

APPENDIX F: HISTORICAL RESOURCE ANALYSIS REPORT

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Historical Resource Analysis Report

***H & H Properties
Second Street and Pacific Avenue Master Plan
Norco, California***

Prepared For / Submitted To:
H & H Properties

On Behalf Of:
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TABLE OF CONTENTS

I. Introduction	1
Methodological Approach and Report Organization	1
Field Survey	1
Research	1
Reporting	1
II. Second Street and Pacific Avenue Master Plan Area Description	2
III. Preservation Planning Regulatory and Policy Framework	2
National Historic Preservation Act (NHPA) & Historic Properties	2
California Environmental Quality Act (CEQA) & Historical Resources	3
Integrity	3
City of Norco Historic Preservation Program	3
General Plan Land Use Element Historical Resources Goals and Policies	3
Historic Preservation Overlay Zone	4
Municipal Code Title 20 - Cultural Resources	4
IV. Historic Context	5
Brief History of Norco, California	5
Theme 1: Agricultural Development, 1890s-1945	7
Theme 2: Poultry Farming, 1920s-1990s	8
Theme 3: Post-World War II Development, 1946-1970s	11
V. Survey Findings	12
VI. Proposed Project Regulatory Interpretations	16
Proposed Project	16
Mitigation	16
Project Alternatives	16
Alternative 1: Retention and Adaptive Reuse (All Contributing Elements)	16
Alternative 2: Relocation of Norco Egg Ranch Contributing Elements	16
Alternative 3: Relocation of the Eisen Residence	16
VII. Works Cited	17

Appendices

- Appendix A. Second Street and Pacific Avenue Master Plan Survey Map
- Appendix B. Second Street and Pacific Avenue Master Plan Survey Spreadsheet
- Appendix C. Department of Parks and Recreation 523 Series Forms
- Appendix D. Preparer Qualifications
- Appendix E. *Cultural Resources Assessment: Norco Ranch Commerce Park, City of Norco, Riverside County, California* (LSA Associates, Inc., 2011)

I. INTRODUCTION

This Historical Resource Analysis Report (HRAR) documents the results of an intensive level survey of 67 parcels within the City of Norco in Riverside County, California. The survey was completed by Urbana Preservation & Planning, LLC (Urbana) on behalf of H & H Properties to inform current and long-range planning efforts for the Second Street and Pacific Avenue Master Plan area consistent with the City of Norco Municipal Code, the City of Norco General Plan Land Use Element Historical Resource Policies, and the California Environmental Quality Act Guidelines. A determination of whether historical resources are present within the Second Street and Pacific Avenue Master Plan area boundaries is provided along with an impacts analysis based on the proposed project description (specific development scenario, land use / zoning changes, etc.). Mitigation recommendations are provided commensurate to the level of impacts identified for historical resources. DPR 523 series forms are provided for all improvements over 45 years of age with California Register of Historical Resources status codes assigned to each improvement / parcel.

Methodological Approach and Report Organization

Preparation of this HRAR was guided by a definition of potential historic resources issued by the City of Norco. For the purposes of this HRAR potential historic resources include buildings, structures, landscaping, natural features, and public improvements. The methodological approach entails three main tasks – field survey, research, and reporting.

Field Survey

Field survey activities were completed by Urbana Architectural Historian Ginger Weatherford on December 11, 2018. All buildings, structures, site features, and parcels within the Second Street and Pacific Avenue Master Plan area were photographed for further study in this HRAR. Notes were compiled on the existing conditions, architectural features, and observed modifications for use in DPR 523 series forms. Supplemental observation of buildings and structures were completed as part of post-processing. A map delineating the Second Street and Pacific Avenue Master Plan survey boundaries, with included parcels depicted, is included as **Appendix A**. As part of field survey activities, 67 parcels were observed within the Second Street and Pacific Avenue Master Plan area (**Appendix B**). Of those 67 parcels, 35 contain historic-era resources (at least 45 years of age), nine contain contemporary-period improvements (less than 45 years old), and 23 are vacant.

Research

The 35 parcels with historic-era resources and one vacant parcel, which previously contained a historic-era resource, were documented and evaluated on California Department of Parks and Recreation (DPR) 523 series forms. Of the 35 parcels and one parcel which previously contained a historic-era resource, 20 were previously recorded. Updated DPR forms were provided to demonstrate a representative view of the previously recorded improvements in the Second Street and Pacific Avenue Master Plan area. All DPR 523 forms are included as **Appendix C** of this HRAR. Research resources utilized to inform eligibility evaluations included contextual information and imagery from the United States census records, digitized copies of the *Riverside Daily Press* and the *Riverside Independent Enterprise*, Corona City Directories, City of Norco building permits, the Riverside County Assessor, the Riverside County Assessor Grantor-Grantee Index, HistoricAerials.com, and UC Santa Barbara Library Aerial Photography FrameFinder. Historic-era maps played a key role in understanding the history of the area. Map types reviewed include historical USGS topographical maps, Riverside County recorded subdivision maps, and Corona City Directory maps. Lastly, existing context statements prepared by LSA Associates, Inc. in 2011 and Wilkman Historical Services in 2012, were utilized in this study where overlapping themes and survey locations exist. Section IV of this HRAR includes a historical narrative of the Second Street and Pacific Avenue Master Plan area, a brief history of Norco, and contextual themes identified within the Second Street and Pacific Avenue Master Plan area.

Reporting

Urbana personnel Wendy L. Tinsley Becker, RPH, AICP, Principal; Ginger Weatherford, MPS, Associate; and Nicole Vysotskaya, staff; prepared this HRAR. Ms. Weatherford meets *The Secretary of the Interior's Professional Qualifications Standards* in the discipline of architectural history. Ms. Tinsley Becker meets *The Secretary of the Interior's Professional Qualifications Standards* in the disciplines of history and architectural history. She is registered as Professional Historian

(RPH) #612 and is a member of the American Institute of Certified Planners (AICP). Resumes for the Urbana team are included in **Appendix D**.

This HRAR was undertaken to inform current and long-range planning efforts for the Second Street and Pacific Avenue Master Plan area consistent with the City of Norco Municipal Code, the City of Norco General Plan Land Use Element Historical Resource Policies, and the California Environmental Quality Act Guidelines. A determination of whether historical resources are present within the Second Street and Pacific Avenue Master Plan area boundaries is provided along with an impacts analysis based on the proposed project description (specific development scenario, land use / zoning changes, etc.). Mitigation recommendations are provided commensurate to the level of impacts identified for historical resources. DPR 523 series forms are provided for all improvements over 45 years of age with California Register of Historical Resources status codes assigned to each improvement / parcel. Prepared by Urbana under contract to Material Culture Consulting, Inc., this report is organized to summarize, discuss, and evaluate the NRHP / CRHR and local eligibility status of potential historic resources in the Second Street and Pacific Avenue Master Plan area, and to analyze the effects and recommended treatment for historic properties / historical resources within the Second Street and Pacific Avenue Master Plan area. A previous cultural resources assessment, prepared in 2011 by LSA Associates, Inc., is included in **Appendix E**. This HRAR incorporates and updates the findings of the 2011 study.

II. SECOND STREET AND PACIFIC AVENUE MASTER PLAN AREA DESCRIPTION

The Second Street and Pacific Avenue Master Plan area is comprised of 67 parcels arranged on five Assessor's blocks in Norco, in Riverside County, California addressed as 1400-1800 Pacific Avenue and 1400-1800 Mountain Avenue; 2100-2400 Second Street, and 2100-2400 First Street. The largest concentration of parcels is generally bound by Second Street to the north, Mountain Avenue to the east, First Street to the south, and Pacific Avenue to the west. The master plan area includes approximately 104 acres. **Refer to Appendix A for a site location map.**

III. PRESERVATION PLANNING REGULATORY FRAMEWORK

Following is an overview of the historic preservation regulatory framework and eligibility criteria relative to future actions proposed within the Second Street and Pacific Avenue Master Plan area boundaries.

National Historic Preservation Act (NHPA) & Historic Properties

The NHPA requires federal agencies to consider the effects of proposed undertakings on historic properties. A historic property is defined as any building, site, district, structure or object that is listed in or eligible for listing in the NRHP. In order for a property to qualify for the NRHP, it must meet one of four criteria for evaluation and retain sufficient integrity to convey its significance. Pursuant to *National Register Bulletin 15*, the quality of significance in American history, architecture, archaeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of persons significant in our past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represents a significant and distinguishable entity whose components lack individual distinction; or
- D. That have yielded, or may be likely to yield, information important in prehistory or history.

Two scenarios exist relative to the effects a potential undertaking may have on historic properties: 1) no historic properties are affected, or 2) historic properties are affected. An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify it for inclusion in the NRHP in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Adverse effects can include the following:

- physical destruction or damage;
- neglect and deterioration;
- alterations inconsistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties*;
- relocation of the property or change in the character of the property's use or setting;

- introduction of incompatible visual, atmospheric, or audible elements; and
- transfer, lease, or sale of a historic property out of federal control without adequate preservation restrictions.

A finding of no adverse effect may be issued if the proposed undertaking's effects do not meet the examples pursuant to 36 CFR Part 800.5(a)(1, 2), or if the undertaking is modified or imposed in order to avoid adverse effects.

California Environmental Quality Act (CEQA) & Historical Resources

Pursuant to the CEQA PRC § 21084.1, any project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment. PRC § 5020.1(q) defines a "substantial adverse change" as demolition, destruction, relocation, or alteration such that the significance of the historical resource would be materially impaired.

A historical resource is a resource that is listed in, or determined eligible for listing in, the CRHR; included in a local register of historical resources; or is identified as significant in an historic resource survey if that survey meets the criteria specified in PRC § 5024.1(g). A property may be eligible for listing on the CRHR if it is determined to meet one of the following criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or
2. It is associated with the lives of persons important to local, California, or national history; or
3. It embodies the distinctive characteristics of a type, period, region, or method or construction, or represents the work of a master, or possesses high artistic values; or
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

Integrity

Integrity is defined as the ability of a property to physically convey its identified significance or historic theme with which it is associated. After a positive eligibility status has been determined, a property's integrity is reviewed pursuant to National Register Bulletin 15 to determine whether the property physically conveys its significance. According to National Register Bulletin 15 to retain historic integrity a property will always possess several, and usually most, of the seven aspects of integrity described herein. **Location** is the place where the historic property was constructed or the place where the historic event occurred. **Design** is the combination of elements that create the form, plan, space, structure, and style of a property. **Setting** is the physical environment of a historic property. **Materials** are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. **Workmanship** is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. **Feeling** is a property's expression of the aesthetic or historic sense of a particular period of time. **Association** is the direct link between an important historic event or person and a historic property.

City of Norco Historic Preservation Program

The City of Norco regulates the identification, protection, and appropriate treatment of historic resources through the General Plan Land Use Element Historical Resources Goal, Historic Preservation Overlay Zones, and the Cultural Resources Title of the Municipal Code.

General Plan Land Use Element Historical Resources Goals and Policies

Goals and policies for cultural resources, including historic buildings and properties, are included within the Land Use Element of the City of Norco General Plan.

1. Historical Building Preservation Policy: The City will identify and preserve the unique historical buildings that significantly identify and establish the community's history and character.
 - a. Sites of significant historical, archaeological, and cultural value shall be preserved and/or incorporated into proposed new development with mitigation measures established through the environmental review process.

- b. Vegetation including street trees and public landscaping that help contribute to the City's historical fabric and identity, should be preserved and incorporated into the landscaping plans for any new development that incorporate the particular site or is adjacent to it for public improvement purposes.
- c. Rehabilitation of historical structures should be done so that the integrity of structures is not jeopardized with inappropriate additions or alterations.
- d. No demolition of any historical structure shall occur until an assessment of the cost of rehabilitation of the existing structure has been submitted to the City.
- e. Land use designations and regulations around historical structures should be conducive to the historical use of the structure so that the land value for maintaining the structure, as is, is not jeopardized.
- f. Community design adjacent to historical structures shall not impede the integrity of the historical structure, either through inappropriate design, building mass, landscaping mass, setbacks, etc.
- 2. Archaeological Resources Policy: The City will identify and catalogue any archaeological resources and will take measures to preserve those resources that are considered unique and significant to the area's history.
 - a. The City should collect, record, and/or mitigate archaeological resources to the level consistent with the related value of each item in terms of historical significance and importance.
 - b. New development requiring discretionary approval from the Planning Commission shall be approved with a condition that requires any construction activity to stop upon discovery of archaeological resources until such time as a qualified archaeologist, retained by the property owner or developer, has investigated the site and made recommendations regarding the disposition of any items. Human remains shall not be moved until the Riverside County Coroner's Office has been notified.
 - c. New development shall be coordinated with Native American tribes that have an historical presence and interest in the Norco region, or any other groups with historical interest.¹

Historic Preservation Overlay Zone

Established under Ordinance 923, Section 1, in 2010, following are the purposes of the Historic Preservation Overlay Zone (HPOZ):

- A. Protect and enhance the buildings, structures, landscaping, natural features and areas which are representative of important aspects of the City's cultural, social, economic, political, architectural, or natural history.
- B. Protect and enhance the settings and environment which preserve these buildings, structures, landscaping, natural features, and areas.
- C. Protect, stabilize, and enhance property values, neighborhoods, and communities.
- D. Enhance economic prosperity, including facilitating the eligibility of properties for financial benefits and promoting tourist trade and interest.
- E. Foster public understanding of the history, aesthetics, and identity of the City as reflected in its buildings, structures, landscaping, natural features, and areas.
- F. Promote public education through the preservation and interpretation of the City's cultural, social, economic, political, architectural, or natural history.
- G. Promote the involvement of the City's diverse neighborhoods in the historic preservation process.
- H. Ensure compliance with the California Environmental Quality Act.²

Currently, an HPOZ map does not exist for the City of Norco. An overlay does not exist for the Second Street and Pacific Avenue Master Plan area. The area is currently zoned Agricultural with most of the parcels within the Gateway Specific Plan and zoned as Residential, Commercial and Industrial.

Municipal Code Title 20 - Cultural Resources

Title 20 of the City of Norco's Municipal Code establishes two types of categories for historical resources: Landmarks and Points of Historical Interest. The Landmark designation category is for individual historic designation, and the Point of Historical Interest category is for properties of historical interest that do not qualify for Landmark designation. The Point of Historical Interest is also applied in instances where a property qualifies for Landmark status, but the owner prefers the property be placed in the less restrictive Point of Historical Interest category.

1. Landmark designation criteria. An improvement, object, or natural feature may be designated a landmark by the City Council upon recommendation of the Historic Preservation Commission if it is determined eligible, retains integrity and meets one or more of the following criteria:
 - A. Exemplifies or reflects special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural or natural history; or
 - B. Is identified with persons or events significant in local, State or national history; or
 - C. Embodies distinctive characteristics of a style, type, period or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship; or
 - D. Represents the work of a notable builder, designer or architect; or
 - E. Has a unique location or singular physical characteristics or is a view or vista representing an established and familiar visual feature of a neighborhood community or of the City; or
 - F. Reflects significant geographical patterns, including those associated with different eras of settlement and growth, particular transportation modes, or distinctive examples of park or community planning; or
 - G. Has yielded, or may be likely to yield, information important in history or prehistory.

A landmark shall include all improvements, objects, or natural features named in the landmark designation resolution. To qualify for landmark status, an improvement, object, or natural feature must be at least 50 years old or older.³

2. Point of historical interest designation criteria. An improvement, object, or natural feature may be designated by the City Council upon the recommendation of the Historic Preservation Commission as a point of historical interest pursuant to this title if it meets one or more of the following criteria:
 - A. The resource qualifies for designation as a landmark; however, the property owner prefers designation as a point of historical interest.
 - B. The resource is less than 50 years old, but otherwise qualifies for designation as a landmark.
 - C. The resource otherwise qualifies for designation as a landmark, but does not retain sufficient integrity.⁴

IV. HISTORIC CONTEXT

The Second Street and Pacific Avenue Master Plan area is located within the City of Norco. This HRAR section includes a brief history of Norco, and themes identified within the master plan area during the course of historic research.

Brief History of Norco

Dedicated on May 13, 1923, Norco was founded by developer Rex Clark "on the idea that chickens were the future and that a man should be able to feed his family from the fruits of his own land."⁵ Clark developed a community of five- and ten-acre parcels and declared the town motto "acres of neighbors." He promised to sell the lots only to "go-getters!"⁶ The City of Norco is located on the northwest side of Riverside County north of Corona. Before Rex Clark arrived with his "vision of a utopian settlement of independent farmers reaping the rewards of their hard work on small farms and ranches"⁷ the Shoshoen speaking Native Americans occupied the land. When Spanish conquistadors and missionaries traveled to the area in the mid-1770s, they named the two predominant tribes "Luisenos" after Mission San Luis Rey and "Gabrielenos" after Mission San Gabriel.⁸ In 1821, when Mexico gained independence from Spain, the mission lands were divided into thousands of acres called ranchos. Granted to Senora Vicenta Sepulveda in 1846, the Rancho La Sierra Sepulveda totaled 17,774 acres. Current day Norco is composed of a portion of its western region. After the United States won the Mexican-American War in 1848, California became an official part of the United States, gold was discovered, the transcontinental railroad brought an influx of people west, the Great Drought of the 1860s decimated open range ranching, new irrigation methods created more reliable and larger agricultural enterprises, and "speculation-friendly government programs" increased growth and interest in California. Each of these events led to the breakup of the ranchos and large portions of land became available for sale in and around the future Norco Valley. The Stearns Rancho Company purchased Rancho La Sierra Sepulveda in 1872. Stearns refused offers to sell in hopes of selling it whole to a potential developer and held onto the property until 1908.⁹

In 1908, Willits J. Hole, the former Los Angeles agent for the Stearns Rancho Company, founder of La Sierra and “The Father of La Habra” and George E. Pillsbury purchased the land from the Stearns Rancho Company for \$500,000. For almost 30 years, Hole farmed a large portion of the land east of the Norco Hills (which eventually became the community of La Sierra) and subdivided other portions into farm and town lot parcels. The southwestern portion of the property was sold to the Corona Citrus Tract as ranch and residential lots. Hole and Pillsbury sold 5,500 acres of land west of the Norco Hills to James W. Long and his associates from Los Angeles and by April 1909 the property was being marketed as “Riverside Orange Heights” in the form of five-, ten-, and twenty-acre parcels. In 1910, the Riverside Orange Heights Company became the Citrus Belt Land Company.¹⁰ Orchard Heights, a subdivision of farm lots south of Fifth Street, was created by the Citrus Belt Land Company. Orchard Heights contained successful farms producing peaches, pears, apricots, alfalfa, peanuts, sweet potatoes, lettuce and many other vegetables. By 1922, the Citrus Belt Land Company was looking to sell its unsold lots and several thousand acres of un-subdivided land north of Orchard Heights.¹¹

Detroit, Michigan businessman, Rex Brainerd Clark, formed the North Corona Land Company and by 1923 had assumed ownership of many of the vacant lots in the Orchard Heights tracts and a majority of the vacant land north and east of these tracts. The land north of Orchard Heights was subdivided between 1923 and 1926 into the Norco Farms Tracts #1-5. Clark named the new community “Norco” a contraction of the first two parts of his company’s name, the North Corona Land Company.¹²

Rex Clark took a different approach to the development of his lands from that of the Citrus Belt Land Company. Norco was comprised of five Norco Farms subdivisions surrounding a village center containing a general store, gasoline station, and the Norco Garage. North of the Norco Store was a manufacturing district with a warehouse, plumbing shop, pipe-making facility, concrete block-manufacturing operation, machine shop, lumber yard, and construction department. Here a resident of Norco could arrange to have a home built, buy a prefabricated chicken coop, purchase irrigation pipes, buy a tractor or have one repaired. Groceries, clothing, hardware, dry goods, auto parts, and other essentials were available in the Norco Store. Residents dined at the Norco Grill, attended community gatherings at a meeting hall and patronized the library which was run by volunteers from the Women’s Progressive Club. Upham’s Drug Store was located next to the North Corona Land Company office and the Orange Heights Water Company. South of these buildings was a pavilion where residents and farmers gathered for community events. To the west of the pavilion was the Norco School which operated from 1924 to 1947. The Norco School is now the Norco Community Center.¹³

Norco was considered to be remote, so Clark built a 38-foot tall lighthouse with a powerful revolving light to draw attention to his remote community. The lighthouse, which became the symbol of Norco, was located on top of a hill near the center of town called Chocolate Drop Mountain. Today the hill is known as Beacon Hill. Clark organized an elaborate grand opening for the town on May 13, 1923. He insured that all essential services to support Norco be in place before the grand opening. “Despite threatening weather approximately 5,000 visitors motored to this district....and enjoyed a program which included band concerts, contests of various kinds, speeches and fireworks.”¹⁴

Clark was persuasive with his vision. Many people moved to Norco and built modest homes, planted gardens, and raised chickens or rabbits. Instrumental in the success of its residents, Clark provided markets to distribute their farm products to other communities. To help inexperienced farmers hone their skills, Clark established demonstration farms where people were taught about raising chickens, growing food, and bringing their products to market. Property owners held shares in the Orange Heights Water Company and helped set its rates. Horses were a significant part of Norco’s everyday life, used for transportation, recreation, and farming. Trees lined many streets creating trails for equestrians, a forerunner of the 140 miles of horse trails which exist in Norco today.¹⁵

In 1924, while drilling for water, Clark discovered a hot mineral spring. He saw this as an opportunity to develop a resort and announced his plans to build a \$1.5 million-dollar resort in Norco. Architect Dwight Gibbs designed the Norconian Resort in the Mediterranean style. The resort was comprised of over 700 acres and included a 250,000-square foot hotel, a 60-acre lake, two Olympic-sized swimming pools, a pavilion, a tea house, chauffer’s quarters, a large auto garage, an 18-hole golf course, and many other amenities including exercise facilities. The Norconian opened on February 2, 1929, just months before “Black Tuesday.” The stock market crash marked the beginning of the Great Depression. During the 1930s,

the depressed economy and impoverished surroundings caused the resort to lose money from the beginning. In 1941, the US Navy purchased the resort for \$2 million and expanded it into a premier World War II-era hospital. Significant advances were made in the treatment of tuberculosis, malaria, and polio. Additions to the resort expanded its capacity from 500 to over 4,000 patients. Today, the grounds of the Norconian Resort are divided between a weapons research facility and a state prison. Most of the resort remains intact and in 2000 it was listed on the National Register of Historic Places.¹⁶

Norco grew significantly after World War II, however, instead of large-scale developments, small subdivisions were established and multi-acre lots continued to be divided into smaller parcels. In 1959, the California Highway Commission identified the route between Devore and Corona for the future Interstate 15. The highway received its interstate designation in 1972 when it connected with the route that spanned from Mexico to Canada. Improved transportation systems made it easier for residents to shop outside of Norco. By 1960, the Norco general store was vacant and deteriorating.

Beginning in the 1950s, horses owned by ranches in Norco began participating in races, rodeos, and horse shows. Real estate developers began catering to horse owners during the mid-1960s. The JR Spread subdivision on Second Street advertised half-acre “ranchettes” with large, ranch style homes and individual horse corrals. The subdivision also featured a regulation-sized riding ring for community use.¹⁷ It was during this period that Norco became known as “Horsetown USA.” Norco was incorporated as a city in 1964. The Western-themed, horse-friendly city, established a half-acre minimum for housing lots, which maintained the community’s low population density and controlled growth.¹⁸

Theme 1: Agricultural Development, 1890s-1945

The future Norco Valley was almost exclusively utilized for growing alfalfa in the late 1800s. Rainwater was used for irrigation until the San Jacinto Land Company decided to import water to raise citrus. In 1896, the San Jacinto Land Company purchased the land south of First Street in Norco. Citrus was very successful in Corona, so the company decided to plant a grove of oranges on the land. Unfortunately, growing citrus in Norco was unsuccessful due to the valley’s low sea level elevation and with the Santa Ana River nearby it was vulnerable to frost. After ten years of oranges freezing due to these conditions, the groves were pulled out.

Bert Gully, born in Canada and raised in England, worked for the San Jacinto Land Company from 1894 to 1900. He worked as an engineer in Los Angeles and Riverside Counties until World War I. When he returned from France in 1919, he resumed his duties as the Riverside County deputy engineer. Gully laid out the street plan for Norco and installed the first practical water system in the area. In 1898, he utilized gravity flow to bring water via a canal from the southern part of Corona. Even though the orange groves failed, the imported water enabled the fields of alfalfa and barley to thrive and become more commercially viable since they were no longer relying on rainwater for irrigation. These fields produced high-quality alfalfa and barley for California into the 1950s. The canal eventually collapsed, and strategically placed wells eventually provided the steady source of water for Norco’s agricultural industry.¹⁹

The almost 18,000-acre Stearns Rancho was sold to Willits J. Hole and George E. Pillsbury in 1908. This sale was “the largest transaction for an undivided continuous piece of citrus land in the recent history of this section.”²⁰ After this sale, the Citrus Belt Land Company was formed, and subdivisions were plotted. On June 9, 1909, the Riverside Orange Heights Tract map was recorded as the first subdivision in Norco. The 93-lot subdivision encompassed the area from First Street north to Third Street with parcels ranging in size from 7.4 acres to 35.58 acres. The most common lot size was around 10 acres.

