, braces or poles in or upon the ground, including monument signs. Ground-mounted signs could include, but not be limited to, directional signs, parking signs, street signs, trail signs, bike lane signs or informational signs. Designs for ground-mounted signs should consider the following recommended guidelines:

1. Single rather than multiple sign supports. should be used, especially where major identification signs are utilized.
2. Colors for sign supports should be consistent with adjacent architectural building finishes and treatments.
3. Ground-mounted signs should be appropriately sized to be easily read without becoming over-dominant when perceived at the pedestrian scale.
4. Ground-mounted signs should not exceed four feet in height, including sign face when measured from adjacent finish grade. However, where vehicular safety requires, maximum height maybe exceeded to comply with governing codes and ordinances (For example, stop signs).
5. With the exception of monument signs, which may be double-faced, ground-mounted signs should be single-faced and not exceed a total sign face area of nine square feet on any one sign face, except where certain government codes and ordinances require larger sign areas.
6. In general, combinations of natural stone, stucco, brass and wrought iron are the preferred materials for ground-mounted signs. Letters and logos for ground signs should be individually recessed by carving into a sign face or individual mounting letters and logos onto the sign face. Directly painting letters or logos onto sign faces should be avoided. Where government codes or ordinances require, metal ground-mounted signs. (For example, traffic or street signs) shall be pern1itted.

◆ **Wall Signs**

Walls signs would most likely occur on decorative theme walls and commercial and multi- family buildings. No wall signs, however, shall be permitted on residential dwelling units. Wall signs on decorative walls should be limited to individual neighborhood entries. To ensure that wall-mounted signage is consistent with the quality level anticipated, the following guidelines are recommended:

1. Neighborhood entry signage, where used, should become an integral part of the design of decorative theme walls.
2. Neighborhood entry signs should consist of sandblasted sign faces with recessed or exposed letters and logos or individually attached metal, wood or tile letters and logos which are directly applied to decorative theme walls. The direct painting of

Design Guidelines

letters or logos on decorative theme walls is discouraged. Letters, logos, or illustrations on neighborhood entry signs shall not exceed three feet in height.

3. The sign copy area devoted to neighborhood entry signage should not exceed 25 percent of 90 square feet of the area of a decorative wall section.
4. Wall signs shall be illuminated using externally mounted accent lighting which is obscured from view by landscape planting.
5. Wall-mounted building signs or individual letters and logos should not extend beyond the top or side of any building wall.
6. Wall-mounted building signs should be parallel to the top of the building wall and located a minimum of two feet away from the top or side of the building wall or fascia.
7. Wall-mounted signage should not occupy more than 10 percent of a prime building elevation which faces a public street and should not exceed an overall area of 75 square feet.

◆ **Free-Standing Monument Signs**

The installation of free-standing monument signs should be limited to the main community entry locations, commercial and industrial planning areas. The following guidelines apply to free-standing monument signs.

1. Monument signs should have a maximum height of six feet. Monument signs shall not exceed 180 square feet in total area for community entry signs. Neighborhood entry signs and all other monument signs shall not exceed 80 square feet in total area.
2. Maximum height of letters and logos on community entry monument signs shall be three feet and two feet on all other monument signs. Maximum area of any monument sign area.
3. In general, combinations of natural stone, brass, and wrought iron are the preferred materials for free-standing monument signs.
4. Monument sign faces should consist of individually attached metal, sandblasted or tile letters and logos which are directly applied to decorative walls. The direct painting of letters and logos on decorative theme walls is prohibited. Letters, logos or illustrations on neighborhood entry signs shall not exceed three feet in height.
5. Monument sign design should include landscaping features which are compatible with the landscape theme. Boulders, flowering shrub materials, specimen theme trees and decorative earth mounding should be used in conjunction with monument signs.
6. Monument signs shall not be internally illuminated. Monument signs shall be illuminated using externally mounted accent lighting which is obscured by landscape planting.

◆ **Temporary Signs**

Design Guidelines

Temporary real estate signs will be permitted within University Commons, subject to the following guidelines and conditions.

1. Major temporary signs will be allowed on San Elijo Road and Melrose Drive at Rancho Santa Fe Road. Such signs shall be employed to announce or advertise the sale of residential units within the village. Major temporary signs should have a maximum height of 18 feet and maximum sign face area of 150 square feet. Major temporary signs may be ground-mounted or monument signs. A maximum of two major temporary signs shall be permitted for the entire village at any one time.
2. Temporary directional signs, which direct visitors during construction and sale to the individual housing product types or model home complexes, shall be permitted. These temporary directional signs should generally be located at road intersections to direct visitor traffic. The names of several housing product types should be combined on a single, simple wood sign frame other than providing separate signs for each housing product type.
3. Major temporary signage shall be permitted on a six-month basis. Extensions for major temporary signage shall be granted by the Director of Planning.
4. Temporary sales signs should be allowed within model home sale complexes. Model home complex signs should not exceed 12 square feet for each of the model home units being offered. Use of flags shall be limited to the model home complex.
5. Major temporary signs and temporary model home complex signs should be designed to be consistent with the residential character of University Commons.
6. All temporary advertising signs for new residential construction phases should be removed upon the sale of the last unit in that phase.

◆ **Outdoor Lighting**

A hierarchy of light quality and intensity should be provided for parkways of primary project roadways and local residential streets. Gradual reduction of light intensity between major points of activity should provide the desired modulation of light without sacrificing safety and utility. This should be typical throughout the parkway. Lighting within development areas which is visible from adjacent properties or roads should be indirect or incorporate full shield cut-offs. Outdoor street, park and security lighting shall be consistent with the City of San Marcos Palomar Observatory Lighting Ordinance.

◆ **Special Treatments**

The applicant/developer may implement the following additional landscape treatments without having to prepare a formal amendment to this Specific Plan. The applicant would follow the Administrative Amendments procedure at the development plan review stage, as described in Section V of this Specific Plan. Special treatment elements include:

- Street furniture -portals in the rights-of-way.

Design Guidelines

- Street tapers within local streets in residential neighborhoods.
- Pocket parks within neighborhoods.
- Parkway and sidewalks raised and separated from curbs.
- Varied residential lot widths.

◆ **Street Furniture – Portals**

Pedestrian portals create a sense of entry into the community. The portals would be located over the sidewalk on each side of the street near community entries, as shown on **Figure 69**, Primary Entry With Pedestrian Portal and **Figure 70**, Pedestrian Portal, portals would consist of masonry columns covered with either river rock, ledger stone or other similar material and an overhead structure, constructed from wood or similar material.

◆ **Tapered Streets**

Street tapers would be permitted along local streets within residential neighborhoods, as shown on **Figure 71**, Conceptual Street Taper Overall Plan, Preferred Plan. Street tapers are a traffic calming feature to reduce traffic speeds on neighborhood streets. Three types of street tapers may be constructed, as illustrated on **Figure 72**, Street Taper- Detail Plan. Street tapers at a four-way intersection move the street corners closer together to facilitate crossing of the street by pedestrians. The reduction of roadway width creates an impediment that causes a slowing of vehicles through the intersection. Street tapers at "Tee" intersections move the opposing corners of an intersection closer together as in the four-way intersection. Street tapers in mid-street change the roadway appearance by narrowing sections of the street, which causes motorists to reduce speed through the residential neighborhoods. Parking would not be permitted in the narrowed sections of roadway and reflectors may be required on the narrowing sections of the tapers.

