2019048246

CEQA# 12634

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

NOTICE OF EXEMPTION

TO: Office of Planning and Research
1400 Tenth Street
Sacramento, CA 95814

FROM: Department of Parks and Recreation
Santa Cruz District
303 Big Trees Park Road
Felton, CA 95018

PROJECT TITLE: Re-Roof Castro Adobe Structure

LOCATION: Rancho San Andres Castro Adobe **COUNTY:** Santa Cruz

DESCRIPTION OF THE NATURE AND PURPOSE OF PROJECT: Replace the shingled roof on the Rancho San Andres Castro Adobe to protect the integrity of the structure and fix the incorrectly installed roof. Work will remove the existing shingles, install a suitable membrane, a shingle breather layer and metal flashings and install in kind 18" shingles.

PUBLIC AGENCY APPROVING THE PROJECT: California Department of Parks and Recreation

NAME OF DIVISION OR DISTRICT CARRYING OUT THE PROJECT: Santa Cruz

EXEMPT STATUS:
☒ Categorical Exemption
Class: 2 & 31 *Section:* 15302 & 15331

REASONS WHY PROJECT IS EXEMPT: Project consists of the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced and is included as "Reroofing" in the Department of Parks and Recreation's list of exemptions in accordance with CCR §15300.4; and the maintenance, repair and preservation of historical resources, in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

CONTACT: Sheila Branon
Santa Cruz District

PHONE NO.: (831) 335-6385
EMAIL: Sheila.branon@parks.ca.gov

Chris Spohrer
District Superintendent II
Santa Cruz District

4.10.19
DATE

Governor's Office of Planning & Research
APR 11 2019
STATE CLEARINGHOUSE

DPR 508 (Rev. 4/2003)(Word 2/11/2005)

20190482 46

Project ID No. _____

PROJECT EVALUATION (PEF)

PCA No. _____

PROJECT CONCEPT		
PROJECT TITLE Re-Roof Castro Adobe Structure		PARK UNIT NAME Rancho San Andres Castro Adobe
DISTRICT NAME Santa Cruz District		FACILITY NO. 434-A-4-05-0-001
PROJECT MANAGER Augustin Ceballos	PHONE NO. 831429-2859	EMAIL augustine.ceballos@parks.ca.gov
DISTRICT PROJECT MANAGER Felipe Jauregui	PHONE NO. 831-335-6380	EMAIL felipe.jauregui@parks.ca.gov
PROJECT BID DATE N/A	CONSTRUCTION START DATE TBD	FUNDING SOURCE TBD

PROJECT DESCRIPTION

Identify the scope of the project in detail, including its purpose, location, and potential impacts. If the ground is to be disturbed, describe the depth and extent of excavation. Describe the existing site conditions, including previous development. Note if work will impact or extend beyond park property. Indicate if work will be done in conjunction with, or as part of, other projects. (Use additional pages if necessary.)

This project will consist of re-roofing the historic adobe. A new roof is needed due to roof deficiencies (leakage), improper installation, and shingle exposure was incorrectly installed (see attachment "Existing Roof Evalution Report 8/21/17")

Because of all the current roof issues, we are recommending a complete re-roof of the main two-story structure.with the introduction of a suitable membrane and the use of 18" redwood shingles. The use of a shingle breather per the original detail should also be continued as should the use metal flashings.

Attached is completed PEF and Negative Declaration from 2005.

DOCUMENTS ATTACHED

- ☒ 7.5 minute (quad) map of project area ***(Required)***
- ☒ Site Map ***(Required** - Scale should show relationship to existing buildings, roads, landscape features, etc.)*
- ☐ DPR 727 Accessibility Review and Comment Sheet ***(Required** -- Attach DPR 727 or emailed project exemption from the Accessibility Section.)*
- ☐ Sea-level Rise Worksheet *(for coastal park units)*
- ☒ Graphics *(Specify - photos, diagrams, drawings, cross-sections, etc.)*: Existing roof evalution.
- ☒ Other *(Specify)*: 2005 PEF

PROJECT EVALUATION (PEF)

Project ID No.

PCA No.

RESOURCES

Explain all "Yes" or "Maybe" answers in the "Evaluation and Comments" section (reference by letter and number). Attach additional pages, if necessary.

YES	MAYBE	NO	
			A. EARTH – *WILL THE PROJECT:*
☐	☐	☒	1. Create unstable soil or geologic conditions?
☐	☐	☒	2. Adversely affect topographic features?
☐	☐	☒	3. Adversely affect any unusual or significant geologic features?
☐	☐	☒	4. Increase wind or water erosion?
☐	☐	☒	5. Adversely affect sand deposition or erosion of a sand beach?
☐	☐	☒	6. Expose people, property, or facilities to geologic hazards or hazardous waste?
☐	☐	☒	7. Adversely affect any paleontological resource?

YES	MAYBE	NO	
			B. AIR – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect general air quality or climatic patterns?
☐	☐	☒	2. Introduce airborne pollutants that may affect plant or animal vigor or viability?
☐	☐	☒	3. Increase levels of dust or smoke?
☐	☐	☒	4. Adversely affect visibility?

YES	MAYBE	NO	
			C. WATER – *WILL THE PROJECT:*
☐	☐	☒	1. Change or adversely affect movement in marine or fresh waters?
☐	☐	☒	2. Change or adversely affect drainage patterns or sediment transportation rates?
☐	☐	☒	3. Adversely affect the quantity or quality of groundwater?
☐	☐	☒	4. Adversely affect the quantity or quality of surface waters?
☐	☐	☒	5. Expose people or property to flood waters?
☐	☐	☒	6. Adversely affect existing or potential aquatic habitat(s)?

YES	MAYBE	NO	
			D. PLANT LIFE – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect any native plant community?
☐	☐	☒	2. Adversely affect any unique, rare, endangered, or protected plant species?
☐	☐	☒	3. Introduce a new species of plant to the area?
☐	☐	☒	4. Adversely affect agricultural production?
☐	☐	☒	5. Adversely affect the vigor or structure of any tree?
☐	☐	☒	6. Encourage the growth or spread of alien (non-native) species?
☐	☐	☒	7. Interfere with established fire management plans or practices?

YES	MAYBE	NO	
			E. ANIMAL LIFE – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect any native or naturalized animal population?
☐	☐	☒	2. Adversely affect any unusual, rare, endangered, or protected species?
☐	☐	☒	3. Adversely affect any animal habitat?
☐	☐	☒	4. Introduce or encourage the proliferation of any non-native species?

YES	MAYBE	NO	
			F. CULTURAL RESOURCES – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect a prehistoric or historic archeological site, or tribal cultural resource?
☐	☐	☒	2. Adversely affect a prehistoric or historic building, structure, or object?
☐	☐	☒	3. Cause an adverse physical or aesthetic effect on an eligible or contributing building, structure, object, or cultural landscape?
☐	☐	☒	4. Diminish the informational or research potential of a cultural resource?
☐	☐	☒	5. Increase the potential for vandalism or looting?
☐	☐	☒	6. Disturb any human remains?
☐	☐	☒	7. Restrict access to a sacred site or inhibit the traditional religious practice of a Native American community?

201904826

Project ID No.

PCA No.

PROJECT EVALUATION (PEF)

ARCHEOLOGIST COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

Findings:

- [x] No PRC 5024 necessary (provide justification)
- [ ] PRC 5024 attached; project approved as written
- [ ] PRC 5024 attached, conditions necessary
- [ ] PRC 5024 attached, mitigations and/or potential significant impacts

Explain No archeological resources impacted; However, Shingles are not consistent with historic structure. Roof is traditional clay tile, some of which are original.

SIGNATURE	PRINTED NAME
Mark Eykamp	Mark Eykamp
TITLE	**DATE**
SCK Dist. Archaeologist	6/13/2018

HISTORIAN COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

Findings:

Needs Historian Review.

- [ ] No PRC 5024 necessary (provide justification)
- [ ] PRC 5024 attached, project approved as written
- [x] PRC 5024 attached, conditions necessary
- [ ] PRC 5024 attached, mitigations and/or potential significant impacts

Explain The metal flashing is reversible and blends with the roof. If there are no plans and more specifically, no funding to reinstall the ceiling on the second floor, then the project must be altered to reflect the changes required by Cultural Condition 1.
Cultural Condition 1: If the rafters are still exposed, install a layer of shingles directly to the rafters before adding 15# asphalt saturated building felt or similar product over this base layer of shingles before installing the exposed roofing shingles on top of felt. (See 5024 below). Note: this method is only for the exposed areas of the Corredor roof. (Roofing felt is preferred but ice and water shield is acceptable.)

SIGNATURE	PRINTED NAME
Dan Osanna	Dan Osanna
TITLE	**DATE**
Environmental Program Manager I	10/30/18

ENVIRONMENTAL SCIENTIST COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

Findings:

- [x] No Impact
- [ ] Impact(s), see conditions/mitigations below or on attached page(s)
- [ ] Potential Significant Impact

Explain

NO EVIDENCE OF BAT ROOSTS IN THIS RELATIVELY NEW ROOF. IF ANY EVIDENCE OF WILDLIFE USE OCCURS, CHECK WITH AN ENVIRONMENTAL SCIENTIST PRIOR TO BEGINNING WORK.

Project ID No.

PROJECT EVALUATION (PEF)

PCA No.

ARCHEOLOGIST COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

Findings:

- [x] No PRC 5024 necessary (provide justification)
- [ ] PRC 5024 attached; project approved as written
- [ ] PRC 5024 attached, conditions necessary
- [ ] PRC 5024 attached, mitigations and/or potential significant impacts

Explain No archaeological resources impacted; However, Shingles are not consistent with historic structure. Roof is traditional clay tile, some of which are original.

SIGNATURE	PRINTED NAME
Mark Hylkema	Mark Hylkema
TITLE	**DATE**
SCR Dist. Archaeologist	6/13/2018

HISTORIAN COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

Findings:

Needs Historian Review

- [ ] No PRC 5024 necessary (provide justification)
- [ ] PRC 5024 attached, project approved as written
- [ ] PRC 5024 attached, conditions necessary
- [ ] PRC 5024 attached, mitigations and/or potential significant impacts

Explain

SIGNATURE	PRINTED NAME
TITLE	**DATE**

ENVIRONMENTAL SCIENTIST COMMENTS AND SIGNATURE (REQUIRED FOR ALL FINDINGS)

Findings:

- [x] No Impact
- [ ] Impact(s), see conditions/mitigations below or on attached page(s)
- [ ] Potential Significant Impact

Explain

NO EVIDENCE OF BAT ROOSTS IN THIS RELATIVELY NEW ROOF. IF ANY EVIDENCE OF WILDLIFE USE OCCURS, CHECK WITH AN ENVIRONMENTAL SCIENTIST PRIOR TO BEGINNING WORK.

PROJECT EVALUATION (PEF)

Project ID No.

PCA No.