The Orange Heights Mutual Water Company was formed to financially provide irrigation and domestic water needs for the Citrus Belt Land Company tracts. Each property owner received ten shares per acre of land. The water system was limited to the Orchard Heights and Norco Farms areas. “The Orange Heights Water Company supplied water from wells, with the distribution of water accomplished through discharge mains, booster stations, nine earthen open-air storage reservoirs, and two wooden tanks located at higher elevations. Water pressure in the system ranged from 5 to 65 pounds with most end users receiving water at very low pressures.”²¹ The Citrus Belt Land Company built a nursery and had 150,000 budded citrus trees ready to plant, in 1910. The company also planted 16 acres of naval oranges and was preparing to plant 100

more. An article in the *Los Angeles Times* stated that out of the 5,500 acres, “about 150 acres have been sold in small tracts and purchases are building.”²² In 1909, advertisements for the Riverside Orange Heights Tract appeared in the *Los Angeles Times* with the title “Best Orange and Lemon Lands.” Citrus lots were selling for \$200 to \$350 per acre while alfalfa lands were offered for \$125 to \$175 per acre.²³ By 1911, advertisements bragged that “The men who have had the foresight to acquire good Orange land and to plant Oranges and Lemons are getting their reward.”²⁴ These advertisements were aimed towards middle-class families wanting to make a living off the land and encouraged the establishment of many, small-scale citrus operations. The trend of family-owned and operated agricultural ventures played an important role in the settlement of Norco due to the lure of making a living off the land stimulating more people to move to the area.

Claims that Riverside Orange Heights was “an ideal place for the successful and profitable raising of Citrus Fruits,” proved to be false because of poor soil and climate conditions. Citrus trees were replaced during the 1910s with other crops, mainly deciduous fruits such as apricots, peaches, and pears. The transitions from citrus was almost complete by 1920 with the *Corona Courier* reporting that the area had enjoyed one of the largest apricot crops on record. In the Riverside Orange Heights tract alone, “nearly 200 tons of ‘cots’ were harvested” from 250 acres planted with apricot trees.²⁵ In 1920, the Corona Chamber of Commerce ran a contest to come up with a new name for the area since citrus crops were being transitioned out for deciduous crops. One hundred and forty-seven names were entered, “Orchard Heights” won. Orchard Heights contained small, profitable ranches which produced a variety of fruits and vegetables. After the Citrus Belt Land Company left the area in the early 1920s, Rex Clark and his North Corona Land Company expanded Orchard Heights subdivisions. In 1920, Rex Clark purchased 800 acres of Orchard Heights land and intended to “...at once commence extensive improvement of a large part of his new holdings.”²⁶ By 1922, Clark was selling mortgage bonds and installing major improvements, spending \$75,000 to install wells, lay a steel pipe irrigation system, plant orchards, and purchase a concrete pipe making machine. Rex Clark envisioned Norco as a utopian, agrarian community, where every man could make a decent living off the land. The first advertisement published on April 26, 1923 described Norco as “The Vale of Dreams Come True.” An artist’s concept drawing accompanied the advertisement and illustrated a prosperous community of small farms clustered around a village center.²⁷ Between 1926 and 1945, the Riverside Orange Heights Tract was considerably developed with structural improvements increasing by 65 percent. Orchard Heights was transformed from an isolated subdivision into an agricultural community, complete with improved roads, a town site, general store, school, post office, and small manufacturing center.²⁸

Theme 2: Poultry Farming, 1920s-1990s

In 1920s Southern California, egg farming was a home business model that people could base out of their own houses and yards. Rex Clark, of the North Corona Land Company and Norco Farms, saw this industry as a way to sell land. He promoted the idea that even people with no farming experience could make a comfortable living on two acres and 1,000 hens with advertising lines like “Poultry Pays in Norco” and “A Norco ‘Nest Egg.’”²⁹ Clark also hired a full-time poultry expert to offer advice to new chicken farmers and sold pre-fabricated chicken coops that could be assembled in days. Many people bought into this idea, and in 1924, with the help of the North Corona Land Company, over 30 poultry farmers joined together to form the Norco Poultry Association.³⁰ By 1926, hens in Riverside County were bringing in over \$2.6 million a year, with Norco housing twelve percent of all the hens in the county.

The United States Congress passed a bill, in 1948, allowing the admittance of 205,000 Displaced Persons from Europe, with the requirement that 30 percent of these immigrants be agricultural workers able to find employment on American farms. The State of California expected to receive 14,000 of these Displaced Persons, including an estimated 2,500 Jewish refugees, between 1948 and 1950. “A number of Jewish organizations, such as the National Council of Jewish Women, the Hebrew Immigrant Aid Society (RIAS), the Jewish Agricultural Society (JAS), and the ORT (an acronym of the Russian words *Obshestvo Remeslenofo zemledelcheskofo Truda*, meaning the Society for Trades and Agricultural Labor), offered vocational training for Jewish immigrants after World War II. For a brief period of time, from about 1946 until the early 1950s, one popular form of assistance was to help Jewish immigrants establish small poultry farms.”³¹ JAS provided loans and employed an extension specialist who trained the inexperienced farmers how to select and care for the chickens or turkeys. Poultry farming was popular among Jewish immigrants because it did not require previous agricultural experience, could be conducted on small lots of land, provided regular income, and did not require advanced English skills.³² The Jewish community in Norco consisted entirely of egg ranchers. There were several Jewish poultry farms in the

area, the largest and most successful being the Norco Egg Ranch, founded by Harry and Hilda Eisen. **Table 1** contains a list of Norco poultry businesses with Yellow Pages advertisements from 1946-1966. This table was compiled by Wilkman Historical Services in 2012.

In 1955, Polish immigrants and Holocaust survivors Harry and Hilda Eisen bought five acres of land on Mountain Avenue in Norco for a poultry farm. They had outgrown their backyard egg business in Arcadia, founded with the help of local Jewish organizations. They founded Norco Egg Ranch on five acres and 5,000 hens, with a facility that could house 20,000 chickens. By 1961, the Ranch had expanded to 40 acres, and by 1965 to 80 acres. That same year the Eisens built a 65,000 square foot, largely-automated, egg processing plant. The farm housed one million hens and processed 540,000 eggs per day. By 1966, Riverside County was producing more eggs than any other county in the United States, around 1.4 billion per year.

Harry Eisen provided seed money to help incorporate the city of Norco in 1964 and was honored for his contributions to the city in 1985. In the early 1980s, the farm had grown to one of the ten largest in the nation, and by the 1990s, was the largest employer in Norco. In 2000, the Eisens sold Norco Ranch Inc. to Moark, LLC (a subsidiary of Land O' Lakes) and moved the operation to Fontana. Between 2005 and 2011, Moark removed all of the chicken houses, although the Eisens kept the land and remaining buildings. Harry Eisen passed away in 2012.

Norco's poultry industry faced consolidation in the 1950s and 1960s, as some farms folded and others expanded greatly, while utilizing new technologies to increase productivity. Zoning laws and economic challenges made it hard for small egg farmers to remain viable. In 1961, the number of poultry businesses in Norco was about 37, mostly clustered around Hamner Avenue in Orchard Heights, and Norco Farm Tracts. By 1967, that number had dwindled to nine.

YEAR	BUSINESS NAME	ADDRESS	COMMENTS
1946	Bissell Poultry Farm	1544 Pacific Ave	
1950	T.M. Silva Poultry Ranch	389 7 th St	
	William Theim	231 Valley View Ave	
1952	Kantor's Poultry Ranch	2625 Hamner Ave	Site has been redeveloped with new commercial uses.
	Campbell's Poultry Farm	2060 Hamner Ave	Site has been redeveloped with the Norco Auto Mall.
	Don Hayes Turkey Ranch	2350 Hamner Ave	Site is vacant; however, the foundations of ranch buildings remain.
	William J. Ribal (originally Hribal?)	2807 Hamner Ave	Site has been redeveloped with a gasoline station.
	T.M. Silva	1136 East 7 th St	
1954	Kantor's Poultry Ranch	2625 Hamner Ave	
	Harvey's Hilltop Turkey Ranch	2904 Temescal Ave	Howard and Stella Harvey
	Harry D. Kraus	2061 Valley View Ave	
	Norco Poultry Processors	2060 Hamner Ave	Formerly Campbell's Poultry Farm
	Omer J. Berard	566 Sixth St	Site has been redeveloped with new commercial uses.
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	William J. Ribal	2807 Hamner Ave	
	Farmer's Ranch Company	1405 4 th St	
1955	Kantor's Poultry Ranch	2625 Hamner Ave	
	Omer J. Berard	566 6 th St	
	Harvey's Hilltop Turkey Ranch	2904 Temescal Ave	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Harry D. Kraus	2061 Valley View Ave	
	William J. Ribal	2807 Hamner Ave	
	Norco Poultry Processors	2060 Hamner Ave	
1956	Kantor's Poultry Ranch	2625 Hamner Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	Site has been redeveloped with new commercial uses.
	Norco Poultry Processors	2060 Hamner Ave	
	Omer J. Berard	566 6 th St	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Harry D. Kraus	2061 Valley View Ave	
	Neils C. Hansen	3745 Sierra Ave	
1957	Kantor's Poultry Ranch	2625 Hamner Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Omer J. Berard	566 6 th St	
	Carsten Egg Ranch	3079 Temescal Ave	
1958	Carsten Egg Ranch	3079 Temescal Ave	
	De Ruyter's Ranch	2961 Valley View Ave	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Amundson's Red Rooster Ranch BBQ	1881 Hamner Ave	Site of Red Rooster, Hamner Avenue and 2 nd Street, has been redeveloped with new commercial uses.
	Omer J. Berard	566 6 th St	
1960	Carsten Egg Ranch	3079 Temescal Ave	
	De Ruyter's Ranch	2961 Valley View Ave	
	Harry Eisen/Norco Egg Ranch	1658 Mountain Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Omer J. Berard	566 6 th St	
	Hoehn's Poultry	962 2 nd St	Full name is Neil Hoehn. Site is now occupied by Norco High tennis courts.
	Amundson's Red Rooster Ranch BBQ	1881 Hamner Ave	
1961	Omer J. Berard	566 6 th St	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Hoehn's Poultry	962 2 nd St	
	De Ruyter's Ranch	2961 Valley View Ave	
	Country Fresh Eggs	3596 Hillside Ave	Owned by Don Seaton. In the early 1950s the business was

Table 1. Norco Poultry Businesses with Yellow Pages Advertisements: 1946-1966 ³³

YEAR	BUSINESS NAME	ADDRESS	COMMENTS
			located at 1405 4 th St. Seaton sponsored the Babe Ruth baseball team.
	Harry Eisen/Norco Egg Ranch	1658 Mountain Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Petrasich Egg Ranch	3079 Temescal Ave	Formerly Carsten's Egg Ranch.
	Vanderstoel Egg Ranch	491 6 th St	Currently Carson Trailers. Original house is intact.
1962	De Ruyter's Ranch	2961 Valley View Ave	
	Harry Eisen/Norco Egg Ranch	1658 Mountain Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Petrasich Egg Ranch	3079 Temescal Ave	
	Vanderstoel Egg Ranch	491 6 th St	
	Omer J. Berard	566 6 th St	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
1963	Day-O'-Laid Egg Ranch	386 5 th St	Redeveloped with a housing tract.
	De Ruyter's Ranch	2961 Valley View Ave	
	Harry Eisen/Norco Egg Ranch	1658 Mountain Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Omer J. Berard	566 6 th St	
1964	Gura's Egg Ranch	386 5 th St	Formerly Day-O'-Laid
	De Ruyter's Ranch	2961 Valley View Ave	
	Harry Eisen/Norco Egg Ranch	1658 Mountain Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Omer J. Bernard	566 6 th St	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Neil's Poultry	936 2 nd St	
1965	De Ruyter's Ranch	2961 Valley View Ave	
	Harry Eisen/Norco Egg Ranch	1658 Mountain Ave	
	Gura's Egg Ranch	386 5 th St	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Reed Egg Ranch	1840 Pacific Ave	Redeveloped with a new residence. Backs up to Norco Farms. To the south, a driveway to Norco Farms is marked by Italian cypress trees.
	Omer J. Berard	566 6 th St	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Neil's Poultry	936 2 nd St	
1966	De Ruyter's Ranch	2961 Valley View Ave	
	Lane's Poultry Drive-In	3218 Hamner Ave	
	Harry Eisen/Norco Egg Ranch	1658 Mountain Ave	
	Mid-Field Farms	386 5 th St	Formerly Gura's.
	Reed Egg Ranch	1840 Pacific Ave	
	Don Hayes Turkey Ranch	2350 Hamner Ave	
	Neil's Poultry	936 2 nd St	

Table 1. Norco Poultry Businesses with Yellow Pages Advertisements: 1946-1966 ³⁴

Theme 3: Post-World War II Development, 1946-1970s

Riverside County Assessor data indicates 68 residences were constructed in the Corona-Norco area between 1930 and 1940. The number of houses constructed increased to 245 between 1940 and 1950. The demand for housing in Norco increased during World War II as a result of the Norconian Resort being converted to a Naval hospital. Patients occupied hospital rooms and staff needed housing outside of the hospital. Ultimately, 100 homes were needed to house hospital staff. Patients and the families of patients at the Naval hospital also increased the demand for housing near the Norconian. A newspaper article from 1945 indicated "At this moment there are many patients at the Naval hospital who would be much happier if it were possible for them to be visited by parents and wives if temporary rooms were available in Corona."³⁵

The demand for housing continued to increase after World War II was over. "Discharged servicemen now pouring into California from every section of the country are rapidly creating the largest labor pool in the history of the state.... Several apprentice programs are being started by the Veterans' administration."³⁶ Builders responded to the need for housing by constructing more houses in 1946 than had been constructed in previous years. In 1949, the Naval hospital closed, and a part of the building was converted to laboratories and offices for the National Bureau of Standards. "Suddenly in Norco and Corona were all of these highly educated folks who wanted more than chickens and lemons. Many of these people lived in Norco."³⁷ The demand for local housing and services rebounded even further when the Naval hospital was reopened in 1951 to accommodate patients from the Korean War. Once again, there was a need for housing to serve hospital staff, contractors working on hospital-related projects, and the family members of patients at the hospital.³⁸

After World War II, Riverside County's farms and ranches declined, and thousands of unincorporated acres became available. Developers pleaded with the Riverside County Board of Supervisors to rezone the land for typical postwar subdivisions to accommodate the new residents moving into Southern California. Norco residents resisted the idea of zoning and "the county placed Norco into a single building zone that allowed for multiple uses ranging from slaughterhouse to airport to homes, rendering Rex Clark's vision of a rural utopia void until a detailed zoning plan could be agreed upon."³⁹

Large tract developers stayed away in the early 1950s while independent builders who specialized in one to five homes decided to invest in Norco. Small subdivisions were established and multi-acre lots continued to be divided into smaller parcels. "Data from the Riverside County Assessor's Office show that the housing units built from 1946 through 1956 were not concentrated in any one area of Norco. Instead, houses were built individually or in small clusters throughout the town. Typically, these houses were simple stucco dwellings built from stock plans on existing lots or on parcels created by dividing larger parcels into four or fewer lots via Records of Survey. No subdivisions were filed or recorded during this period."⁴⁰

Rex Clark was the largest landowner in the Norco area at the time of his passing in 1955. Hung Wo Ching, a businessman and developer from Honolulu, purchased Clark's 1,534 acres for \$1,150,000. Ching was the leader of Pacific Investors, Ltd., a group that was known locally as the "Hawaiian Syndicate." The Syndicate hired former Los Angeles City Planning Director Charles Bennett to develop a master plan for their land. Eventually, the Hawaiian Syndicate decided to subdivide a section of their land into typical suburban sized residential lots. Norco Highlands was a 63-acre subdivision of 116 lots, high on the bluffs of Norco overlooking the Santa Ana River. In 1963, the Hawaiian Syndicate started working with developer Herbert Tobin who created a subdivision formula that proved successful in Norco. Tobin figured if Norco was already a haven for horse-lovers, why not develop a housing tract catering to that type of individual. Lots in the JR Spread tracts ranged from approximately .35-acre to 1.4-acres. "The first two subdivisions in this series, Tracts 2711 and 2802, were recorded in November of 1963. The next two phases, Tracts 2994 and 2913, were recorded in July of 1964. The final map, Tract 2929 was recorded in July of 1964. The subdivisions included a riding rink, held in common, and equestrian trails along many of the streets."⁴¹

V. SURVEY FINDINGS

The Second Street and Pacific Avenue Master Plan area, and its immediate environs, is characterized by low-density mixed-use development including residential, commercial, agricultural, and industrial uses, with Pacific Avenue and Mountain Avenue as the major north-south streets spanning through the master plan area and First Street and Second Street, sited immediately north and south of Pacific Avenue and Mountain Avenue, also included as boundaries for the master plan area. A map delineating the Second Street and Pacific Avenue Master Plan survey boundaries, with included parcels depicted, is included as **Appendix A**.

67 parcels were surveyed within the Second Street and Pacific Avenue Master Plan area (**Appendix B**). Historical research indicates that improvements at each parcel date between 1915 and 2017, with 35 identified as containing historic-era improvements (at least 45 years of age), nine containing contemporary-period improvements (less than 45 years old), and 23 vacant and undeveloped. The 35 parcels containing historic-era improvements sited within the Second Street and

Pacific Avenue Master Plan area represent residential, agricultural, industrial, and commercial development from 1915 through 1972. 19 of these properties were documented and evaluated, in 2011, as follows:

- 15 were surveyed as NRHP / CRHR ineligible (CRHR status code 6Z),
- Three were determined ineligible for local listing or designation through local government review process but may warrant special consideration in local planning (CRHR status code of 6L),
- One was surveyed individually eligible for local listing or designation through survey evaluation (CRHR status code of 5S3),

Subsequent to the 2011 eligibility evaluations, one additional previously surveyed parcel containing a historic-era improvement, located at 1751 Mountain Avenue, was demolished or removed from the lot. Documentation for all previously recorded improvements was updated via a current photograph of each improvement from the public right-of-way. The remaining 14 previously unrecorded improvements were photographed, researched, documented, and evaluated to inform the conclusions of this HRAR. The 14 previously unrecorded improvements include:

- Eight industrial properties dating to 1925-1972,
- Three agricultural properties dating to 1925, 1947, and 1953, and
- Three residential properties dating to 1915 and 1966.

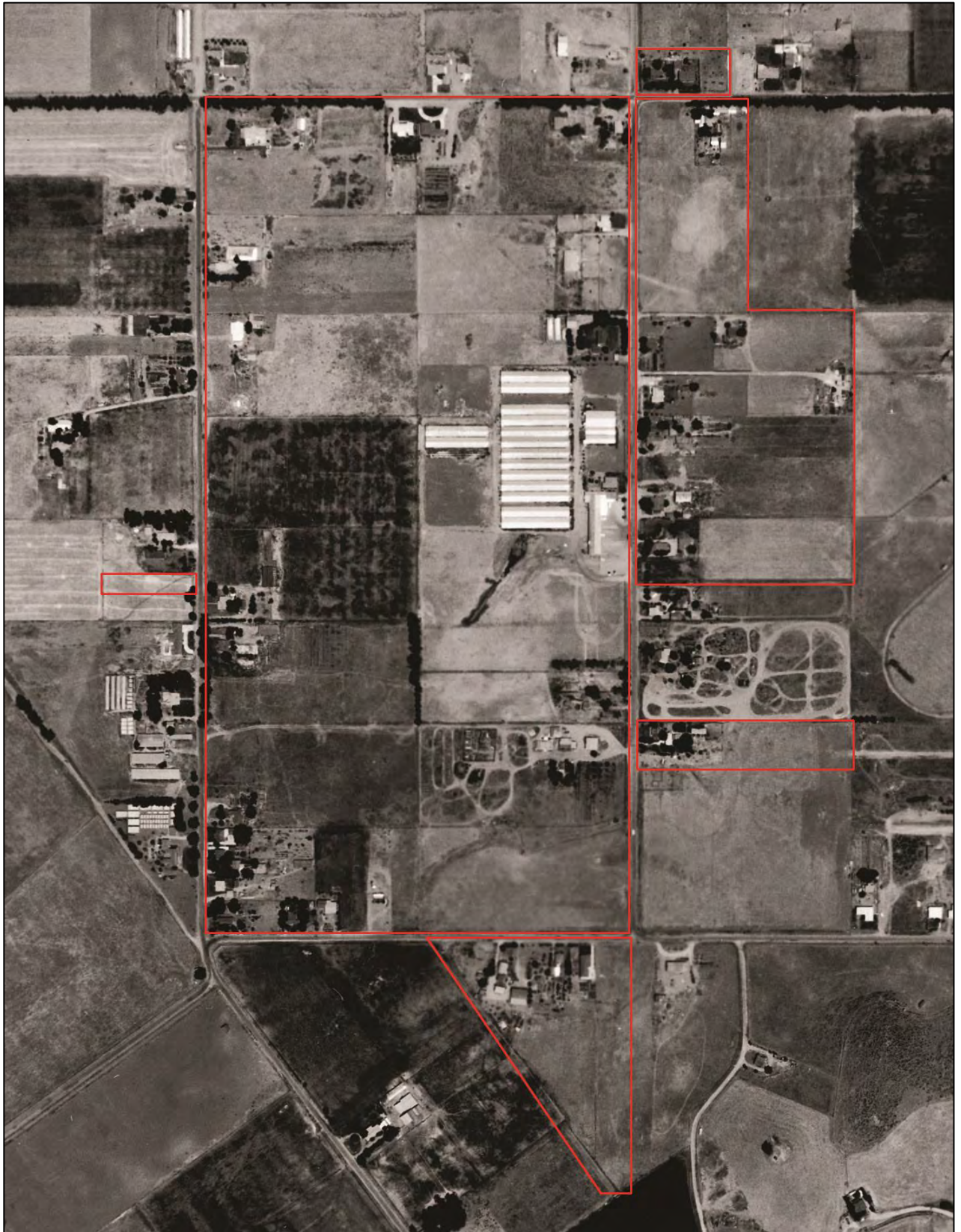
None of the 14 newly recorded improvements were surveyed as NRHP / CRHR eligible. No information was identified to directly associate any of the improvements to important historical events or patterns of events, or to persons who could be considered important in local, regional, state, or national history. The buildings and structures (eight industrial properties, three agricultural properties, and two residential properties) were not found to embody the distinctive characteristics of a period, style, type, or method of construction, nor were they attributed to the work of a master architect, builder, designer, etc. Further study of these previously unrecorded improvements would not yield information that could be regarded as important in local, regional, state, or national history.

Upon further review, the three properties that were determined ineligible for local listing or designation through local government review process but may warrant special consideration in local planning (CRHR status code of 6L), in 2011, have been updated to surveyed as NRHP / CRHR ineligible (CRHR status code 6Z). Information was not identified to directly associate any of the improvements to important historical events or patterns of events, or to persons who could be considered important in local, regional, state or national history. The buildings (three residential properties) were not found to embody the distinctive characteristics of a period, style, type, or method of construction, nor were they attributed to the work of a master architect, builder, designer, etc. Further study of these previously recorded improvements would not yield information that could be regarded as important in local, regional, state, or national history. Urbana opines these properties do not warrant special consideration in local planning.

Of the 67 parcels surveyed within the master plan area, three meet the definition of an historical resource and remain locally eligible for designation under Municipal Code Title 20 and under the criteria of the CRHR. The Norco Egg Ranch, located at 1658 Mountain Avenue, is comprised of four contributing buildings: the Eisen Residence, the Eisen Residence Garage, the original Egg Processing Building, and the modern Egg Processing Building. The period of significance for the property is 1956, when the ranch opened, through circa 1965, when the property was expanded and a modern 65,000 square foot Egg Processing Building was opened at the north end of the ranch. Eleven non-contributing structures are sited within the boundaries of the ranch; these non-contributing structures include circa 1980-2000 additions to the modern Egg Processing Building and 10 foundations that demarcate the location of chicken houses that have been removed from the property. Despite these inconsistent values of contributing and non-contributing elements, the property appears to retain a sufficient degree of integrity to physically convey its identified significance under CRHR Criterion 1 for an association with poultry farming in Norco and under CRHR Criterion 2 for an association with Harry and Hilda Eisen, who are regarded as pioneers in poultry farming and successful participants in the displaced persons retraining programs available for Holocaust survivors.



Norco Egg Ranch: 1958 Source: City of Norco Historical Collection



April 1960 Aerial With Second Street and Pacific Avenue Master Plan Area Outlined Source: UCSB Library

VI. PROPOSED PROJECT REGULATORY INTERPRETATIONS

Proposed Project

The proposed project involves demolition or removal of all existing buildings and structures within the proposed project boundaries and construction of approximately 2,050,000 square feet of new industrial, commercial, and office uses and related on-and-off-site circulation and street improvements.

Demolition or removal of the historical resource – the Norco Egg Ranch, specifically its contributing elements: the Eisen Residence, the Eisen Residence Garage, the original Egg Processing Building, and the modern Egg Processing Building, would result in a significant impact to an historical resource and a substantial adverse change to the environment.

Mitigation

Demolition of an historical resource cannot be mitigated to a less-than-significant level. The proposed project, as currently designed and described, would result in a significant impact and substantial adverse change to a historical resource. Although the impacts cannot be reduced to a less than significant level, the City, at its discretion, may explore the following measures in an effort to memorialize the property.

- Voluntary documentation of the Norco Egg Ranch according to Historic American Buildings Survey (HABS) Level II guidelines, with the final HABS Level II package to be submitted to the National Park Service for inclusion in the digital archives of the United States Library of Congress and to the City of Norco, including its various departments and entities, for distribution, sharing, and utilization at its discretion.
- Installation of an on-site historic exhibit or signage detailing the historical appearance and uses at the property.

Project Alternatives

Alternatives that consider the subject historical resource are summarized below along with an interpretation of whether each alternative would result in a less-than-significant impact to the subject historical resource.

Alternative 1: Retention and Adaptive Reuse (All Contributing Elements)

Retention and adaptive reuse of the four contributing elements of the Norco Egg Ranch would ensure that the historical resource is not significantly impacted. Successful implementation of this alternative necessitates redesign of the proposed project and compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* and the associated *Standards for Rehabilitation* for all future tasks proposed at the historical resources in question.