◆ **Neighborhood Pocket Park**

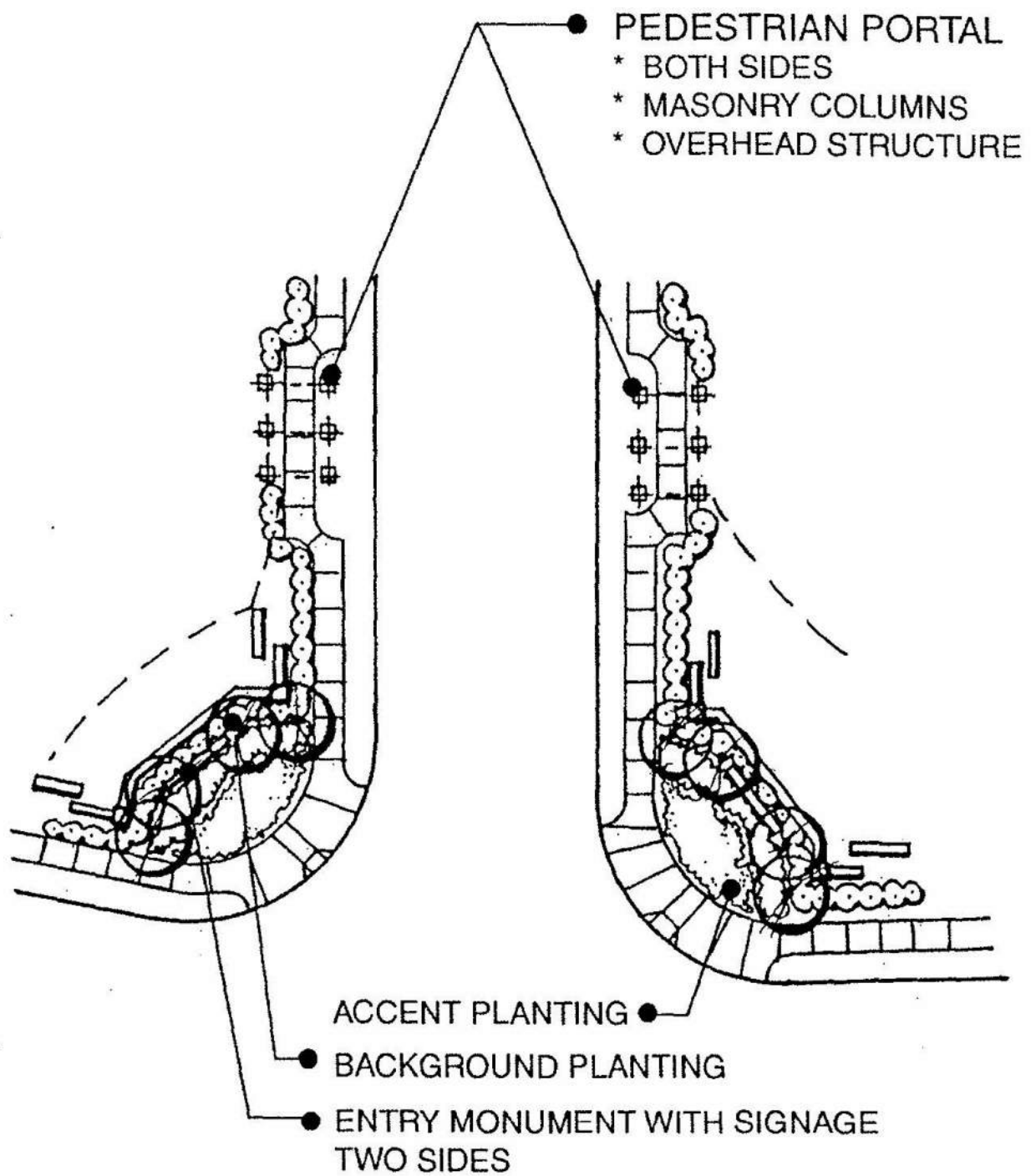
Neighborhood pocket parks provide convenient access to parkland throughout residential neighborhoods. Typical facilities in a pocket park may consist of a turf and landscaped area with a walkway, tot lot, and seating/viewing area with a picnic table, as shown on **Figure 73**, Neighborhood Pocket Park.

◆ **Parkways and Sidewalks**

Parkways and sidewalks may be raised and separated from curbs, allowing the sidewalk to undulate within the varying height of the parkway. Raised sidewalks set up a more aesthetically pleasing pedestrian experience for the residents of the community and establish a high-quality community image.

◆ **Varied Lot Width**

Residential lot widths may vary in width, in order to produce a more attractive and diverse streetscene within residential neighborhoods and to provide for neighborhood pocket parks.