OTHER COMMENTS (COMMENTER MUST INCLUDE TITLE AND SIGNATURE)	
SIGNATURE	PRINTED NAME
TITLE	DATE

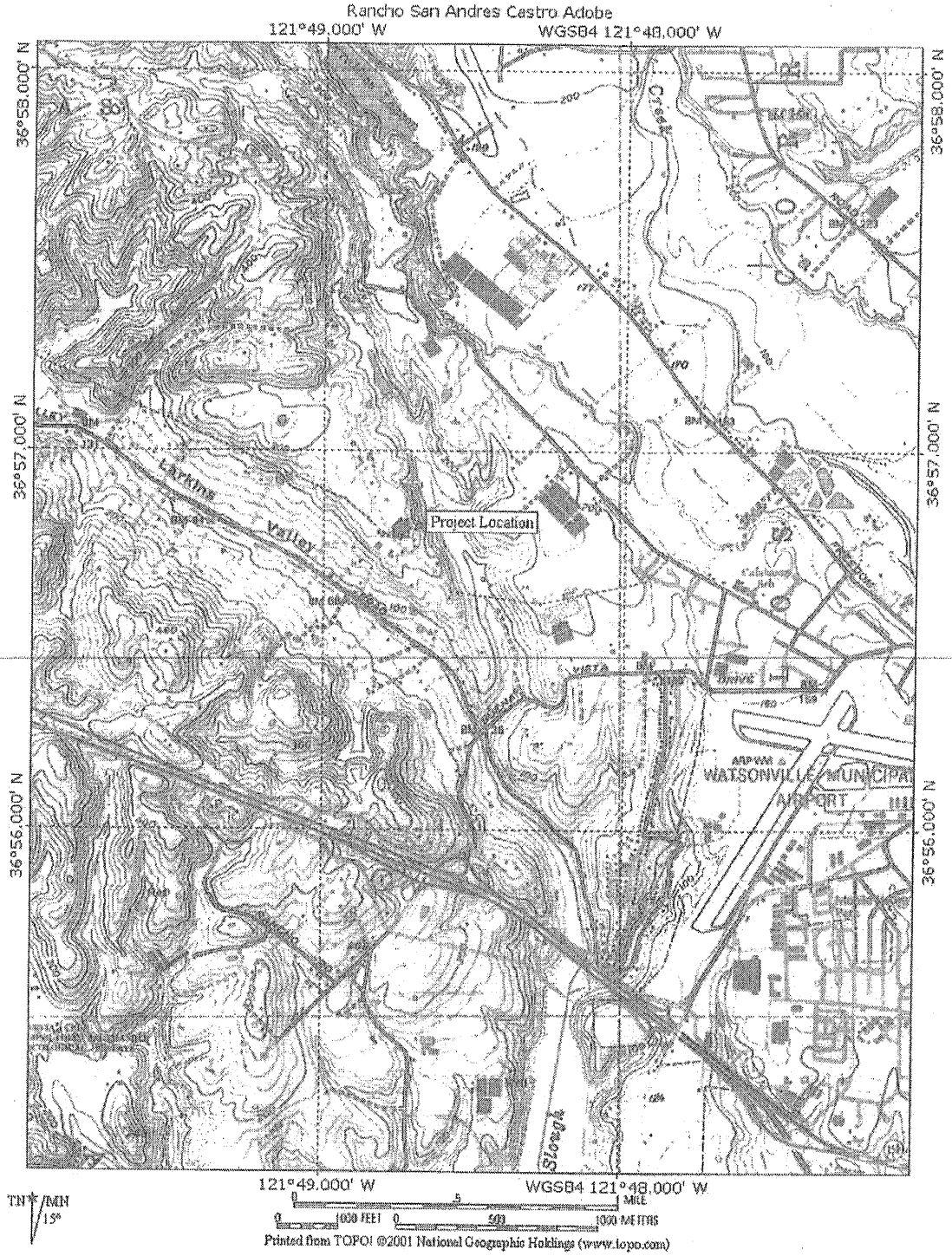
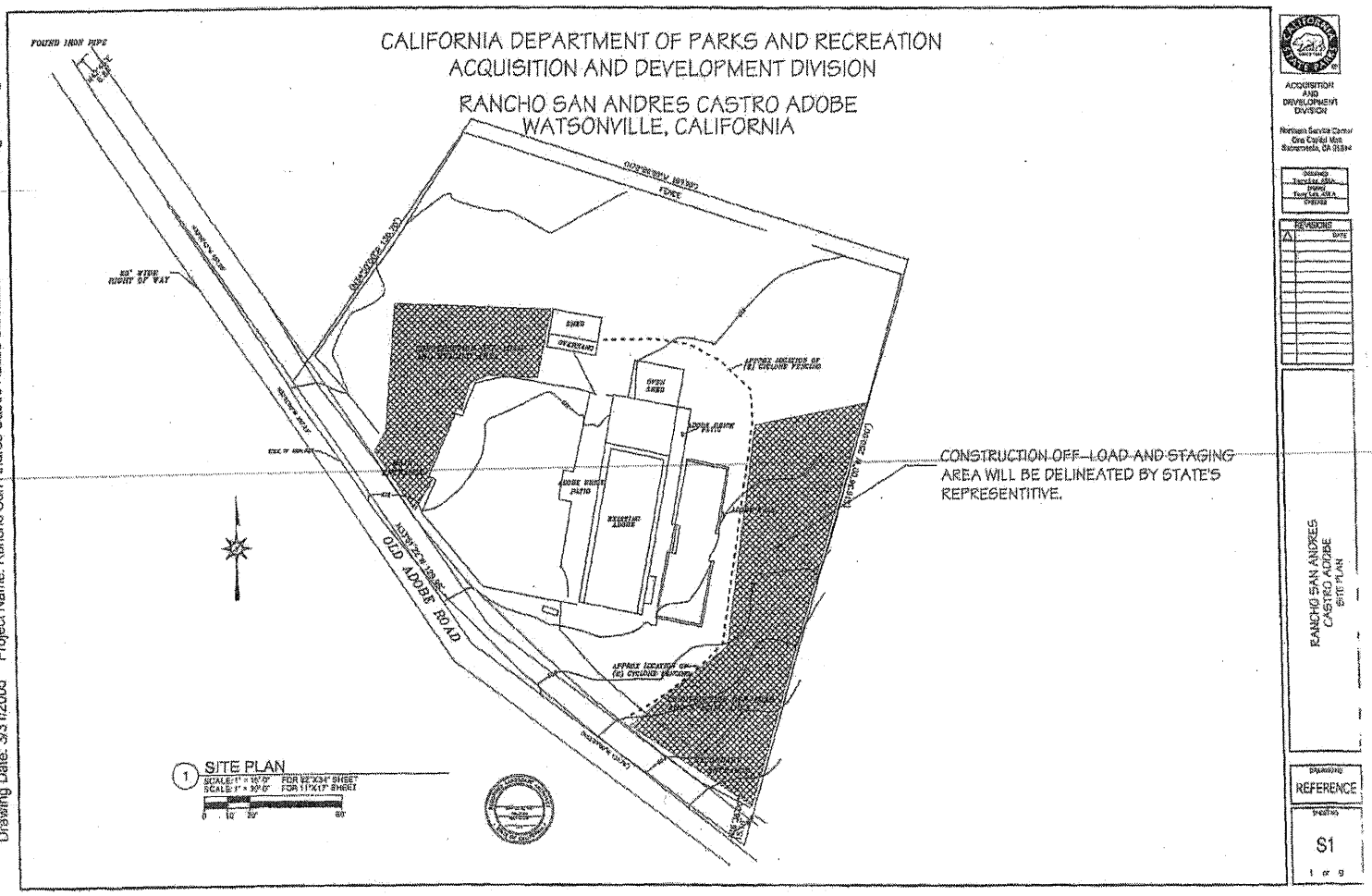
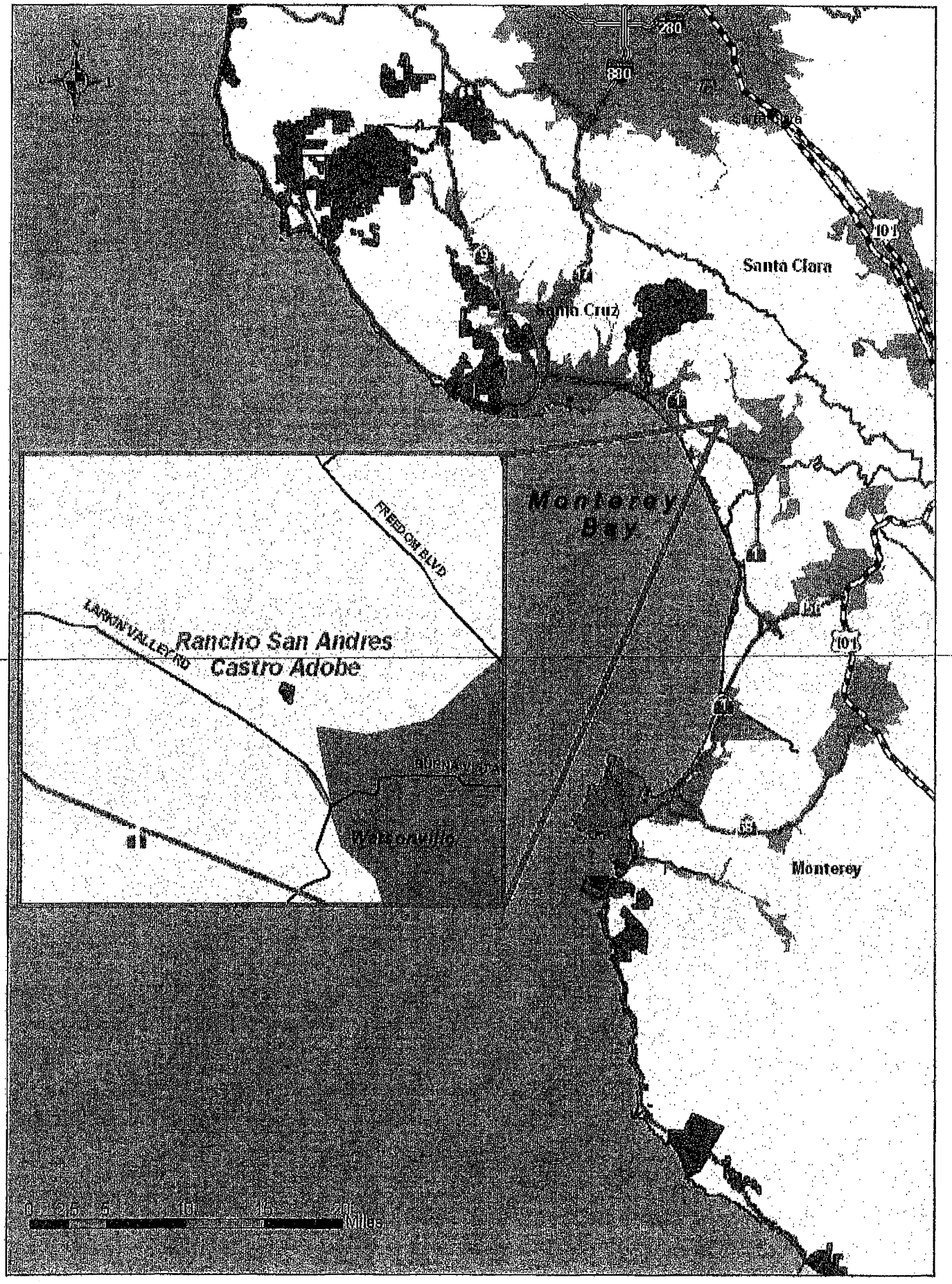
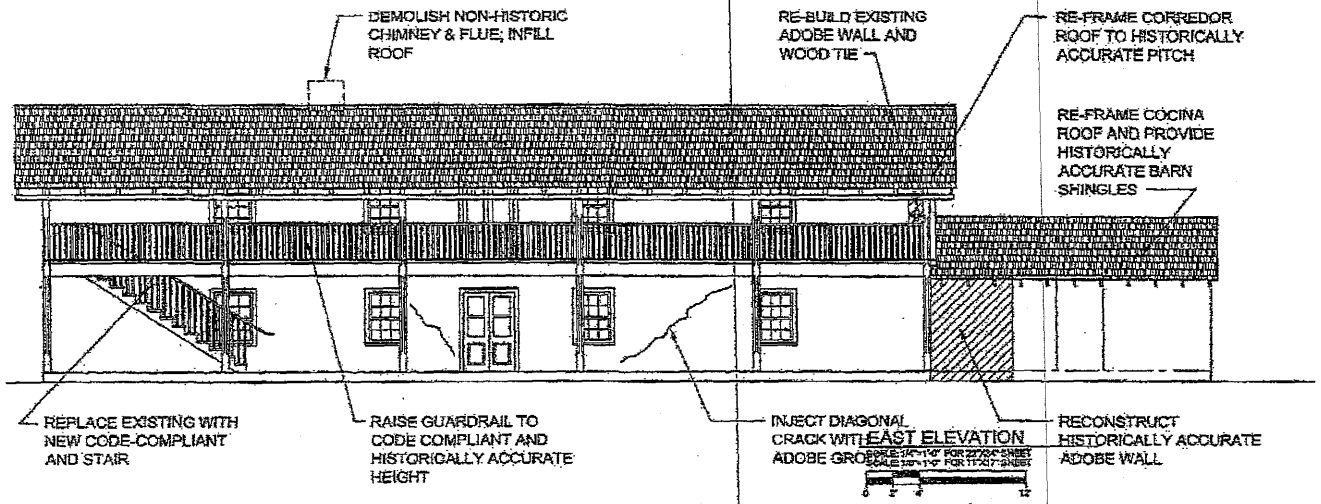


Figure 2 - Topographic Map

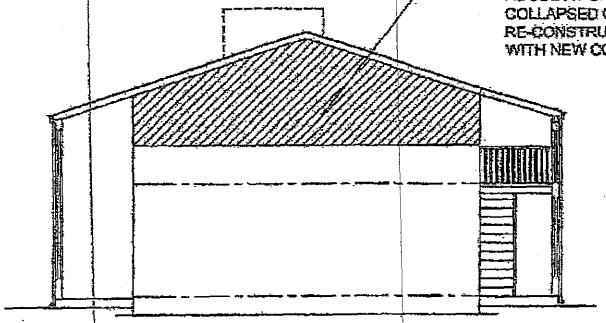
Site Map


CALIFORNIA DEPARTMENT OF PARKS AND RECREATION
ACQUISITION AND DEVELOPMENT DIVISION
RANCHO SAN ANDRES CASTRO ADOBE
WATSONVILLE, CALIFORNIA
CONSTRUCTION OFF-LOAD AND STAGING AREA WILL BE DELINEATED BY STATE'S REPRESENTITIVE.
OLD ADOBE ROAD
1 SITE PLAN
SCALE: 1" = 10'-0" FOR 22"X34" SHEET
SCALE: 1" = 30'-0" FOR 11"X17" SHEET
ACQUISITION AND DEVELOPMENT DIVISION
RANCHO SAN ANDRES CASTRO ADOBE SITE PLAN
REFERENCE
S1
1 of 9
Drawing Date: 3/31/2005 Project Name: Rancho San Andres Castro Adobe Stabilization Phase: Working Drawings


280
880
Santa Clara
101
Santa Cruz
Monterey Bay
FREEDOM BLVD
LARKIN VALLEY RD
Rancho San Andres
Castro Adobe
Watsonville
Monterey
0 2.5 5 10 15 20
Miles



EAST ELEVATION



SOUTH ELEVATION

DRAWING DATE: 7-16-04 PROJECT NAME: RSA Castro Adobe Repair & Restoration PROJECT PHASE: Preliminary Design

CALIFORNIA STATE PARKS

CENTRAL SERVICE CENTER
21 Tower Ragsdale Drive Monterey, CA 93940

DESIGNED MJZ
DRAWN MJZ
CHECKED

RF | REG | ATE

Santa Cruz District

EXISTING EXTERIOR ELEVATIONS

Rancho San Andres Creek Adobe Repair & Renovation

DRAWING NO.

SHEET NO 3

3 OF XX

2019048246

Pitaccio, Allee@Parks

From: Osanna, Dan@Parks
Sent: Tuesday, October 30, 2018 10:16 AM
To: Pitaccio, Allee@Parks
Subject: Castro Adobe
Attachments: Historian Signature on PEF_Re-Roof Castro Adobe Structure_Rancho San And....pdf; Castro Adobe Reroof Historian 5024.pdf

Categories: Pending Item

Hi Allee:

This one is complicated. With the inclusion of the Roofing Report, it appears that other work on the house has occurred. I'm not clear whether the second floor ceiling was reinstalled yet so I had to add a condition to the reroof. If Auggie or Felipe have questions, we can talk.

Also, Mark was concerned about replacing the shingled roof with another shingled roof instead of tiles. I'm not sure if he has seen the HSR or the supplemental from 2010. They are both very clear on replacing with a shingled roof. These reports are on the UDF. (I could email the supplemental because it's small enough but I can't email the original). In any case, I have no concerns with the proposed reroof project other than the concern I raise that required the condition I added.

Thanks,
Dan

Dan Osanna
Environmental Program Manager I
California State Parks
Northern Service Center
One Capital Mall, Ste. 410
Sacramento, CA 95814
(916) 445-8836

Log No.:
CEQA No.: 12634

California Department of Parks and Recreation
Historical Review ☒ Archaeological Review ☐ Both ☐
Project Evaluation
(P.R.C. 5024, 5024.5 and E.O. W-26-92)

PROJECT: Re-Roof Castro Adobe Structure
PARK UNIT: Rancho San Andres Castro Adobe **DISTRICT:** Santa Cruz
Project Manager: Augustin Ceballos
Date: 10/26/18 **Contact Phone #:** (831) 429-2859 **Email:** augustine.ceballos@parks.ca.gov
PROJECT DESCRIPTION / DEFINE A.P.E. BOUNDARY: The PEF states:
This project will consist of re-roofing the historic adobe. A new roof is needed due to roof deficiencies (leakage), improper installation, and shingle exposure was incorrectly installed (see attachment "Existing Roof Evaluation Report 8121/17")

Because of all the current roof issues, we are recommending a complete re-roof of the main two-story structure with the introduction of a suitable membrane and the use of 18" redwood shingles. The use of a shingle breather per the original detail should also be continued, as should the use of metal flashings.

Source of Funding/Amount: District

CULTURAL RESOURCES:
HISTORIC ☒ ARCHAEOLOGICAL ☐ TRADITIONAL CULTURAL PROPERTY (TCP) ☐ NONE ☐
POTENTIALLY PRESENT (i.e. potentially buried resources or survey inconclusive due to inaccessibility) ☐
APE visited by Cultural Resources Staff Yes ☐ No ☒
Name: Date:
Methods of Inventory:
Records Review ☒ Site History Research ☐ Field Survey ☐ Subsurface Testing ☐ Other

A. Explain Findings: The Rancho San Andres Castro Adobe is listed on the National Register of Historic Places (National Register System Number 76000531). There are two HSRS on the building, the original from 2003 and a supplemental from 2010. Both guided stabilization/restoration work, including the last reroof.

NEGATIVE SURVEY DETERMINATION:
☐ **NO EFFECT: No Historical Resources Present**
[If no cultural resources are present, or potentially present within the project APE, no further documentation is required. Proceed to review section VII. APPROVAL AND CERTIFICATION for signature]

I. EXISTING CONDITIONS/RESOURCE STATUS Attach appropriate documentation (DPR 523 forms, etc.):

B. Resources within APE: [Site Number(s)/Description(s)/Date of Latest Recordation Form(s)/Additional Documentation (reports, studies, etc)]: The Rancho San Andres Castro Adobe (National Register System Number 76000531).

C. Newly identified resources recorded or updated previous records?: Yes ☐ No ☒
Explain/List: The existing HSRs and plans are sufficient for guiding the proposed work. This work is to repair the roof because the previous roofing project in 2008 did not follow the plans.

II. ELIGIBILITY DETERMINATION(S) (use continuation page [separate file] for additional resources identified):

A. Resource Evaluation and Significance (If resource is nominated or listed, do NOT fill out section IIB below. Attach appropriate recordation forms to review package. If not, move to section IIB below).
Resource Name / Site Number: The Rancho San Andres Castro Adobe
Resource Type is: Individual Building/Structure ☒ Archaeological Site(s) ☐ Landscape District ☐
Historic District ☐ Archaeological District ☐ TCP ☐ National Historic Landmark ☐ Cultural Preserve ☐
Nominated for ☐ or Listed ☒ on: California Register: Yes ☒ No ☐ **National Register:** Yes ☒ No ☐
(If Nominated: Eligibility Concurrence status by OHP: Yes ☐ No ☐ In process ☐)

B. Site/Structure Eligibility Determination (for newly recorded, non-nominated or listed resources):
Not Eligible ☐
Explain (include documentation of negative DOE):

Log No.: **CEQA No.:**

Potentially Eligible ☐
Criteria: A – Events ☐ B – People ☐ C—Design ☐ D—Information ☐
Significance Statement:
Integrity Discussion:

III. DPR POLICY COMPLIANCE

A. Is project consistent with General Plan?: Yes ☐ No ☐ **GP date:**
B. If no General Plan, is project scope consistent with current resource use?: Yes ☒ No ☐
C. Is project consistent with Cultural Resource Management Directives?: Yes ☒ No ☐
Comments: The project proposes to replace the roof on the adobe following the treatment recommendations of the HSR and the guidance of a roofing evaluation prepared by Franks & Brenkwitz, a local Historical Architectural firm. See Impact assessment below for more details.

IV. IMPACT ASSESSMENT

A. Historic Resources
Historic Facility Name(s): Rancho San Andres Castro Adobe
Will the proposed project impact historic resources? Yes ☐ No ☒
Describe impacts or non-impacts and provide Comments:
The project consists of re-roofing the historic adobe. It states that a new roof is needed due to roof deficiencies (leakage), improper installation, and shingle exposure was incorrectly installed. Per the *Existing Roofing Evaluation Report for Castro Adobe State Historic Park* (Franks & Brenkwitz, 2017), there were multiple problems with the previous roof installation. Since the PEF referenced this report, all of its recommendations are evaluated below:

Discussions in the Existing Roofing Evaluation Report

- During one of our site visits, it was discovered that rainwater was leaking through the east roof overhanging the *Corredor* and falling on the ground surface below. Currently, the roof in that area consists of 2x4 rafters with skip sheathing and wood cedar shingles above. The roof was installed in 2008 and the shingles used were fire retardant. After some further discovery, it appears that there was not any kind of membrane (felt, peel-and-stick, etc) underlying the shingles over the *Corredor*. Thus, the water was working its way through the shingle courses to the area below. In referencing the original drawings, it appears that this was the intent of the detail, presumably to yield a more authentic look by seeing the underside of the shingles and not the felt, etc. Because we are now intending to install boards underneath the rafters and form a ceiling at the *Corredor*, this existing situation must be resolved in order to prevent future failures.