Alternative 2: Relocation of Norco Egg Ranch Contributing Elements

Relocation of the four contributing elements of the Norco Egg Ranch would not result in a less-than-significant impact to the subject historical resource as the location, setting, and association aspects of integrity would be completely lost as part of the relocation campaign. The four contributing buildings would no longer communicate their historical use as, and association with, the Norco Egg Ranch, and as such would not physically convey their identified significance under CRHR / Local Criterion 1 / A or 2 / B.

The location, setting, and association aspects of integrity are of primary importance to the resource's ability to convey its identified significance. The resource's CRHR / Local eligibility is not based on architectural significance, or specific aesthetic qualities or construction methods that could be retained as part of an offsite relocation campaign. Rather, the property's eligibility for an association with events and important persons relies on its location, setting, and associative elements to remain in place. The association with egg ranching, and with the Eisen's as important poultry farmers, would be lost if the buildings were to be moved offsite.

Alternative 3: Relocation of the Eisen Residence

Relocation of the Eisen Residence, as a single building, would not mitigate the identified significant impacts to a less-than-significant level. It may offer an opportunity to memorialize the Eisen's as important individuals in Norco history, but would still not adequately convey their role as pioneers in poultry farming because the building would no longer be associated with the site where the important poultry farming activities occurred and because the building would no longer maintain its visual and spatial relationship with the other contributing elements at the Norco Egg Ranch site.

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- ³ City of Norco. *City of Norco Municipal Code*, § 20.15.010. Ordinance 910, Section 1 (Adopted 2009).
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- ²⁸ C. Tibbet, R. Goodwin and J. Thorton, 2011, 12.
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- ³⁴ B. Wilkman, 2012, 82.
- ³⁵ "Placing Service People in Homes Really Big Task," *Corona Daily Independent*, 26 February 1945, 1.
- ³⁶ "\$445,113 in Building Permits in 3 Months," *Corona Daily Independent*, 3 April 1946, 1.
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- ⁴¹ B. Wilkman, 2012, 61.

APPENDICES

Appendix A. Second Street and Pacific Avenue Master Plan Survey Map

Appendix B. Second Street and Pacific Avenue Master Plan Survey Spreadsheet

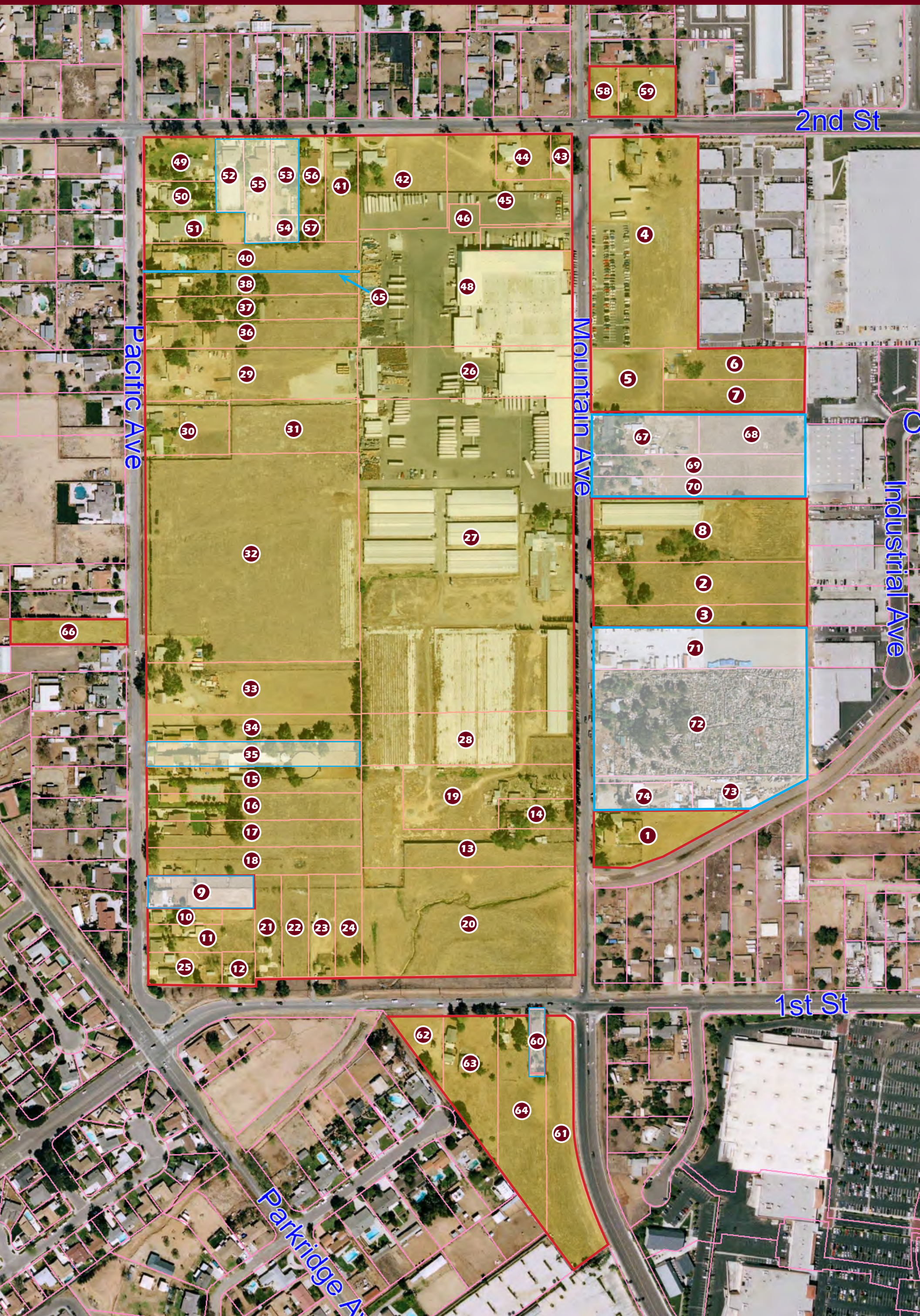
Appendix C. Department of Parks and Recreation 523 Series Forms

Appendix D. Preparer Qualifications

Appendix E. *Cultural Resources Assessment: Norco Ranch Commerce Park, City of Norco, Riverside County, California* (LSA Associates, Inc., 2011)

APPENDIX A. SECOND STREET AND PACIFIC AVENUE MASTER PLAN SURVEY MAP

NORCO - H&H PROPERTIES



APPENDIX B. SECOND STREET AND PACIFIC AVENUE MASTER PLAN SURVEY SPREADSHEET

Survey Count	Master Plan No.	APN	Address	Identifier	Year Built	Over 45 Years Old	Previous Recordation Type / Reference	CRHR Status Code	Urbana DPR Form Prepared
1	1	126240007	1491 Mountain Avenue Norco, CA 92860	1491 Mountain Avenue	1960	Yes	None	6Z	Yes
2	2	126240001	1635 Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
3	3	126240002	Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
4	4	126210001	2138 2nd Street Norco, CA 92860	2138 2nd Street	1924	Yes	P-33-019901	6Z	Yes
5	5	126210003	Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
6	6	126210004	1751 Mountain Avenue Norco, CA 92860	1751 Mountain Avenue Vacant Parcel	1947 Demolished 2017-2018	N/A	P-33-019907	6Z	Yes - update to reflect demolition
7	7	126210005	Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
8	8	126210010	1661 Mountain Avenue Norco, CA 92860	1661 Mountain Avenue	1948	Yes	P-33-019937	6Z	Yes
9	9	126200002	1451-1463 Pacific Avenue Norco, CA 92860	1451-1463 Pacific Avenue	1947	Yes	P-33-019909	6Z	Yes
10	10	126200003	1445 Pacific Avenue Norco, CA 92860	1445 Pacific Avenue	1948	Yes	P-33-019910	6Z	Yes
11	11	126200004	1433 Pacific Avenue Norco, CA 92860	1433 Pacific Avenue	1955	Yes	P-33-019908	6Z	Yes
12	12	126200006	2503 1st Street Norco, CA 92860	2503 1st Street	1949	Yes	P-33-019899	6Z	Yes
13	13	126200013	Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
14	14	126200015	1492 Mountain Avenue Norco, CA 92860	1492 Mountain Avenue	1955	Yes	P-33-019904	6Z	Yes
15	15	126200016	1525 Pacific Avenue Norco, CA 92860	1525 Pacific Avenue	1976	No	None	6Z	No - age ineligible
16	16	126200017	1515 Pacific Avenue Norco, CA 92860	1515 Pacific Avenue	1979	No	None	6Z	No - age ineligible
17	17	126200018	Pacific Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
18	18	126200019	1475 Pacific Avenue Norco, CA 92860	1475 Pacific Avenue	1947	Yes	P-33-019911	6Z	Yes
19	19	126200020	1500 Mountain Avenue Norco, CA 92860	1500 Mountain Avenue	1952	Yes	P-33-019905	6Z	Yes
20	20	126200021	NW corner of 1st Street and Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
21	21	126200022	2485 1st Street Norco, CA 92860	2485 1st Street	1960	Yes	P-33-019896 CA-RIV-10121	6Z	Yes
22	22	126200023	1st Street Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
23	23	126200025	2441 1st Street Norco, CA 92860	2441 1st Street	1958	Yes	P-33-019898	6Z	Yes
24	24	126200024	2421 1st Street Norco, CA 92860	2421 1st Street	1953	Yes	P-33-019897 CA-RIV-10122	6Z	Yes
25	25	126200026	1411 Pacific Avenue Norco, CA 92860	1411 Pacific Avenue	1984	No	None	6Z	No - age ineligible
26	29	126180001	1765 Pacific Avenue Norco, CA 92860	1765 Pacific Avenue	1950	Yes	P-33-019914	6Z	Yes
27	30	126180002	1745 Pacific Avenue Norco, CA 92860	1745 Pacific Avenue	1963	Yes	None	6Z	Yes
28	31		Pacific Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No
29	32	126180004	1619 Pacific Avenue Norco, CA 92860	1619 Pacific Avenue	1916	Yes	P-33-019913	6Z	Yes

Survey Count	Master Plan No.	APN	Address	Identifier	Year Built	Over 45 Years Old	Previous Recordation Type / Reference	CRHR Status Code	Urbana DPR Form Prepared
30	33	126180005	1577 Pacific Avenue Norco, CA 92860	1577 Pacific Avenue	1915	Yes	P-33-019912	6Z	Yes
31	34	126180006	1553 Pacific Avenue Norco, CA 92860	1553 Pacific Avenue	1975	No	None	6Z	No - age ineligible
32	35	126180007	1541 Pacific Avenue Norco, CA 92860	1541 Pacific Avenue	1971	Yes	None	6Z	Yes
33	36	126170001	1789 Pacific Avenue Norco, CA 92860	1789 Pacific Avenue	1971	Yes	None	6Z	Yes
34	37	126170002	1801 Pacific Avenue Norco, CA 92860	1801 Pacific Avenue	1972	Yes	None	6Z	Yes
35	38	126170003	1821 Pacific Avenue Norco, CA 92860	1821 Pacific Avenue	1972	Yes	None	6Z	Yes
36	40	126170005	1831 Pacific Avenue Norco, CA 92860	1831 Pacific Avenue	1971	Yes	None	6Z	Yes
37	41	126170008	2410 2nd Street Norco, CA 92860	2410 2nd Street	1958	Yes	None	6Z	Yes
38	42	126170009	2390 2nd Street Norco, CA 92860	2390 2nd Street	1958	Yes	P-33-019903	6Z	Yes
39	43	126170011	2214 2nd Street Norco, CA 92860	2214 2nd Street	1927	Yes	P-33-019900	6Z	Yes
40	44	126170010	2266 2nd Street Norco, CA 92860	2266 2nd Street	1956	Yes	P-33-019902	6Z	Yes
41	45	126170012	Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
42	49	126170017	1881 Pacific Avenue Norco, CA 92860	1881 Pacific Avenue	1915	Yes	None	6Z	Yes
43	50	126170018	1869 Pacific Avenue Norco, CA 92860	1869 Pacific Avenue	1976	No	None	6Z	No - age ineligible
44	51	126170019	1851 Pacific Avenue Norco, CA 92860	1851 Pacific Avenue	1976	No	None	6Z	No - age ineligible
45	56	126170033	2440 2nd Street Norco, CA 92860	2440 2nd Street	1988	No	None	6Z	No - age ineligible
46	57		2nd Street Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
47	58	126110012	2185 2nd Street Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
48	59	126110013	2155 2nd Street Norco, CA 92860	2155 2nd Street	1953	Yes	None	6Z	Yes
49	61	122030011	SW corner of 1st Street and Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
50	62	122030016	1st Street Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
51	63	122030017	2320 1st Street Norco, CA 92860	2320 1st Street	1925	Yes	None	6Z	Yes
52	64	122030018	2270 1st Street Norco, CA 92860	2270 1st Street	1947	Yes	None	6Z	Yes
53	65	126170004	Pacific Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
54	66	126160023	Pacific Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
55	67	126210006	1725 Mountain Avenue Norco, CA 92860	1725 Mountain Avenue	1925	Yes	None	6Z	Yes
56	68	126210007	1755 Mountain Avenue Norco, CA 92860	Vacant Parcel	Vacant	No	None	6Z / NA	No - void of improvements
57	69	126210008	1703 Mountain Avenue Norco, CA 92860	Vacant Parcel	Vacant	No	None	6Z / NA	No - void of improvements
58	70	126210009	1695 Mountain Avenue Norco, CA 92860	Vacant Parcel	Vacant	No	None	6Z / NA	No - void of improvements

Survey Count	Master Plan No.	APN	Address	Identifier	Year Built	Over 45 Years Old	Previous Recordation Type / Reference	CRHR Status Code	Urbana DPR Form Prepared
59	71	126240003	1595 Mountain Avenue Norco, CA 92860	1595 Mountain Avenue	2008-2011	No	None	6Z	No - age ineligible
60	72	126240004	1569 Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
61	73	126240005	Mountain Avenue Norco, CA 92860	Vacant Parcel	N/A	N/A	None	6Z / NA	No - void of improvements
62	74	126240006	1521 Mountain Avenue Norco, CA 92860	1521 Mountain Avenue	1948-1966	Yes	None	6Z	Yes
63	28	126190003	1544 Mountain Avenue	Norco Egg Ranch	1966	Yes	P-33-019906	553	Yes
	27	126190002	1658 Mountain Avenue		1956	Yes			
	26	126190001	1750 Mountain Avenue		1980-2002	No			
	48	126170015	1820 Mountain Avenue		1966	Yes			
	46	126170013	2nd Street		N/A	N/A			

APPENDIX C. DEPARTMENT OF PARKS AND RECREATION 523 SERIES FORMS

PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____
Resource Name: 1491 Mountain Avenue
Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; **B.M.** _____

c. Address: 1491 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447621 mE/ 3751591 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-240-007

***P3a. Description:**

This 1,958 square foot, one-story, Ranch-style house is clad in stucco with horizontal wood siding on the bottom third of the façade. Fenestration consists of aluminum horizontal sliding windows, a wood paneled front door covered by a metal security door, and two wood frame, rectangle sidelights with textured glass. There is an exterior brick chimney on the front facade (west elevation), near the south corner of the house. The hipped roof has narrow eaves and is clad in composition shingles. there are two garages on the property. One garage is slightly behind the house with a concrete driveway leading up to the garage on the north side of the house. This garage is clad in stucco with a hipped roof covered in composition shingles. The other garage is north of the house with a separate driveway and appears to be converted into a residence. This garage is clad in stucco with a hipped roof and a gable peak, covered in composition shingles. It has a front facing paneled garage door.

***P3b. Resource Attributes:** HP2, HP4

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: 1960, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 1491 Mountain Avenue
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 1491 Mountain Avenue

B2. Common Name: 1491 Mountain Avenue

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Ranch

***B6. Construction History:** Originally constructed in 1960, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A

Original Location: N/A

***B8. Related Features:** None

B9a. Architect: Not Identified

b. Builder: Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco

Period of Significance: 1960 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

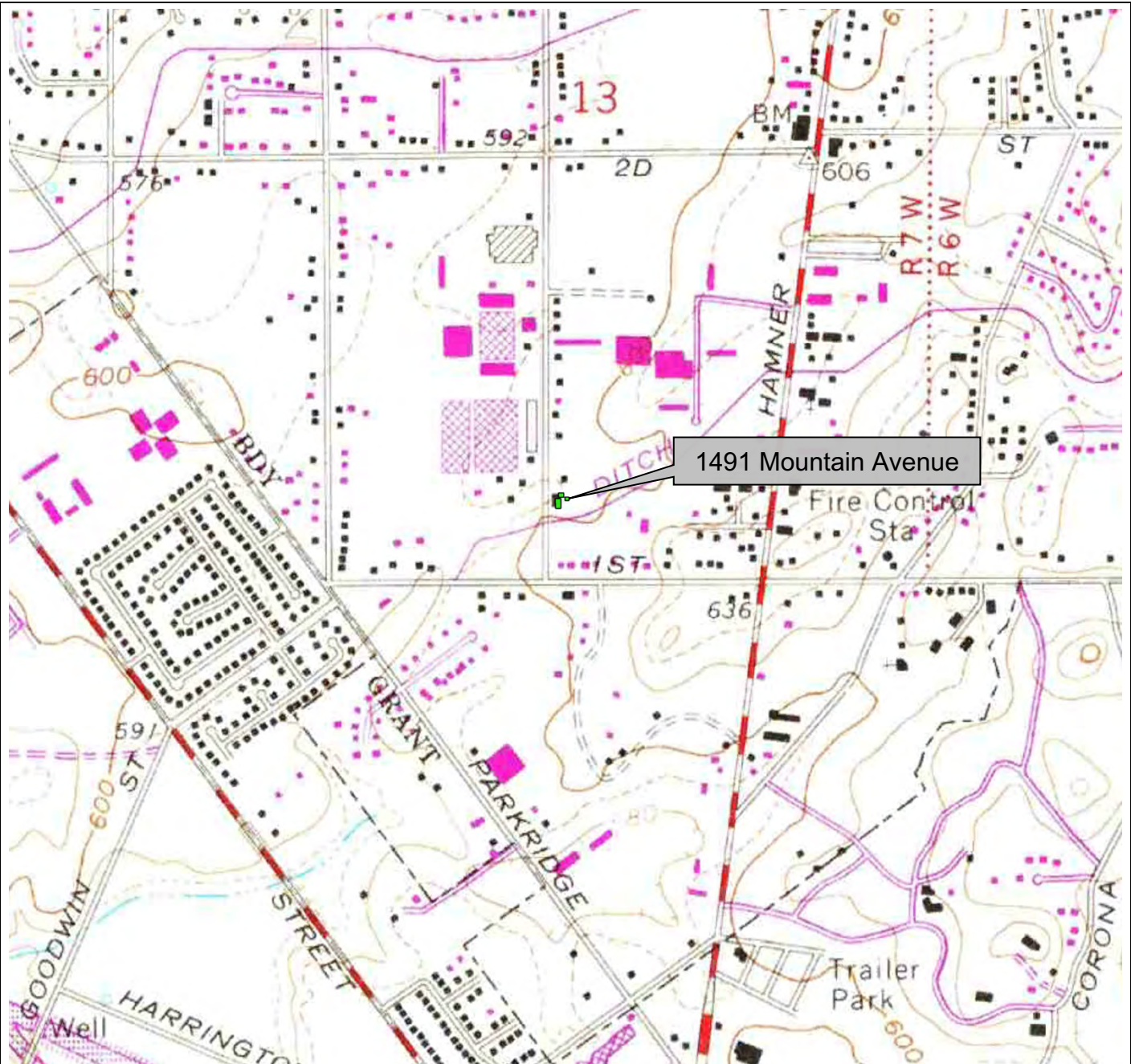
Resource Name: 1491 Mountain Avenue

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____
Resource Name: 1725 Mountain Avenue
Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; **B.M.** _____

c. Address: 1725 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447631 mE/ 3751965 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126210006

***P3a. Description:**

This 1,668 square foot, one-story, L-front, Ranch-style house is clad in stucco and surmounted by a cross-gable roof with wide-overhanging eaves, covered with composition shingles. Fenestration consists of one-over-one, double-hung, and casement wood framed windows, aluminum sliding windows on the side elevations and a paneled wood front door flanked by two casement windows. The porch roof is supported by grouped square posts. The garage is attached to the house with a front facing paneled door.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View southeast of north and west elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1925, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

Darrell Pickens
4270 San Viscaya Circle
Corona, CA 92882

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 1725 Mountain Avenue
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 1725 Mountain Avenue

B2. Common Name: 1725 Mountain Avenue

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Ranch

***B6. Construction History:** Originally constructed in 1925, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential Architecture **Area:** City of Norco

Period of Significance: 1925 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
LOCATION MAP

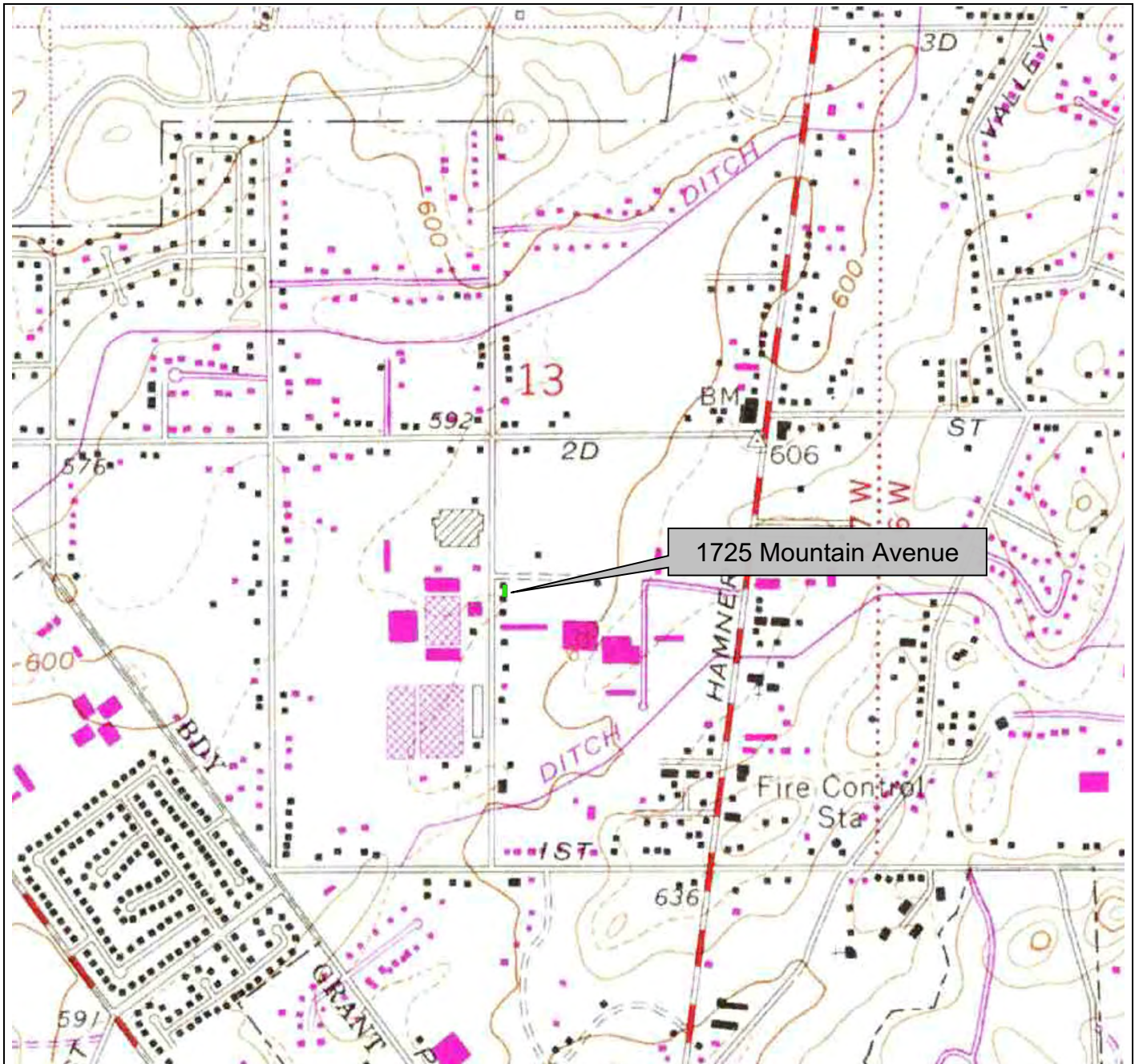
Primary #: N/A
HRI #: N/A
Trinomial: N/A

Resource Name: 1725 Mountain Avenue
Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1521 Mountain Avenue

Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; **B.M.** _____

c. Address: 1521 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, mE/ mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-240-006

***P3a. Description:**

The 1521 Mountain Avenue property includes a single-story, single-family dwelling constructed in a transitional Ranch style with a low pitched hipped roof and a general rectilinear plan. The exterior walls are stucco-clad; roofing is composition shingles in severely dilapidated condition; and visible windows are aluminum slider units installed irregularly along the front facade, including a tri-partite unit sited to the right of the center-set front entry door and two narrow units, of differing dimensions, to the left of the entry door. An overhang constructed of wood posts and transite panels shades a portion of the front elevation. The dwelling appears to be used for commercial / light industrial storage purposes, with a tractor parked in front of the building and additional heavy commercial objects being stored at the rear of the building. Overall the home appears to be in fair to poor condition and exhibits no architectural value. Asphalt surface covers a portion of the front yard, with some concrete and dirt sections, enclosed by a low masonry wall / curb, also present.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View northeast of south and west elevations.