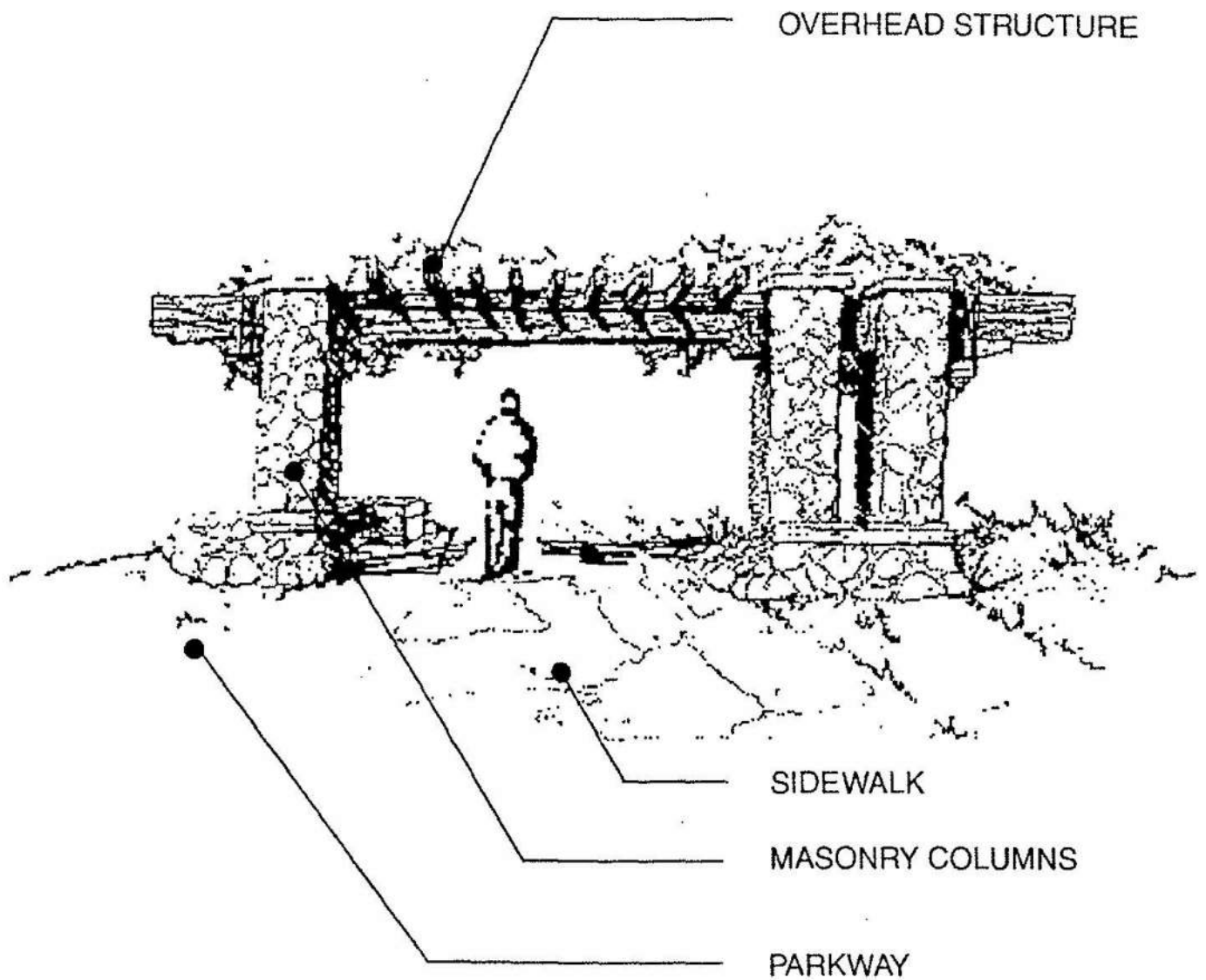


**UNIVERSITY
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Figure 70
PRIMARY ENTRY
WITH PEDESTRIAN PORTAL

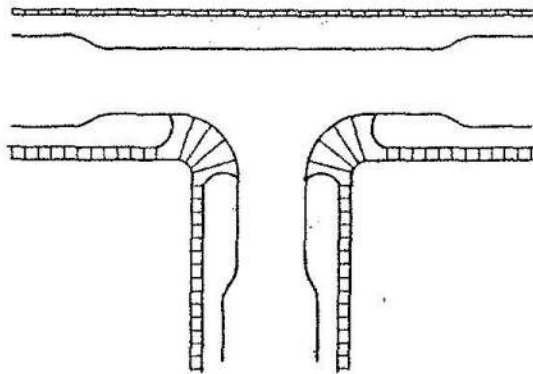
Amendment #4

Design Guidelines

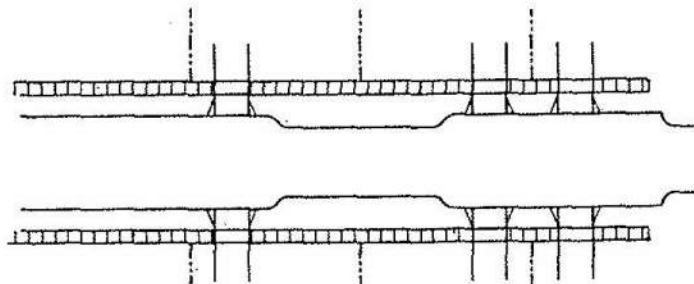


**UNIVERSITY
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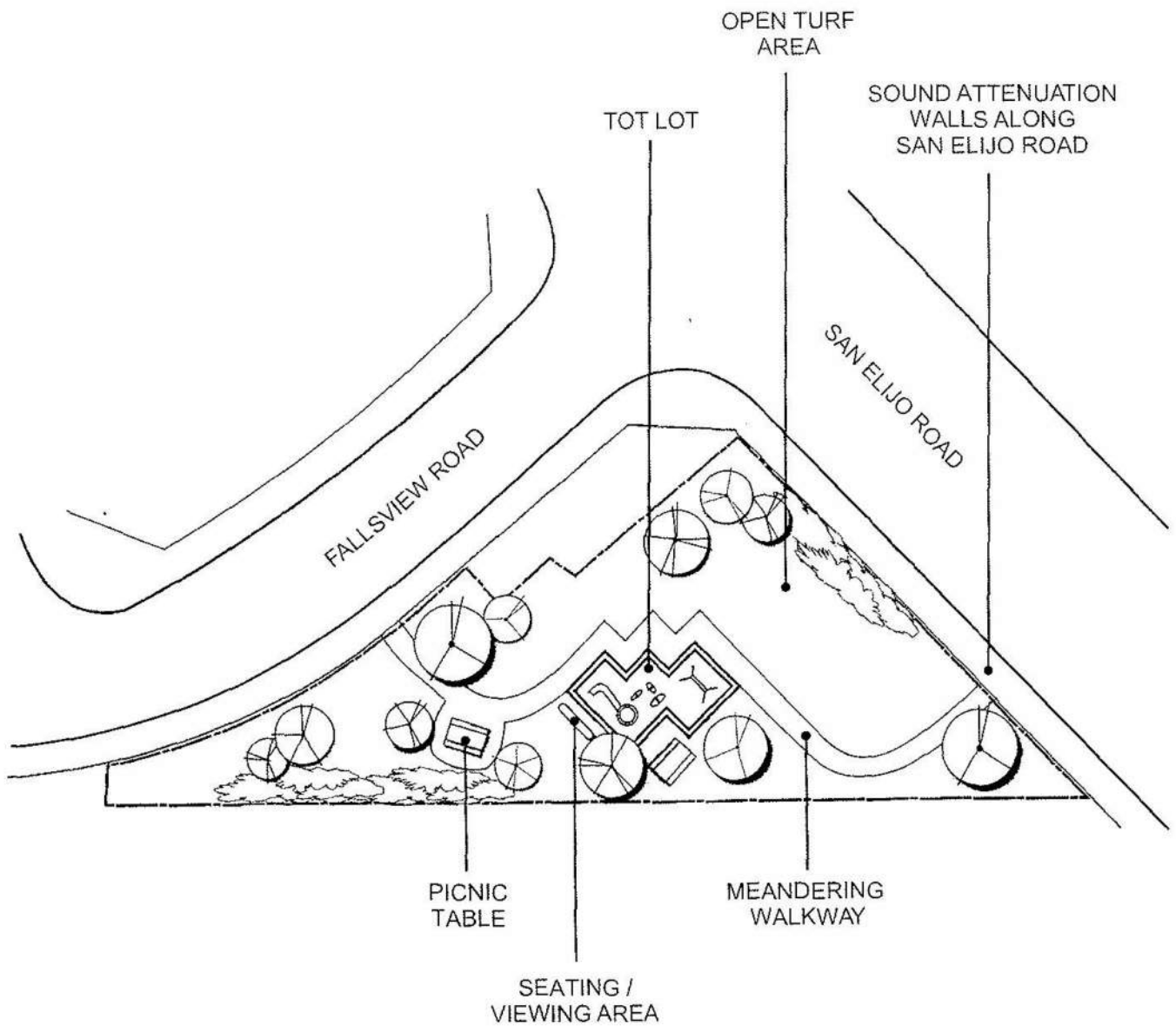
Figure 71
PEDESTRIAN PORTAL
Amendment #4



A. STREET TAPER - "TEE INTERSECTION"



B. STREET TAPER - MID-STREET



NOTE:
POCKET PARKS MAY BE REQUIRED
PRIOR TO FINAL MAPPING

**UNIVERSITY
COMMONS**



Figure 74
**NEIGHBORHOOD
POCKET PARK**

Amendment #4

Design Guidelines

Chapter IV

Zoning Standards & Regulations

Zoning Standards and Regulations

IV. Zoning Standards & Regulations

A. Purpose

The following Zoning Standards and Regulations implement the planning and design concepts of this amended Specific Plan. The Zoning Standards and Regulations are consistent with the land use goals and objectives of the Questhaven/La Costa Meadows Community Plan and the City of San Marcos Zoning Ordinance. The Zoning Standards and Regulations address site development issues and provide the basic criteria which govern all development. Development within the Specific Plan shall be subject to the review processes discussed in Section V of this Specific Plan. Any Zoning Standards and Regulations contained herein that differ from the City of San Marcos Zoning Ordinance shall take precedence over and supersede the City of San Marcos Zoning Ordinance.

All setbacks established by the University Commons Zoning Standards and Regulations, unless otherwise noted below, shall be measured from the property line, except setbacks from streets which shall be measured from the outside of the curb (approximately six-inches from the curb face).

B. Definitions

The following definitions shall apply to terms employed within these Zoning Standards and Regulations:

Building Height: "Building height" shall mean the vertical distance measured from the average level of the highest and lowest point of that portion of the building site covered by the building after final grading to the highest point of the structure (peak of the roof).

Lot Size: "Lot size" shall mean the total area in square feet, exclusive of streets, within the property lines of the lot.

Lot Coverage: "lot coverage" shall mean that portion of the area of a lot, expressed as a percentage, occupied by all buildings or structures which are roofed or otherwise covered, and which extend more than three (3) feet above ground level. Unenclosed patios shall not be included in the calculation of lot coverage.

Lot Width: "Lot Width" shall mean the horizontal distance between the side lot line measured at right angles to the line comprising the depth of the lot at a point midway between the front and rear lot lines.

Front Yard: "Front Yard" shall mean a yard extending across the full width of the lot, having at no point a depth less than the minimum required, horizontal distance between the front lot line, or its tangent, and the closest permissible location of the main building. This distance shall be measured by a line at right angles to the front lot line or its tangent. Front yard setbacks shall be measured from the rear of the adjacent sidewalk.