Evaluation: The report recommends installation of boards underneath the rafters to form a ceiling in the *Corredor* and then installing some kind of membrane underlying the shingles. This recommendation contradicts the recommendations of the HSR (See page 90) that states, "*The solid sheathing of the Corredor roof is termite ridden and should be replaced with skip sheathing with **the shingles visible on the underside as is historically accurate.***" This requirement was continued in the updated HSR from 2010 (Hildebrand and Wulzen 2010) which states, "A layer of plywood rests directly on the rafters; it extends to the exterior face of the walls. Layers of underlayment and breathable membrane are sandwiched beneath the shingles of the finished roof. Over the *corredor*, skip sheathing has been used instead of plywood to achieve the appearance of the simple original roof from the under side. This detail should not be painted" (page 18). In most cases, any variation from this design is an Adverse Effect on the building. In this case, however, The HSR identifies that the ceiling upstairs should be restored. There is a potential project to complete this task. If the ceiling is restored, this action will have **No Adverse Effect** to the building. If the ceiling is not restored, then there will be an **Adverse Effect**. To reduce this effect to having **No Adverse Effect** on the building, see **Condition 1** in **Section V.A.**

- Upon further discovery by the contractor and his roofing sub, several other deficiencies in the overall roof were noted.
  - Firstly, the original installation of the fire retardant shingles was done with what appears to be 8d galv. gun nails, as opposed to recommended* 3d Stainless Steel nails. See photo below (Fig. 3) [In original Report not in this 5024] showing the underside of the sheathing where the nails penetrated the plywood sheathing. It is not clear if the nails were overdriven or not.
  - Secondarily, the nailing location was not at a recommended* location; the nails were placed too high up on the shingle- normal practice is to nail approx. 1.5" above the exposure line and the sample shingle we examined was 4" above the line.
  - Thirdly, the exposure (part of shingle left to the weather) for the shingles was too great. At 5" the exposure creates a situation that invites curling and cupping. Recommended* exposure for a# 1shingle that is 16" long is 3 *3/4"* max.

Evaluation: The stainless steel nails were approved in the original project and were part of the specifications. They should have been used. The previous project also deviated from standard nailing locations. The proposed project will use the appropriate nails and locations. The exposure was wrong because the previous project failed to use the shingles specified in the HSR. The 18" shingles specified would have had the appropriate area of shingle exposed. All three of these actions are correcting issues based on the previous project not following the project specifications. Those specifications, including the shingled roof were approved in the HSR and supplemental HSR. This proposed work will have **No Adverse Effect** on the building.

- Lastly, over the *Corredor* area where the roof is of a lower pitch (2 5/8:12), the Ca. Building Code in Chapter 15 states that in areas under a 3:12 pitch, a wood shingle roof shall not be permitted to be installed. Historically where we have seen wood shingle roofs installed at under 3: 12 pitches, we have typically seen an underlayment consisting of a peel and stick type membrane to combat the low slope problem. Seeing as how there is currently no membrane installed, the current situation is in in need of correction.
    - As a side note, there is no attic ventilation present in the system as constructed, although because much of the existing ceiling of the building has been removed this has not really been an issue. It will, however, become important when the ceiling is reinstalled. Thus, consideration should be given for eave vents and either a ridge vent (preferred) or gable end vents (not preferred due to aesthetic impact).

Evaluation: Section 8-105 of the *California Historical Building Code* (Specifically Section 8-105.1) States, "Repairs to any portion of a qualified historical building or property may be made in-kind with historical materials and the use of original or existing historical methods of construction, subject to conditions of the CHBC." The shingled roof falls under this protection. Furthermore, the original HSR specifies that the roof should be replaced with shingles 5" to the weather over skip sheathing (page 88). The 2010 Supplemental HSR described the roof over the *corredor* as having skip sheathing instead of plywood to achieve the appearance of the simple original roof from the under side (page 18). As previously discussed, there is a plan to reinstall the ceiling on the second floor. This ceiling will cover the exposed roofing. The proposed project as described in the PEF addresses the roof and will be evaluated below. This evaluation addresses the consideration of adding a ridge vent and eave vents. The HSR and the supplement discuss vents on the north wall for a brasero or the Cocina. The original HSR also had the following recommendation: "Re-frame the roof with exposed rafters and redwood sheathing exposing the underside of the shingles. Install metal mesh in the ventilation openings to prevent entry of bats" (page 93). It is common practice to install the ridge vent and eave vents on historic buildings (the Central Building, a historic adobe at Sutter's Fort, is a good example of this). The eave vent covers must be painted to match the exterior painting so they blend with the building. The ridge vent is not noticeable to the untrained eye from the ground level . This action would have **No Adverse Effect** on the building.

The Project Description from the PEF

Because of all the current roof issues, we are recommending a complete re-roof of the main two-story structure with the introduction of a suitable membrane and the use of 18" redwood shingles. The use of a shingle breather per the original detail should also be continued, as should the use of metal flashings.

Evaluation: There is some concern about reroofing in wooden shingles because the house originally had tile roofing. The original HSR addressed this concern:

> The ultimate preservation treatment is restoration to reflect the period of significance, the Castro family era from circa 1848 to 1883. Since funding is not yet available for the restoration phase, it will be completed at a later date, or perhaps incrementally. Restoration tasks encompass reconstructing two interior partition walls upstairs, re-wiring the building more aesthetically in keeping with an as-yet-to-be-done interpretive plan, heating the second floor (if determined feasible and advisable), replacing the adobe pavement with a board walk, reshingling the roof, repairing/replacing wall finishes (mud plaster) and re-painting the building with historically accurate paint colors (page 6).

In discussing later rehabilitation efforts, the HSR stated:

> The carport was reconstructed in kind and the entire building re-roofed again in kind. This brings us to the second factor that hampered Elizabeth in pursuing her goal: lacking historical photographs and architectural historical research, she was unaware of the relative newness of the carport and the fact that shakes were not the historically appropriate roofing material. She and her predecessors were not aware that hand riven and shaved shingles were produced for the entire California and Sandwich Islands market at Rancho Corralitos just across the northern rancho boundary on contract with Thomas O. Larkin as early as 1835. The Pajaro Valley and Santa Cruz Mountains were the primary source of roofing material for the state during the entire Mexican era (page 82). . . The present shake roof is not historic and should be replaced with shingles 5" to the weather over skip sheathing (page 88).

Log No.: CEQA No.:

The Supplemental HSR (2010) stated the following:

> The HSR recommended that the *cocina* be roofed with 36" long barn shingles as shown in the earliest photographs we have. Originally, the shingles would have been installed directly on top of skip sheathing as the finished roof. Now, standing inside the *cocina* and looking up at the under side of the new roof, one sees a layer of shingles above the skip sheathing to give the correct appearance in the interior (Photograph 12) [in the supplemental report but not copied here]. Above this, the engineered roof has layers of plywood, underlayment, breathable membrane, and the exterior layer of 36" long shingles (pages 10-11).

The above discussion and thorough research on the shingle roof combined with early historic photographs in these reports illustrates that the roof will be replaced accurately in-kind with a roof that reflects a style that was either original to the house or an early replacement that occurred during the period of significance identified in the HSR. Furthermore, this project replaces the roof in kind, with the exception of using a longer shingle that was specified for the prior roofing project. This roof will have **No Adverse Effect** on the building.

The proposed project also discusses adding metal flashing. It is common practice to install metal or copper flashing that blends with or is concealed by the roof. It is not seen from the ground and is reversible. Adding metal flashing will have **No Adverse Effect** on the building.

Is proposed project consistent with Secretary of Interior's Standards and Guidelines?: Yes ☒ No ☐
Explain: This project replaces the roof in kind, with the exception of using a longer shingle that was specified for the prior roofing project and the metal flashing is reversible and blends with the roof.

B. Archaeological Resources
Site Number(s):
Archaeological Site Type: Historic ☐ Prehistoric ☐ Unknown ☐
Will the proposed project impact archaeological resources? Yes ☐ No ☐
Describe impacts or non-impacts and provide Comments:

Is proposed project consistent with Secretary of Interior's Standards and Guidelines in relation to archaeological resources?:
Yes ☐ No ☐
Explain:

V. TREATMENTS AND MITIGATION

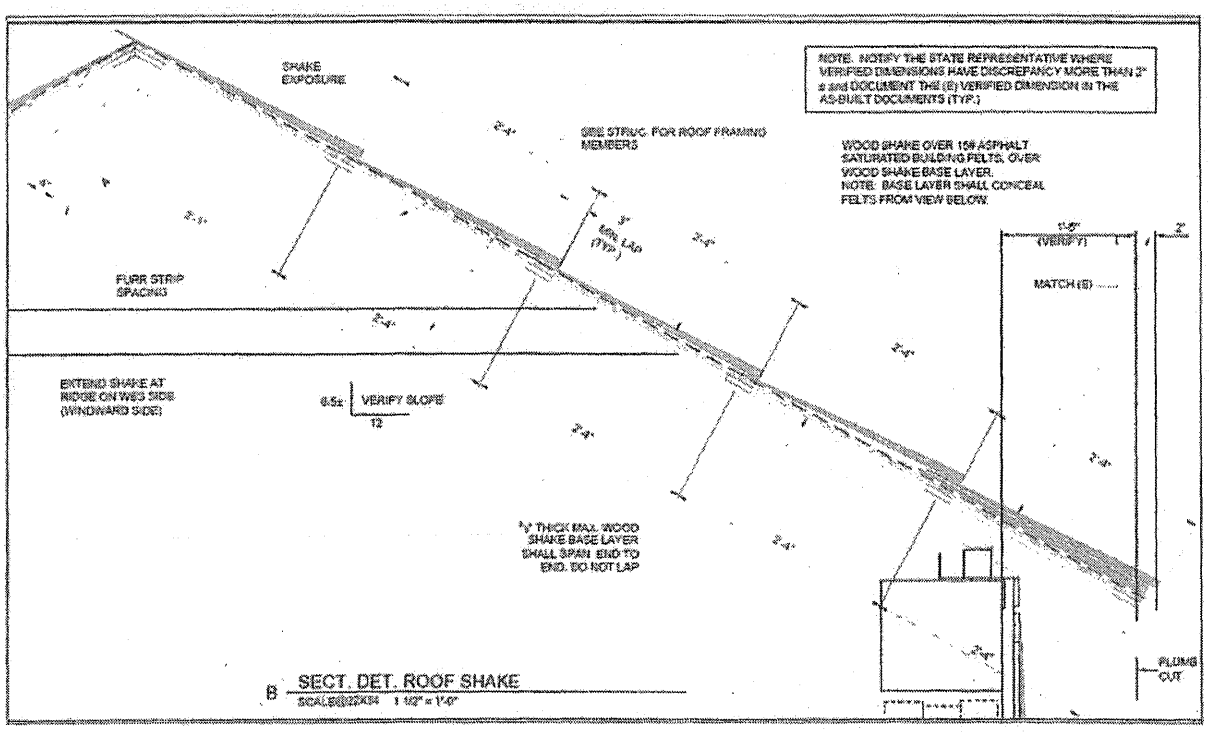
A. Would project redesign lessen resource impacts?: Yes ☒ No ☐
Explain: If the ceiling is not reinstalled on the second floor, the exposed rafters must show the shingles from underneath. To avoid an **Adverse Effect** on the building **Cultural Condition 1** must be followed.

Cultural Condition 1: If the rafters are still exposed, install a layer of shingles directly to the rafters before adding 15# asphalt saturated building felt or similar product over this base layer of shingles before installing the exposed roofing shingles on top of felt (See drawing below). Note: this method is only for the exposed areas of the *Corredor* roof. (While roofing felt is preferred, ice and water shield is acceptable.) The 2010 HSR describes a similar method that was used on the Cocina:

> "The HSR recommended that the *cocina* be roofed with 36" long barn shingles as shown in the earliest photographs we have. Originally, the shingles would have been installed directly on top of skip sheathing as the finished roof. Now, standing inside the *cocina* and looking up at the under side of the new roof, one sees a layer of shingles above the skip sheathing to give the correct appearance in the interior (Photograph 12) [In the HSR]. Above this, the engineered roof has layers of plywood, underlayment, breathable membrane, and the exterior layer of 36" long shingles" (page 10-11).

See Sketch below on next page.

Log No.: CEQA No.:



B. Are appropriate treatment measures included within project scope?: Yes ☐ No ☒
Explain: It appears that there was a previous project to reinstall the second floor ceiling, based on the roofing report. If that ceiling is not installed, then there are **not appropriate treatment measures. Cultural Condition 1 in Section V.A.** above must be followed. If the ceiling is in place, then the project includes appropriate treatment measures.

C.. Does treatment involve salvaging historic fabric or excavating archaeological deposits?: Yes ☐ No ☒
If yes, has a recordation program or archaeological treatment plan been approved by a senior-level CRS? Yes ☐ No ☐
Explain:

C. **In order to bring the project into compliance with the Secretary of the Interiors Standards, the project should proceed with the following modifications or special provisions (Identify specific treatment measures):** It appears that there was a previous project to reinstall the second floor ceiling, based on the roofing report. If that ceiling is not installed, then **Cultural Condition 1** must be followed.

Cultural Condition 1: If the rafters are still exposed, install a layer of shingles directly to the rafters before adding 15# asphalt saturated building felt or similar product over this base layer of shingles before installing the exposed roofing shingles on top of felt (See drawing below). Note: this method is only for the exposed areas of the *Corredor* roof. (While roofing felt is preferred, ice and water shield is acceptable.)

VI. DETERMINATION

A. Is documentation sufficient for Determination of Effect?: Yes ☐ No ☐
If no, check below:
☐ NO DETERMINATION OF EFFECT CURRENTLY POSSIBLE
Explain:

If Yes: the reviewer has sufficient documentation to determine that the Proposed Project will have:
☐ No Effect: No Historical Resources Present (See Section)
☐ No Effect: No Historical Resources Affected
☒ No Adverse Effect
☐ Adverse Effect
on the Historical or Archaeological Resources of the State Park System.

Log No.: CEQA No.:

Explain: If the second floor ceiling is reinstalled or there are plans and funding to reinstall it within the next five years, the project will have no adverse effect because this project replaces the roof in kind (with the exception of using a longer shingle that was specified for the prior roofing project). The metal flashing is reversible and blends with the roof. If there are no plans and more specifically, no funding to reinstall the ceiling on the second floor, then the project must be altered to reflect the changes required by **Cultural Condition 1**.

Cultural Condition 1: If the rafters are still exposed, install a layer of shingles directly to the rafters before adding 15# asphalt saturated building felt or similar product over this base layer of shingles before installing the exposed roofing shingles on top of felt (See drawing below). Note: this method is only for the exposed areas of the *Corredor* roof. (While roofing felt is preferred, ice and water shield is acceptable.)

Has a Secondary Review of this DOE been completed by a Cultural Resource Specialist?: Yes ☐ No ☒

VII. APPROVAL AND CERTIFICATION

(APPROVAL OF THIS PROJECT IS CONTINGENT ON PROJECT SCOPE NOT BEING CHANGED FROM ABOVE DESCRIPTION. IF SCOPE IS CHANGED, PROJECT MANAGER MUST CONTACT CULTURAL RESOURCE REVIEWER(S) FOR POTENTIAL REVIEW.)

Primary Reviews:

Historical Review

I recommend this project be Approved ☐ Not Approved ☐ Approved Conditionally ☒

Explain: If the second floor ceiling is reinstalled or there are plans and funding to reinstall it within the next five years, the project will have no adverse effect because this project replaces the roof in kind (with the exception of using a longer shingle that was specified for the prior roofing project). The metal flashing is reversible and blends with the roof. If there are no plans and more specifically, no funding to reinstall the ceiling on the second floor, then the project must be altered to reflect the changes required by **Cultural Condition 1**.

~~**Cultural Condition 1:** If the rafters are still exposed, install a layer of shingles directly to the rafters before adding 15# asphalt saturated building felt or similar product over this base layer of shingles before installing the exposed roofing shingles on top of felt (See drawing below). Note: this method is only for the exposed areas of the *Corredor* roof. (While roofing felt is preferred, ice and water shield is acceptable.)~~

NOTE: See sketch in **Section V. A.** above for more detail.

Historical Reviewer: Dan Osanna Dan Osanna **Date:** 10/30/18

Title: Environmental Program Manager I **Phone #:** (916) 445-8836

Hours Spent on Evaluation: 7

Archaeological Review

I recommend this project be Approved ☐ Not Approved ☐ Approved Conditionally ☐

Explain:

Archaeological Reviewer: **Date:**

Title: **Phone #:**

Hours Spent on Evaluation:

Restoration Architect Review

I recommend this project be Approved ☐ Not Approved ☐ Approved Conditionally ☐

Explain:

Log No.: **CEQA No.:**
Architectural Reviewer: **Date:**

Title: **Phone #:**

Hours Spent on Evaluation:

Secondary Review:
I recommend this project be Approved ☐ Not Approved ☐ Approved Conditionally ☐
Explain:

Secondary Reviewer:

Title: **Phone #:**

Comments:

Project Manager:
I understand that this project as proposed or modified may affect historical or archaeological resources. I will insure that all treatment measures necessary for the project to confirm with Historic Preservation standards and professional guidelines will be carried out as specified above. If project scope is changed, I will contact cultural resource reviewer(s) for potential re-review.