***P6. Date Constructed/Age and Source:**

☒ Historic: 1948-1966, Aerial Imagery
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

Scott Denton
5300 Highland Court
Yorba Linda, CA 92886

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana

Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

B1. Historic Name: 1521 Mountain Avenue

B2. Common Name: 1521 Mountain Avenue

B3. Original Use: Single-Family Dwelling

B4. Present Use: Single-Family Dwelling / Heavy Commercial Storage

***B5. Architectural Style:** Transitional Ranch

***B6. Construction History:** Constructed between 1948 and 1966; erection of a Plaster Fence (ca. 1975) for owners Gregg & Rooney (Permit No. 2446); garden wall construction (1978, Permit No. 3530); alterations including installation of new window in new opening (1980, Permit No. 4010).

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A

Original Location: N/A

***B8. Related Features:** None

B9a. Architect: Not Identified

b. Builder: Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco
Period of Significance: ca. 1948-1966 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a Ranch style home and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor, City of Norco Building Permit Records, Historic Aerial Imagery

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC | www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Resource Name: 1521 Mountain Avenue

Page 3 of 3

Primary #: N/A

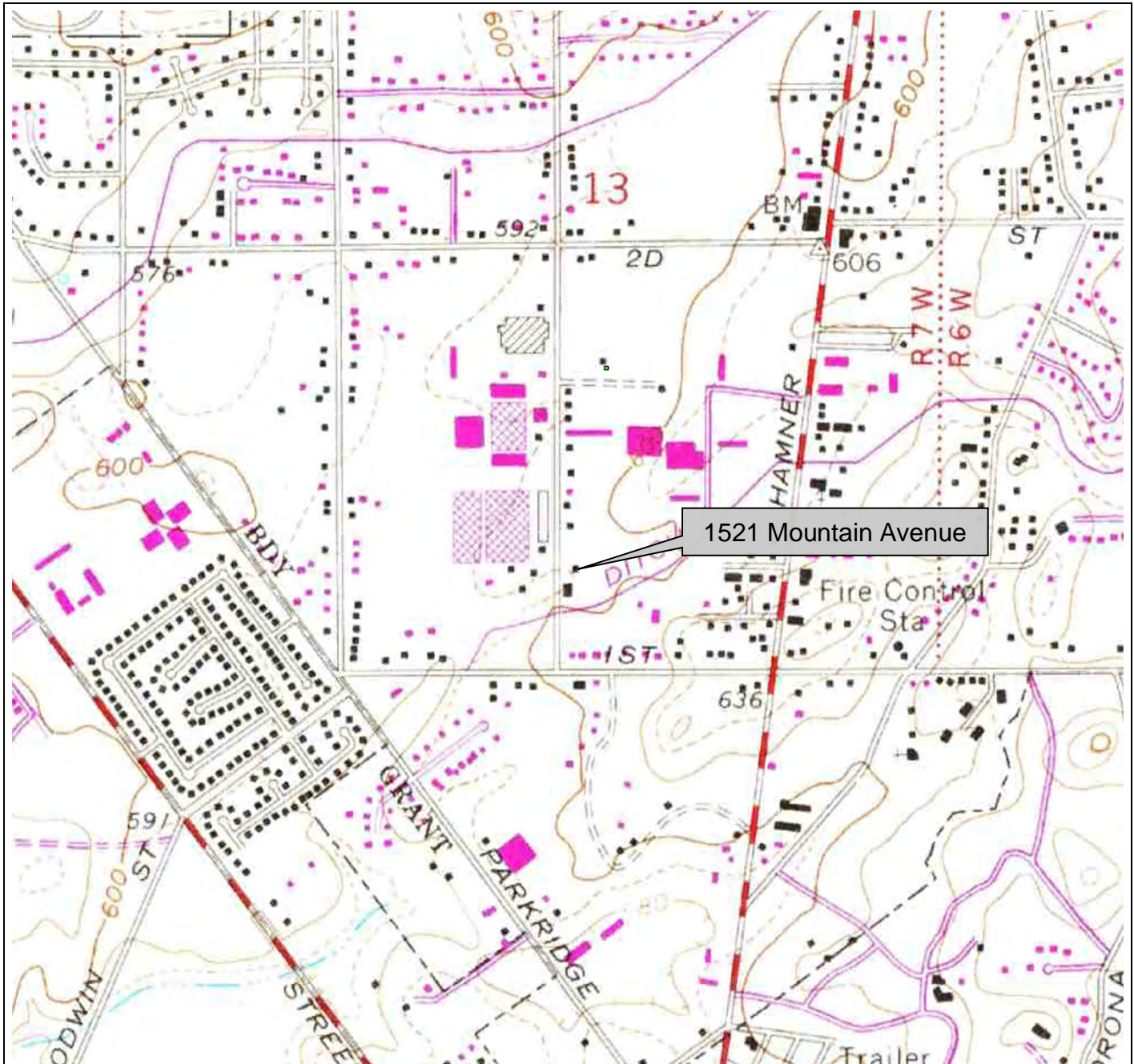
HRI #: N/A

Trinomial: N/A

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1745 Pacific Avenue

Page 1 of 4

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; **B.M.** _____

c. Address: 1745 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447223 mE/ 3751971 mN

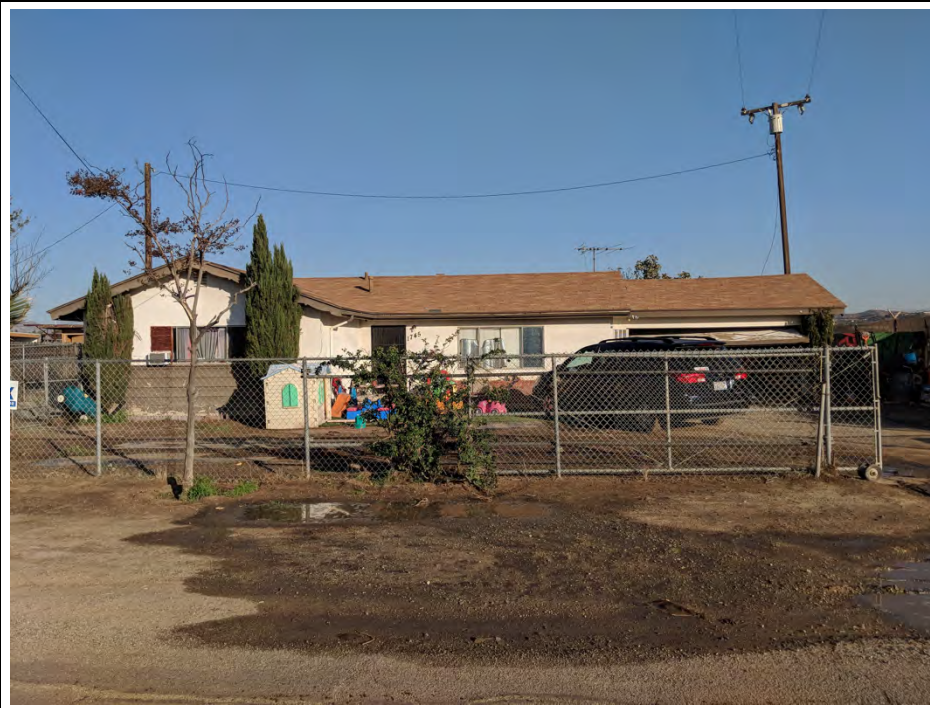
e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-180-002

***P3a. Description:** This parcel consists of two houses. Although Riverside County Assessor indicates a build date of 1963, the north house appears to date from the 1950s. This one-story, modest sized, house was designed in the minimal-traditional style. The house is clad in stucco topped by a hipped roof with wide overhanging eaves, covered in composition shingles. Fenestration includes one-over-one, double hung, wood framed windows. The south house is a one-story, L-front, Ranch-style house clad in stucco with brick on the bottom third of the front facade (west elevation) and horizontal wood siding on the bottom third of the front facade's front projection (west elevation). The cross-gabled roof is clad in composition shingles with wide overhanging eaves and a scalloped verge board on the front facing gable. Fenestration consists of horizontal aluminum sliding windows and a metal security door over the front door. The garage is attached to the house with a front facing wood door.

***P3b. Resource Attributes:** HP3, HP4

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation (south house)

***P6. Date Constructed/Age and Source:**

☒ Historic: 1963, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 1745 Pacific Avenue

Page 2 of 4

Primary #: N/A

HRI#: N/A

CRHR Status Code: 6Z

Other Listings: N/A

B1. Historic Name: 1745 Pacific Avenue

B2. Common Name: 1745 Pacific Avenue

B3. Original Use: Two single-family residences **B4. Present Use:** Two single-family residences

***B5. Architectural Style:** Minimal-Traditional and Ranch

***B6. Construction History:** The south dwelling was originally constructed in 1963, according to the Riverside County Assessor. The north dwelling appears to have been constructed in the 1950s. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A

Original Location: N/A

***B8. Related Features:** None

B9a. Architect: Not Identified

b. Builder: Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco

Period of Significance: 1963 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

*Map Date: 1981



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1789 Pacific Avenue

Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; **B.M.** _____

c. Address: 1789 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447224 mE/ 3752059 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-001

***P3a. Description:**

This 2,058 square foot, one-story, L-front, Ranch-style house is clad in vertical board and batten siding on the front elevation and stucco on the side elevations. The cross-hipped and side-gabled roof has wide over-hanging eaves with exposed decorative rafter tails and covered in composition shingles. The hipped portion of the roof also has a front gable peak on top. Fenestration includes horizontal aluminum sliding windows and a paneled front door with multi-light windows on the top half. The garage is attached to the house and has two side-facing wood doors.

***P3b. Resource Attributes:** HP2, HP4

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View northeast of south and west elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1971, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 1789 Pacific Avenue
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 1789 Pacific Avenue

B2. Common Name: 1789 Pacific Avenue

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Ranch

***B6. Construction History:** Originally constructed in 1971, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco
Period of Significance: 1971 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

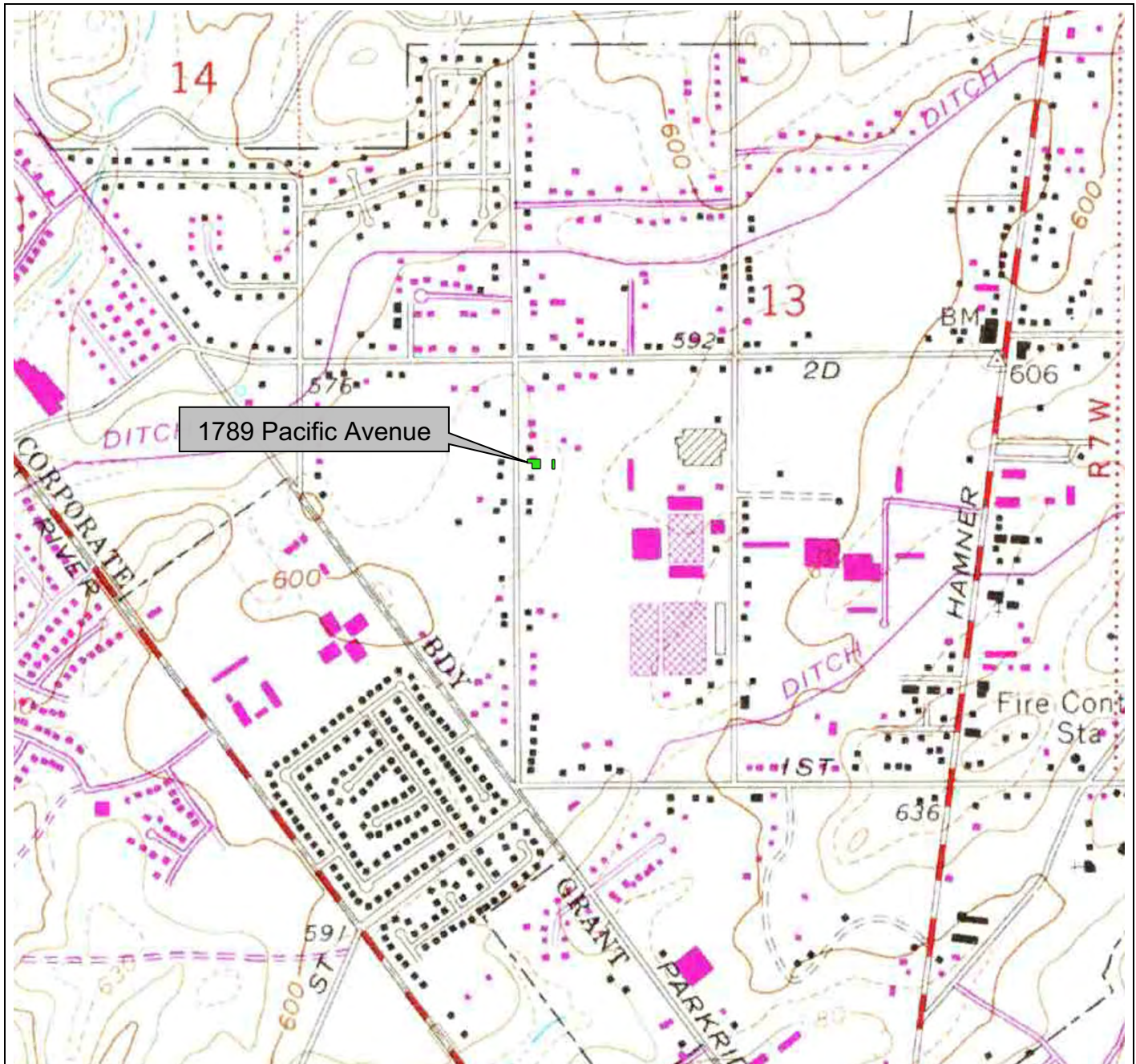
Resource Name: 1789 Pacific Avenue

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1801 Pacific Avenue

Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; **B.M.** _____

c. Address: 1801 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447222 mE/ 3752083 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-002

***P3a. Description:**

This 2,346 square foot, one-story, L-front, Ranch-style house is clad in vertical board and batten siding on the front elevation and stucco on the side elevations. Brick covers the bottom third of the front facade (west elevation). The cross-gabled roof is covered in composition shingles and has wide over-hanging eaves with decorative exposed rafter tails. Fenestration is unknown as the windows and doors have been boarded up with plywood. The front facing garage is attached to the house and has a wood door.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: 1972, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 1801 Pacific Avenue
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 1801 Pacific Avenue

B2. Common Name: 1801 Pacific Avenue

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Ranch

***B6. Construction History:** Originally constructed in 1972, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco
Period of Significance: 1972 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

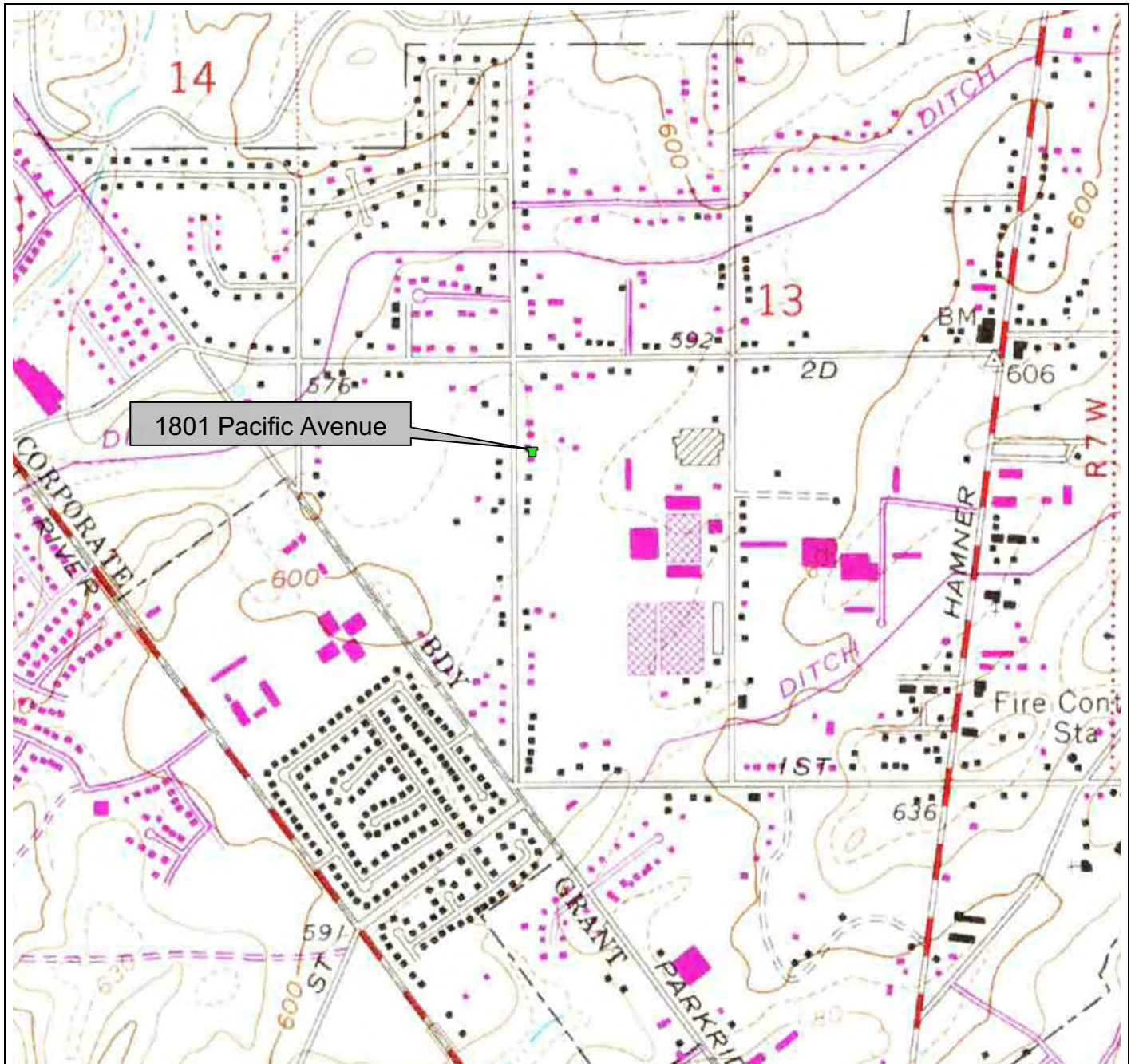
Resource Name: 1801 Pacific Avenue

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1821 Pacific Avenue

Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; **B.M.** _____

c. Address: 1821 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447222 mE/ 3752107 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-003

***P3a. Description:**

This 2,058 square foot, one-story, L-front, Ranch-style house is clad in vertical board and batten siding on the front elevation and stucco on the side elevations. Brick covers the bottom third of the front facade (west elevation). The cross-hipped and side-gabled roof has wide over-hanging eaves with exposed decorative rafter tails and covered in composition shingles. The hipped portion of the roof also has a front gable peak on top. Fenestration includes horizontal aluminum sliding windows and a paneled front door with multi-light windows on the top half. The garage is attached to the house and has two side-facing wood doors. There is also an exterior brick chimney on the north elevation.

***P3b. Resource Attributes:** HP2, HP4

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View southeast of north and west elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1972, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 1821 Pacific Avenue
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 1821 Pacific Avenue

B2. Common Name: 1821 Pacific Avenue

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Ranch

***B6. Construction History:** Originally constructed in 1972, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco
Period of Significance: 1972 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

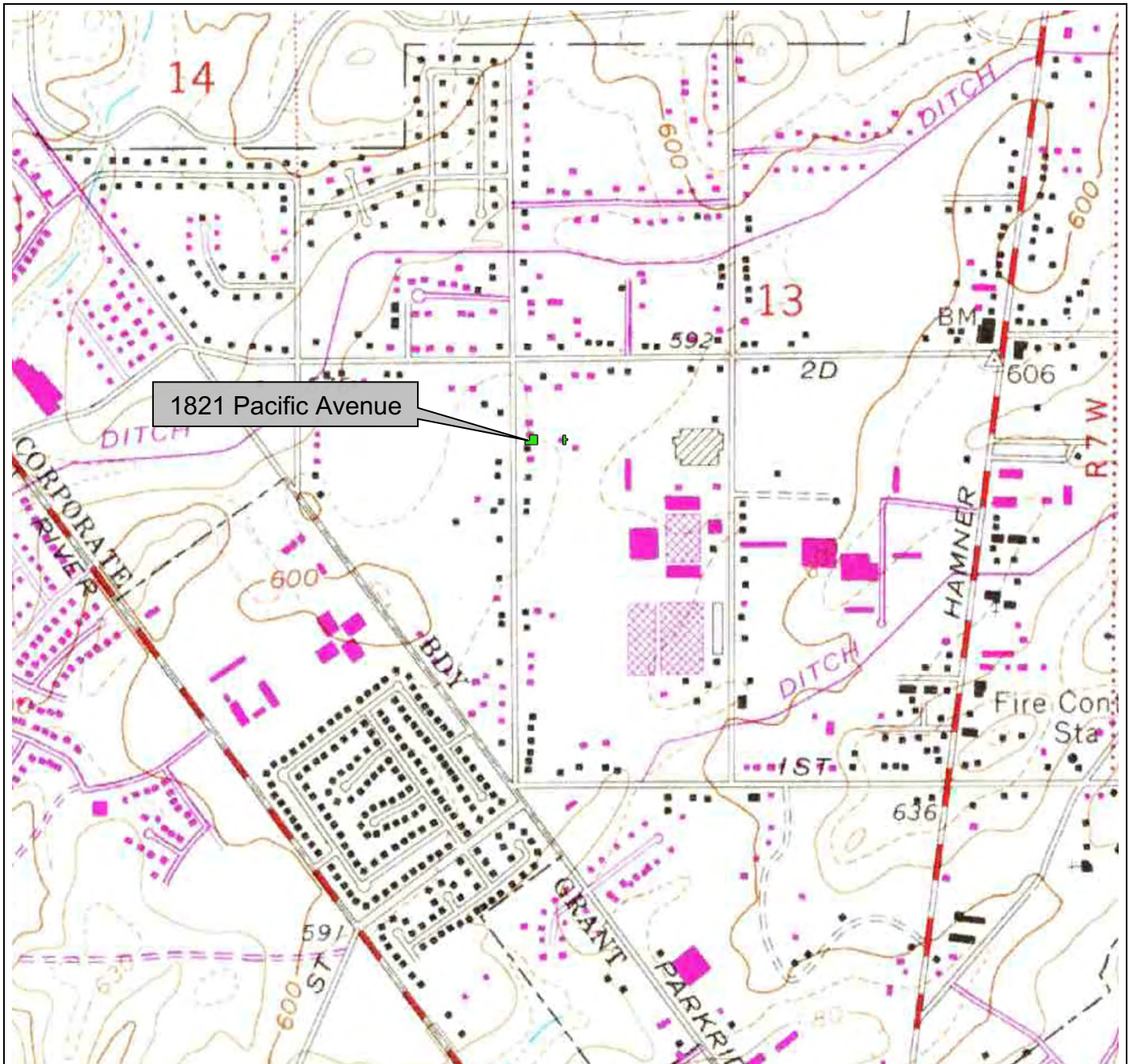
Resource Name: 1821 Pacific Avenue

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1831 Pacific Avenue

Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 1831 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447222 mE/ 3752134 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-005

***P3a. Description:**

This 2,446 square foot, one-story, L-front, Ranch-style house is clad in vertical board and batten siding on the front elevation and stucco on the side elevations. Brick covers the bottom third of the front facade (west elevation). The cross-hipped and gabled roof is covered in composition shingles and has wide over-hanging eaves with decorative exposed rafter tails. Fenestration is unknown as the windows and doors have been boarded up with plywood. The garage is attached to the house and has two-side-facing wood doors.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View southeast of north and west elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1971, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 1831 Pacific Avenue
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 1831 Pacific Avenue

B2. Common Name: 1831 Pacific Avenue

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Ranch

***B6. Construction History:** Originally constructed in 1971, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco
Period of Significance: 1971 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

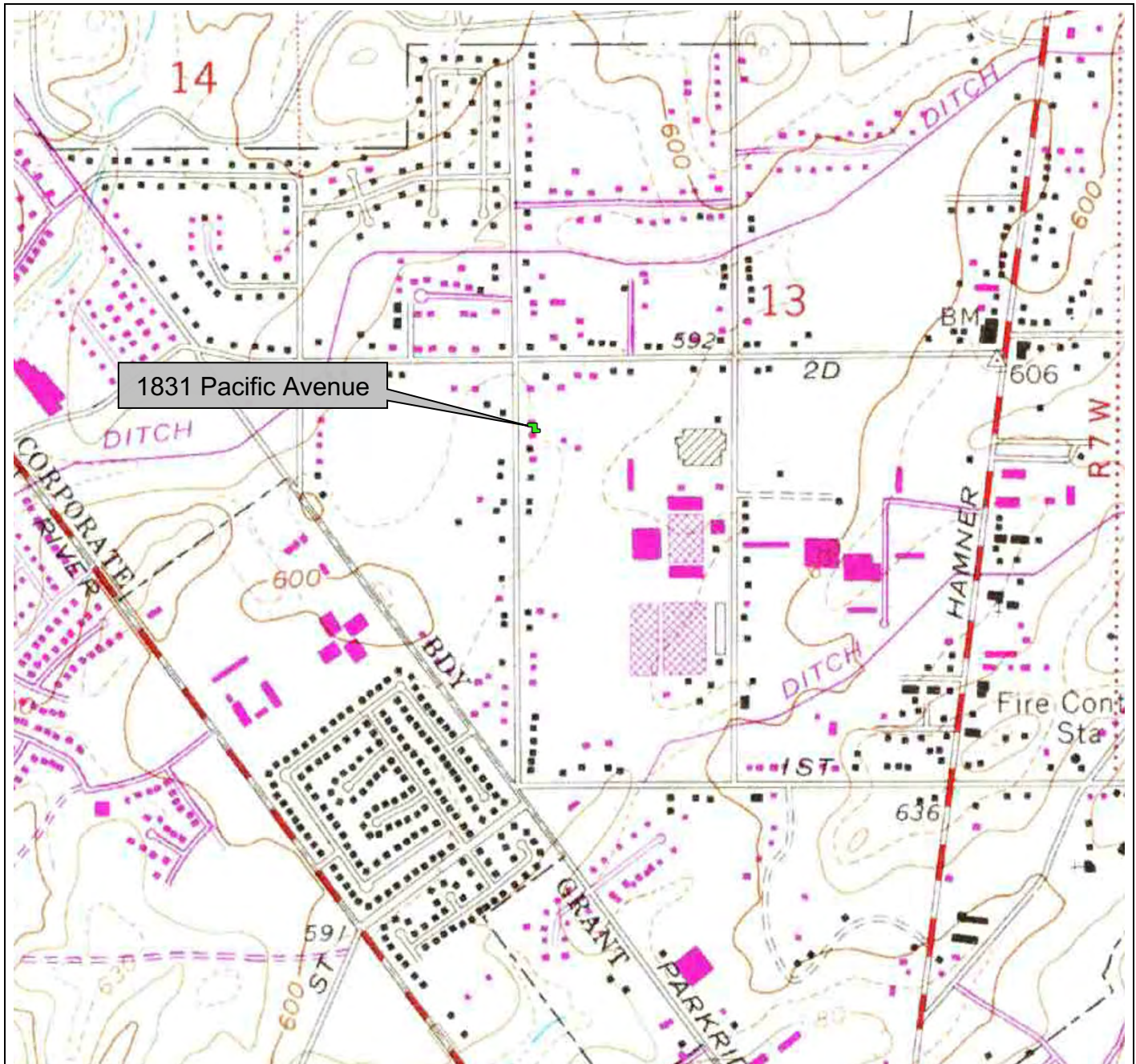
Resource Name: 1831 Pacific Avenue

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2410 Second Street

Page 1 of 3

P1. Other Identifier: 2410 2nd Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2410 Second Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447373 mE/ 3752211 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-008