Zoning Standards and Regulations

Rear Yard: "Rear Yard" shall mean a yard extending across the full width of the lot, having at no point a depth of less than the minimum required horizontal distance as measured from the part of the main building nearest the rear lot line towards the rear lot line. Such measurement shall be along a line representing the shortest distance between the applicable part of the main building and the rear lot line.

Side Yard: "Side Yard" shall mean a yard between the main building and the side lot lines extending from the required front yard, or the front lot line where no front yard is required, to the rear yard. The width of such side yard shall be measured horizontally from, and at right angles to, the nearest point of a side lot line toward the nearest part of a main building. Architectural "pop-outs" including, but not limited to, fireplaces, balconies, patio covers, bay windows and portions of the main structure not exceeding 15-feet in length by 24-inches in depth may encroach into the minimum side yard setback.

Sales Office: "Sales Office" shall mean a dwelling and/or garage that may be used in a housing subdivision as a temporary office for the purpose of selling and administering home sales until the sale of all housing units in the subdivision in which the office is located. At the end of the sale of the last unit, this sales office shall revert back to a residential unit or garage and marketed as such.

C. Animal Regulations

The keeping of poultry, chinchillas, foxes, bovine animals, swine, horses, goats, worms and other similar undomesticated animals is expressly prohibited within the University Commons project. Domesticated animal limitations shall be enforced through CC&Rs.

D. Recreational Vehicle Parking/Storage

Recreational vehicle parking in excess of 72 hours shall not be permitted on public or private streets, driveways, or on lots where the recreational vehicle is visible from public viewing areas.

E. Temporary/Special Uses

Temporary and Special Uses within any Single-Family Residential Planning Area within the University Commons Specific Plan shall be limited to those uses listed on Table 7 (Permitted and Conditional Uses) of this Specific Plan, or as approved by the Planning Division Manager.

F. Casitas Structures and Detached Garages

Casitas structures (granny flats) and detached garages may be permitted in any single-family residential planning area subject to the approval of the Planning Director.

G. Residential Single-Family Detached Zone

◆ ZONING STANDARDS

Zoning Standards and Regulations

The following Zoning Standards shall apply to all Single-Family Detached residential zones within the University Commons Specific Plan area. Typical lot configuration figures, provided herein, illustrate the standards for each product type.

1. PLANNING AREAS 8 AND 9

TABLE 5 ZONING STANDARDS (5,000 SF LOTS)

Category	Standard
Minimum Lot Size	5,000 SF
Minimum Lot Width	50 feet
Minimum Lot Depth	100 feet
Minimum Setbacks	
Front	15'-20'- Garages at 10' or 20' ^a
Side	5' ^{b c}
Rear	15' ^{d e}
Side (Street)	10
Maximum Lot Coverage	50%
Maximum Building Height	35' ^f
Off-Street Parking	Minimum two (2), 10' by 20' spaces per unit ^{d g}

- a. To provide higher interest along street frontages, front-yard setbacks shall vary from a minimum of 15' to a maximum of 20' including porches. Minimum front yard setbacks may be reduced to 10' where the garage is side entry. Where sidewalks are non-contiguous to curbs, the front setback to the garage door shall be 20' for straight-entry garages with cantilevered doors, 18' for roll-up doors or side entry. Second floor balconies may project up to 5' maximum into the front yard setback but may not exceed 150 sq. ft. in total area.
- b. Architectural pop-outs, including but not limited to fireplaces, balconies, patio covers, bay windows and portions of the main structure not exceeding 15-feet in length by 24-inches in depth may be excluded from the minimum side yard setback. Overhangs shall be a minimum of 3' from property lines.
- c. Side yards may vary from the 5-foot standard, provided a minimum of 3' from the property line and a separation of 10 feet is maintained between structures. Zero lot lines also may be permitted provided a 10-foot building separation is maintained and a reciprocal easement is provided for access.
- d. A minimum 5' rear-yard setback shall be permitted for garages placed at the rear of the lot, provided that 1) the garage(s) does not exceed 21' in width and 2) the other structures on the lot maintain a minimum 15' rear-yard setback 3) the garage is single story only.
- e. Rear decks shall not be placed within the rear yard setback.
- f. Building height shall be measured from finished grade.

Amendment No. 3

Adopted by the City Council, August 12, 2003

Modified by Propositions F & G, March 2, 2004

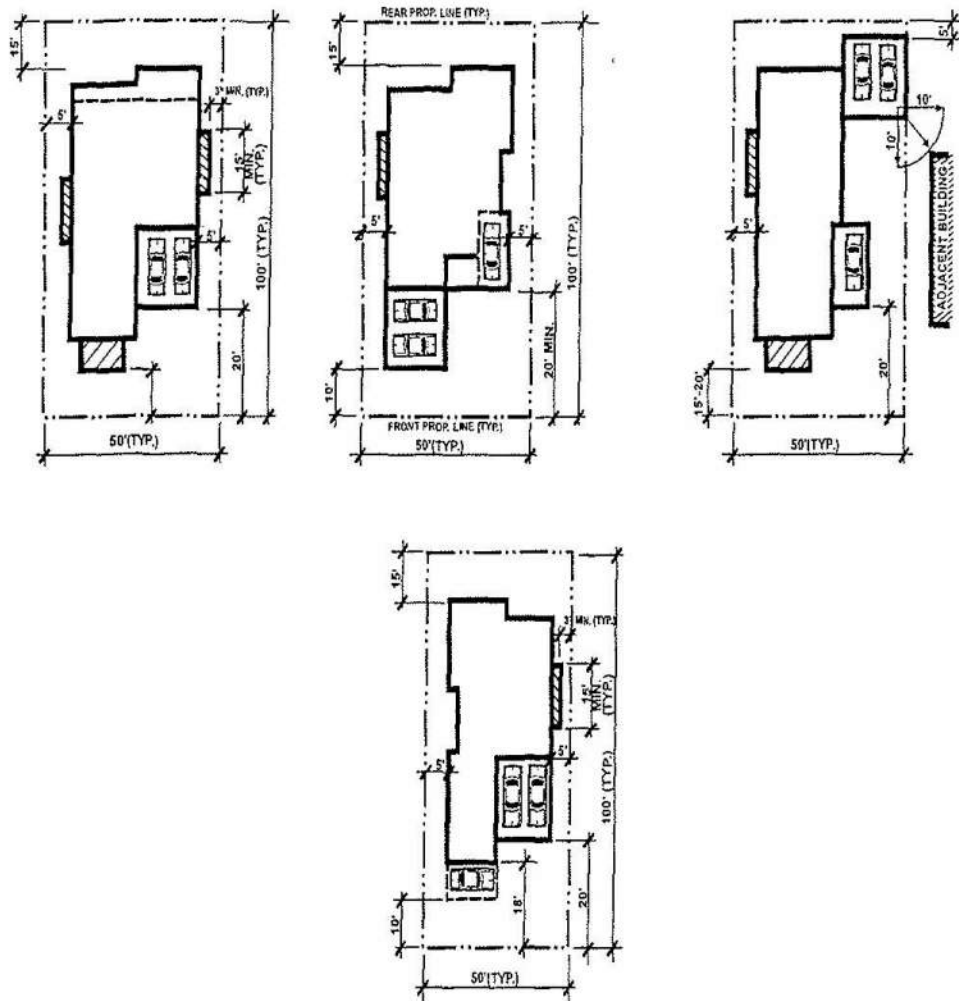
Amendment No. 4

Adopted by the City Council, Month Day 2019

Zoning Standards and Regulations

- g. Tandem garage spaces, such as those creating three garage spaces behind a two- door garage shall be permitted. Side entry or split-garages that reduce the impact of the garage on the street elevation are encouraged. Single car garage spaces shall be a minimum of 10' x 19', and two car garage spaces shall be a minimum of 18' x 19'.
- h. Flag lots shall be permitted provided that they meet the following criteria:
 - i. Street frontage at the curb shall be 20 feet wide, except that two adjacent flag lots may share street frontage a total of 33 feet wide.
 - ii. Maximum driveway length shall be 120 feet.
 - iii. No more than two flag lots shall front on any one cul-de-sac.
 - iv. Flag lots shall be a minimum of 5,000 square feet.