Project Manager:

Title: **Phone #:**

Date: **FAX #:**

Note: All review packages must include a project map and appropriate documentation. For archaeological surveys, attach DPR 649 (or equivalent) with coverage map and site records. For historic structures, attach DPR 523 or 750. For archaeological sites, attach DPR 523.

FRANKS & BRENKWITZ, LLP
ARCHITECTURE + PLANNING + HISTORICAL
PO Box 597, Aptos, CA 95001-0597
Phone (831) 662-8800
Fax (831) 662-3524

Existing Roofing Evaluation Report for
Castro Adobe State Historic Park
August 21st, 2017

During the winter of 2016-2017, this office visited the Castro Adobe in Watsonville on several occasions to observe the work that we designed for the Phase 3 work. During one of our site visits, it was discovered that rainwater was leaking through the east roof overhanging the *Corredor* and falling on the ground surface below (Fig. 1).

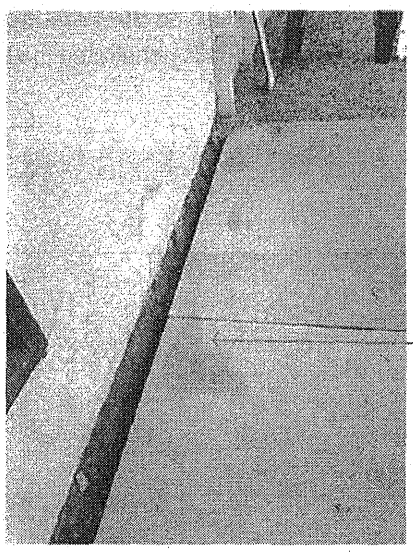


Fig. 1

Secondarily, the nailing location was not at a recommended* location: the nails were placed too high up on the shingle- normal practice is to nail approx. 1.5" above the exposure line and the sample shingle we examined was 4" above the line. (Fig. 4)

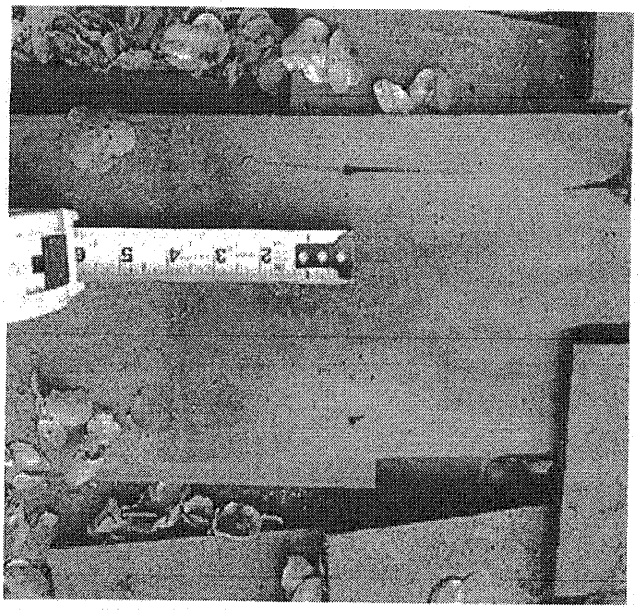


Fig. 4

Thirdly, the exposure (part of shingle left to the weather) for the shingles was too great. At 5" (Fig. 5), the exposure creates a situation that invites curling and cupping. Recommended* exposure for a # 1 shingle that is 16" long is 3 3/4" max.

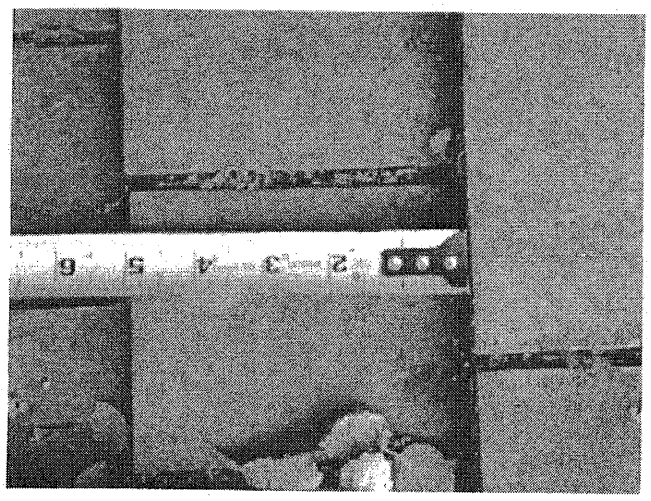


Fig. 5

A properly installed shingle roof should last 15-20 years in our opinion. Because of all the current roof issues, we are recommending a complete re-roof of the upper roof with the introduction of a suitable membrane and the use of 18" redwood shingles. The use of a shingle breather per the original detail should also be continued as should the use metal flashings (copper preferred). Our office is available to collaborate with your roofer of choice in order to come up with a proper specification and any needed details.

*Recommendations based on the "New Roof Construction Manual" by the Cedar Shake and Shingle Bureau, April 2013.

State of California – The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

NOTICE OF DETERMINATION

TO: State Clearinghouse
Office of Planning and Research
1400 Tenth Street, Room 222
P.O. Box 3044
Sacramento, California 95812-3044

FROM: Department of Parks and Recreation
1416 Ninth Street
P.O. Box 942896
Sacramento, California 94296-0001

SUBJECT: Filing of the Notice of Determination in compliance with Section 21108 of the PRC.

STATE CLEARINGHOUSE NUMBER: 2005052063

PROJECT TITLE: Rancho San Andres Castro Adobe Seismic Stabilization

CONTACT PERSON: Gail Sevrens
One Capitol Mall, Suite 500
Sacramento, CA 95814

PHONE NO.: (916) 445-8827

PROJECT LOCATION: 184 Old Adobe Road, Watsonville, Santa Cruz County

PROJECT DESCRIPTION: The Department of Parks and Recreation (California State Parks) proposes to undertake seismic stabilization of the historic Rancho San Andres Castro Adobe. The Adobe is listed on the National Register of Historic Places and is designated as a State Landmark. Therefore, all work will be conducted in a manner consistent with the California Historical Building Code and the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (Weeks and Grimmer 1995) and all applicable state building and safety codes and the Historic Structures Report (Kimbro et al. 2003). The following is a summary of the planned improvements: 1.) Provide structural stabilization of the building. 2.) Seal the building envelope and reestablish historic elements of the building. 3.) Provide design work to improve architectural elements of the building.

This is to advise that the California Department of Parks and Recreation has approved the above project on July 28, 2005, and has made the following determinations regarding the above described project:

1. ☒ The project will not have a significant effect on the environment.
   ☐ The project will have a significant effect on the environment.
2. ☐ An Environmental Impact Report was prepared for this project pursuant to the provisions of CEQA.
   ☒ A Negative Declaration was prepared for this project, pursuant to the provisions of CEQA.
3. Mitigation measures ☒ were ☐ were not made a condition of the approval of the project.
4. A Mitigation reporting or monitoring plan ☒ was ☐ was not adopted for this project.
5. A Statement of Overriding Considerations ☐ was ☒ was not adopted for this project.
6. Findings ☒ were ☐ were not made pursuant to the provisions of CEQA.

This is to certify that the final EIR with comments and responses and record of project approval, or the Negative Declaration, is available to the General Public at the California Department of Parks and Recreation, Northern Service Center, located at One Capitol Mall, Suite 410, Sacramento, CA 95814.

Stephen R. Lehman
Deputy Director, Acquisition and Development Division

Date

Log No.: 0952M

California Department of Parks and Recreation
Historical Review ☒ Archaeological Review ☐ Both ☐
Project Evaluation
(P.R.C. 5024, 5024.5 and E.O. W-26-92)

PROJECT: Rancho San Andreas Castro Adobe Repair and Renovation
PARK UNIT: Rancho San Andreas Castro Adobe DISTRICT: Monterey
Project Manager: Ron Bane
Date: 7/14/03 Contact Phone #: (831) 657-6331 FAX #: 831 649-7137 Email: rbane@parks.ca.gov
PROJECT DESCRIPTION/ DEFINE A.P.E. BOUNDARY: Project will contract for Architectural and Engineering services to provide design work for temporarily shoring unstable portions of the building, and design and engineering for the rapair and seismic retrofitting and stabilization of the adobe structure.
Source of Funding/Amount: Major Capital Outlay

CULTURAL RESOURCES:
HISTORIC ☒ ARCHAEOLOGICAL ☐ TRADITIONAL CULTURAL PROPERTY ☐ NONE ☐
POTENTIALLY PRESENT (i.e. potentially buried resources or survey inconclusive due to inaccessibility) ☒
APE visited by Cultural Resources Staff Yes ☒ No ☐ -
Name: Matt Bischoff Date: various
Methods of Inventory:
Records Review ☒ Site History Research ☐ Field Survey ☐ Subsurface Testing ☐ Other ☐
Explain Findings:
The Rancho San Andreas Castro Adobe was constructed by the Jose Joaquin Castro family, who were prominent in the history of the region. The building is approximately 153 years old.

NEGATIVE SURVEY DETERMINATION:
☐ NO EFFECT: No Historical Resources Present
~~no cultural resources are present, or potentially present within the project APE, no further documentation is required. Proceed to review section V. APPROVAL AND CERTIFICATION for signature~~]

I. EXISTING CONDITIONS/RESOURCE STATUS Attach appropriate documentation (DPR 523 forms, etc.):
A. Resources within APE:
Site Number(s)/Description(s)/Date of Latest Recordation Form(s)/Additional Documentation (reports, studies, etc):

B. Newly identified resources recorded or updated previous records?: Yes ☒ No ☐
Explain/List:
Rancho San Andreas Castro Adobe
II. ELIGIBILITY DETERMINATION(S) (duplicate this section as many times as necessary for resources identified):
A. Resource Evaluation and Significance (If resource is nominated or listed, do NOT fill out section IIB below. Attach appropriate recordation forms to review package. If not, move to section IIB below).
Resource Name/SiteNumber:
Resource Type is: Individual Building/Structure ☒ Archaeological Site(s) ☐ Landscape District ☐
Historic District ☐ Archaeological District ☐ TCP ☐ National Historic Landmark ☐ Cultural Preserve ☐
Nominated for ☐ or Listed ☐ on: California Register: Yes ☒ No ☒ National Register: Yes ☒ No ☒
(If Nominated: Eligibility Concurrence status by OHP: Yes ☐ No ☐ In process ☐

B. Site/Structure Eligibility Determination (for newly recorded, non-nominated or listed resources):
Not Eligible ☐
Explain (include documentation of negative DOE):

Potentially Eligible ☒
Criteria: A – Events ☒ B – People ☐ C—Design ☐ D—Information ☐
Significance Statement:
The adobe appears to be potentially eligible for listing in the state and national registers. It was constructed by the Jose Joaquin Castro family, who were prominent in the history of the region, and is approximately 153 years old.
Integrity Discussion:
Although the building has been modified over the years, it retains sufficient integrity to reflect its historical associations.

Log No.:

Has a Secondary Review of this DOE been completed by a Cultural Resource Specialist?: Yes ☐ No ☒

APPROVAL AND CERTIFICATION
(APPROVAL OF THIS PROJECT IS CONTINGENT ON PROJECT SCOPE NOT BEING CHANGED FROM ABOVE DESCRIPTION. IF SCOPE IS CHANGED, PROJECT MANAGER MUST CONTACT CULTURAL RESOURCE REVIEWER(S) FOR POTENTIAL REVIEW.)

Primary Reviews:

Historical Review
I recommend this project be Approved ☒ Not Approved ☐ Approved Conditionally ☐
Explain: The project will help to protect this important historical resource.

Historical Reviewer: Matt C. Bischoff Date: 07/14/2003

Title: Historian II Phone #: 831 657-6316

Hours Spent on Evaluation: 1

Archaeological Review
I recommend this project be Approved ☒ Not Approved ☐ Approved Conditionally ☐
Explain:

Arcaheological Reviewer: KAREN HILDEBRAND Date: 7/25/03

Title: ASSOC. STATE ARCHAEOLOGIST Phone #: 831-657-6311

Hours Spent on Evaluation: 1

Restoration Architect Review
I recommend this project be Approved ☐ Not Approved ☐ Approved Conditionally ☐
Explain:

Architectural Reviewer: Date:

Title: Phone #:

Hours Spent on Evaluation:

Secondary Reviews
I recommend this project be Approved ☐ Not Approved ☐ Approved Conditionally ☐

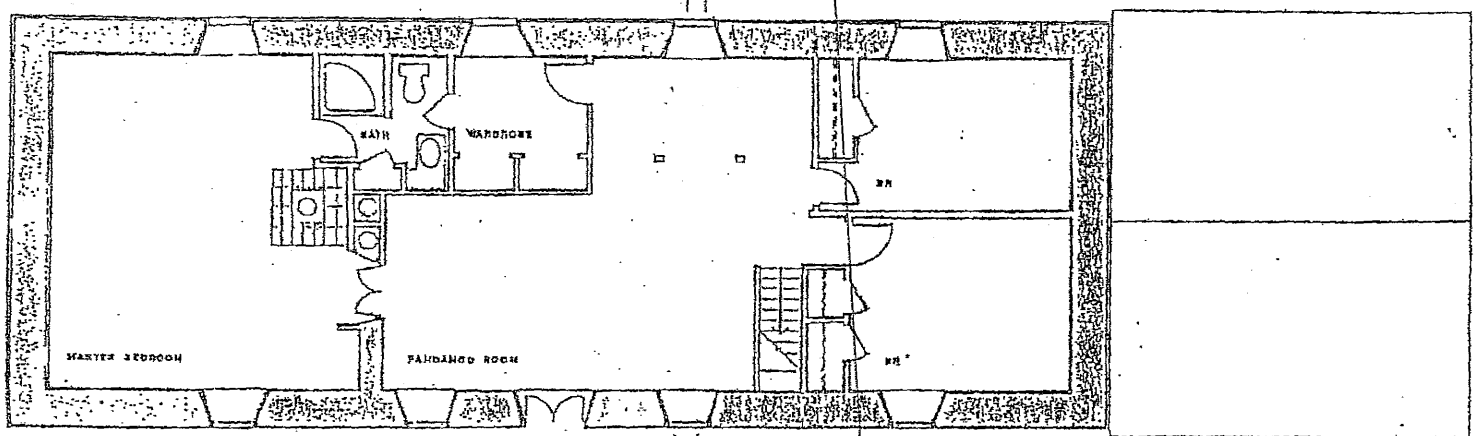
Explain:

Secondary Reviewer:

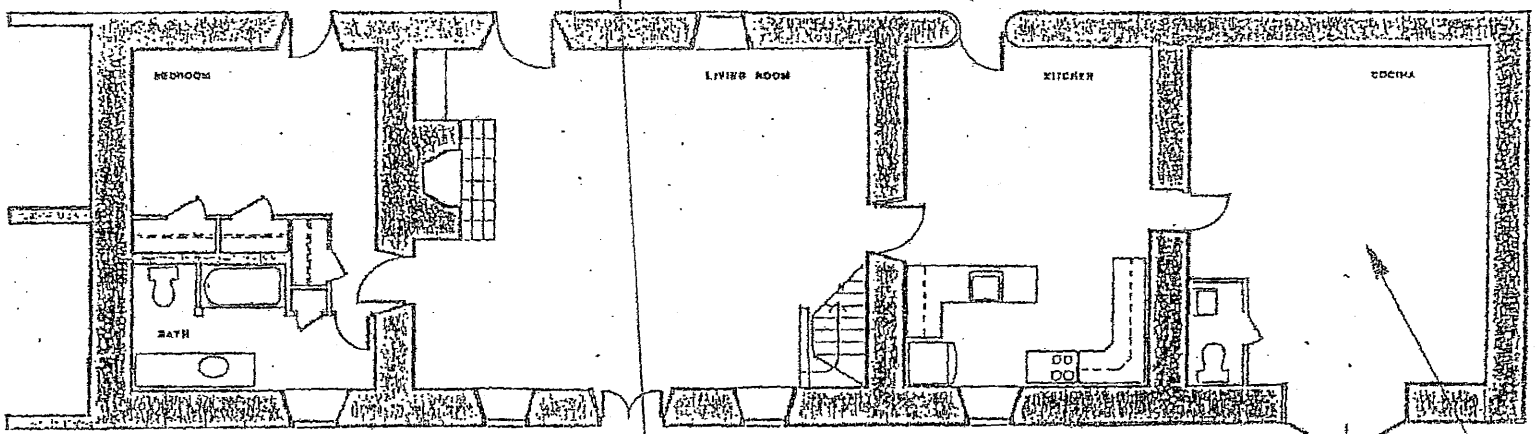
Title: Phone #:

Comments:

WORK SHALL INCLUDE REPAIR OR RECONSTRUCTION OF DAMAGED OR COLLAPSED PORTIONS OF ADOBE WALLS.