***P3a. Description:**

This 1,764 square foot, one-story, slight L-front, Ranch-style house is clad in stucco with a cross-gabled roof. The roof is covered in composition shingles and has wide over-hanging eaves with exposed decorative rafter tails. Fenestration includes horizontal sliding aluminum windows and a metal security door over the front door. Scalloped vergeboard is present on the front facing gable and extends asymetrically over the small front porch. Two diagonal wood posts support this roof extension.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:

View south of north elevation

***P6. Date Constructed/Age and**

Source:

☒ Historic: 1958, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 2410 Second Street
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 2410 Second Street

B2. Common Name: 2410 Second Street

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Ranch

***B6. Construction History:** Originally constructed in 1958, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco
Period of Significance: 1958 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

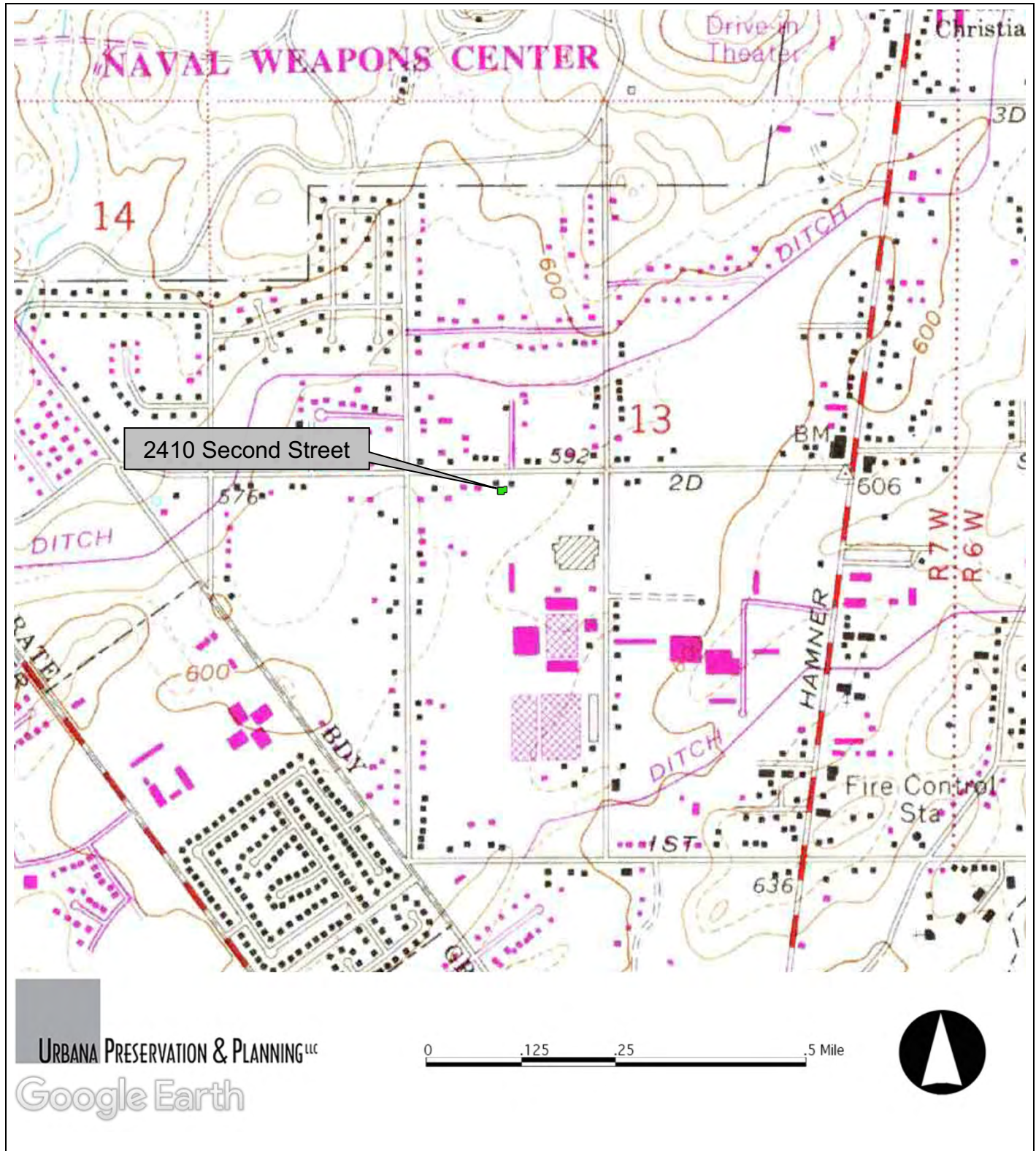
Resource Name: 2410 Second Street

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1881 Pacific Avenue

Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; **B.M.** _____

c. Address: 1881 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447222 mE/ 3752223 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-017

***P3a. Description:**

This 1,972 square foot, one-story, Colonial Revival style house is clad in horizontal wood siding with decorative wood shutters around the three front windows. The cross-gabled roof is covered in composition shingles with slight over-hanging eaves. Fenestration includes multi-light, wood framed, casement windows.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: 1915, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 1881 Pacific Avenue
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 1881 Pacific Avenue

B2. Common Name: 1881 Pacific Avenue

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Colonial Revival

***B6. Construction History:** Originally constructed in 1915, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential Architecture **Area:** City of Norco
Period of Significance: 1915 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

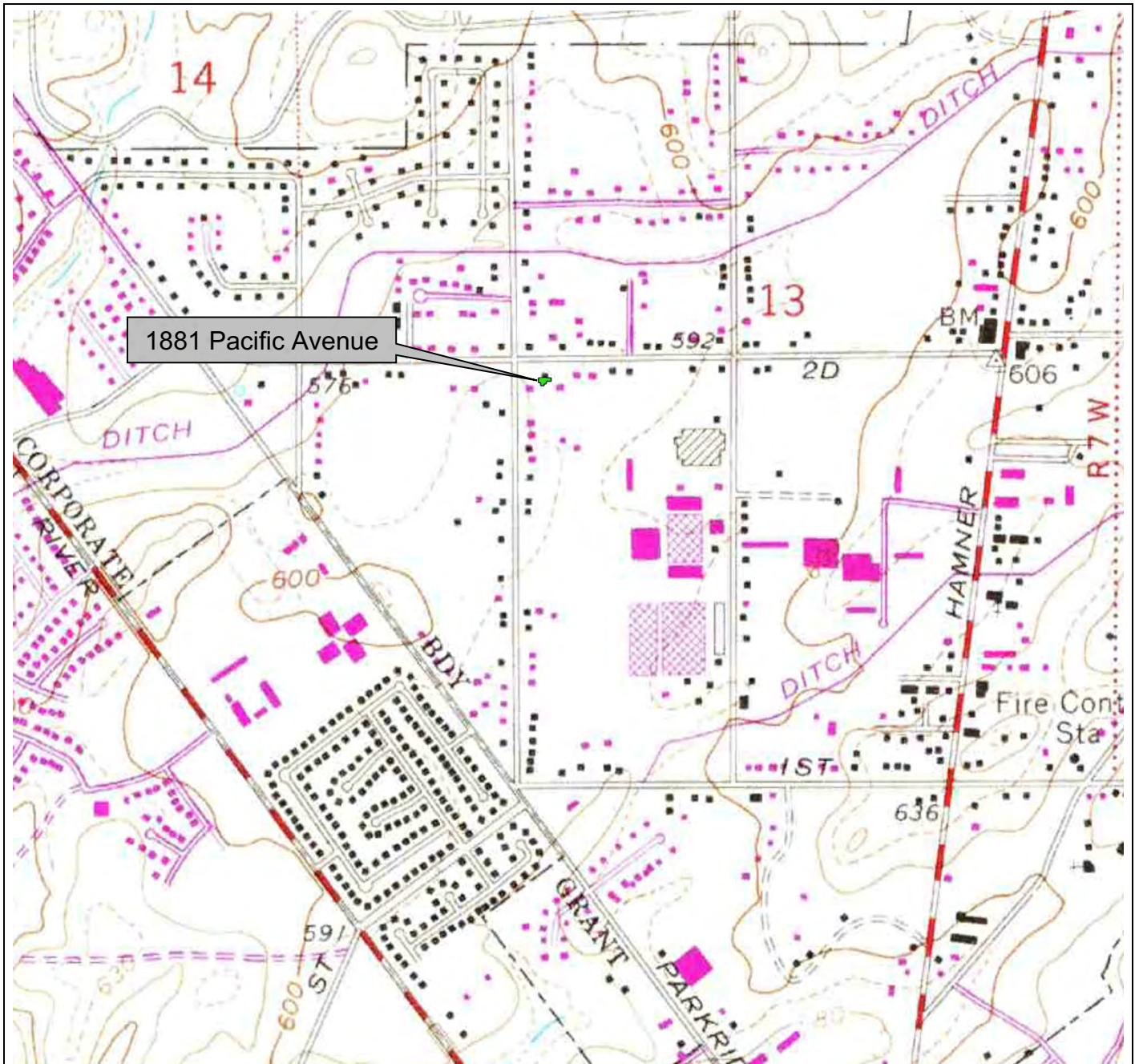
Resource Name: 1881 Pacific Avenue

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2155 Second Street

Page 1 of 3

P1. Other Identifier: 2155 2nd Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2155 Second Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447646 mE/ 3752281 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-110-013

***P3a. Description:**

This 1,450 square foot, one-story, Ranch-style house is clad in vertical board and batten siding. The side-gable roof is covered in composition shingles and has wide over-hanging eaves. Six evenly spaced square posts support the section of the roof that extends over the narrow porch. Fenestration includes two-over-two, horizontal divisions, double-hung wood windows and a metal security door covering the front door. The garage is clad in stucco with a side-gable roof covered in composition shingles with wide over-hanging eaves with exposed rafter tails.

***P3b. Resource Attributes:** HP2, HP4

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View northeast of south and west elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1953, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 2155 Second Street
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 2155 Second Street

B2. Common Name: 2155 Second Street

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Ranch

***B6. Construction History:** Originally constructed in 1953, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco
Period of Significance: 1953 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

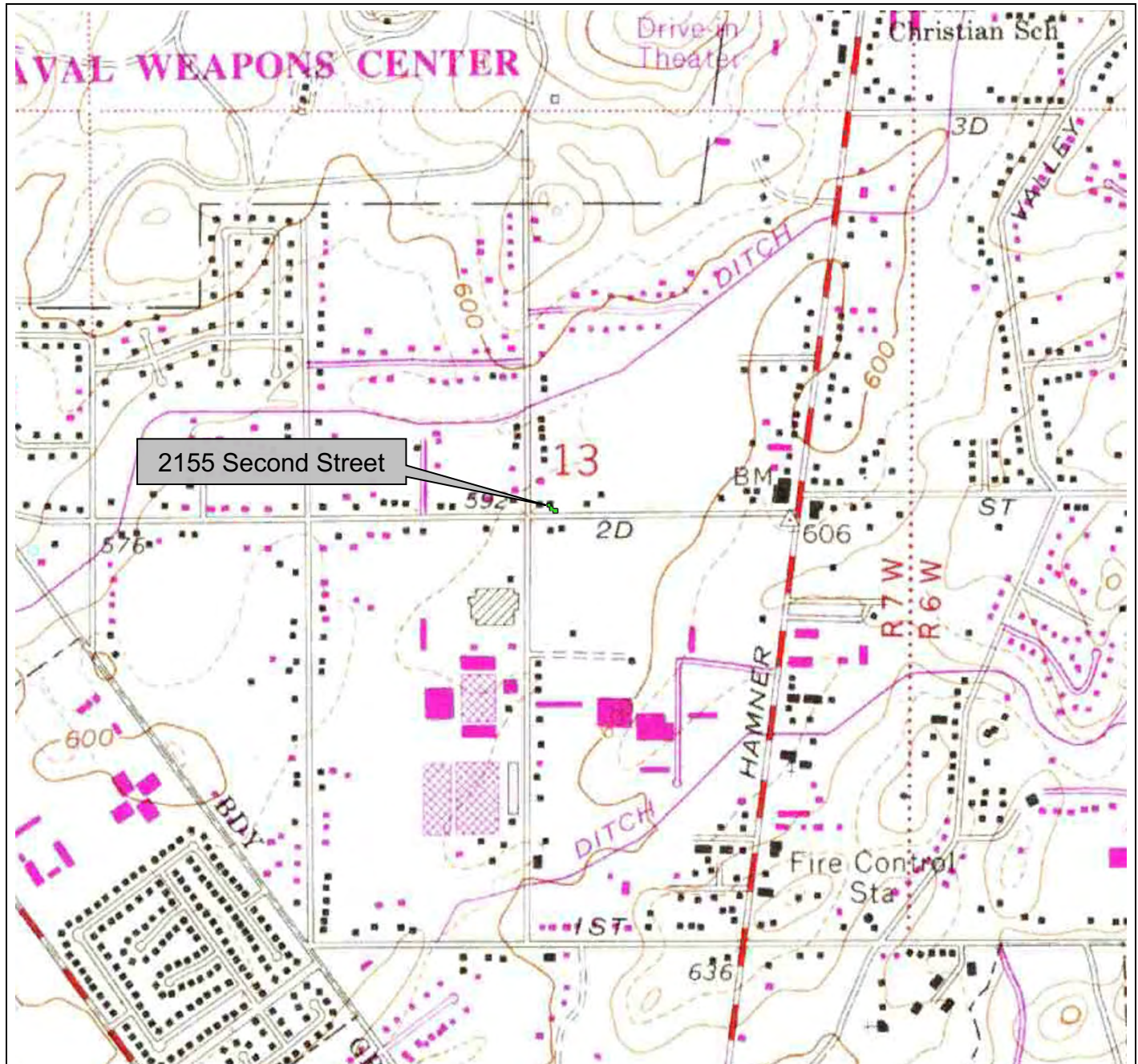
Resource Name: 2155 Second Street

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2320 First Street

Page 1 of 4

P1. Other Identifier: 2320 1st Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2320 First Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447483 mE/ 3751406 mN

e. Other Locational Data:

Riverside County Assessor's Parcel Nos. 122-030-016 and 122-030-017

***P3a. Description:**

This 1,346 square foot, one-story, Craftsman-era, Vernacular farm house is clad in vertical wood siding. The front-gable, with a secondary roof extending beyond the gable section, roof is clad in composition shingles and has wide over-hanging eaves. The shed porch roof is supported by two square wood posts. Fenestration includes one-over-one, single-hung, wood framed windows and one multi-light window with three-lights above the top third and five-lights below on the front elevation. One window on the front elevation is flanked by wood shutters. The large property also consists of a water tank and a one-story, side-gable roof barn clad in horizontal wood siding with two sliding doors.

***P3b. Resource Attributes:** HP2, HP4, HP39, AH5

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View southeast of water tower and west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: 1925, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 2320 First Street
Page 2 of 4

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 2320 First Street

B2. Common Name: 2320 First Street

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Vernacular

***B6. Construction History:** Originally constructed in 1925, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A **Original Location:** N/A

***B8. Related Features:** None

B9a. Architect: Not Identified **b. Builder:** Not Identified

***B10. Significance:** **Theme:** Residential and Farming Architecture **Area:** City of Norco
Period of Significance: 1925 **Property Type:** Residence and farm **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)
Refer to DPR 523 J for site location map(s).

CONTINUATION SHEET

Primary#: N/A

HRI #: N/A

Trinomial: N/A

Resource Identifier: 2320 First Street

Page 3 of 4

Primary Record *P3a. Continued: Description



View southwest of north and east elevations of barn

LOCATION MAP

Resource Name: 2320 First Street

Page 4 of 4

Primary #: N/A

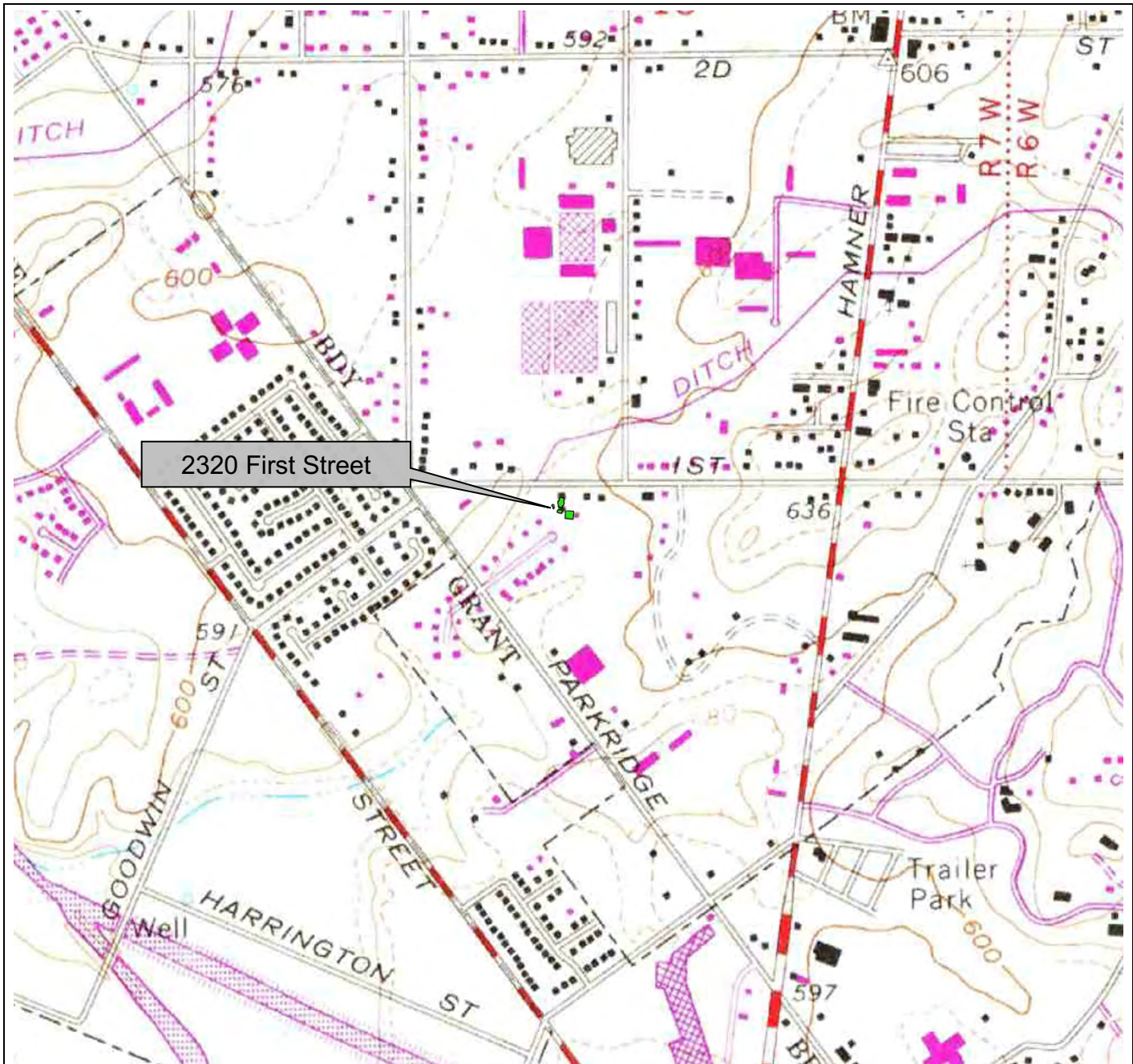
HRI #: N/A

Trinomial: N/A

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2270 First Street

Page 1 of 3

P1. Other Identifier: 2270 1st Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2270 First Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447526 mE/ 3751406 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 122-030-018

***P3a. Description:**

This 760 square foot, one-story, Minimal Traditional cottage is clad in stucco. The hipped roof has slight overhanging eaves with exposed rafter tails and is covered with composition shingles. Fenestration includes one-over-one, single-hung, wood frame windows and a metal security gate covering the front door. Wood shutters flank the two front facade windows. Three concrete steps lead up to a small porch landing.

***P3b. Resource Attributes:** HP2, HP4

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:

View south of north elevation
View southwest of north and east elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1947'

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
**BUILDING, STRUCTURE, AND
OBJECT RECORD**

Resource Name: 2270 First Street
Page 2 of 3

Primary #: N/A
HRI#: N/A
CRHR Status Code: 6Z
Other Listings: N/A

B1. Historic Name: 2270 First Street

B2. Common Name: 2270 First Street

B3. Original Use: Single-family residence **B4. Present Use:** Single-family residence

***B5. Architectural Style:** Minimal-Traditional

***B6. Construction History:** Originally constructed in 1947, according to the Riverside County Assessor. Specific dates for alterations are unknown.

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A

Original Location: N/A

***B8. Related Features:** None

B9a. Architect: Not Identified

b. Builder: Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco

Period of Significance: 1947 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a minimal traditional ranch and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC |
www.urbanapreservation.com

***Date of Evaluation:** January 2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

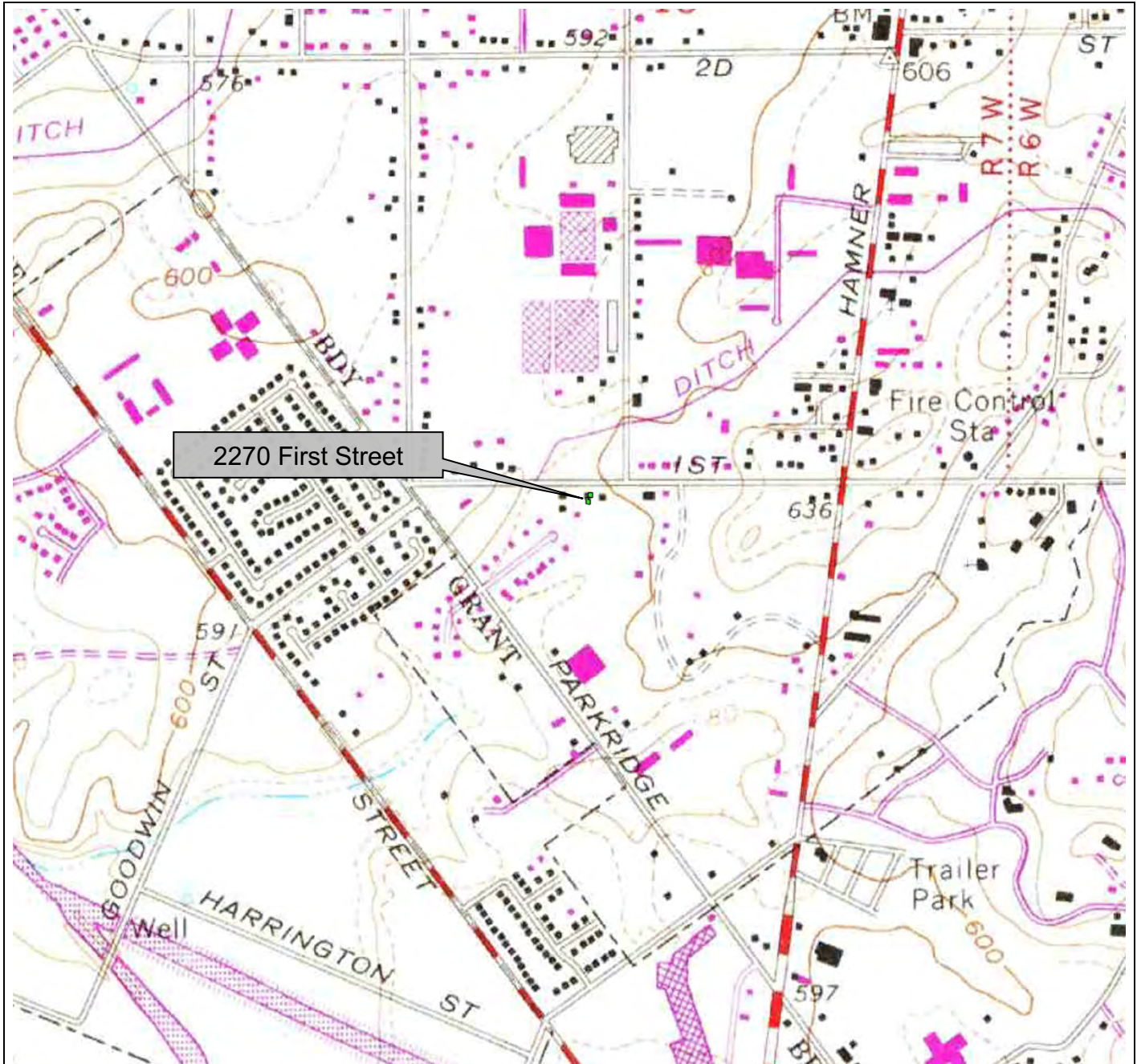
Resource Name: 2270 First Street

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



PRIMARY RECORD

Primary#: P-33-019897
HRI#: N/A
Trinomial #: CA-RIV-10122
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____
Resource Name: 2421 First Street
Page 1 of 2

P1. Other Identifier: 2421 1st Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2421 First Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447373 mE/ 3751497 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-024

***P3a. Description:** 2421 First Street was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the appearance or features of the foundations to warrant further or additional updated documentation beyond the current photograph provided below (foundations were not visible from public right-of-way).