Typical Lot Configuration - 5,000 SF Lots



Zoning Standards and Regulations

2. PLANNING AREAS 11 AND 12A

TABLE 6 ZONING STANDARDS (5,500 SF LOTS)

Category	Standard
Minimum Lot Size	5,000 sf
Minimum Lot Width	50 or 55 ft.
Minimum Lot Depth	100 or 110 ft.
Front	15' – 20' ^a
Side	5' ^{b c}
Rear	15' – 20' ^{d e f}
Side (Street)	10
Maximum Lot Coverage	50%
Maximum Building Height Limit	35' ^g
Off-Street Parking	Minimum two (2) 10' by 20' spaces per unit ^{d h}

- a. To provide higher interest along street frontages, front-yard setbacks shall vary from a minimum of 15' to a maximum of 20' including porches. Minimum front yard setbacks may be reduced to 10' where the garage is side entry. Where sidewalks are non-contiguous to curbs, the front setback to garage door shall be 20' for straight entry garages with cantilevered doors, 18' for roll-up doors.
- b. Architectural pop-outs, including but not limited to fireplaces, balconies, patio covers, bay windows and portions of the main structure not exceeding 15-feet in length by 24-inches in depth may be excluded from the minimum side yard setback. Overhangs shall be a minimum of 3' from the property line.
- c. Side yards may vary from the 5-foot standard, provided a minimum of 3' from the property line and a separation of 10 feet is maintained between structures. Zero lot lines also may be permitted provided a 10-foot building separation is maintained and a reciprocal easement is provided for access.
- d. A minimum 5' rear-yard setback shall be permitted for garages placed at the rear of the lot, provided that 1) the garage(s) does not exceed 21' in width and 2) the other structures on the lot maintain a minimum 15' rear-yard setback 3) the garage is single story only.
- e. A minimum 15' rear-yard setback shall be permitted provided that the edge of the eave or overhang of a single-story unit is not less than 10' from the rear property line, or for a two-story unit, provided that the second floor is set back a minimum of 20' from the rear property line.
- f. Rear decks shall not be placed within the rear yard setback.
- g. Building height shall be measured from finished grade.
- h. Tandem garage spaces, such as those creating three garage spaces behind a two-door garage shall be permitted. Side-entry or split garages that reduce the impact of the

Amendment No. 3

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Modified by Propositions F & G, March 2, 2004

Amendment No. 4

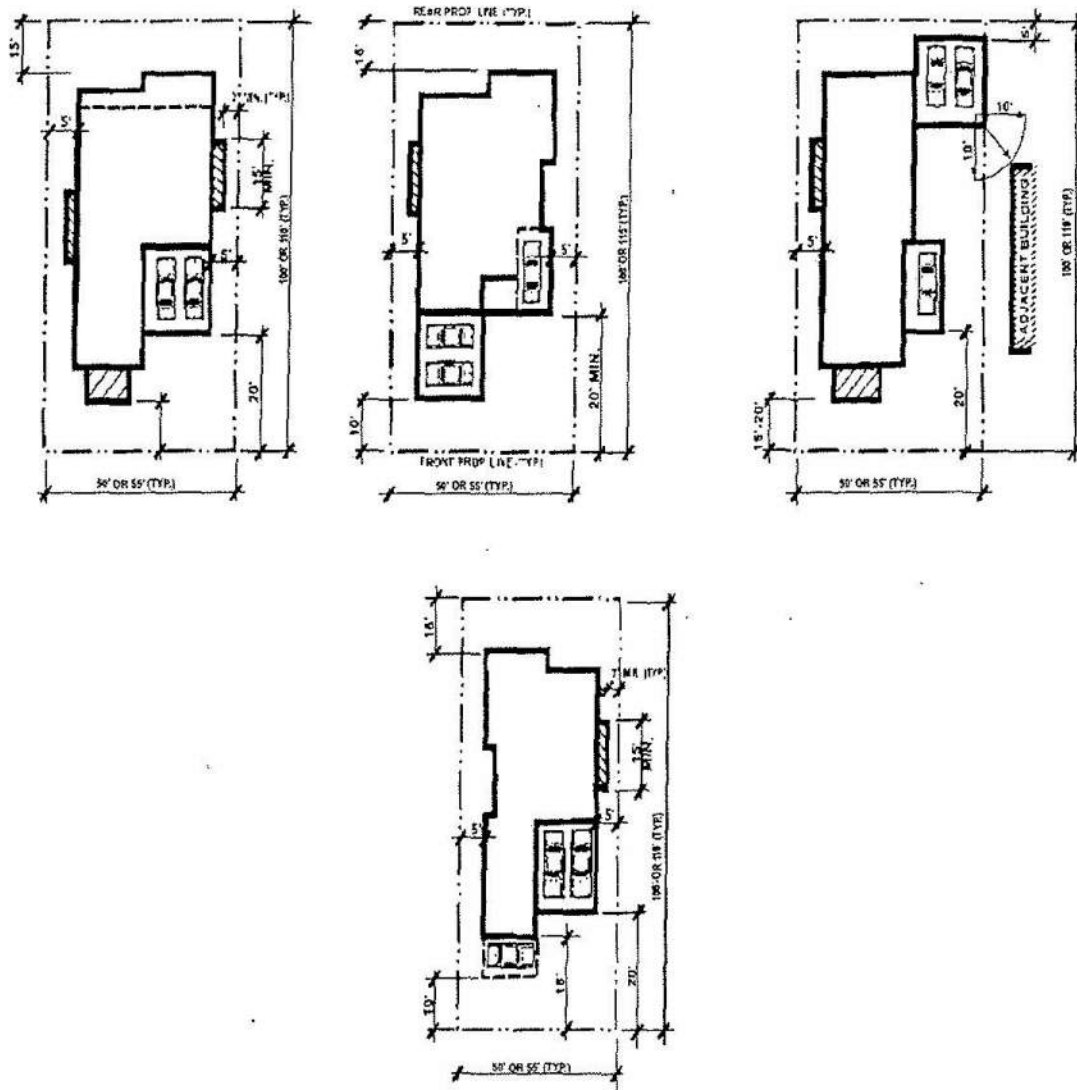
Adopted by the City Council, Month Day 2019

Zoning Standards and Regulations

garage and the street elevation are encouraged. Single car garage spaces shall be a minimum of 10' x 19', and two car garages shall be a minimum of 18'x19'.

- i. Flag lots shall be permitted provided that they meet the following criteria:
 - i. Street frontage at the curb shall be 20 feet wide, except that two adjacent flag lots may share street frontage a total of 33 feet wide.
 - ii. Maximum driveway length shall be 120 feet.
 - iii. No more than two flag lots shall front on any one cul-de-sac.
 - iv. Flag lots shall be a minimum of 5,500 square feet.

Typical Lot Configuration - 5,500 SF Lots



Zoning Standards and Regulations

◆ PERMITTED USES FOR SINGLE-FAMILY DETACHED ZONES TABLES

TABLE 7 PERMITTED (P) AND CONDITIONAL (C) USES¹

Use	P/C
Single Family Dwellings	P
Temporary Subdivision Sales Offices (Per Development Code)	P
Public and Private Schools	C
Public Utility and Public Service Structures and Installations	C
Home Occupations (Office Use Only)	p ²
Family Care Facilities (For six persons or less)	C
Incidental and Accessory Structures and Uses (For the exclusive use of residents and guests)	P

¹The Planning Director may permit any use not listed if deemed acceptable and of the same general character as permitted uses.

²Pursuant to City of San Marcos Municipal Code sections regulating home occupations.

H. Residential Multi-Family Attached Zone

◆ ZONING STANDARDS

The following Zoning Standards shall apply to each Multi-Family Attached residential zone within the University Commons Specific Plan area.