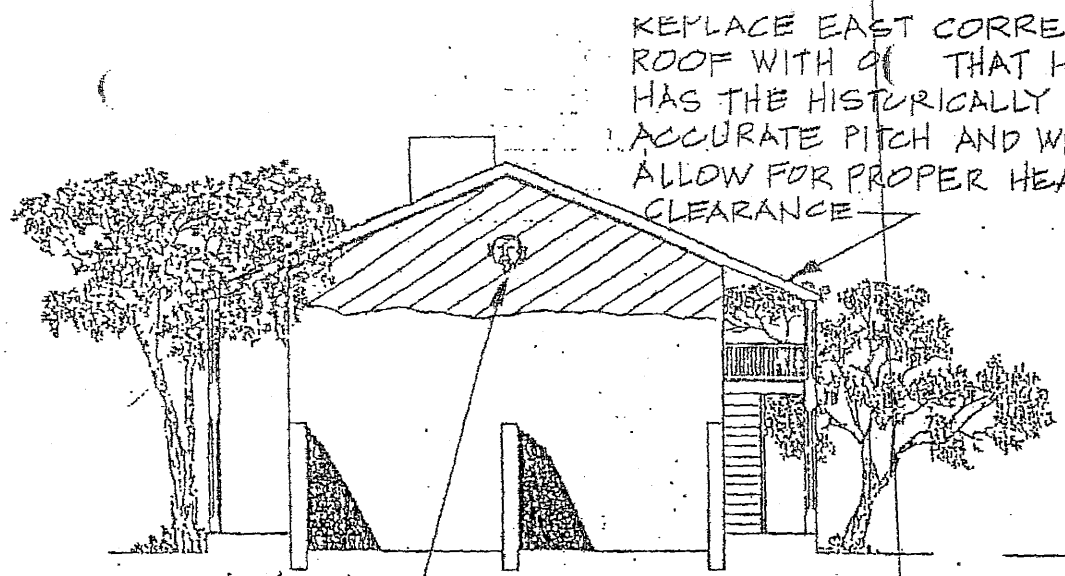
2nd floor



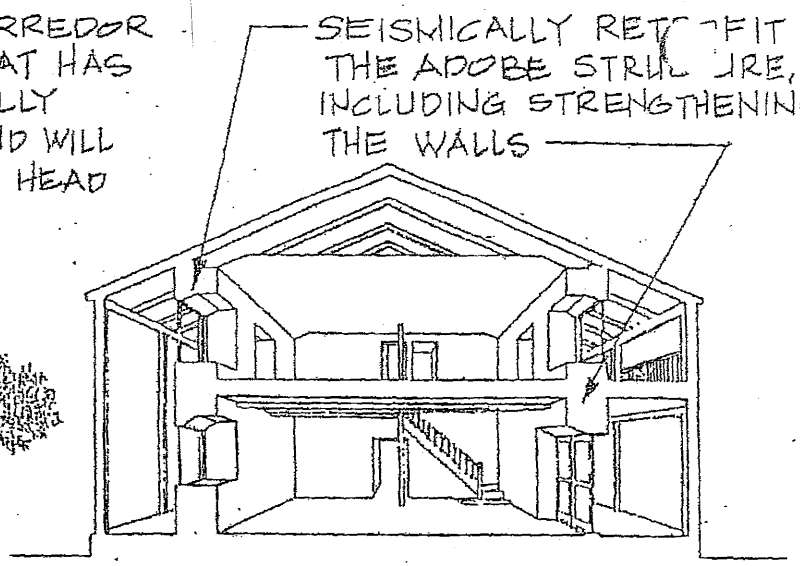
1st floor

PROVIDE TEMORARY SHORING TO PROTECT THE STRUCTURE FROM FURTHER COLLAPSE PRIOR TO FIRST STAGES OF WORK

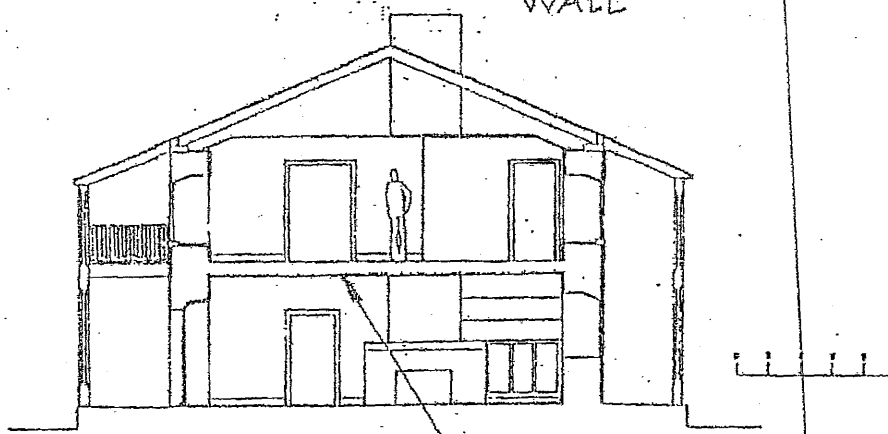
Rancho San Andres Castro Adobe



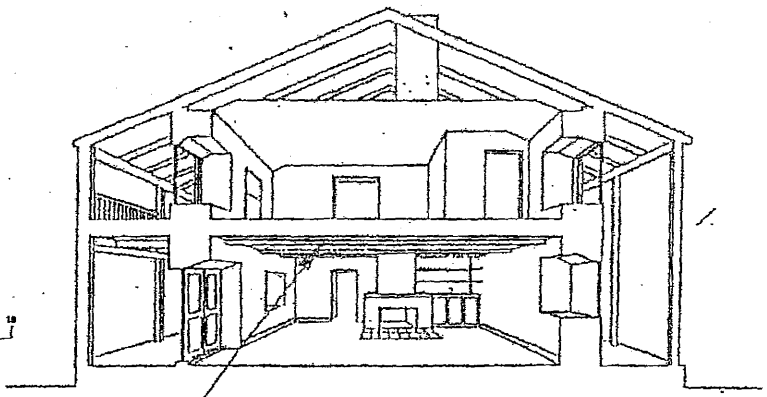
south elevation



perspective section bb

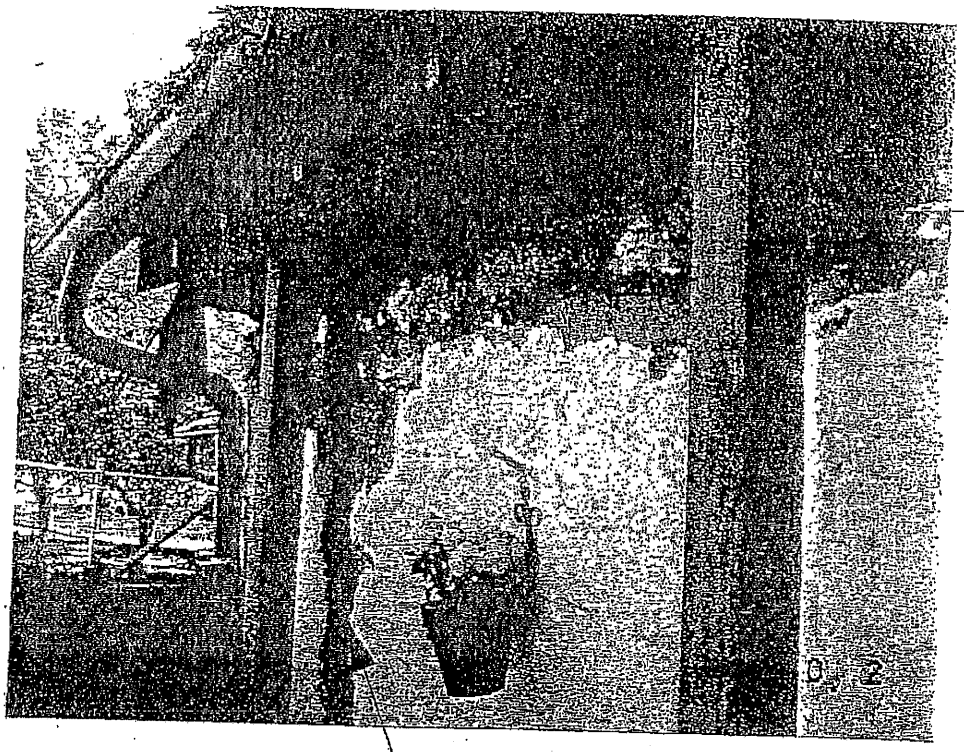


section aa



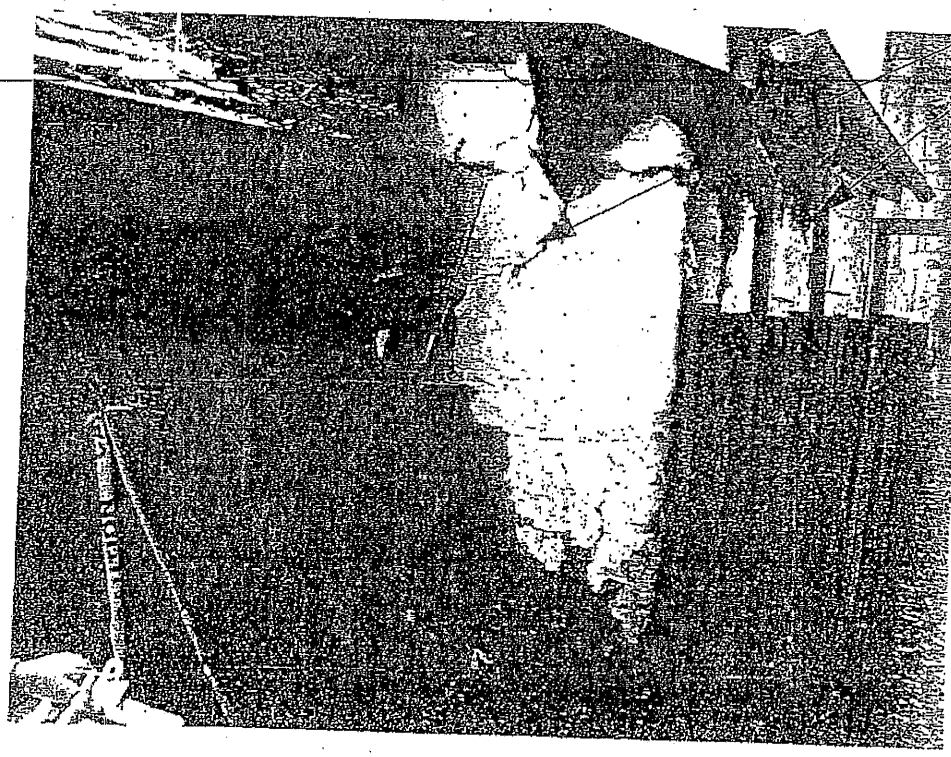
perspective section aa

20190482 46



NW Corner - Cocina

Repair structural failure at building corner

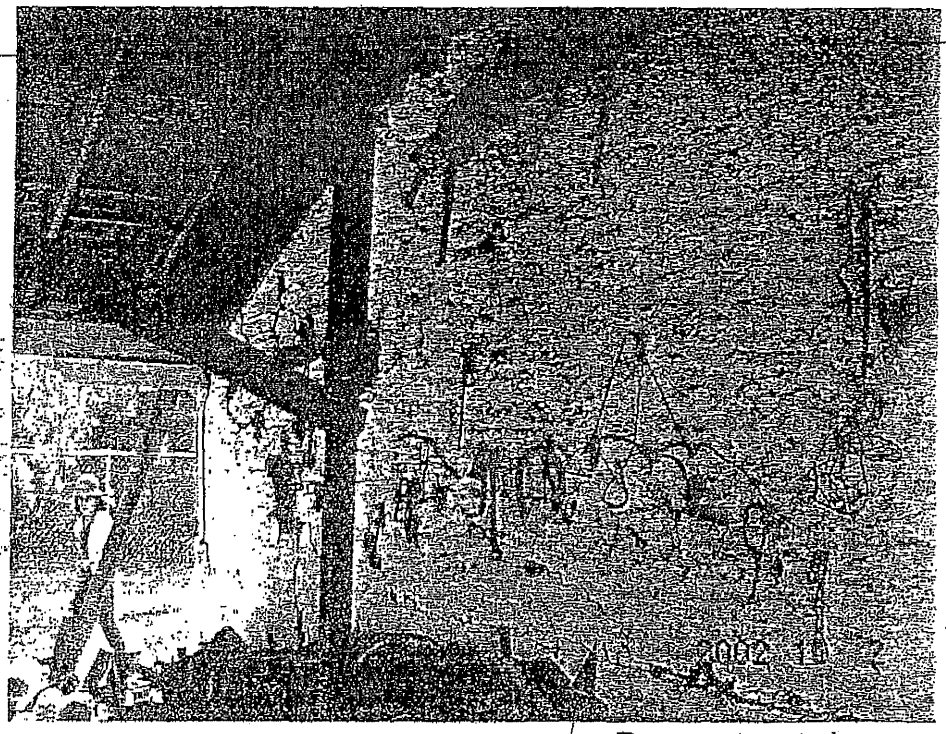


NE Corner - Carport at Cocina

Rancho San Andres Castro Adobe
Existing Conditions

Repair large vertical crack to ridge

South Cocina Gabled Wall



North Gable Wall at Cocina

Reconstruct damaged North Wall of Cocina

Rancho San Andres Castro Adobe
Existing Conditions

FINAL
MITIGATED NEGATIVE DECLARATION
(with edits incorporated)

SEISMIC STABILIZATION
RANCHO SAN ANDRÉS CASTRO ADOBE

State Clearinghouse #2005052063

July 2005

Lead Agency

State of California
DEPARTMENT OF PARKS AND RECREATION
Acquisition and Development Division

measures will be included in contract specifications and instructions to DPR personnel involved in implementing the project.

MITIGATION MEASURES AIR-1

- All equipment engines will be maintained in good condition, in proper tune (according to manufacturer's specifications), and in compliance with all applicable State and federal requirements.
- Excavation activities would be suspended when sustained winds exceed 15 mph or instantaneous gusts exceed 25 mph.
- All trucks hauling dirt, sand, or loose materials will be covered or maintain at least two feet of freeboard.
- Inactive storage piles will be covered.

MITIGATION MEASURE CULT-1

- Whenever applicable, the Secretary of the Interior's Standards for historic structure rehabilitation will be followed.
- Wherever possible, historic building elements and features must be protected, preserved and/or reproduced with like-kind materials. Any material attached to the historic fabric of the building must be done in a reversible manner.
- Any attachment to historic fabric that differs from the Rehabilitation Drawings must be approved, in advance, by a DPR-qualified cultural resource specialist. All modifications will comply with the California Historical Building Code.
- The general recommendations of the RSA Castro Historic Structure Report will be used to determine design and construction criteria.

MITIGATION MEASURE CULT-2

- A DPR-qualified cultural resource specialist must be notified 72 hours in advance, when the exposure of historic fabric is likely. The cultural resource specialist will monitor the work and record pertinent information.

MITIGATION MEASURE CULT-3

- Coring and rod reinforcement will be completely hidden within the walls.
- Grout injected into wall cracks will be tinted to match the existing bricks and grout.
- Wall finishes will closely match existing surfaces wherever possible.
- Existing adobe bricks will be used whenever possible.
- Replacement adobe bricks will be selected in consultation with a DPR-qualified cultural resource specialist.

MITIGATION MEASURE GEO-1 SEISMIC RETROFIT

- This project will stabilize and seismically retrofit the Adobe according to earthquake design requirements as specified in the current version of the California Historical Building Code, California Code of Regulations, Title 24, Part 8, and the general recommendations in the 2003 Seismic Evaluation and Retrofit Report by E. Leroy Tolles of ELT and Associates (included as part of the 2003 Historic Structures Report).
- Any new (or existing) equipment (hot water heaters, tall bookcases, etc) installed as part of the building stabilization will be secured to the walls and/or floor to prevent damage in the event of a large earthquake, per California Building Code requirements.
- State Park staff will inspect the building as soon as possible after a large earthquake to ascertain any damage. Any major damage would require inspection by a qualified structural engineer before the building could resume use by Park staff or the public.

MITIGATION MEASURE GEO-2

- Best Management Practices (BMPs) would be used to prevent excessive soil erosion or loss of topsoil while the ground surface is disturbed. Any stormwater inlets in the project vicinity would be protected with silt fences or fiber rolls as necessary. Stockpiled soil would be covered and secured, especially during rainfall or windy conditions.