***P3b. Resource Attributes:** AH2

***P4. Resources Present:** ☐ Building ☒ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View north of lot

***P6. Date Constructed/Age and Source:**

☒ Historic: 1953, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019897

HRI #: N/A

Trinomial: CA-RIV-10122

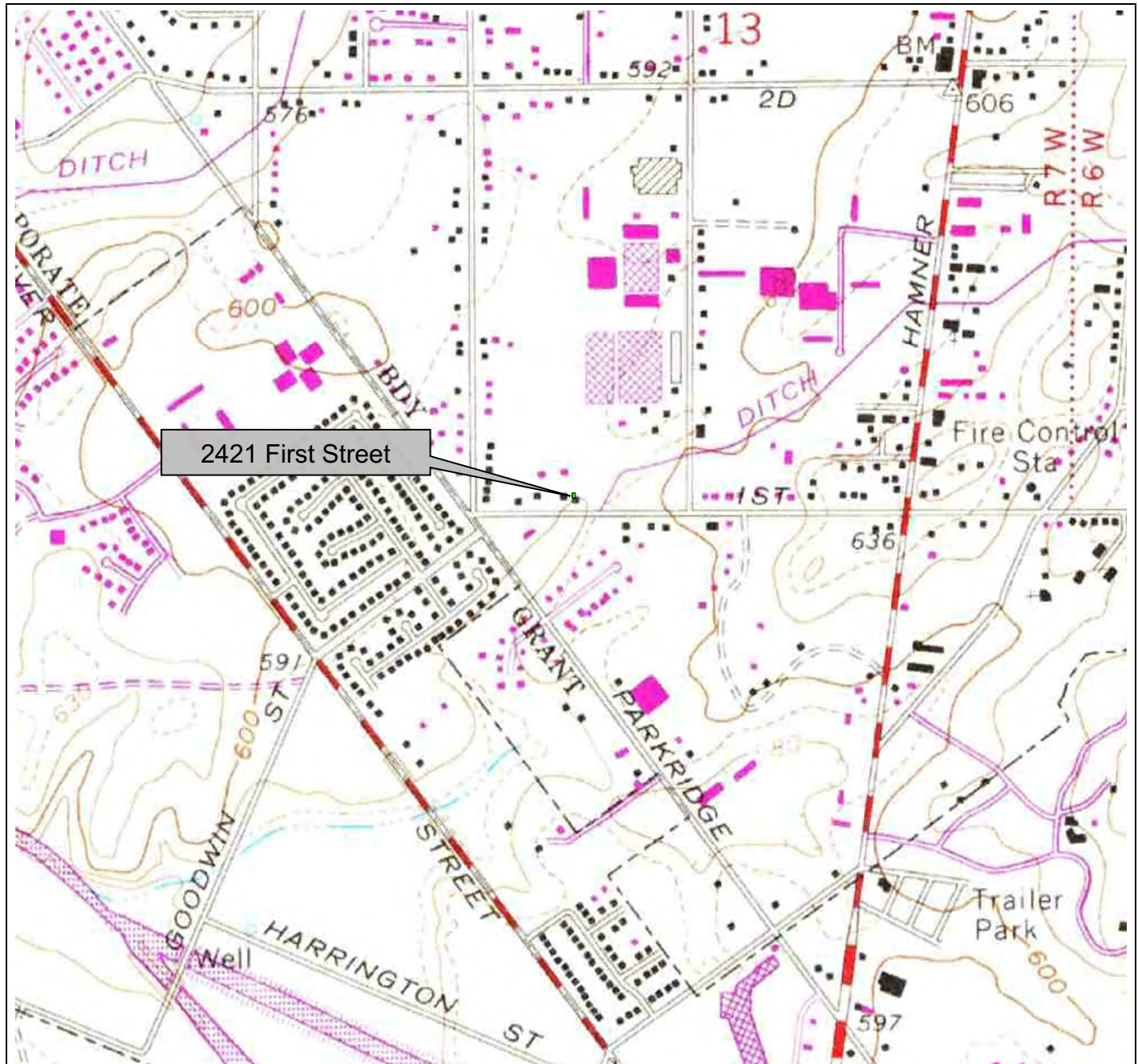
Resource Name: 2421 First Street

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # 33-019897

HRI # _____

Trinomial CA-RIV-10122NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4*Resource Name or #: (Assigned by recorder) LSA-APG1101-S-2P1. Other Identifier: None*P2. Location: ☒ Not for Publication ☐ Unrestricted *a. County Riverside & (P2b and P2c or P2d. Attach a Location Map as necessary.)*b. USGS 7.5' quad Corona North Date 1981 T 3S ; R 7W ; SE ¼ of SW ¼ of Sec 13 ; SB B.M.c. Address (formerly) 2421 First Street City Norco ZIP 92860d. UTM (Give more than one for large and/or linear resources) Zone 11 447363 mE / 3751483 mNe. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 12620024;

Access to site from Interstate 15 is via Mountain Avenue and First Street, approximately 0.6 mile west of the freeway on these roads. The resource is approximately 70 feet north of First Street.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
Concrete detached garage slab/footing and remnant of brick landscaping wall (see Archaeological Site Record for details)*P3b. Resource Attributes: (List attributes and codes) Foundations/footings (AH2)*P4. Resources Present: ☐ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.): _____

P5a. Photo or drawing (Photo required for buildings, structures, and objects.)

P5b. Description of Photo:

(View, data, accession #)

011: View west-northwest
of LSA-APG1101-S-2*P6. Date Constructed/Age and
Sources:☒ Historic ☐ Prehistoric
☐ BothDate: 1953

*P7. Owner and Address:

*P8. Recorded by: (Name,
affiliation, and address):
Riordan Goodwin
LSA Associates, Inc.
1500 Iowa Ave., Suite 200
Riverside, California 92507*P9. Date recorded: 9/26/11*P10. Survey Type: (Describe)
Intensive pedestrian
survey

*P11. Report citation: (Cite survey report and other sources or enter "none.")

Cultural Resources Assessment: Norco Ranch Commerce Park, City of Norco, Riverside County, California, 2011.

Attachments: ☐ None ☒ Location Map ☒ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☒ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record
☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (list): _____

State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

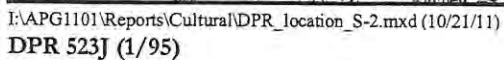
Primary # 33-019897

Trinomial CA-RIV-19122

Page 2 of 4

*Resource Name or #: (Assigned by recorder) LSA-AGP1101-S-2 (2421 1st Street)

- *A1. Dimensions (of parcel): a. Length ~310' by b. Width ~80'
Method of Measurement: Paced Taped Visual estimate X Other: Site map
Method of Determination (Check all that apply): Artifacts X Features Vegetation Soil
X Property boundary Topography Cut bank Animal burrow Excavation Other (Explain)
Reliability of determination: X High Medium Low Explain:
Limitations (Check any that apply): Restricted access Paved/built over Site limits incompletely defined Disturbance
X Vegetation Other (Explain):
- A2. Depth: <30 cm None Unknown Method of Determination: Estimate
- *A3. Human Remains: Present X Absent Possible Unknown (Explain):
- *A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Concrete slab/footing and brick wall of a detached garage (20' x 19').
- *A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None
- *A6. Were Specimens Collected? X No Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)
- *A7. Site Condition: Good Fair X Poor (Describe disturbances): No trace of residence.
- *A8. Nearest Water: (Type, distance, and direction) Ephemeral drainage approximately 40' to the east
- *A9. Elevation: Approximately 583' AMSL
- A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a rural-suburban residential neighborhood.
- A11. Historical Information: House was constructed in 1953.
- *A12. Age: Prehistoric Protohistoric 1542-1769 1769-1848 1848-1880 1880-1914
 1914-1945 X Post 1945 Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known):
- A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
This feature is almost certainly the foundation of the garage once associated with the 1953 residence that has been removed from the parcel.
- A14. Remarks: Feature is a typical example of ubiquitous, unremarkable and very recent resource: 1950s outbuilding foundations. The site represents an absolute minimum of archaeological data, does not appear to be a "historical resource" under CEQA, and its resource potential has been realized by this documentation.
- A15. References: Riverside County Assessor, Various real property tax assessment records, Book 9. 1899-1964
Wright, Stephen; Personal communication regarding the Norco Ranch, 2011
- A16. Photographs: Frames 13-15
Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507
- *A17. Form Prepared By: Riordan Goodwin Date: 9/28/11
Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # 33-019897

HRI #

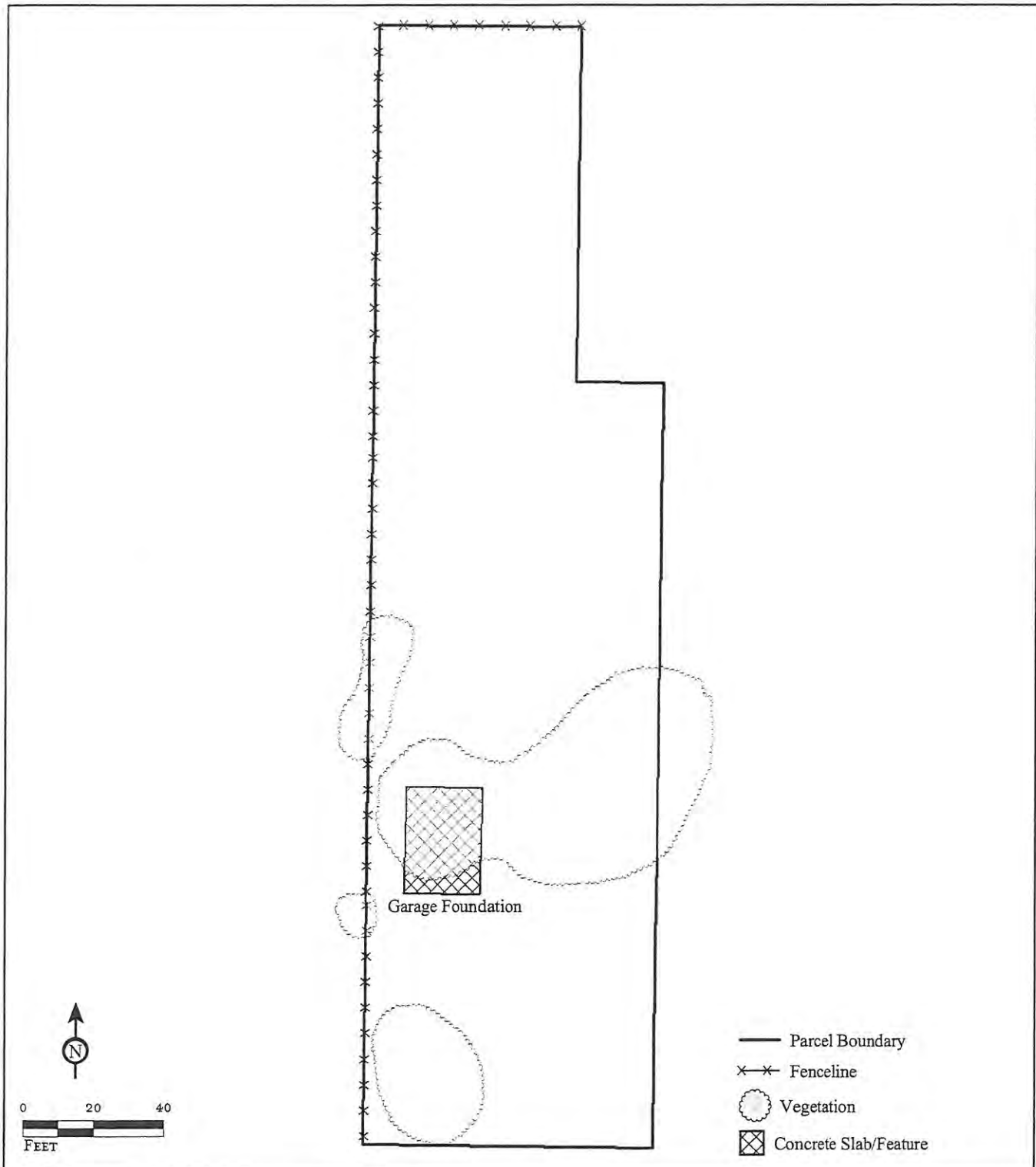
Trinomial CA-RJV-10122

Page 4 of 4

*Resource Name or # (Assigned by recorder) 33-019897 (2421 1st Street)

Drawn By: Riordan Goodwin

Date: September 15, 2011



PRIMARY RECORD

Primary # 33-19897

HRI # _____

Trinomial CA-RIV-70122NRHP Status Code 6Z

Other Listings _____

Review Code _____ Reviewer _____ Date _____

Page 1 of 4*Resource Name or #: (Assigned by recorder) LSA-APG1101-S-2P1. Other Identifier: None*P2. Location: ☒ Not for Publication ☐ Unrestricted *a. County Riverside and San Diego (P2b and P2c or P2d. Attach a Location Map as necessary.)*b. USGS 7.5' quad Corona North Date 1981 T 3S ; R 7W ; SE 1/4 of SW 1/4 of Sec 13 ; SB B.M.c. Address (formerly) 2421 First Street City Norco ZIP 92860d. UTM (Give more than one for large and/or linear resources) Zone 11 447363 mE / 3751483 mNe. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 12620024;

Access to site from Interstate 15 is via Mountain Avenue and First Street, approximately .6 miles west of the highway on these roads. The resource is approximately 70 feet north of First Street.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
Concrete detached garage slab/footing and remnant of brick landscaping wall (see Archaeological Site Record for details)*P3b. Resource Attributes: (List attributes and codes) Foundations/footings (AH2)*P4. Resources Present: ☐ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.): _____

*P5a. Photo or drawing (Photo required for buildings, structures, and objects.)

*P5b. Description of Photo: (View, data, accession #) 011: View west-northwest of LSA-APG1101-S-2*P6. Date Constructed/Age and Sources:
☒ Historic ☐ Prehistoric
☐ Both
Date: 1953

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address):
Riordan Goodwin
LSA Associates, Inc.
1500 Iowa Ave., Suite 200
Riverside, California 92507*P9. Date recorded: 9/26/11*P10. Survey Type: (Describe)
Intensive pedestrian survey

*P11. Report citation: (Cite survey report and other sources or enter "none.")

Cultural Resources Assessment: Norco Ranch Commerce Park, City of Norco, Riverside County, California, 2011.Attachments: ☐ None ☒ Location Map ☒ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record☒ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (list): _____

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SEP 28 2011

State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

Primary # CA-RIV-10 122
Trinomial

Page 2 of 4 *Resource Name or #: (Assigned by recorder) LSA-AGP1101-S-2 (2421 1st Street)

*A1. Dimensions (of parcel): a. Length ~310' by b. Width ~80'
Method of Measurement: Paced Taped Visual estimate ☒ Other: Site map
Method of Determination (Check any that apply): Artifacts ☒ Features Vegetation Soil
☒ Property boundary Topography Cut bank Animal burrow Excavation Other (Explain)

Reliability of determination: ☒ High Medium Low Explain:
Limitations (Check any that apply): Restricted access Paved/built over Site limits incompletely defined Disturbance
☒ Vegetation Other (Explain):

A2. Depth: <30 cm None Unknown Method of Determination: Estimate

*A3. Human Remains: Present ☒ Absent Possible Unknown (Explain):

*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Concrete slab/footing and brick wall of a detached garage (20' x 19').

*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None

*A6. Were Specimens Collected? ☒ No Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

*A7. Site Condition: Good Fair ☒ Poor (Describe disturbances): No trace of residence.

*A8. Nearest Water: (Type, distance, and direction) Ephemeral drainage approximately 40' to the east

*A9. Elevation: Approximately 583' AMSL

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a Rural- suburban residential neighborhood.

A11. Historical Information: House was constructed in 1953.

*A12. Age: Prehistoric Protohistoric 1542-1769 1769-1848 1848-1880 1880-1914
 1914-1945 ☒ Post 1945 Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known):

A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
This feature is almost certainly the foundation of the garage once associated with the 1953 residence that has been removed from the parcel.

A14. Remarks: Feature is a typical example of ubiquitous, unremarkable and very recent resource: 1950s outbuilding foundations. The site represents an absolute minimum of archaeological data, does not appear to be a "historical resource" under CEQA, and it's resource potential has been realized by this documentation.

A15. References: Riverside County Assessor, Various real property tax assessment records, Book 9. 1899-1964
Wright, Stephen; Personal communication regarding the Norco Ranch, 2011

A16. Photographs: Frames 13-15
Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

*A17. Form Prepared By: Riordan Goodwin Date: 9/28/11
Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

Primary # 33-19897
HRI #
Trinomial CA-RIV-10122

*Resource Name or # (Assigned by recorder) LSA-APG1101-S-2 (2421 First Street)

*Date of Map: 1981



***Required Information**

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

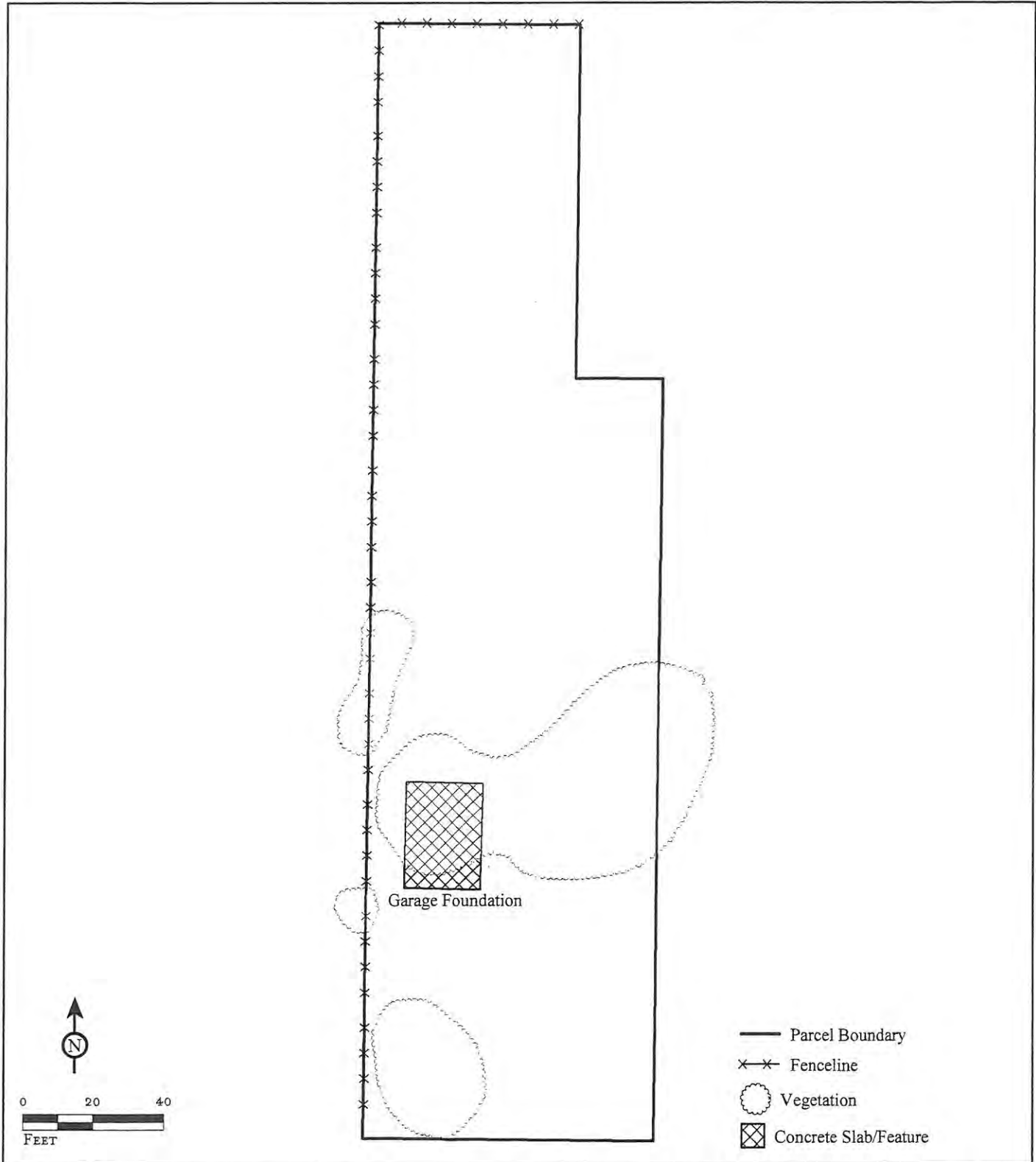
Primary # 33-19897
HRI # _____
Trinomial GA-RIV-10122

Page 4 of 4

*Resource Name or # (Assigned by recorder) LSA-APG1101-S-2 (2421 1st Street)

Drawn By: Riordan Goodwin

Date: September 15, 2011



PRIMARY RECORD

Primary#: P-33-019896

HRI#: N/A

Trinomial #: CA-RIV-10121

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2485 First Street

Page 1 of 2

P1. Other Identifier: 2485 1st Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2485 First Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447295 mE/ 3751496 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-022

***P3a. Description:**

2485 First Street was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the appearance or features of the foundations to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** AH2

***P4. Resources Present:** ☐ Building ☒ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:

View north of lot

View northeast of foundations

***P6. Date Constructed/Age and**

Source:

☒ Historic: 1960, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties

4740 Green River Road No. 118

Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC

www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019896

HRI #: N/A

Trinomial: CA-RIV-10121

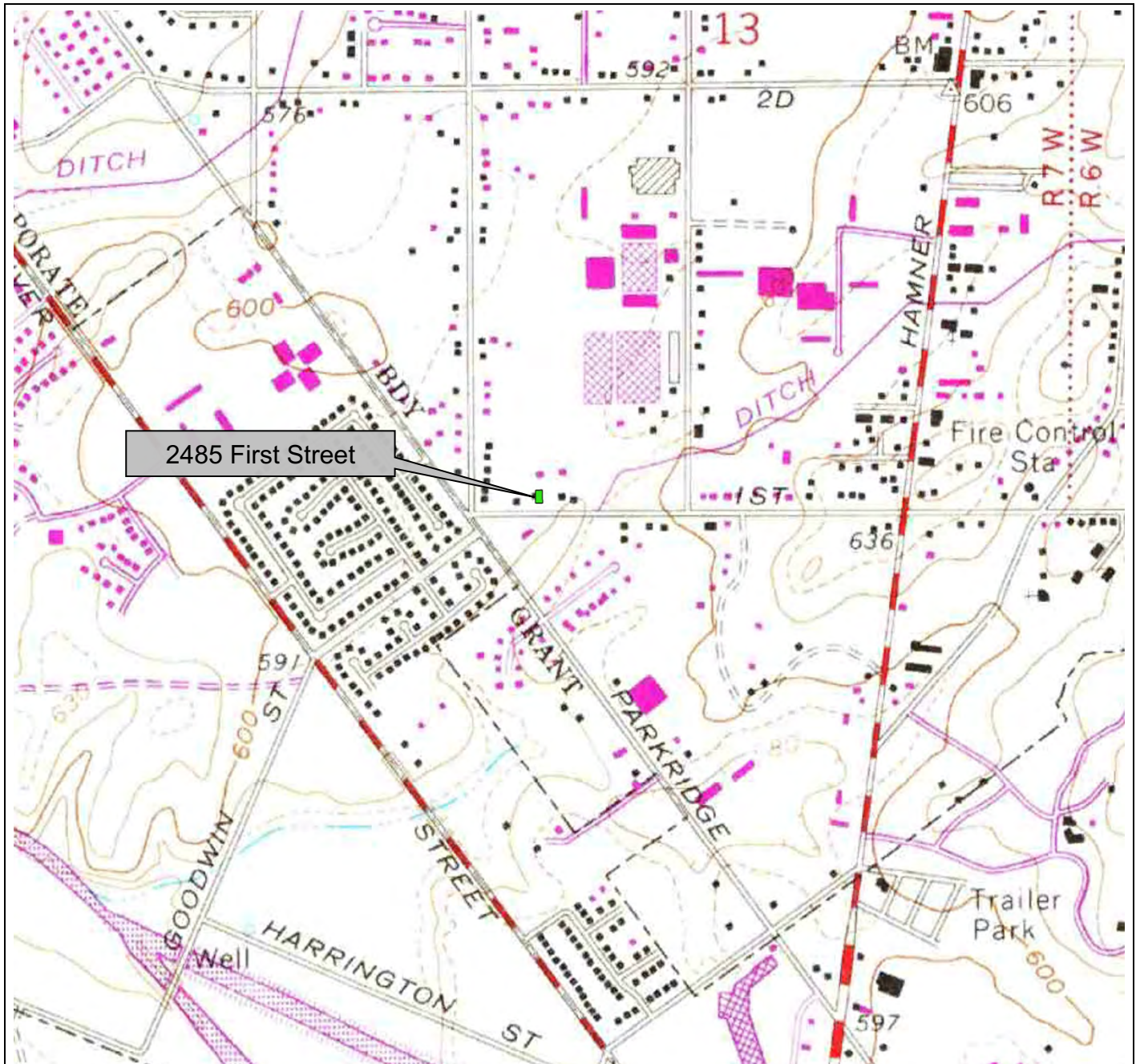
Resource Name: 2485 First Street

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



DEPARTMENT OF PARKS AND RECREATION

PRIMARY RECORD

Primary # 33-019896

HRI #

Trinomial CA-RIV-10121

NRHP Status Code 6Z

Other Listings

Review Code

Reviewer

Date

Page 1 of 4

*Resource Name or #: (Assigned by recorder) LSA-APG1101-S-1

P1. Other Identifier: Hernandez residence

*P2. Location: ☒ Not for Publication ☐ Unrestricted *a. County Riverside & (P2b and P2c or P2d. Attach a Location Map as necessary.)*b. USGS 7.5' quad Corona North Date 1981 T 3S ; R 7W ; SE ¼ of SW ¼ of Sec 13 ; SB B.M.c. Address (formerly) 2485 First Street City Norco ZIP 92860d. UTM (Give more than one for large and/or linear resources) Zone 11 447282 mE / 3751495 mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 12620022;

Access to site from Interstate 15 is via Mountain Avenue and First Street, approximately 0.6 mile west of the freeway on these roads. The resource is approximately 30 feet north of First Street.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
A group of residential concrete footings and slabs (see Archaeological Site Record for details)*P3b. Resource Attributes: (List attributes and codes) Foundations/footings (AH2)*P4. Resources Present: ☐ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

P5a. Photo or drawing (Photo required for buildings, structures, and objects.)