- Residential Multi-Family Attached

TABLE 8 ZONING STANDARDS MULTI-FAMILY ATTACHED, PLANNING AREAS 1, 3, 5A, 6C, 7, AND 10A

Category	Standard
Minimum Lot Size	1 acre
Minimum Setbacks	
Front	25 ^a
Side	20 ^a
Rear	20 ^a
Side (Street)	25
Maximum Lot Coverage	45%
Maximum Building Height	45 ^{b c}
Maximum Garage Sizes	10' wide x 19' deep (Single) 18' wide x 19' deep (Double)
Off-Street Parking	Minimum 1.3 parking spaces per studio, 1.7 spaces per one- bedroom unit, 2 spaces per two- bedroom unit, 2.3 spaces per three-bedroom unit, plus one additional guest space for every four units.

Amendment No. 3

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Amendment No. 4

Adopted by the City Council, Month Day 2019

Zoning Standards and Regulations

Private Storage	Minimum 50 sf. enclosed exterior storage per unit (200 cubic feet per unit) ^d
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- a. All structures and enclosed parking (if any) shall be located a minimum of 20 feet from the edge of adjoining public street rights-of-way. A minimum building separation of 10 feet shall be maintained between structures two stories or greater. However, a reduced separation or setback may be approved by the City Manager or his designee as part of the Site Plan Review Process for PA 1, 3 and 6c only.
- b. Building height shall be measured from finished grade. Building height may vary up to 50' for architectural features such as chimneys, towers, entry features or any other architectural feature approved by the Development Plan Review Committee.
- c. For Planning Areas 3 and 6c only, smaller garages may be considered and approved by the City Manager or his designee as part of the Site Plan Review Process.
- d. Units which provide enclosed garages shall be exempt from this requirement, provided that areas of the garage being used for storage do not detract from the required area to park a vehicle.

◆ PERMITTED USES IN MULTI-FAMILY ZONE

○ RESIDENTIAL MULTI-FAMILY ATTACHED

TABLE 9 PERMITTED (P), CONDITIONAL (C) AND PROHIBITED (X) USES^a

Use	P/C/X
Townhomes	P
Condominiums	P
Duplexes	P
Tri & Fourplexes	P
Multi-Family Dwellings	P
Temporary Subdivision Sales Offices (Per Development Code)	P
Public Utility and Public Service Structures and Installations	C
Home Occupations (Office Use Only) Family Care Facilities (For six persons or less)	C ^b
Incidental and Accessory Structures and Uses for the Exclusive Use of Residents and Guests	P
Public or Private Parks, Playgrounds and Recreation Centers	P

^aThe Planning Director may permit any use not listed if deemed acceptable and of the same general character as permitted uses.

^bPursuant to City of San Marcos Municipal Code sections regulating home occupations.

Amendment No. 3

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Modified by Propositions F & G, March 2, 2004

Amendment No. 4

Adopted by the City Council, Month Day 2019

Zoning Standards and Regulations

I. Light Industrial Zone

◆ ZONING STANDARDS

The following Zoning Standards shall apply to the Light Industrial zone within the University Commons Specific Plan area.

TABLE 10 ZONING STANDARDS – LIGHT INDUSTRIAL PLANNING AREA 5B

Category	Standard
Maximum Building Height	45 feet ^a
Minimum On-Site Landscaping (excluding landscaped street side easements)	8%
Minimum Building Setbacks:	
Front	20 feet
Side	0 feet
Side Adjacent to Residential Development	10 feet ^b
Rear	0 feet
Rear Adjacent to Residential Development	10 feet ^b
Off-Street Parking	Variable ^c

- Building height shall be measured from finished grade. Building height may vary up to 50' for architectural features such as towers, entry features or other architectural features approved by the Development Plan Review Committee.
- Such setback area shall be landscaped.
- Parking ratios pursuant to City of San Marcos Zoning Ordinance Section 20.340 or as approved by the City Planning Director.

TABLE 11 PARKING STANDARDS – LIGHT INDUSTRIAL USES, PLANNING AREAS 4 AND 5B

Uses	Spaces Required
Manufacturing structures, such as, but not limited to: bakeries, bottling plants, machine shops, research laboratories, printing shops, wholesale distribution plants and other permitted industrial/manufacturing uses not specified by this section (excluding warehouses)	1 space for every 500 square feet of gross floor area where permitted by use permits, retail sales, offices and office space (not serving an industrial use in the same building), and service shops serving the general public shall be provided with 1 space for each 200 square feet of floor area
Medical or dental clinics and medical-professional offices	1 space for each doctor and employee, plus 1 space for every 200 square feet of waiting examination room(s) floor area
Offices providing professional services on the premises, including office buildings	1 space for every 250 square feet of gross floor area

Amendment No. 3

Adopted by the City Council, August 12, 2003

Modified by Propositions F & G, March 2, 2004

Amendment No. 4

Adopted by the City Council, Month Day 2019

Zoning Standards and Regulations

Uses not specifically listed in the University Commons Specific Plan Amendment No. 3 or in the City of San Marcos Zoning Ordinance Section 20.84.030 et. seq.	Shall be determined by the Planning Commission.
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Zoning Standards and Regulations

◆ PERMITTED USES FOR LIGHT INDUSTRIAL ZONE

TABLE 12 PERMITTED (P), CONDITIONAL (C) AND PROHIBITED (X) USES^a - LIGHT INDUSTRIAL – PLANNING AREAS 4 AND 5B

Use	P/C/X
Administrative, Business, and Professional Offices	P
Automobile Supply Stores	X
Bakeries, Baking of Items	X
Blueprint and Photography Services	P
Business and Office Services	P
Delicatessens	P
Foundries	X
Household Furnishing/Appliance Sales and Repair Shops	X
Laboratories	P
Manufacture, Fabrication, Compounding, and Packaging	P
Medical and Dental Offices and Related Health Clinics	P
Messenger and Wire Services	P
Mini-Storage	X
Office, Business Machine and Computer Component Stores	P
Photocopy	P
Photographic Developing and Printing, Publishing, lithography	P
Public Utility or Public Service Structures and Installations	C
Typewriter Sales and Service Shops	P
Vendors (food)	C
Veterinary (domestic):	
a) Boarding	C
b) Non-boarding	P
Watch and Clock Repair Shops	P
Wholesale Distribution Plants	P

*The Planning Director may permit any use not listed if deemed acceptable and of the same general character as permitted uses.

J. San Marcos Creek Recreation Area Zone

◆ ZONING STANDARDS

Amendment No. 3

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Modified by Propositions F & G, March 2, 2004

Amendment No. 4

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Zoning Standards and Regulations

The San Marcos Creek Recreation Area Zone includes Planning Areas 6a and 6b, as shown on the Land Use Plan, Figure 7. The San Marcos Creek Recreation Area shall be developed in the general configuration and acreage amount established within this Specific Plan Amendment No. 3. Actual configuration and acreage amount shall be established by a Master Tentative Map to be processed and adopted concurrent with or subsequent to this amended Specific Plan.

◆ PERMITTED USES FOR RESOURCE RECREATION AREA ZONE

TABLE 13 PERMITTED(P), CONDITIONAL(C) AND PROHIBITED(X) USES^a RESOURCE RECREATION AREA - PLANNING AREAS 6A AND 6B

Use	P/C/X
Hiking Trails	P
Naturalized and Passive Recreational Areas	P
Bicycle, Pedestrian and Equestrian Trails	P
Natural Open Space/Conservation Areas	P
Vehicular Right-of-Way Easements	P
Non-Vehicular Public Access Easements	P
Detention Basins	P
Utility Easements	P
Vista Point Access Easements	P
Scenic Easements	P
Slope Maintenance Easements	P
Underground Utility Facilities/Structures	P
Above-Ground Utility Facilities/Structures	C
Commercial Agriculture	X
Private orchards, trees, vines, gardens (Excluding Conservation Areas)	X
Private orchards trees, vines, gardens (Within Conservation Areas)	X

^aThe Planning Director may permit any use not listed if deemed acceptable and of the same general character as permitted uses.