MITIGATION MEASURE HAZMAT 1

- All equipment would be inspected for leaks immediately prior to the start of construction, and regularly inspected thereafter until equipment is removed from park premises.
- The contractor(s) would prepare an emergency spill response plan prior to the start of construction and maintain a spill kit on-site throughout the life of the project. This plan would include a map that delineates construction staging areas, where refueling, lubrication, and maintenance of equipment may occur. In the event of any spill or release of any chemical in any physical form at the project site or within the boundaries of Rancho San Andrés Castro Adobe during construction, the contractor would immediately notify the appropriate DPR staff (e.g., project manager or supervisor).
- Equipment would be cleaned and repaired (other than emergency repairs) outside the park boundaries. All contaminated water, sludge, spill residue, or other hazardous compounds would be disposed of outside park boundaries, at a lawfully permitted or authorized destination.

MITIGATION MEASURE HAZMAT-2 ASBESTOS AND LEAD CONTAINING MATERIALS

- Materials containing hazardous substances will either be removed or encapsulated as necessary to protect public health and safety, including workers. Since the point count method was not utilized to refine the asbestos percentage results, all asbestos-containing material must be disposed of as hazardous asbestos waste. Asbestos-containing materials in good condition that will not be disturbed as part of

Summary of change and significance
Changes size and number of center cores used to stabilize the structure.

Finding
Not applicable.

Chapter 3, Section V. Cultural Resources, page 26, Mitigation Measure Cult-1, 4th bullet will be revised to read:

- The general recommendations of the RSA Castro Historic Structure Report will be used to determine design and construction criteria.

Summary of change and significance
Insignificant clarification to indicate that general recommendations will be followed.

Finding
No change in original findings.

Chapter 3, Section VI. Geology and Soils, page 31, Mitigation Measure Geo-1, 1st bullet will be revised to read:

- This project will stabilize and seismically retrofit the Adobe according to earthquake design requirements as specified in the current version of the California Historical Building Code, California Code of Regulations, Title 24, Part 8, and the general recommendations in the 2003 Seismic Evaluation and Retrofit Report by E. Leroy Tolles of ELT and Associates (included as part of the 2003 Historic Structures Report).

Summary of change and significance
Insignificant clarification to indicate that general recommendations will be followed.

Finding
No change in original findings.

This document, along with the Draft Initial Study/Mitigated Negative Declaration (SCH# 2005052063), corrected as noted above; Comments and Response to Comments; Mitigation Monitoring and Reporting Program; and the Notice of Determination, constitute the Final Mitigated Negative Declaration for the Seismic Stabilization Project at Rancho San Andrés Castro Adobe.

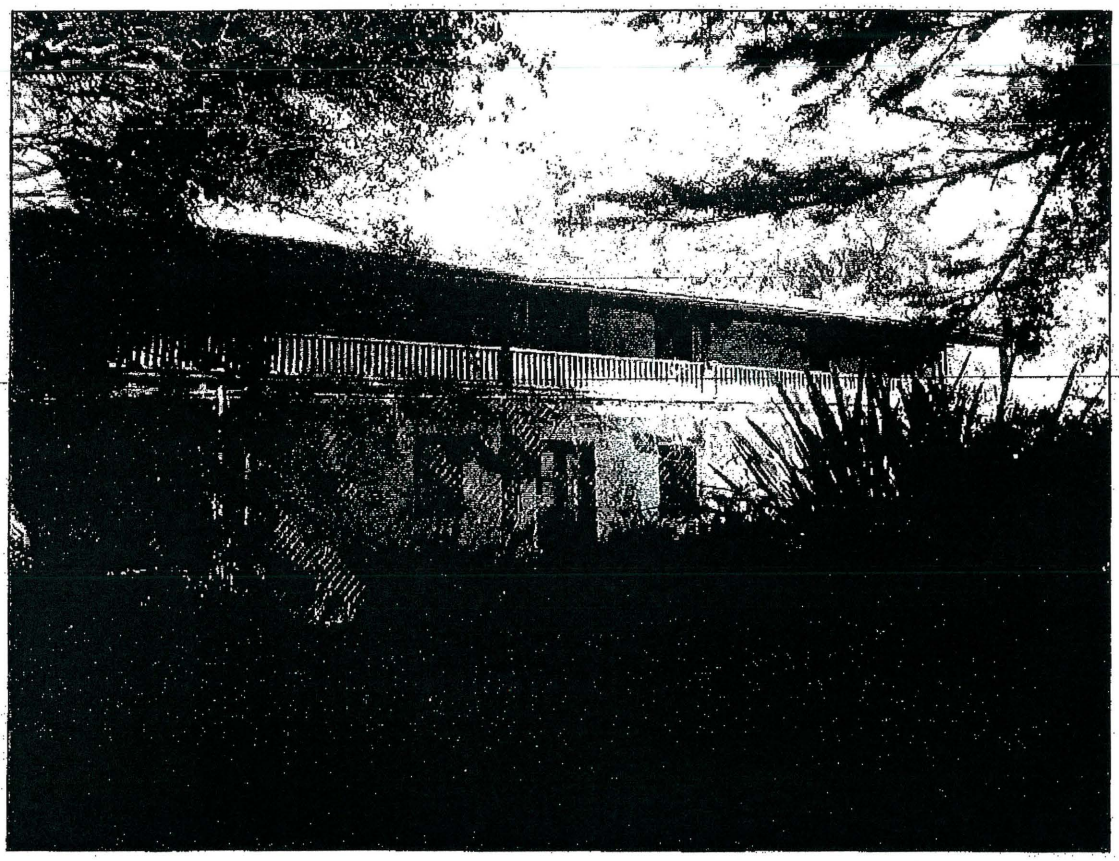
Pursuant to Section 21082.1 of the California Environmental Quality Act, the California Department of Parks and Recreation (DPR) has independently reviewed and analyzed the Initial Study and Negative Declaration for the proposed project and finds that these documents reflect the independent judgment of DPR. DPR, as lead agency, also

NE Copy

DRAFT

INITIAL STUDY
MITIGATED NEGATIVE DECLARATION

RANCHO SAN ANDRÉS CASTRO ADOBE
SEISMIC STABILIZATION PROJECT
SANTA CRUZ COUNTY



May 2005

State of California
DEPARTMENT OF PARKS AND RECREATION
Acquisition and Development Division

DATE: MAY 11, 2005

SUBJECT: NOTICE OF AVAILABILITY AND INTENT TO ADOPT AN INITIAL STUDY/MITIGATED NEGATIVE DECLARATION FOR THE PROPOSED RANCHO SAN ANDRÉS CASTRO ADOBE SEISMIC STABILIZATION PROJECT

The California Department of Parks and Recreation (DPR) has directed the preparation of and intends to adopt a Mitigated Negative Declaration for the proposed project, in compliance with the California Environmental Quality Act (CEQA) and State CEQA Guidelines. DPR is the lead agency for the proposed project under CEQA.

Project Location: Rancho San Andrés Castro Adobe
184 Old Adobe Road (Cross Street Larkins Valley Road)
Santa Cruz County, California

Description of the Proposed Project:
DPR proposes to make the improvements described herein to the Rancho San Andrés Castro Adobe. The Adobe is listed on the National Register of Historic Places and is designated as a State Landmark. Therefore, all work will be conducted in a manner consistent with the California Historical Building Code and the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (Weeks and Grimmer 1995). The following is a summary of the planned improvements:

1.) Provide structural stabilization of the building, including:
   a. Seismically retrofitting the Adobe structure, incorporating center core-drilled rods through full height of walls.
   b. Strengthening the second floor by cladding steel strengthening plates alongside each floor joist.
   c. Reframing roof of main structure, and anchoring it to the perimeter adobe walls, leaving historic roof framing material in place.
2.) Seal the building envelope and reestablish historic elements of the building, including:
   a. Repair or reconstruction of the damaged or collapsed portions of adobe brick walls. Replacement includes 35% of the *cocina* walls and the upper south gable of the main structure.
   b. Replacement of the *cocina* roof structure, bringing the framing back to its historic accuracy
   c. Reroof *cocina* with the historically accurate long barn shingles, which shall be visible from below through spaced skip sheathing, vs. the existing nonhistoric standard type shinges currently on the building.
   d. Reconstruction of the east wall, southerly direction of the *cocina*.
   e. Repair the exterior abobe plaster finishes to seal the building envelope and protect against moisture intrusion.
   f. Reroof the main structure.
3.) Provide design work to improve architectural elements of the building, including:
   a. Replacement of the east *corredor* (balcony) roof to its historically correct pitch and framing, the east balustrade to historic and code-compliant height, and the *corredor* support posts to their historic design.
   b. Removal of the nonhistoric fireplace and chimney and the reconstruction of the wall in this area.

State of California • The Resource. gency
Arnold Schwarzenegger, *Governor*
DEPARTMENT OF PARKS AND RECREATION • Central Service Center
21 Lower Ragsdale Drive • Monterey, CA 93940 • (831) 657-6300
Ruth G. Coleman, *Director*

September 7, 2004

Dave Vincent, District Superintendent
Santa Cruz District Administrative Office
California State Parks
303 Big Tree Park Road
Felton, CA 95018

Re: Rancho San Andés Castro Adobe, PEF form for Building Stabilization

Dear Dave,

I am enclosing a new Project Evaluation Form for the permanent stabilization work that is currently being designed. You will recall there was a previous PEF and you may be wondering why we now have this one.

The previous form you reviewed and approved entailed a first phase of work on the project that included: the writing of an Historic Structures Report, The temporary sealing of the building envelope against moisture intrusion, the working drawings for the temporary structural shoring, and the concept stabilization design. All that remains is to have the actual temporary shoring work constructed. We are in the process of getting that out to bid.

The purpose of this new PEF is to allow for the actual construction of the permanent building stabilization. This work described in this PEF is considerably more invasive than that which was done in the first phase of work. This work, which will entail physically affecting historic building material, will definitely require a Mitigated Negative Declaration (MND) to satisfy the CEQA requirements.

In the time frame given us for the first phase of work, and because the language of the COBCP prevented us at the time from doing the actual construction, we had to break it into two PEF's. As laborious as this process has been, we are on track and we don't anticipate any holdups in getting the MND.

Please review this form with Jack Kirchner and respond with your comments in the appropriate comments sections for District Supervisor and District Maintenance Chief.

Call me with any questions or comments.

Best Wishes,

Mike Zuccaro, Associate Architect
Central Service Center
831.657.6312

CC: Terry Lee, Project Manager
Attachment

PROJECT EVALUATION (PEF)

Project ID No. 0952M

PCA No. 18530

PROJECT DESCRIPTION

Background: The Rancho San Andres Castro Adobe is an approximately 153-year-old Monterey Colonial adobe residence located on about one acre of land near Watsonville, California. It is one of only four Hispanic period adobe structures remaining in Santa Cruz County and is the largest rancho home ever constructed in the county. It was built by the prominent, Mexican-era, Jose Joaquin Castro family. The structure is listed on the National Register of Historic Places and is designated as a State landmark. The structure has received temporary shoring at the north gable ends of the main structure and Cocina. The structure is now in need of a permanent structural stabilization.

Site Conditions: The main adobe is a two-story gabled structure with a one-story attached adobe constructed *Cocina* (historic kitchen) and adjacent, non-historic carport. The structure was severely damaged by the Loma Prieta earthquake in 1989 and is currently not habitable. Progressive creep over time in the floor joists has caused a compromising of the second floor load capacity. Immediately after the 1989 earthquake. Prior to the current temporary shoring work, previous bracing measures have proven to be inadequate. This is particularly the case on the north end of the structure where the cocina wall has slipped further out of alignment with more adobe blocks falling from the upper walls, particularly along the northwest corner. Increased damage was documented last year after a moderate earthquake shook the Gilroy region. In addition, several architectural elements, including both the exterior and interior stairs, are inadequate for habitation or are inaccurate for the historically correct interpretation of the building.

The second floor suffers excessive deflection and requires stabilization to support possible live loads of people and activities. Presently, the second floor is suspended by steel rods from trusses in the attic space concealed by walls. The roofing material was historically shingles. Since the roof framing of the one-story Cocina shall be visible to visitors, the design should be historically sensitive, while effective in minimizing seismic damage. Additional structural and architectural improvements are described below.

Funding: The primary funds are from the 2002-2005 Major Capital Outlay project titled: Rancho San Andreas Castro Adobe Repair and Renovation.

Purpose: The project is to include the following:

1. Provide structural stabilization of the building, including:
   a. Seismically retrofitting the adobe structure, incorporating center core-drilled rods through full height of walls.
   b. Strengthening the Second Floor by cladding steel strengthening plates alongside each floor joist.
   c. Re-framing roof of main structure, and anchoring it to the perimeter adobe walls, leaving historic roof framing material in place.
2. Seal the building envelope and re-establish historic elements of the building, including:
   a. Repair or reconstruction of the damaged or collapsed portions of adobe brick walls. Replacement includes 35% of the Cocina walls and the upper south gable of the main structure.
   b. Replacement of the Cocina roof structure, bringing the framing back to its historic accuracy
   c. Re-roof Cocina with the historically accurate long barn shingles, that shall be visible from below through spaced skip sheathing, vs. the existing non-historic standard type shinges currently on the building.
   d. Reconstruction of the east wall, southerly direction of the Cocina.
   e. Repair the exterior abobe plaster finishes to seal the building envelope and protect against moisture intrusion.
   f. Re-roofing the main structure.
3. Provide design work to improve architectural elements of the building, including:
   a. Replacement of the east *corredor* ('balcony'-Spanish translation)roof to its historically correct pitch and framing, the east balustrade to historic and code-compliant height, and the corredor support posts to their historic design.
   b. Removal of the non-historic fireplace and chimney and the reconstruction of the wall in this area.
   c. Replacement of four west elevation windows in their historic location and replacement of deteriorated wood lintels at the doors.
   d. Replacement of the exterior stair, making it compliant with current building and safety codes requirements and more historically accurate.
   e. Replace non-historic interior stair with one that is safer and less obtrusive.
   f. Relocation of west corredor wood posts to their historically accurate locations.
   g. Replace non-historic paving surfaces at east and west corridors with wood-framed boardwalk, as per the historic photographs. Both walks shall meet current accessibility requirements.
4. All work shall conform to the guidelines set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties, and all regulatory building and safety codes and the Historic Structures Report.

PROJECT EVALUATION (PEF)

Project ID No. 0952M

PCA No. 18530

RESOURCES

Explain all "Yes" or "Maybe" answers in the "Evaluation and Comments" section (reference by letter and number). Attach additional pages, if necessary.

YES	MAYBE	NO	A. EARTH – *WILL THE PROJECT:*
☐	☐	☒	1. Create unstable soil or geologic conditions?
☐	☐	☒	2. Adversely affect topographic features?
☐	☐	☒	3. Adversely affect any unusual or significant geologic features?
☐	☐	☒	4. Increase wind or water erosion?
☐	☐	☒	5. Adversely affect sand deposition or erosion of a sand beach?
☐	☒	☐	6. Expose people, property, or facilities to geologic hazards or hazardous waste?
☐	☐	☒	7. Adversely affect any paleontological resource?

YES	MAYBE	NO	B. AIR – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect general air quality or climatic patterns?
☐	☐	☒	2. Introduce airborne pollutants that may affect plant or animal vigor or viability?
☐	☐	☒	3. Increase levels of dust or smoke?
☐	☐	☒	4. Adversely affect visibility?

YES	MAYBE	NO	C. WATER – *WILL THE PROJECT:*
☐	☐	☒	1. Change or adversely affect movement in marine or fresh waters?
☐	☐	☒	2. Change or adversely affect drainage patterns or sediment transportation rates?
☐	☐	☒	3. Adversely affect the quantity or quality of groundwater?
☐	☐	☒	4. Adversely affect the quantity or quality of surface waters?
☐	☐	☒	5. Expose people or property to flood waters?
☐	☐	☒	6. Adversely affect existing or potential aquatic habitat(s)?

YES	MAYBE	NO	D. PLANT LIFE – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect any native plant community?
☐	☐	☒	2. Adversely affect any unique, rare, endangered, or protected plant species?
☐	☐	☒	3. Introduce a new species of plant to the area?
☐	☐	☒	4. Adversely affect agricultural production?
☐	☐	☒	5. Adversely affect the vigor or structure of any tree?
☐	☐	☒	6. Encourage the growth or spread of alien (non-native) species?
☐	☐	☒	7. Interfere with established fire management plans or practices?

YES	MAYBE	NO	E. ANIMAL LIFE – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect any native or naturalized animal population?
☐	☐	☒	2. Adversely affect any unusual, rare, endangered, or protected species?
☐	☐	☒	3. Adversely affect any animal habitat?
☐	☐	☒	4. Introduce or encourage the proliferation of any non-native species?