P5b. Description of Photo:
(View, data, accession #)
011: View northeast of
LSA-APG1101-S-1

*P6. Date Constructed/Age and Sources:

☒ Historic ☐ Prehistoric
☐ BothDate: 1960

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address):
Riordan Goodwin
LSA Associates, Inc.
1500 Iowa Ave., Suite 200
Riverside, California 92507*P9. Date recorded: 9/25/11*P10. Survey Type: (Describe)
Intensive pedestrian survey

*P11. Report citation: (Cite survey report and other sources or enter "none.")

*Cultural Resources Assessment Norco Ranch Commerce Park, City of Norco, Riverside County, California. 2011.*Attachments: ☐ None ☒ Location Map ☒ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record☒ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (list):

State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

Primary # 33-019896

Trinomial CA-RIV-10121

Page 2 of 4 *Resource Name or #: (Assigned by recorder) LSA-AGP1101-S-1 (2485 1st Street)

*A1. Dimensions (of parcel): a. Length ~360' by b. Width ~80'
Method of Measurement: Paced Taped Visual estimate X Other: Site map
Method of Determination (Check all that apply): Artifacts X Features Vegetation Soil
X Property boundary Topography Cut bank Animal burrow Excavation Other (Explain)
Reliability of determination: X High Medium Low Explain:
Limitations (Check any that apply): Restricted access Paved/built over Site limits incompletely defined Disturbance
 Vegetation Other (Explain):

A2. Depth: <30 cm None Unknown Method of Determination: Estimate

*A3. Human Remains: Present X Absent Possible Unknown (Explain):

*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Contiguous concrete footing wall and slabs of residence (~100' x 70'), along with an outlying concrete footing (~20 x ~10)

*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None

*A6. Were Specimens Collected? X No Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

*A7. Site Condition: Good X Fair Poor (Describe disturbances):

*A8. Nearest Water: (Type, distance, and direction) Ephemeral drainage approximately 400' to the east

*A9. Elevation: Approximately 580' AMSL

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a Rural- suburban residential neighborhood.

A11. Historical Information: Property was acquired by Eisen family and residence formerly on site was occupied by the Hernandez family, who worked at the nearby Norco Ranch and for the Eisens. House was demolished in late 1990s.

*A12. Age: Prehistoric Protohistoric 1542-1769 1769-1848 1848-1880 1880-1914
 1914-1945 X Post 1945 Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known):

A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
1960s house foundations.

A14. Remarks: Features are a typical example of ubiquitous, unremarkable and very recent resource: 1960s house and associated outbuilding foundations. The site represents a minimum of archaeological data, does not appear to be a "historical resource" under CEQA, and its resource potential has been realized by this documentation.

A15. References: Cramer, Mary; Personal communication regarding 2458 1st Street.
Riverside County Assessor, Various real property tax assessment records, Book 9. 1899-1964
Wright, Stephen; Personal communication regarding the Norco Ranch, 2011

A16. Photographs: Frames 54-60
Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

*A17. Form Prepared By: Riordan Goodwin Date: 9/2/11
Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

State of California - Resource Agency
DEPARTMENT OF PARKS AND RECREATION
LOCATION MAP

Primary # 33-019896
HRI #
Trinomial CA-RIV-10121

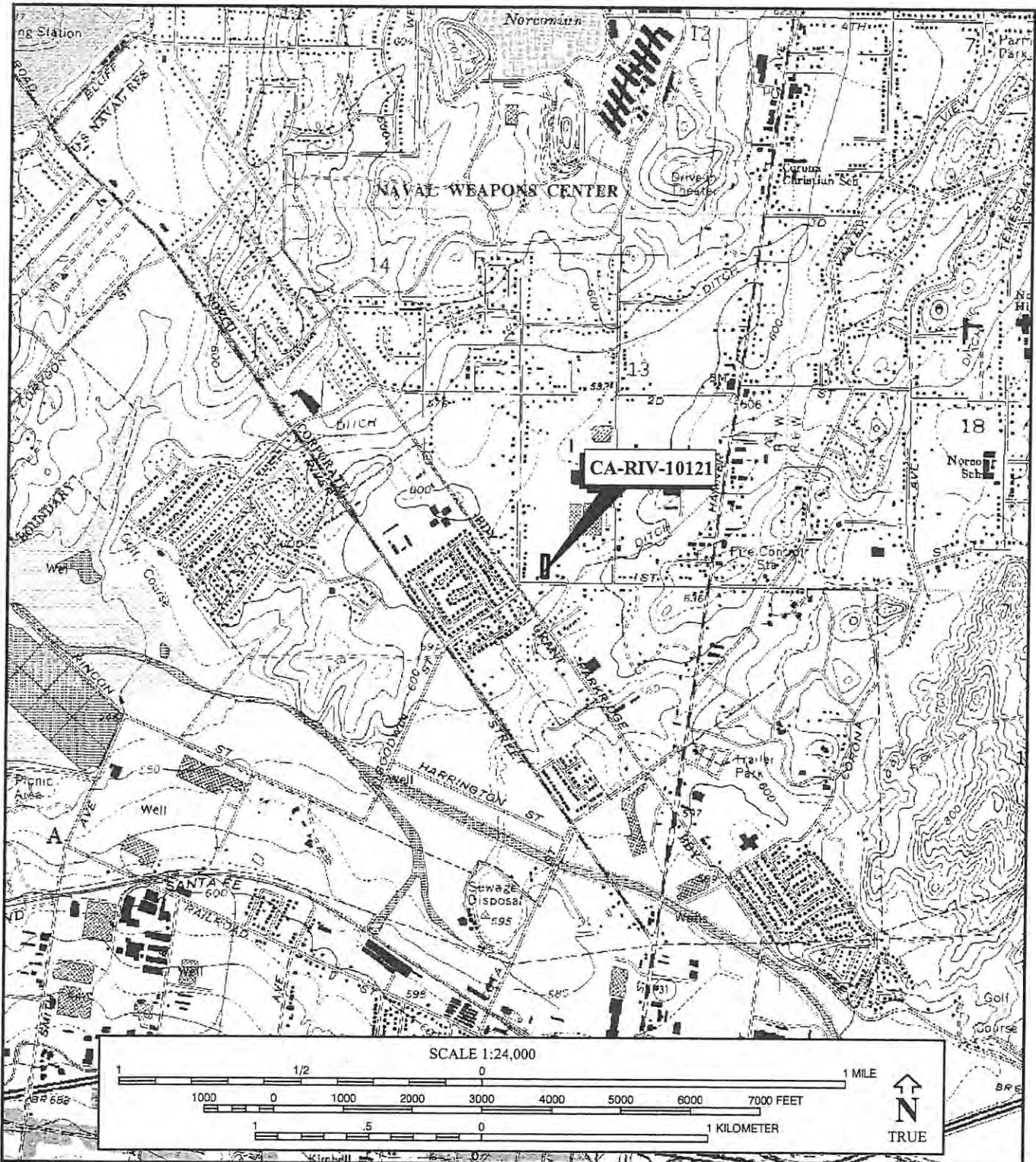
Page 3 of 4

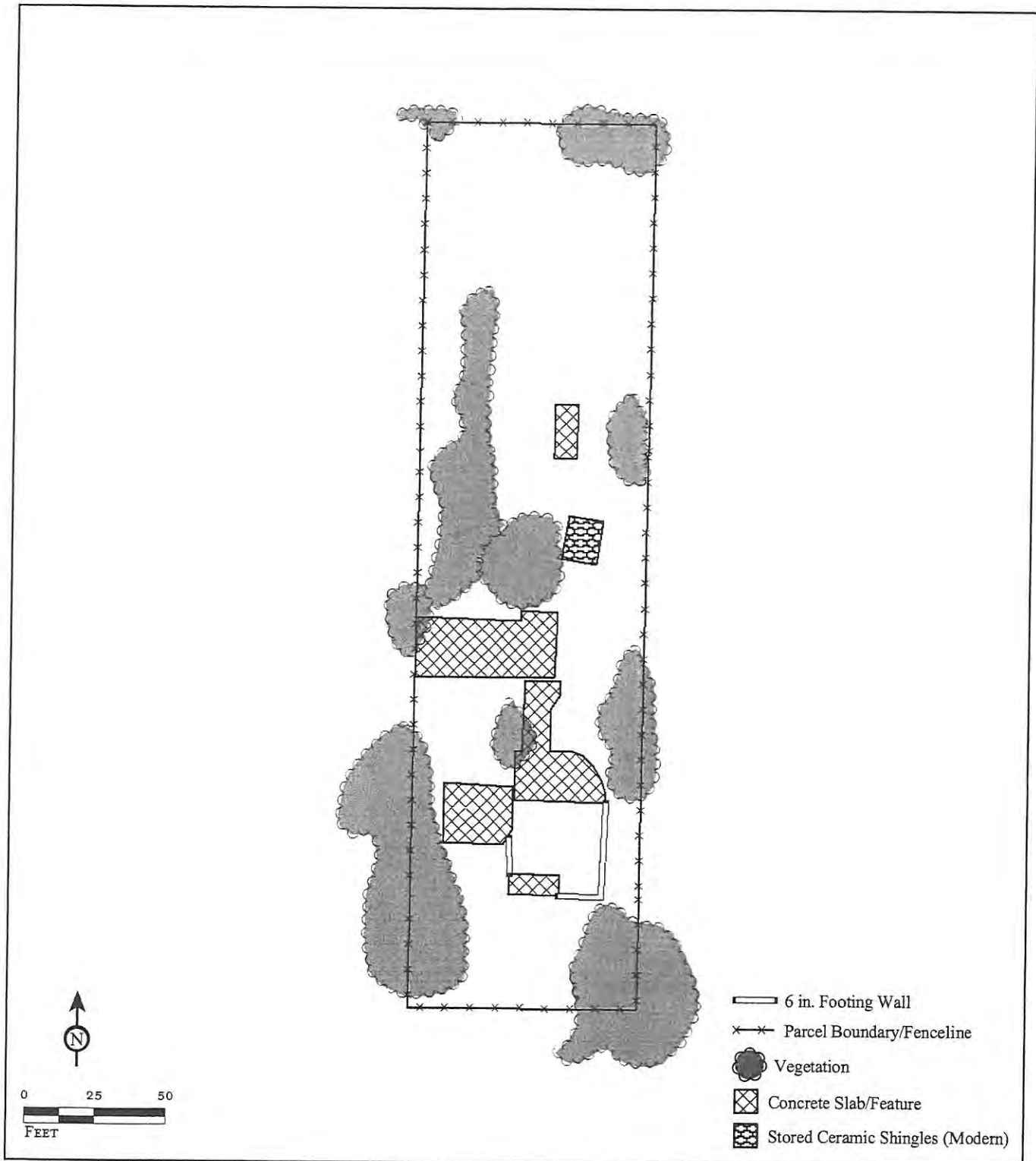
*Resource Name or # (Assigned by recorder) 33-019896 (2485 First Street)

*Map Name: USGS 7.5' Quad, Corona North, California

*Scale: 1:24000

*Date of Map: 1981





PRIMARY RECORD

Primary # 3-19896

HRI # _____

Trinomial CA-RIV-10121NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4*Resource Name or #: (Assigned by recorder) LSA-APG1101-S-1P1. Other Identifier: Hernandez residence*P2. Location: ☒ Not for Publication ☐ Unrestricted *a. County Kern and (P2b and P2c or P2d. Attach a Location Map as necessary.)*b. USGS 7.5' quad Corona North Date 1981 T 3S ; R 7W ; SE 1/4 of SW 1/4 of Sec 13 ; SB B.M.c. Address (formerly) 2485 First Street City Norco ZIP 92860d. UTM (Give more than one for large and/or linear resources) Zone 11 447282 mE / 3751495 mNe. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 12620022;

Access to site from Interstate 15 is via Mountain Avenue and First Street, approximately .6 miles west of the highway on these roads. The resource is approximately 30 feet north of First Street.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
A group of residential concrete footings and slabs (see Archaeological Site Record for details)*P3b. Resource Attributes: (List attributes and codes) Foundations/footings (AH2)*P4. Resources Present: ☐ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.): _____

P5a. Photo or drawing (Photo required for buildings, structures, and objects.)

P5b. Description of Photo: (View, data, accession #) 011: View northeast of LSA-APG1101-S-1

*P6. Date Constructed/Age and Sources:

☒ Historic ☐ PrehistoricBoth
Date: 1960

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address):
Riordan Goodwin
LSA Associates, Inc.
1500 Iowa Ave., Suite 200
Riverside, California 92507*P9. Date recorded: 9/25/11*P10. Survey Type: (Describe)
Intensive pedestrian survey

*P11. Report citation: (Cite survey report and other sources or enter "none.")

Cultural Resources Assessment Norco Ranch Commerce Park, City of Norco, Riverside County, California. 2011.Attachments: ☐ None ☒ Location Map ☒ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record☒ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (list): _____

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State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

Primary # 33-19896
Trinomial CA-RIV-70121

Page 2 of 4 *Resource Name or #: (Assigned by recorder) LSA-AGP1101-S-1 (2485 1st Street)

*A1. Dimensions (of parcel): a. Length ~360' by b. Width ~80'
Method of Measurement: Paced Taped Visual estimate X Other: Site map

Method of Determination (Check any that apply): Artifacts X Features Vegetation Soil

X Property boundary Topography Cut bank Animal burrow Excavation Other (Explain)

Reliability of determination: X High Medium Low Explain:

Limitations (Check any that apply): Restricted access Paved/built over Site limits incompletely defined Disturbance

 Vegetation Other (Explain):

A2. Depth: <30 cm None Unknown Method of Determination: Estimate

*A3. Human Remains: Present X Absent Possible Unknown (Explain):

*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Contiguous concrete footing wall and slabs of residence (~100' x 70'), along with an outlying concrete footing (~20 x ~10)

*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None

*A6. Were Specimens Collected? X No Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

*A7. Site Condition: Good X Fair Poor (Describe disturbances):

*A8. Nearest Water: (Type, distance, and direction) Ephemeral drainage approximately 400' to the east

*A9. Elevation: Approximately 580' AMSL

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a Rural- suburban residential neighborhood.

A11. Historical Information: Property was acquired by Eisen family and residence formerly on site was occupied by the Hernandez family, who worked at the nearby Norco Ranch and for the Eisens. House was demolished in late 1990s.

*A12. Age: Prehistoric Protohistoric 1542-1769 1769-1848 1848-1880 1880-1914
 1914-1945 X Post 1945 Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known):

A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
1960s house foundations.

A14. Remarks: Features are a typical example of ubiquitous, unremarkable and very recent resource: 1960s house and associated outbuilding foundations. The site represents a minimum of archaeological data, does not appear to be a "historical resource" under CEQA, and it's resource potential has been realized by this documentation.

A15. References: Cramer, Mary; Personal communication regarding 2458 1st Street.
Riverside County Assessor, Various real property tax assessment records, Book 9. 1899-1964
Wright, Stephen; Personal communication regarding the Norco Ranch, 2011

A16. Photographs: Frames 54-60
Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

*A17. Form Prepared By: Riordan Goodwin Date: 9/2/11
Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

State of California - Resource Agency
DEPARTMENT OF PARKS AND RECREATION
LOCATION MAP

Primary # 33-19896

HRI #

Trinomial SA-RIV-70 12 11

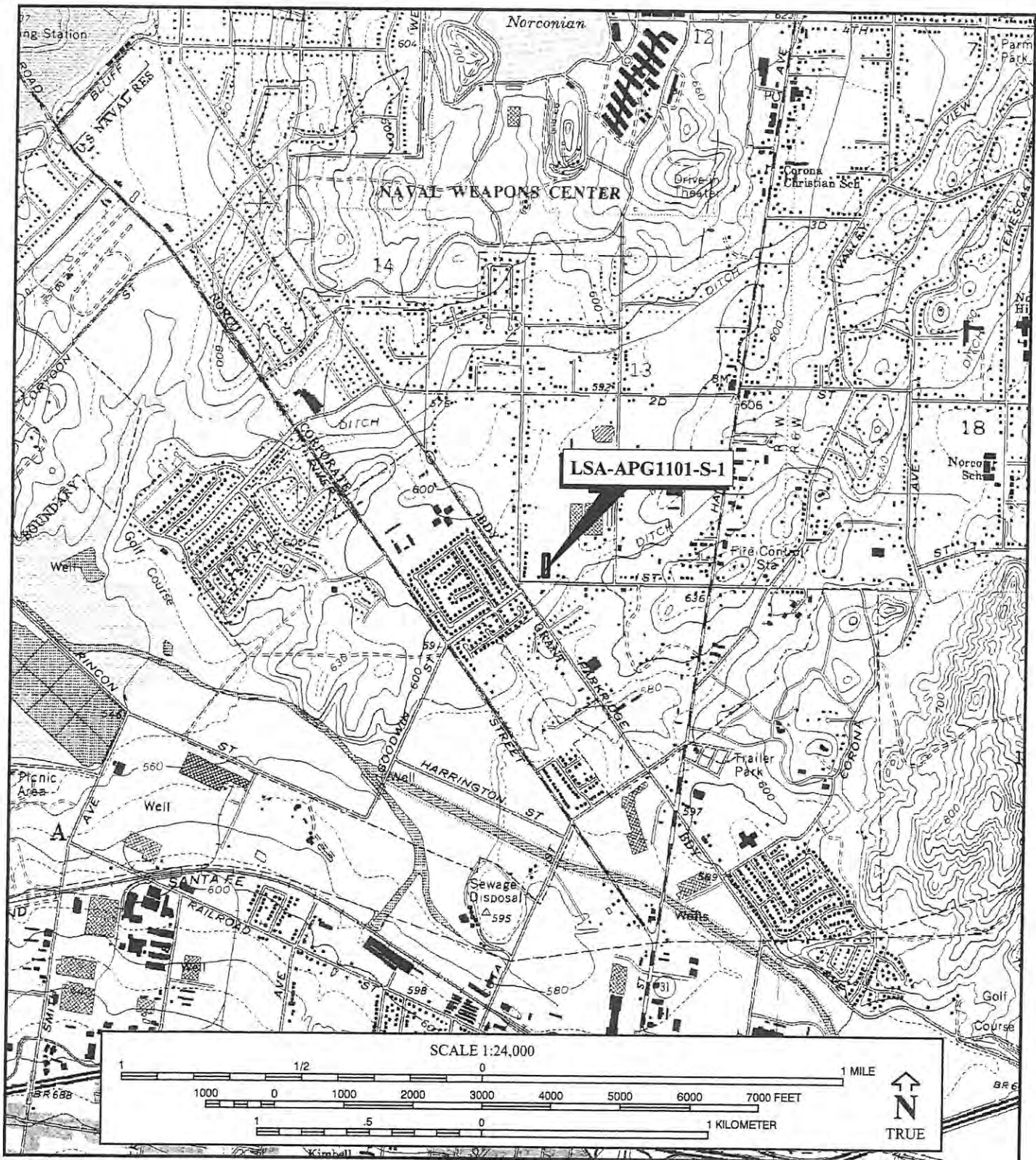
Page 3 of 4

*Resource Name or # (Assigned by recorder) LSA-APG1101-S-1 (2485 First Street)

*Map Name: USGS 7.5' Quad, Corona North, California

*Scale: 1:24000

*Date of Map: 1981



I:\APG1101\Reports\Cultural\DPR_location_S-1.mxd (9/2/11)

DPR 523J (1/95)

*Required Information

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

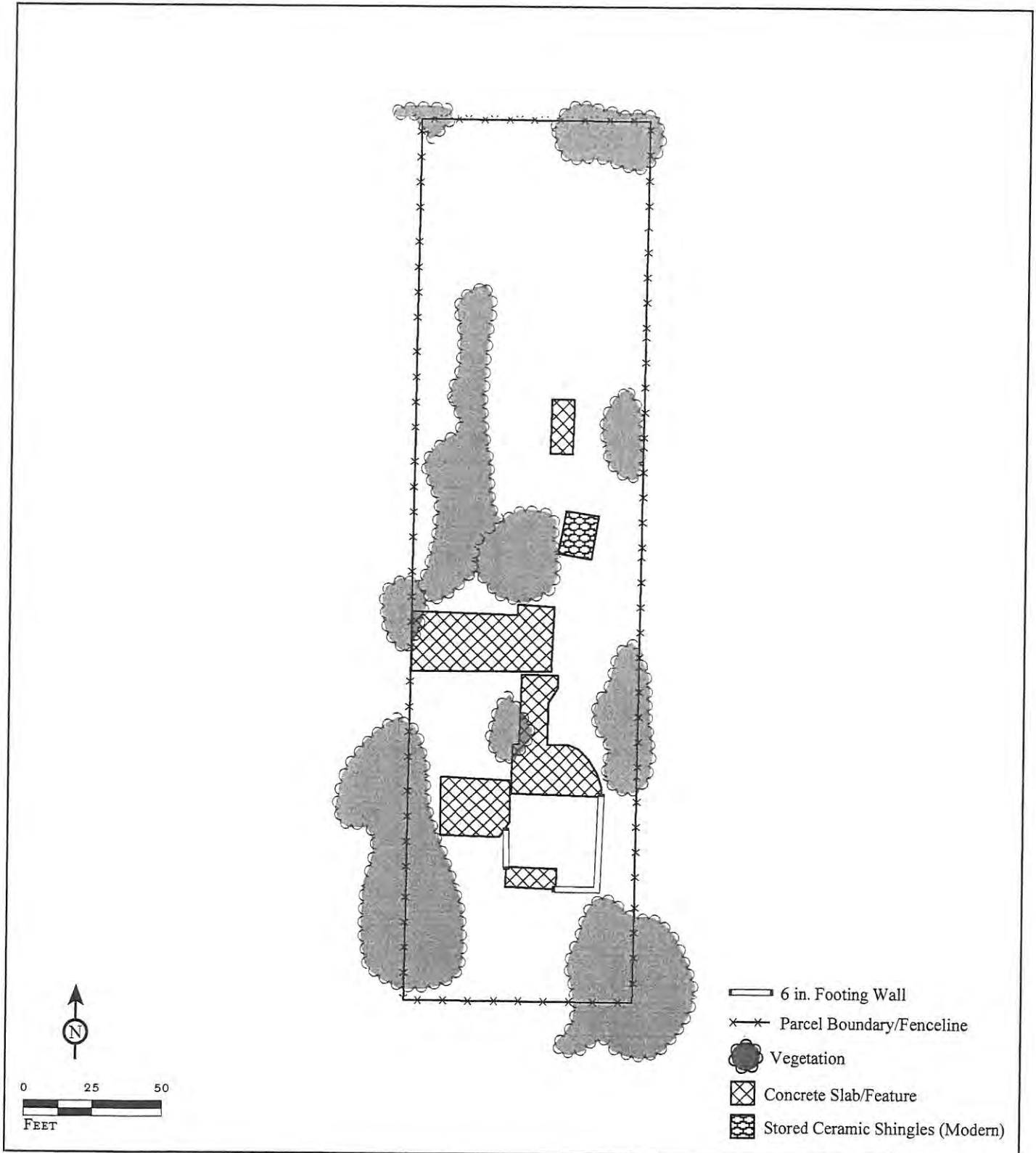
Primary # 33-19896
HRI # _____
Trinomial CA-RIV-70 12 11

Page 4 of 4

*Resource Name or # (Assigned by recorder) LSA-APG1101-S-1 (2485 1st Street)

Drawn By: Riordan Goodwin

Date: August 30, 2011



PRIMARY RECORD

Primary#: P-33-019901

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2138 Second Street

Page 1 of 2

P1. Other Identifier: 2138 2nd Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2138 Second Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447644 mE/ 3752238 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-210-001

***P3a. Description:**

2138 Second Street was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View southwest of north and east elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1924, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019901