K. Open Space Zone

◆ ZONING STANDARDS

The natural open space provided for by Specific Plan Amendment No. 3 and designated on the Open Space Plan, Figure 9 shall be preserved in the general configurations and acreage amounts established within Specific Plan Amendment No. 3. Actual configurations and acreage amounts shall be established by a Master Tentative Map to be processed and adopted concurrent with or subsequent to Specific Plan Amendment No. 3.

◆ PERMITTED USES FOR OPEN SPACE

TABLE 14 PERMITTED (P), CONDITIONAL (C) AND PROHIBITED (X) USES^a OPEN SPACE PREFERRED PLAN – PLANNING AREAS 2, 10B, 12B, 13, 14, 15 AND 16

Amendment No. 3

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Zoning Standards and Regulations

Use	P/C/X
Active Parks (Excluding Conservation Areas)	X
Active Parks in Conservation Areas	X
Hiking Trails	C
Naturalized and Passive Recreational Areas	P
Equestrian Centers/Stables	X
Bicycle, Pedestrian and Equestrian Trails	C
Golf Courses/Driving Ranges	X
Natural Open Space/Conservation Areas	P
Vehicular Right-of-Way Easements	C
Non-Vehicular Public Access Easements	P
Utility Easements	P
Vista Point Access Easements	P
Scenic Easements	P
Slope Maintenance Easements	P
Underground Utility Facilities/Structures	P
Above-Ground Utility Facilities/Structures	C
Commercial Agriculture	X
Private orchards, trees, vines, gardens (Excluding Conservation Areas)	C
Private orchards trees, vines, gardens (Within Conservation Areas)	X

¹The Planning Director may permit any use not listed if deemed acceptable and of the same general character as permitted uses.

L. Senior Residential Zone

◆ ZONING STANDARDS

The following Zoning Standards shall apply to the Senior Residential zone within the University Commons Specific Plan area. New construction for uses listed in Table 16 require Site Development Plan review per Chapter V.

TABLE 15 ZONING STANDARDS – SENIOR RESIDENTIAL PLANNING AREA 4

Category	Standard
Maximum Building Height	45 feet/3 stories
Maximum Lot Coverage	50%
Minimum On-Site Landscaping	20% of site shall be landscaped,
Minimum Building Setbacks:	
Front (San Elijo Road)	20 feet
Side	0 feet
Rear	0 feet

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Zoning Standards and Regulations

Off-Street Parking	
Residential Care Facility	1 space for every 3 residents*
Continuing Care Retirement Community	To be determined by Planning Division Manager
Extended Care Facility	To be determined by Planning Division Manager

***PARKING SHALL BE BASED ON THE POPULATION SERVED AND LEVEL OF CARE PROVIDED AT THE FACILITY. MINIMUM REQUIREMENTS HERE ARE GUIDELINES FOR ESTABLISHING APPROPRIATE SERVICE LEVELS ON A CASE BY CASE BASIS AT TIME OF REVIEW BY THE CITY**

Zoning Standards and Regulations

TABLE 16 PERMITTED (P), DIRECTORS PERMIT (DP) AND PROHIBITED (X) USES - SENIOR RESIDENTIAL – PLANNING AREA 4

Use	P/DP/X
Continuing Care Retirement Community	P
Residential Care Facility,	DP
Extended Care Facility	P

¹The Planning Director may permit any use not listed if deemed acceptable and of the same general character as permitted uses

²Congregate dining shall be limited to use by residents, guests, and employees of the facility. Dining shall not be open to the public. A separate service/receiving entrance to the kitchen with an adequate loading area shall be provided.

³The facility operator shall establish a business operations agreement with the City in regards to emergency services.

⁴Uses shall comply with all applicable State licensing and permit requirements.

Definitions (as amended from time to time by State law):

Continuing Care Retirement Community: Any establishment that offers a long-term continuing care contract that provides for housing, residential services, and nursing care, usually in one (1) location, and usually for a resident's lifetime. All providers offering continuing care contracts must first obtain a certificate of authority and a residential care facility for the elderly license. In addition, Continuing Care Retirement Communities that offer skilled nursing services must hold a Skilled Nursing Facility License issued by the Department of Health Services.

Residential Care Facility: Any State licensed facility, place, or structure that is maintained and operated to provide non-medical residential care, day treatment, or foster agency services for adults, children, or adults and children as defined in Article 1 of Chapter 3 of the California Health and Safety code, Section 1500, et seq. This use includes the administration of limited medical assistance (e.g. dispensing of prescribed medications).

Extended Care Facility: A private or nonprofit establishment providing medical care on a twenty-four (24) hour basis for persons requiring regular medical attention, but excluding residential care facilities and facilities providing surgical or emergency medical services. May include uses such as skilled nursing facilities which is an extended care facility that provides supportive care to patients whose primary need is for availability of skilled nursing care on a daily and extended basis.

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Chapter V

Review

Process

Review Process

V. Review Process

A. Overview

Replacement Vesting Tentative Map(s), an Amended Development Agreement, the Public Facilities Financing Plan, a Zone Reclassification, and any appropriate subsequent environmental review and documentation have been considered and approved/certified concurrently with the adoption of University Commons Specific Plan Amendment No.2. Future processing of final maps and review of proposed development within the University Commons project will involve obtaining the necessary land development permits for grading and building construction. City review of these permit applications will ensure consistency of the proposed improvements with the design guidelines and development criteria outlined in this Specific Plan.

The University Common project shall be developed in accordance with the criteria outlined in this Specific Plan and accompanying documents and in accordance with the land use and zoning regulations of the City of San Marcos. In cases where discrepancies occur between this Specific Plan and City development regulations or zoning standards, the University Commons Specific Plan shall prevail.

B. Development Plan Review

The Primary purpose of the Development Plan Review shall be to determine that individual planning areas are being developed in a manner that substantially conforms with the goals and standards specified by this Specific Plan and ensure compatibility with all appropriate City policies and ordinances.

Prior to building permit issuance for any University Commons site, a development plan must be approved. As a part of the development review process, the applicant shall submit a site plan, landscape plan, building elevations, and floor plans (hereafter "submittal package") as required by Chapter 20.500 of the City of San Marcos Zoning Ordinance.

A submittal package for Single-Family Detached residential uses shall be reviewed and approved by the Director of Planning or his/her designee. A submittal package for all other uses shall be reviewed and approved by a Development Plan Review Committee (DPRC) comprised of the Director of Planning, Building Official and City Engineer or their designees. The DPRC as applicable shall have the authority to approve, amend, or deny plans according to the criteria established within this Specific Plan or as set forth in other applicable but non-conflicting sections of the City of San Marcos Zoning Ordinance. The Committee shall function in accordance with administrative regulations prepared by the Planning Department. The Director of Planning or DPRC, as applicable, shall review a submittal package and the application deemed complete following submittal of all information required or requested. Decisions of the Director or DPRC may be appealed to the Planning Commission by the applicant. The Planning Commission, within 40 days of receiving such an appeal, shall affirm, reverse, or modify the decision of the Director or DPRC. The Planning Commission decision may be appealed to the City Council. The City Council, within

Review Process

40 days of receiving such an appeal, shall affirm, reverse, or modify the decision of the Planning Commission.

C. Additional Specific Plan Amendments

Approval of the Specific Plan signifies acceptance by the City of San Marcos of a general framework and specific development standards for University Commons. It is anticipated that certain changes or modifications to the specific plan text, exhibits, Development Plan as defined in the Development Agreement, and/or project may be necessary during the development of the project. Any modifications to this Specific Plan shall occur in accordance with the amendment process described in this section. These amendments, should they occur, are divided into two categories.