Project ID No. 0952M

PCA No. 18530

PROJECT EVALUATION (PEF)

SIGNATURE	PRINTED NAME
Susan Doniger	SUSAN DONIGER
TITLE	DATE
STATE HISTORIAN II	8/31/04

RESOURCE ECOLOGIST COMMENTS ☒ No Significant Impact ☐ Conditions, Mitigation ☐ Potential Impact

NO SIGNIFICANT IMPACTS ARE ANTICIPATED AS A RESULT OF THIS PROJECT AS DESCRIBED.

SIGNATURE	PRINTED NAME
Amy Palkovic	AMY PALKOVIC
TITLE	DATE
ASSOCIATE STATE PARK RESOURCE ECOLOGIST	9/2/04

MAINTENANCE CHIEF/SUPERVISOR COMMENTS ☐ No Significant Impact ☐ Conditions, Mitigation ☐ Potential Impact

SIGNATURE	PRINTED NAME
TITLE	DATE

OTHER SPECIALIST COMMENTS ☒ No Significant Impact ☐ Conditions, Mitigation ☐ Potential Impact

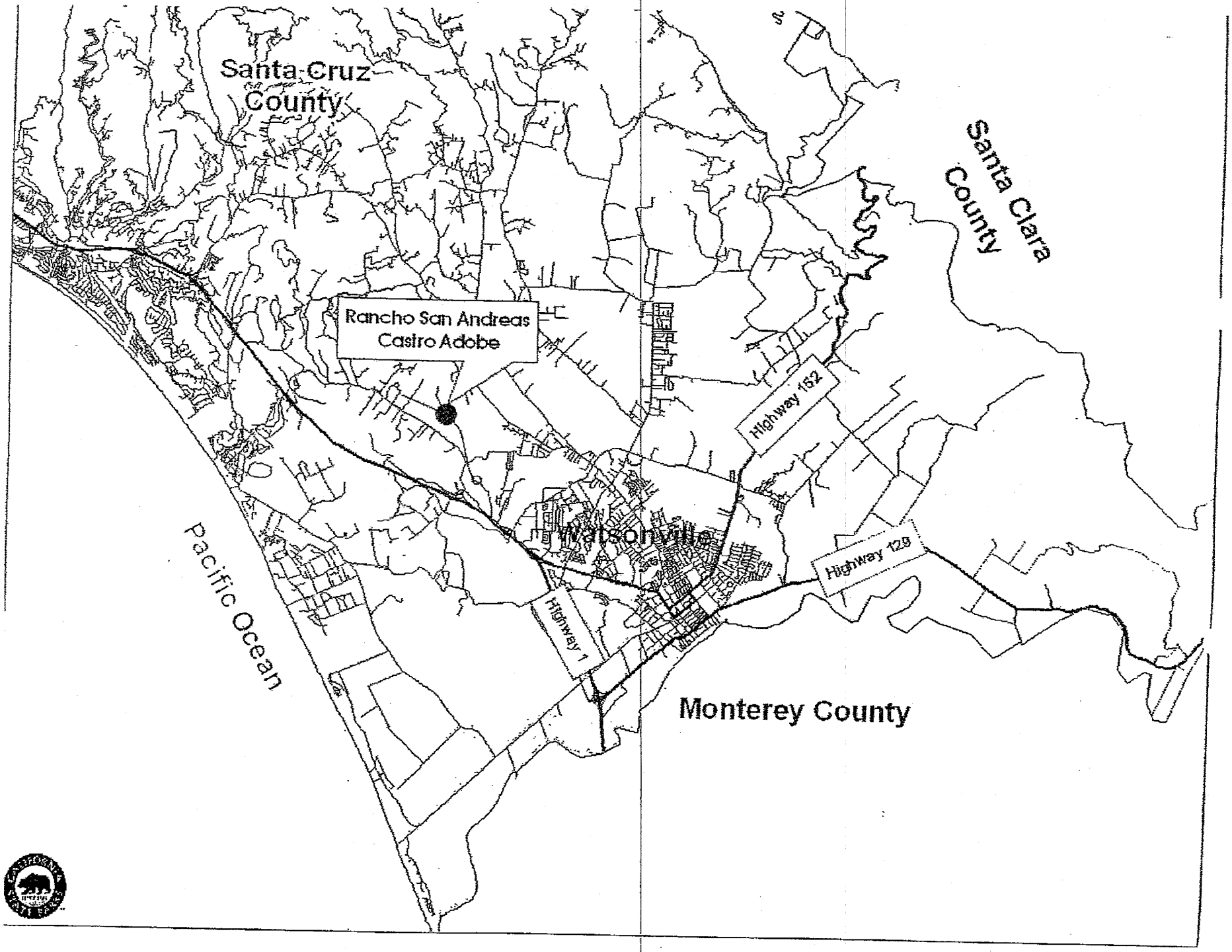
Work is consistent w/that recommended in the HSR.

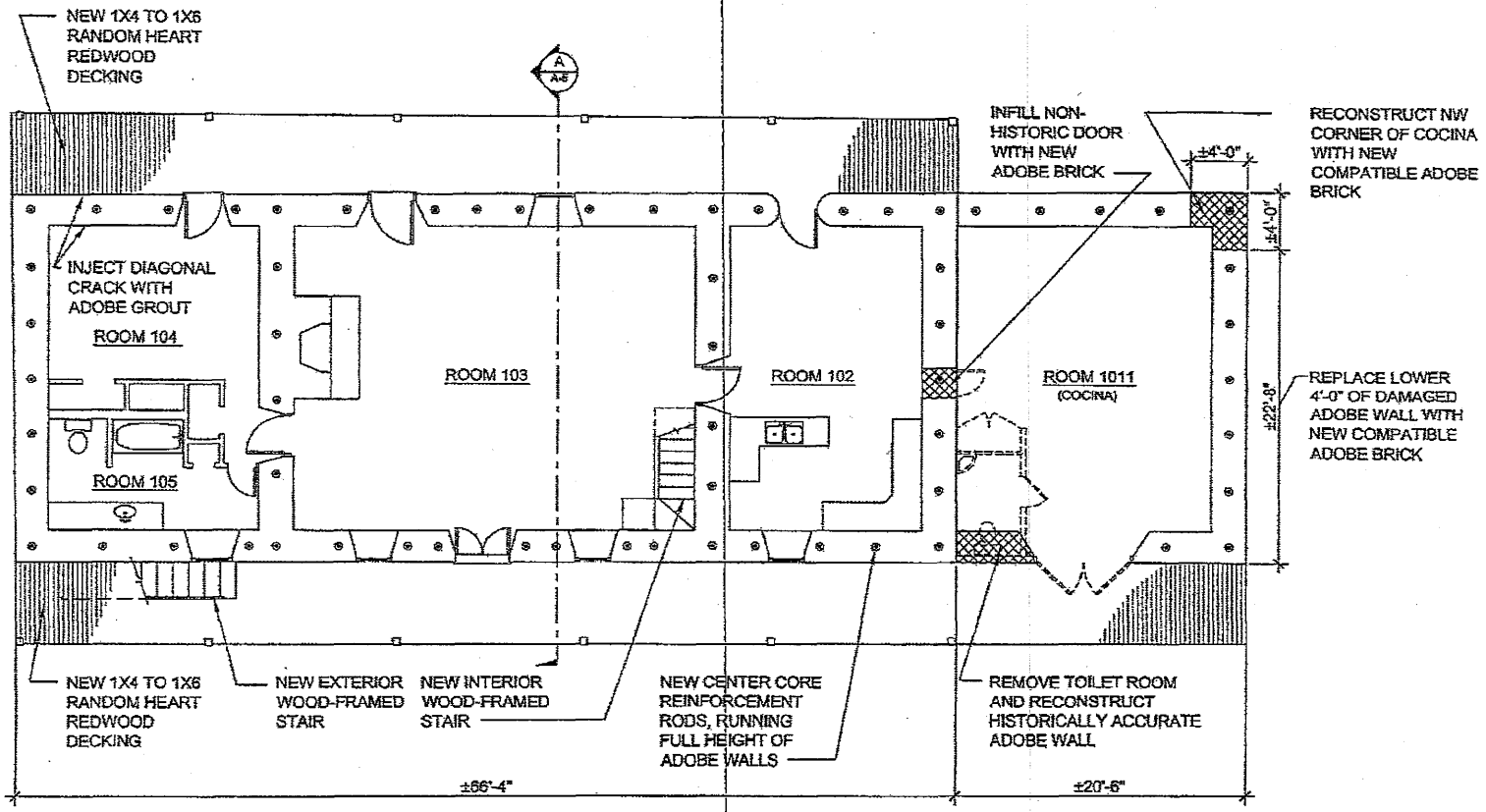
SIGNATURE	PRINTED NAME
Edna E. Kimbro	EDNA E. KIMBRO
TITLE	DATE
Historian II	13 Aug 04

OTHER COMMENTS ☐ No Significant Impact ☐ Conditions, Mitigation ☐ Potential Impact

SIGNATURE	PRINTED NAME
TITLE	DATE

ENVIRONMENTAL COORDINATOR REVIEW


Santa Cruz County
Santa Clara County
Rancho San Andreas Castro Adobe
Highway 152
Watsonville
Highway 129
Highway 1
Pacific Ocean
Monterey County



FIRST FLOOR PLAN

REF. NORTH TRUE NORTH

SCALE: 1/4" = 1'-0" FOR 24"X36" SHEET
SCALE: 1/8" = 1'-0" FOR 11"X17" SHEET

0 2 4 12

DRAWING DATE: 7-16-04 PROJECT NAME: RSA Castro Adobe Repair & Renovation PROJECT PHASE: Preliminary Design

CENTRAL SERVICE CENTER
21 Lower Ragsdale Drive
Monterey, CA 93940

DESIGNED MJZ
DRAWN MJZ
CHECKED

NO. DATE

Santa Cruz District

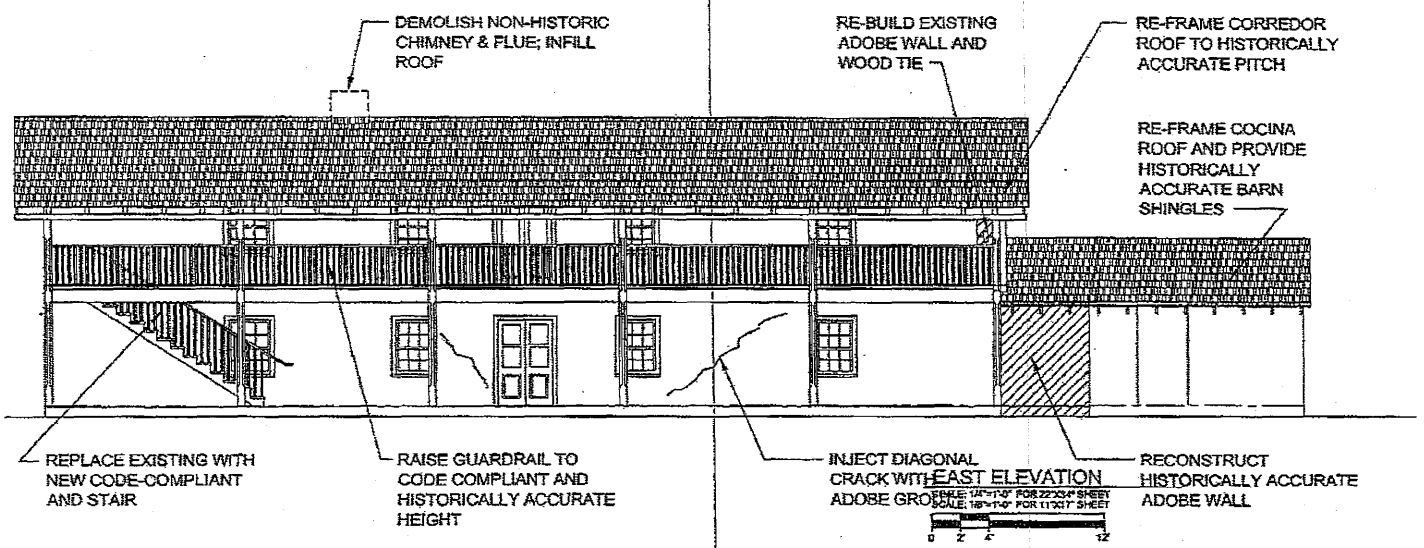
FIRST FLOOR PLAN

Rancho San Andres Castro Adobe Repair & Renovation

DRAWING NO.

SHEET NO. 1

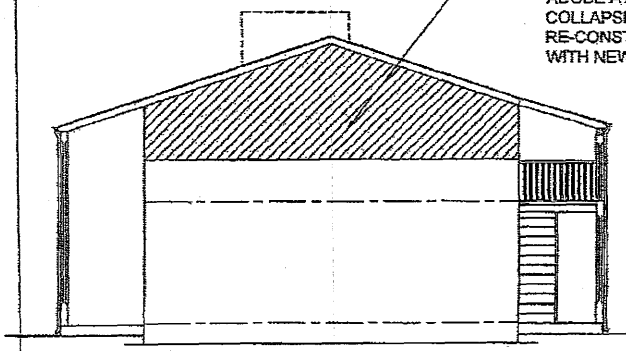
1 OF 5



EAST ELEVATION

SCALE: 1/4"=1'-0" FOR 22"X34" SHEET
SCALE: 1/8"=1'-0" FOR 11"X17" SHEET

0 2' 4' 12'



SOUTH ELEVATION

SCALE: 1/4"=1'-0" FOR 22"X34" SHEET
SCALE: 1/8"=1'-0" FOR 11"X17" SHEET

0 2' 4' 12'

DRAWING DATE: 7-18-04 PROJECT NAME: RSA Castro Adobe Repair & Renovation PROJECT PHASE: Preliminary Design

CENTRAL SERVICE CENTER
21 Lower Ragsdale Drive
Monterey, CA 93940

DESIGNED MJZ
DRAWN MJZ
CHECKED

RF VS ARE

EXISTING EXTERIOR ELEVATIONS

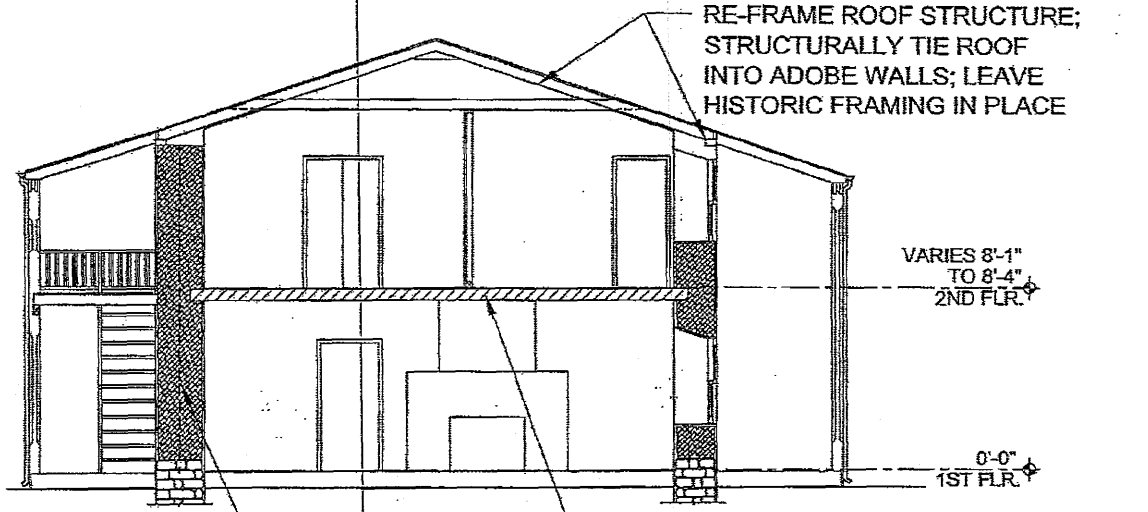
Santa Cruz District

Rancho San Andres Cusum Adobe Repair & Renovation

DRAWING NO

SHEET NO 3

2 OF XX



BUILDING CROSS SECTION

SCALE:3/8"=1'-0" FOR 22"X34" SHEET
SCALE:3/16"=1'-0"FOR 11"X17" SHEET

0 2 4 12

DRAWING DATE: 7-16-04 PROJECT NAME: RSA Castro Adobe Repair & Renovation PROJECT PHASE: Preliminary Design

CENTRAL SERVICE CENTER
21 Lower Ragsdale Drive
Monterey, CA
93940

DESIGNED MJZ
DRAWN MJZ
CHECKED

REVISIONS DATE

BUILDING CROSS SECTION

Santa Cruz District
Rancho San Andres Castro Adobe Repair & Renovation

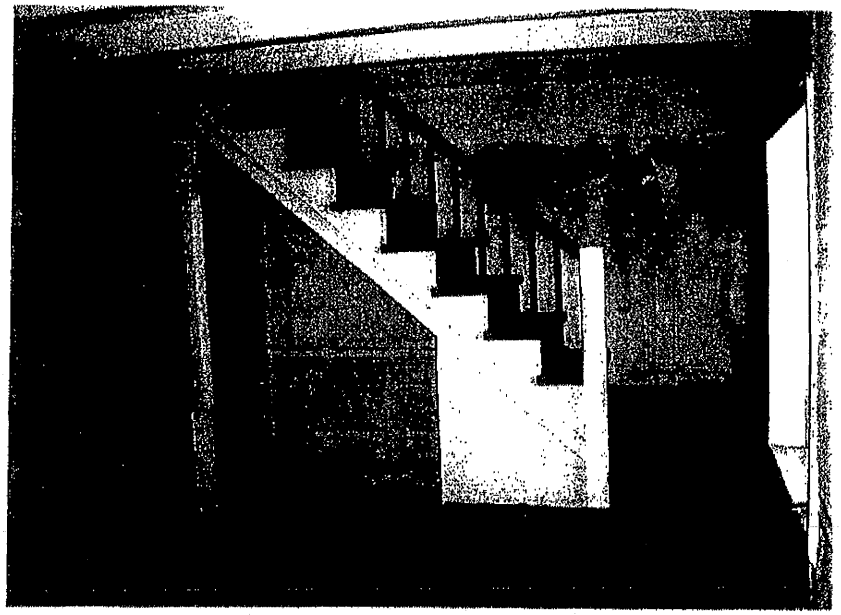
DRAWING NO

SHEET NO.
5
5 OF 5

North Elevation – Cocina: Repair Corners & Replace Lower 48 inches of Adobe Wall Along Entire Length

NW Corner – Cocina : Re-Build Adobe Corner

Rancho San Andrès Castro Adobe – Existing Conditions



Replace Interior Stair

West Wall – Main Structure: Re-Locate Post and Adjust Windows In Existing Rough Openings; Repair Adobe Walls

Rancho San Andrès Castro Adobe – Existing Conditions

State of California • The Resources Agency
Arnold Schwarzenegger, *Governor*
DEPARTMENT OF PARKS AND RECREATION • Central Service Center
Ruth G. Coleman, *Director*
21 Lower Ragsdale Drive • Monterey, CA 93940 • (831) 657-8300

September 7, 2004

Dave Vincent, District Superintendent
Santa Cruz District Administrative Office
California State Parks
303 Big Tree Park Road
Felton, CA 95018

Re: Rancho San Andés Castro Adobe, PEF form for Building Stabilization

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Call me with any questions or comments.

Best Wishes,

Mike Zuccaro, Associate Architect
Central Service Center
831.657.6312

CC: Terry Lee, Project Manager
Attachment

Project ID No. 0952M

PROJECT EVALUATION (PEF)

PCA No. 18530

PROJECT DESCRIPTION

Background: The Rancho San Andres Castro Adobe is an approximately 153-year-old Monterey Colonial adobe residence located on about one acre of land near Watsonville, California. It is one of only four Hispanic period adobe structures remaining in Santa Cruz County and is the largest rancho home ever constructed in the county. It was built by the prominent, Mexican-era, Jose Joaquin Castro family. The structure is listed on the National Register of Historic Places and is designated as a State landmark. The structure has received temporary shoring at the north gable ends of the main structure and Cocina. The structure is now in need of a permanent structural stabilization.

Site Conditions: The main adobe is a two-story gabled structure with a one-story attached adobe constructed *Cocina* (historic kitchen) and adjacent, non-historic carport. The structure was severely damaged by the Loma Prieta earthquake in 1989 and is currently not habitable. Progressive creep over time in the floor joists has caused a compromising of the second floor load capacity. Immediately after the 1989 earthquake. Prior to the current temporary shoring work, previous bracing measures have proven to be inadequate. This is particularly the case on the north end of the structure where the cocina wall has slipped further out of alignment with more adobe blocks falling from the upper walls, particularly along the northwest corner. Increased damage was documented last year after a moderate earthquake shook the Gilroy region. In addition, several architectural elements, including both the exterior and interior stairs, are inadequate for habitation or are inaccurate for the historically correct interpretation of the building.

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Purpose: The project is to include the following:

1. Provide structural stabilization of the building, including:
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   - c. Re-roof Cocina with the historically accurate long barn shingles, that shall be visible from below through spaced skip sheathing, vs. the existing non-historic standard type shinges currently on the building.
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   - b. Removal of the non-historic fireplace and chimney and the reconstruction of the wall in this area.
   - c. Replacement of four west elevation windows in their historic location and replacement of deteriorated wood lintels at the doors.
   - d. Replacement of the exterior stair, making it compliant with current building and safety codes requirements and more historically accurate.
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   - f. Relocation of west corredor wood posts to their historically accurate locations.
   - g. Replace non-historic paving surfaces at east and west corridors with wood-framed boardwalk, as per the historic photographs. Both walks shall meet current accessibility requirements.
4. All work shall conform to the guidelines set forth in the Secretary of the Interior's Standards for the Treatment of Historic Properties, and all regulatory building and safety codes and the Historic Structures Report.

PROJECT EVALUATION (PEF)

Project ID No. 0952M

PCA No. 18530

RESOURCES

Explain all "Yes" or "Maybe" answers in the "Evaluation and Comments" section (reference by letter and number). Attach additional pages, if necessary.

YES	MAYBE	NO	A. EARTH – *WILL THE PROJECT:*
☐	☐	☒	1. Create unstable soil or geologic conditions?
☐	☐	☒	2. Adversely affect topographic features?
☐	☐	☒	3. Adversely affect any unusual or significant geologic features?
☐	☐	☒	4. Increase wind or water erosion?
☐	☐	☒	5. Adversely affect sand deposition or erosion of a sand beach?
☐	☒	☐	6. Expose people, property, or facilities to geologic hazards or hazardous waste?
☐	☐	☒	7. Adversely affect any paleontological resource?

YES	MAYBE	NO	B. AIR – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect general air quality or climatic patterns?
☐	☐	☒	2. Introduce airborne pollutants that may affect plant or animal vigor or viability?
☐	☐	☒	3. Increase levels of dust or smoke?
☐	☐	☒	4. Adversely affect visibility?

YES	MAYBE	NO	C. WATER – *WILL THE PROJECT:*
☐	☐	☒	1. Change or adversely affect movement in marine or fresh waters?
☐	☐	☒	2. Change or adversely affect drainage patterns or sediment transportation rates?
☐	☐	☒	3. Adversely affect the quantity or quality of groundwater?
☐	☐	☒	4. Adversely affect the quantity or quality of surface waters?
☐	☐	☒	5. Expose people or property to flood waters?
☐	☐	☒	6. Adversely affect existing or potential aquatic habitat(s)?

YES	MAYBE	NO	D. PLANT LIFE – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect any native plant community?
☐	☐	☒	2. Adversely affect any unique, rare, endangered, or protected plant species?
☐	☐	☒	3. Introduce a new species of plant to the area?
☐	☐	☒	4. Adversely affect agricultural production?
☐	☐	☒	5. Adversely affect the vigor or structure of any tree?
☐	☐	☒	6. Encourage the growth or spread of alien (non-native) species?
☐	☐	☒	7. Interfere with established fire management plans or practices?

YES	MAYBE	NO	E. ANIMAL LIFE – *WILL THE PROJECT:*
☐	☐	☒	1. Adversely affect any native or naturalized animal population?
☐	☐	☒	2. Adversely affect any unusual, rare, endangered, or protected species?
☐	☐	☒	3. Adversely affect any animal habitat?
☐	☐	☒	4. Introduce or encourage the proliferation of any non-native species?

Project ID No. 0952M

PCA No. 18530

PROJECT EVALUATION (PEF)

SIGNATURE	PRINTED NAME
Susan Donigor	SUSAN DONIGOR
TITLE	DATE
STATE HISTORIAN II	8/31/04

RESOURCE ECOLOGIST COMMENTS ☒ No Significant Impact ☐ Conditions, Mitigation ☐ Potential Impact

NO SIGNIFICANT IMPACTS ARE ANTICIPATED AS A RESULT OF THIS PROJECT AS DESCRIBED.

SIGNATURE	PRINTED NAME
Amy Palkovic	AMY PALKOVIC
TITLE	DATE
ASSOCIATE STATE PARK RESOURCE ECOLOGIST	9/2/04

MAINTENANCE CHIEF/SUPERVISOR COMMENTS ☐ No Significant Impact ☐ Conditions, Mitigation ☐ Potential Impact

SIGNATURE	PRINTED NAME
TITLE	DATE

OTHER SPECIALIST COMMENTS ☒ No Significant Impact ☐ Conditions, Mitigation ☐ Potential Impact

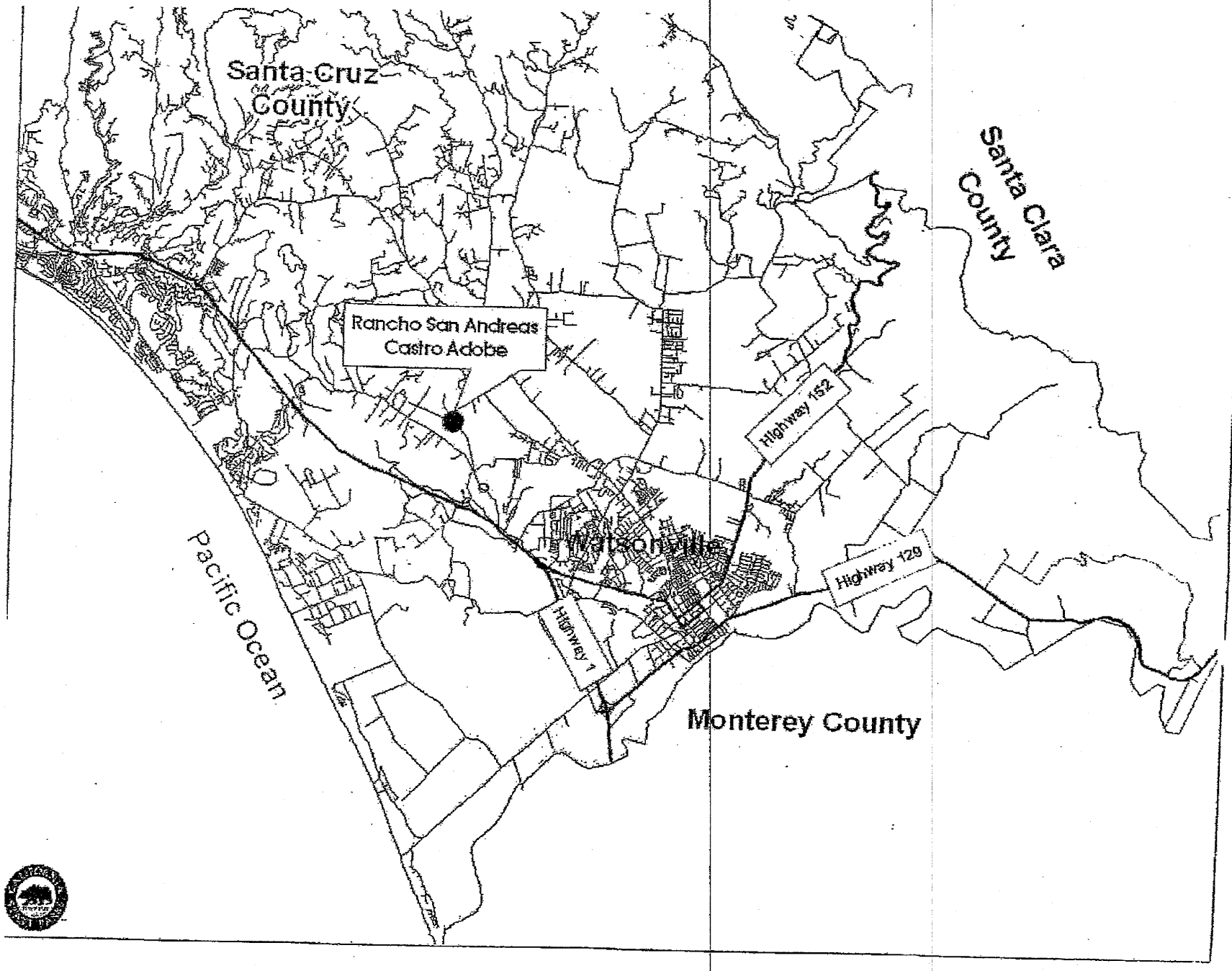
Work is consistent w/that recommended in the HSR.

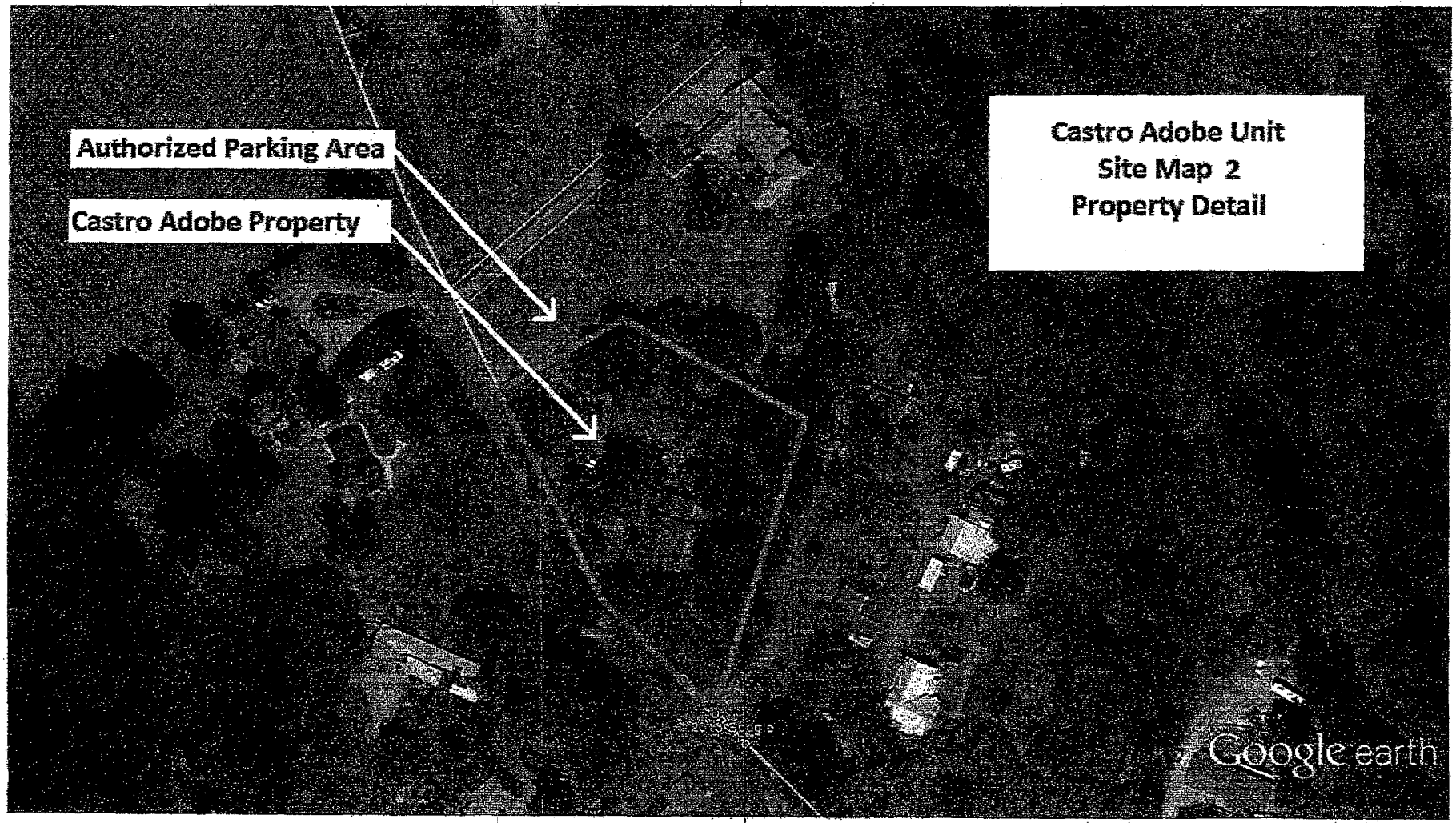
SIGNATURE	PRINTED NAME
Edna E. Kimbro	EDNA E. KIMBRO
TITLE	DATE
Historian II	13 Aug 04

OTHER COMMENTS ☐ No Significant Impact ☐ Conditions, Mitigation ☐ Potential Impact

SIGNATURE	PRINTED NAME
TITLE	DATE

ENVIRONMENTAL COORDINATOR REVIEW


Santa Cruz County
Santa Clara County
Rancho San Andreas Castro Adobe
Highway 152
Watsonville
Highway 129
Highway 1
Pacific Ocean
Monterey County


Authorized Parking Area
Castro Adobe Property
Castro Adobe Unit
Site Map 2
Property Detail
Google earth


FREEDOM
WATSONVILLE MUNICIPAL AIRPORT
DRIVE
VISTA
West Branch
HARKINS
Slough
Larkins
Valley
LARKIN
Ellicott
Mobile Home Park
Monterey Bay Academy
STATE
BEACH