The first category, Administrative Amendments, allows for minor changes or modifications to the Specific Plan without a public hearing and may be approved by the City Manager. All other proposed changes are considered Formal Amendments and are required to be reviewed for approval by the Planning Commission and the City Council. In all cases amendments must be found to be in substantial conformance with the goals and development standards of the University Commons Specific Plan.

1. **Administrative Amendments**

Upon determination by the City Manager, certain changes or modifications to the Specific Plan text, graphics, Development Plan and/or project may not require Formal Amendments (i.e., through public hearing). The City Manager has the authority to approve changes and modifications to the specific plan including, but not limited to, the following:

- a. Expansions or reductions of the geographic area covered by a given Planning Area.
- b. Density transfer of residential units within the specific plan may be allowed, provided the transfer does not result in the density of any Planning Area being substantially increased beyond the maximum of that stated in this Specific Plan. Both the Planning Area(s) which receive(s) additional density and the Planning Area(s) for which the density is reduced, shall be identified in the amendment request and in no case shall the overall density of this Specific Plan be exceeded as the result of an Administrative Amendment. The overall unit count of the project shall not substantially exceed the maximum number of units provided for by this Specific Plan regardless of the above density transfer provisions.
- c. Realignment or modifications of streets serving the project, lot lines, easement locations, grading adjustments, and brush management/fuel modification boundaries if also approved by the City Engineer.
- d. Modifications to approved Development Plans as described in Section B of this chapter may be allowed providing such amendments shall not substantially increase the approved densities or boundaries of a Development Plan, nor permit a new use or group of uses not allowed in this Specific Plan.

Review Process

- e. Modification of design criteria such as paving treatments, architectural details, landscape treatments, fencing, lighting, trails, and entry treatments.
- f. Minor changes to the Phasing Plan.
- g. Implementation of the following additional landscape treatments:
 - i. Street furniture – portals in the rights-of-way.
 - ii. Street tapers within local streets in residential neighborhoods.
 - iii. Pocket parks within neighborhoods.
 - iv. Parkways and sidewalks raised or separated from curbs.
 - v. Varied residential lot widths.
- h. Changes or modifications necessary to obtain and implement federal, state and local permits and approvals.
- i. Any other proposed changes or modifications that are determined by the City Manager to be minor modifications.

Additional environmental review shall not be required for Administrative Amendments provided such changes or modifications do not require the preparation of a subsequent or supplemental environmental impact report pursuant to the California Environmental Quality Act and are determined to be substantially in accordance with the overall intent of this Specific Plan.

2. **Formal Amendments**

All specific plan modifications which do not meet the criteria of an Administrative Amendment as defined in this chapter shall be deemed to require a Formal Amendment. Formal Amendments shall be processed pursuant to Chapter 20.530 of the City of San Marcos Zoning Ordinance. All Formal Amendments shall be reviewed to the extent required for approval by the Planning Commission and the City Council.

The specific plan's text and exhibits represent an integrated, well-balanced plan for development which has been reviewed in great detail by city staff, Planning Commission, and City Council. Therefore, any request for a Formal Amendment shall be weighed in context with the intent of this Specific Plan, and the applicant for such Formal Amendment application must demonstrate that:

- a. The proposed amendment substantially complies with the goals and objectives of this Specific Plan, the San Marcos General Plan, and the Questhaven/La Costa Meadows Community Plan; and
- b. Any impacts to this Specific Plan resulting from any proposed future amendment(s) can to the reasonable satisfaction of the Planning Division Manager be satisfactorily mitigated.

It also shall be the applicant's responsibility to:

- a. Update any applicable studies and/or provide additional studies related to the formal Amendment when determined to be necessary by the Planning Division Manager.

Review Process

- b. Provide a strikeout/underline copy of the text when changes are necessary and update any exhibits affected by all proposed amendments.

Chapter VI

General Plan

Conformity

General Plan Conformity

VI. Conformity with the City of San Marcos General Plan

A. Introduction

The University Commons Specific Plan has been prepared in accordance with the governing City of San Marcos plans and State law pertaining to Specific Plans and Specific Plan Amendments. Applicable City plans include the San Marcos General Plan and the Questhaven/La Costa Meadows Community Plan. Conformity with these two documents is addressed below.

B. San Marcos General Plan

The General Plan Map for the City of San Marcos delineates overall development priority and land uses within the City. The project is consistent with the intent of the General Plan Land Use Element, in that the General Plan designates the site as Specific Plan Area. However, because the Questhaven/La Costa Meadows Community Plan establishes the specific land uses for the site, any proposed changes in land uses or densities also must be in conformance with the Community Plan. If not, a General Plan Amendment to amend the Community Plan would be required.

C. Questhaven/La Costa Meadows Community Plan

As noted above, the Questhaven/La Costa Meadows Community Plan serves as the land use element of the San Marcos General Plan for purposes of the University Commons site. The following chart compares this Specific Plan with the Community Plan.

TABLE 17 GOALS AND POLICIES

Questhaven/La Costa Meadows Community Plan	University Commons Specific Plan
Land Use	
a. To limit and control the distribution, location and type of growth within the Questhaven/La Costa Meadows Community in order to balance development with the natural resources and preserve the visual quality of the community while providing a mix of residential, commercial, solid waste management and light industrial uses.	a. This Specific Plan includes a wide range of resource recreation, open space and trail opportunities to preserve habitat and ridgelines while buffering urban development areas. The project also includes area exclusively devoted to natural open space, encompassing over 42% of the project site. A 26.6-acre resource recreation area, designed as a central community core area, offers passive recreational opportunities for employees of La Costa Meadows Industrial Park and residents and guests of University Commons. Project development would progress in two consecutive phases, with infrastructure and road extensions constructed concurrently as needed.
b. To provide for the development of a variety of housing types and densities	b. This Specific Plan provides for medium and high-density residential development

General Plan Conformity

Questhaven/La Costa Meadows Community Plan	University Commons Specific Plan
consistent with the area's natural character which minimizes landform alteration.	concentrated adjacent to high intensity uses. Residential areas will be buffered from more intense land uses by the site design techniques presented in this Specific Plan , including landscaping contour grading and edge treatments which will separate the planning areas and open space. Also, loop streets and cui-de-sacs throughout the project ensure separation from major streets. The project includes the right-of-way for 20.7 acres of major roadways. Neighborhood roadways will be constructed to provide circulation within the residential neighborhoods
Public Services and Utilities	
a. To ensure that adequate public services and facilities are installed to serve both the needs of the City and region in conjunction with the development of the community.	a. The phasing plan coordinates the provision of public facilities and services associated with the project with the anticipated sequence and pattern of development Public facilities would be available at the time of need for each phase of the project. Onsite water facilities will be sized to accommodate domestic demands and fire protection requirements. Fire and police protection services will be provided with phased project development.
Circulation	
a. To provide a balanced transportation system serving the needs of those persons residing and doing business within the community.	a. San Elijo Road within the project boundaries will be improved as part of the project. The project establishes a hierarchy of roadways that will accommodate anticipated traffic, consisting of: prime arterial, major arterial, secondary arterial, collector, modified collector, and local access street.
Environmental	
a. To preserve the Questhaven/La Costa Meadows Community's natural and rural	a. This Specific Plan incorporates generous landscaped areas with strong, rich landscape materials including river rock

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General Plan Conformity

Questhaven/La Costa Meadows Community Plan	University Commons Specific Plan
environment as well as its unique resources.	stone, boulder outcrops, clusters and groves of trees, wood materials, earthtone colors and a diversity of materials. Community elements such as entries, streetscapes, walls and fences, and land use transition areas establish the design theme for the community by reinforcing the design hierarchy and by identifying community areas and boundaries. Approximately 41 percent of the project site will remain open space, preserving views of natural habitat. An extensive soft surface trail system, accommodating pedestrian and/or equestrian use, will wind through the project, providing access to natural open space.
Visual Resources	
a. Preserve the ridgeline's visual qualities.	a. This Specific Plan substantially preserves the features of the primary ridgelines. San Marcos Creek will remain in its current condition.