HRI #: N/A

Trinomial: N/A

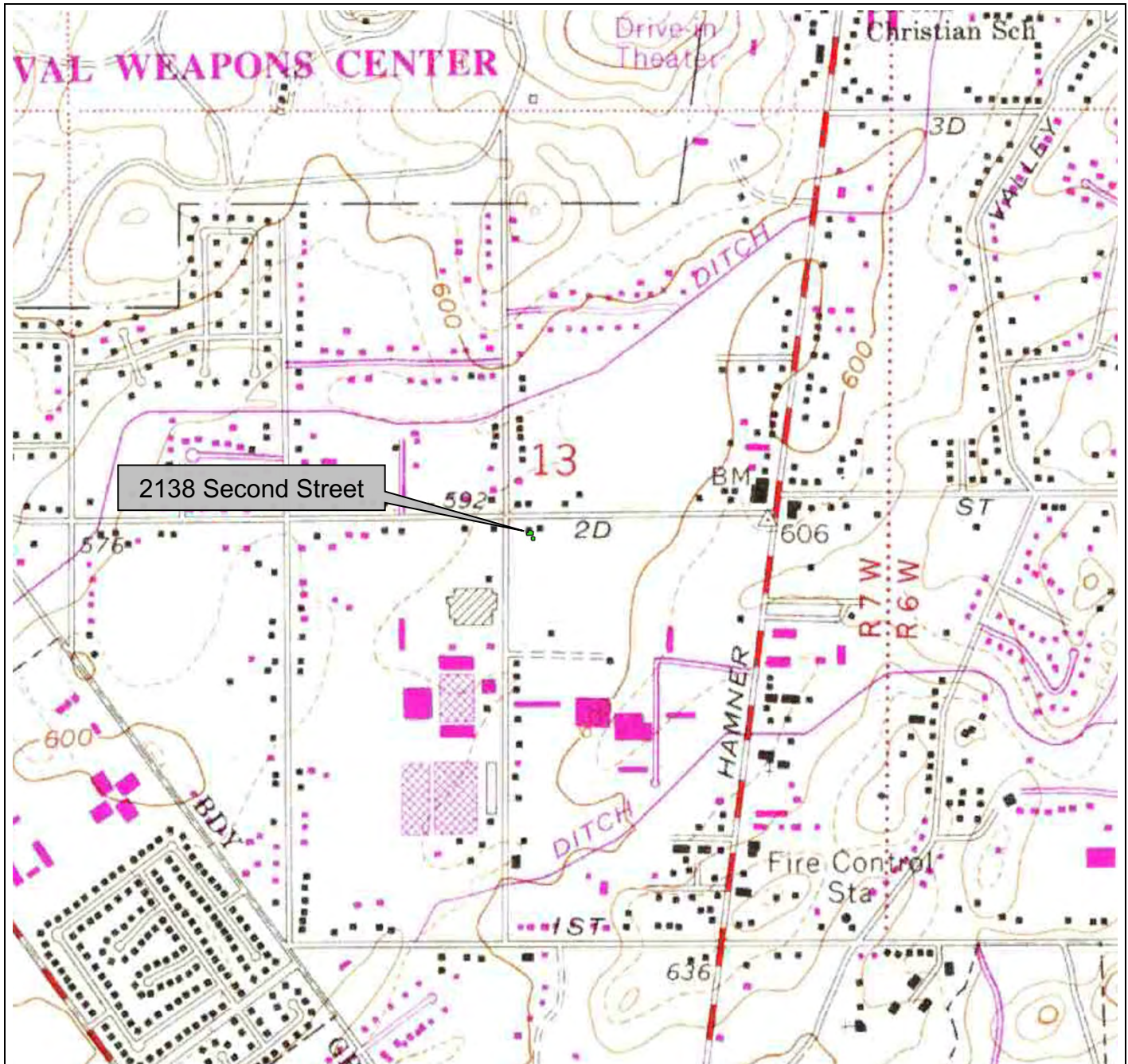
Resource Name: 2138 Second Street

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 125 250 500 Feet



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019901

HRI # _____

Trinomial _____

NRHP Status Code 6L

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 7

Resource Name or #: 2138 Second Street

P1. Other Identifier: _____

***P2. Location:** ☐ Not for Publication ☒ Unrestricted ***a. County:** Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Corona North **Date:** 1967 PR 1981 **T** 3S ; **R** 7W ; **S.B.B.M.**

c. Address: 2138 Second Street **City:** Norco **Zip:** 92860

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) **APN:** 126210001; located on the southeast corner of Second Street and Mountain Avenue

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story vernacular farm cottage rests on a raised concrete foundation and is surmounted by a moderately-pitched side-gabled roof sheathed with composition shingles. It has narrow eaves and exposed rafter tails. The exterior walls are clad with stucco, but the north-facing façade has combination of board-and-batten siding, stucco, and brick veneer. The stucco and brick are in the recessed entry area along with a modern, east-facing door and what appears to be a multi-paned casement window. The façade also includes four multi-paned, wood-framed double-hung windows and several horizontal-rectangular vents along the bottom of the wall. Other fenestration consists of wood-framed double-hungs. The small wing on the east side of the residence appears to be a later addition as does the detached two-car garage, which is located southeast of the residence. The residence is in fair condition, but has been altered (wall cladding, door, and addition) and retains only a fair degree of integrity.

***P3b. Resource Attributes:** (List attributes and codes) HP2 – Single family residence

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) **Façade, view to the south (6/27/11)**

***P6. Date Constructed/Age and Sources:** ☒ Historic

☐ Prehistoric ☐ Both

1924 (Riverside County Assessor's Office)

***P7. Owner and Address:**

H & H Properties

***P8. Recorded by:** (Name, affiliation, and address)

Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**

August 2011

***P10. Survey Type:** (Describe): Intensive CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

***Attachments:** ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 7

*NRHP Status Code 6L

*Resource Name or # (Assigned by recorder) 2138 Second Street

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)

Originally constructed in 1924

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

Detached garage

Concrete shed slab, concrete box reservoir, and standpipe stub (refer to ASR)

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: _____ Area: City of Norco

Period of Significance: 1924

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Historic Context. Rex Clark and his North Corona Land Company were responsible for expanding on the earlier Citrus Belt Land Company development efforts. Depending heavily on his wife's inheritance, Clark engaged in land speculation and devoted considerable time to the creation of the town of Norco and the opulent Norconian Resort Supreme. In 1920, an article in the *Corona Daily Independent* reported that Clark had bought 800 acres of land formerly held by the Citrus Belt Land Company with the intention of making extensive improvements to it. Two years later, Clark was selling mortgage bonds and installing major improvements, spending \$75,000 to install wells, lay a steel pipe irrigation system, plant orchards, and purchase a concrete pipe making machine. By 1923, Riverside County Assessor's rolls reflect that the North Corona Land Company had assumed ownership of many of the vacant lots in the original Orchard Heights Tracts and the vast majority of the vacant acreage north and east of these tracts. Between 1923 and 1926, the area north of Orchard Heights was subdivided into the Norco (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Corona Daily Independent

1920 "Pasadena Man Buys Over Eight Hundred Acres in Orchard Heights: Will Develop Property at Once," October 29.

1926 "Norco Project Explained by Rex Clark to Rotarians," April 9.

Riverside County Assessor

1920–1925 Real property tax assessment records, Book 18. Microfiches on file, Riverside County Assessor's Office, Riverside.

1926–1931 Real property tax assessment records, Book 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

1932–1935 Real property tax assessment records, Book 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

1936–1941; 1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019901

HRI # _____

Trinomial _____

Page 3 of 7

*Resource Name or #: (Assigned by recorder) 2138 Second Street

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

P5a. Photo or Drawing (Continued from page 1)



Façade and garage, view to the southwest (6/27/11)



West and south elevations, view to the northeast (6/27/11)

***B10. Significance:** (Continued from page 2)

Farms Tracts #1–5. This area would become the core of the new community that Rex Clark named "Norco," a contraction of his company's name, the North Corona Land Company.

Clark's approach to the development of his lands was entirely different from the approach taken by the Citrus Belt Land Company. Clark's vision for Norco was that of a self-contained community with its own village-like town center, commercial uses, a school, and manufacturing businesses. His idea was to base the town's economy on small, self-sustaining farms and ranches, and to supply the town's farmers and ranchers with just about everything they would need to carry on the activities of their daily lives and farming businesses.

In the town center, Clark built a school, a general store, a pavilion, a gasoline station, and an auto repair garage. North and northeast of the town center, he built a manufacturing complex to make and supply the materials necessary to build the town and operate its farms. In many respects Norco was a kind of "company town." The North Corona Land Company owned all of the business and manufacturing uses for the first several years of the community's existence. Clark insisted that all the essential services to support Norco be in place before the town's grand opening on May 13, 1923.

Clark's Norco Farms capitalized on a trend to get "back to the soil" that emerged in the 1920s and continued through the Depression years of the 1930s. According to Clark and the North Corona Land Company, buying a five-acre Norco Farm was the equivalent of buying your family's freedom. By the late 1920s, over 400 families had purchased their 5-acre portion of Rex Clark's growing, agrarian utopia.

(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019901

HRI # _____

Trinomial _____

Page 4 of 7

*Resource Name or #: (Assigned by recorder) 2138 Second Street

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

***B10. Significance:** (Continued from page 3)

While most of the development during the 1920s occurred in the Norco Farms lots north of the project area, the North Corona Land Company continued to slowly sell its holdings in the original Orchard Heights tracts. Between 1926 and 1945, the company sold three of the 18 lots it owned in what was originally called the Orange Heights Tract #1 (the area encompassing the current project area). While the North Corona Land Company was not very active the area, the former Orange Heights Tract #1 did see significant development during this time period: the number of lots with structural improvements increased by 65% between 1926 and 1945. Orchard Heights also saw itself transformed from an isolated subdivision into the southern extent of an agricultural community, complete with improved roads, a town site, general store, school, post office, and small manufacturing center.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with the North Corona Land Company period (1923-1928) of development in Norco's early history. It was during this time that Rex Clark built the town center and provided nearly everything necessary for people to establish the agrarian lifestyle promoted by his marketing program. However, as one of more than 60 remaining in the City from this period, this somewhat altered residence does not any more representative of this period than many others in the City. Therefore, it does not appear to be significant under this criterion.

Under CRHR criterion 2, during the historic period (pre-1962) the residence was owned by Walker N. Wright from as early as 1926 to 1938), Walker M. and Ruth Wright (1939-1948), Roy E. and Carrier R. Orr (1949-1957), William and Dorothy Haas (1958-1960) and Harry and Hilda Eisen (1961-present). Although the property is owned by the Eisens, who are important in local history for their association with the Norco Egg Ranch, no evidence was found indicating that any of the people who actually lived in the residence are important figures in history. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 3, this altered vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, although associated with an important period in Norco's history, this altered residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the residence conveys its association with the 1920s and the North Corona Land Company era although it has sustained alterations. Because there are better examples of buildings from this period in the City, this residence does not appear to be significant under this criterion. However, it does warrant special consideration in planning. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this altered vernacular residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA. However, it does warrant special consideration in planning as a fairly intact residence from the North Corona Land Company era.

State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

Primary # 33-019901

Trinomial

Page 5 of 7 *Resource Name or #: (Assigned by recorder) 2138 Second Street

*A1. Dimensions (of parcel): a. Length ~750' by b. Width ~370'
Method of Measurement: Paced Taped ☒ Visual estimate ☒ Other: Site map/historic aerials

Method of Determination (Check all that apply): Artifacts ☒ Features Vegetation Soil

Property boundary Topography Cut bank Animal burrow Excavation ☒ Other (Explain) Parcel boundary

Reliability of determination: ☒ High Medium Low Explain:

Limitations (Check any that apply): Restricted access Paved/built over Site limits incompletely defined Disturbance

☒ Vegetation Other (Explain):

A2. Depth: <60 cm None Unknown Method of Determination: Features estimated to be more than 24' deep.

*A3. Human Remains: Present ☒ Absent Possible Unknown (Explain):

*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Concrete shed slab (~47' x 16'), concrete box reservoir (25' x 11' x 5'tall; 6" thick walls) and standpipe stub (3' in diameter).

*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None

*A6. Were Specimens Collected? ☒ No Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

*A7. Site Condition: Good ☒ Fair Poor (Describe disturbances):

*A8. Nearest Water: (Type, distance, and direction) Drainage ditch approximately 1,000' to the north.

*A9. Elevation: Approximately 598' AMSL

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a rural-suburban residential neighborhood.

A11. Historical Information: Residence was constructed in 1924, and agricultural activities are conspicuous on the parcel during the late 1930s.

*A12. Age: Prehistoric Protohistoric 1542-1769 1769-1848 1848-1880 1880-1914
☒ 1914-1945 Post 1945 Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known):

A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
Slab had a shed constructed on it by the late 1930s that appears to have been removed sometime prior to 1994. Age of concrete reservoir and standpipe are indeterminate, and they may pre-date the residence.

A14. Remarks: Features are a typical example of ubiquitous, unremarkable resources: remnants of outbuilding and water conveyance features potentially associated with a historic residence. The features represent a minimum of archaeological data, do not appear to be a "historical resource" under CEQA, nor contribute to the residential building's significance. Their resource potential has been realized by this documentation.

A15. References: Aerial Photographs, 1938, 1953, 1968, 1994 from AMI, USDS and Teledyne via GeoSearch
Riverside County Assessor, Various real property tax assessment records, Book 9. 1899-1964

A16. Photographs: Frames 1-2; 14-17

Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

*A17. Form Prepared By: Riordan Goodwin Date: 9/12/11

Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

CONTINUATION SHEET

Primary # 33-019901

HRI # _____

Trinomial _____

Page 6 of 7

*Resource Name or #: (Assigned by recorder) 2138 Second Street

*Recorded by Riordan Goodwin

*Date: August 2011

X

Continuation

Update



View southwest of concrete box reservoir and garage.



View east of shed slab.



View north of concrete standpipe stub.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # 33-019901

HRI #

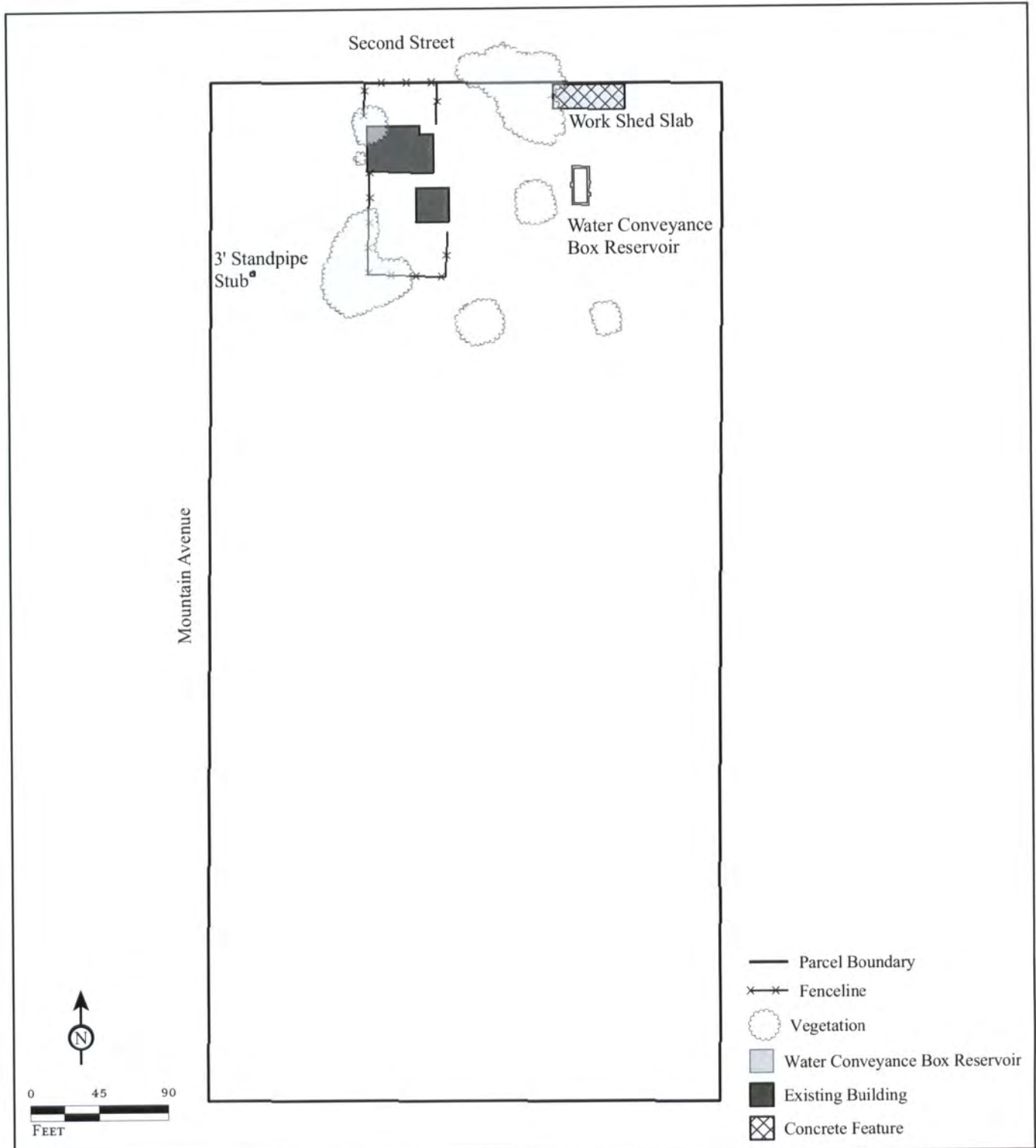
Trinomial

Page 7 of 7

*Resource Name or # (Assigned by recorder) 33-019901 (2138 Second Street)

Drawn By: Riordan Goodwin

Date: August 30, 2011



PRIMARY RECORD

Primary#: P-33-019937

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1661 Mountain Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M. _____

c. Address: 1661 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447637 mE/ 3751869 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-210-010

***P3a. Description:**

1661 Mountain Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:

View northeast of west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: Circa 1948, Previous Documentation (2011)

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019937

HRI #: N/A

Trinomial: N/A

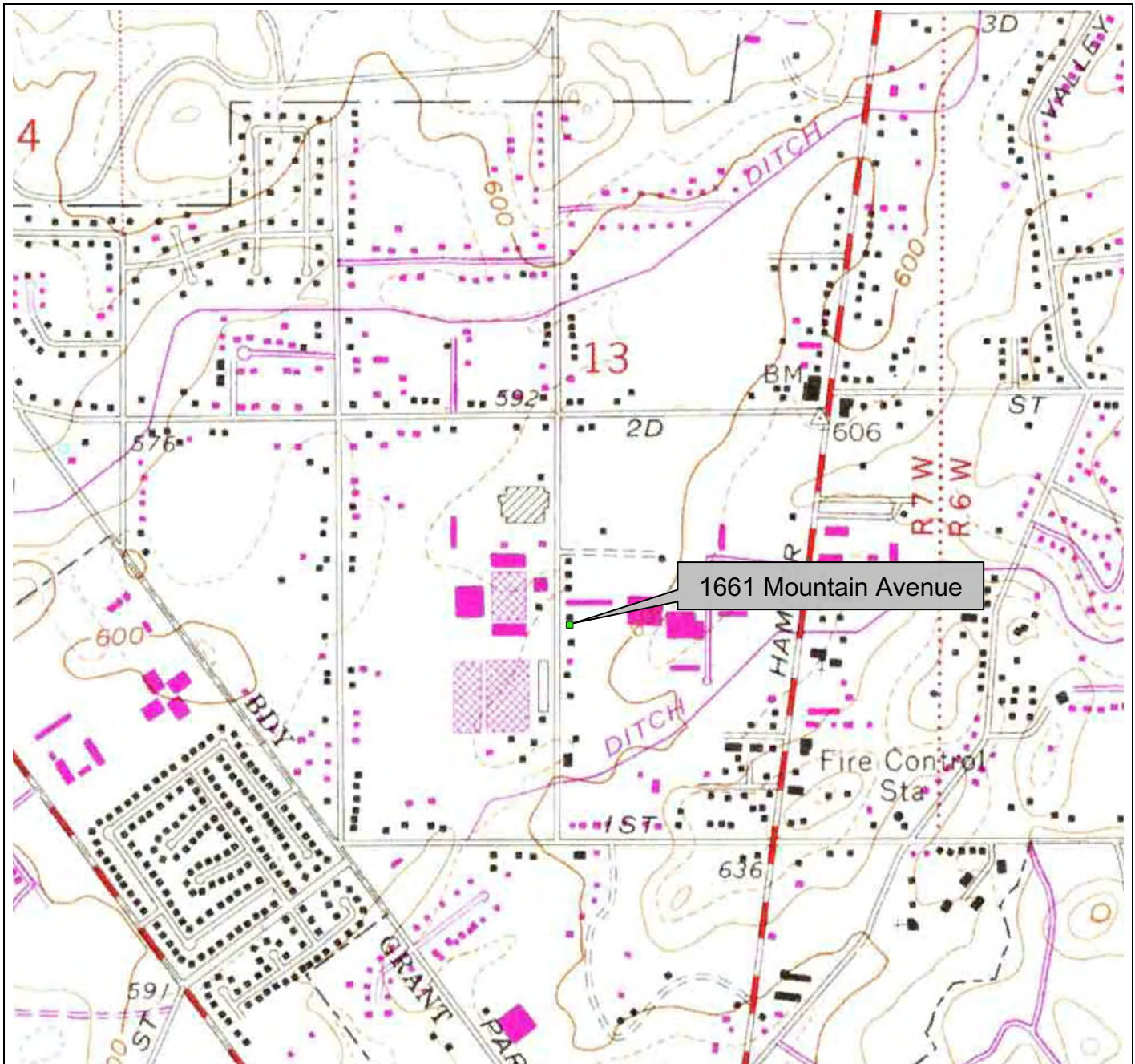
Resource Name: 1661 Mountain Avenue

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019937

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: 1661 Mountain Avenue

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S; R 7W; S.B.B.M.

c. Address: 1661 Mountain Avenue

City: Norco

Zip: 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126210010; located on the east side of Mountain Avenue between First and Second Streets

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This vernacular farm cottage is obscured from view from the public right-of-way by fencing and vegetation. It rests on a concrete foundation and is surmounted by a low-pitched, side-gable roof. It has narrow eaves and the exterior walls are clad with clapboard siding. The west-facing façade features a full-width open veranda sheltered by a roof supported by wood posts. The façade also includes a door, wood-framed double-hung windows, and what appears to be a vinyl-framed ribbon window. Other visible windows are wood-framed double-hungs. There appears to be some additions to the side and rear of the residence, which is in fair condition and retains a low-to-fair degree of integrity. A large, gable-roofed, metal shed is located northeast of the residence and another metal shed is located behind the residence.

*P3b. Resource Attributes: (List attributes and codes) HP2-Single-family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Façade and part of the north elevation, view to the southeast (8/23/11)

*P6. Date Constructed/Age and Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1948 (based on aerial photographs)

*P7. Owner and Address:

H&H Properties

*P8. Recorded by: (Name,

affiliation, and address)

Casey Tibbet, M.A.

LSA Associates, Inc.

1500 Iowa Avenue, Suite 200

Riverside, CA 92507

*P9. Date Recorded:

August 2011

*P10. Survey Type: (Describe)

Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☐ Location Map ☐ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1661 Mountain Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in circa 1948.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

*B8. Related Features:

Two sheds

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture/Post World War II Development Area: City of Norco

Period of Significance: circa 1948

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular farm cottage does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain a fair to low degree of integrity (additions).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12.
Microfiches on file, Riverside County Assessor's Office, Riverside.

Wright, Steve

2011 Personal communication in August 2011. Mr. Wright is a former manager at Norco Ranch, Inc.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019937

HRI #

Trinomial

Page 3 of 3

*Resource Name or #: (Assigned by recorder) 1661 Mountain Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation Update

P5a. Photo or Drawing



North elevation, view to the south (8/23/11)



Large shed, view to the east (8/23/11)

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 2, during the historic period (pre-1962) the residence was owned by Chester L. and Eva N. Tyree (as early as 1953 to 1958) and Harry and Hilda Eisen (1959-present; Riverside County Assessor). The residence appears to have been built around 1954 when the property was owned by the Tyrees (Riverside County Assessor). The residence was later occupied by employees of the Norco Egg Ranch (Wright 2011). Although the property was owned by the Eisens who are important in local history for their association with the Norco Egg Ranch, no evidence was found indicating that any of the people who actually lived in the residence are important figures in history. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 3, this vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 1, the residence is associated with post-WWII residential development, but no more so than thousands of other similar structures throughout the region. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



11
33-019937

REHABILITATION CENTER

U.S. NAVAL RES.

NORCO

Lake Norcomian

NAVAL WEAPONS CENTER

1661 MOUNTAIN AVE

CORONA

NORCO CORONA

ALBERHILL 17 MI. (CORONA SOUTH)
ELSINORE 24 MI. 2451 SE

SCALE 1:24,000

1 MILE

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary#: P-33-019909

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1451-1463 Pacific Avenue

Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 1451-1463 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, mE/ mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-000-002

***P3a. Description:**

The 1451-1463 Pacific Avenue dwellings were previously recorded, and evaluated for eligibility, in 2011. No substantive changes have occurred to either dwelling's appearance or features to warrant further or additional updated documentation beyond the current photographs provided below and on the following pages. Both homes are transitional Ranch style with rectilinear plans, and feature stucco-clad walls in a rough texture, composition shingle roofing, and replacement vinyl windows within original openings. All visible windows at both homes feature original wood trim and window surrounds. Both dwellings appear to be in fair to good exterior condition, although the 1463 property exhibits stucco failure and damage at the modified entry vestibule appended to the center of the front elevation.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:

View southeast of north elevation –
1451 Pacific Street.

***P6. Date Constructed/Age and Source:**

☒ Historic: 1947, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

Eisen Moshe
1701 Patricia Place
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC,

Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary#: P-33-019909

HRI #: N/A

Trinomial: N/A

Resource Identifier: 1451-1463 Pacific Avenue
Page 2 of 3

Primary Record *P3a. Continued: Description



View northeast of west and south elevations – 1451 Pacific Avenue



View northeast of west and south elevations – 1463 Pacific Avenue

LOCATION MAP

Primary #: P-33-019909

HRI #: N/A

Trinomial: N/A

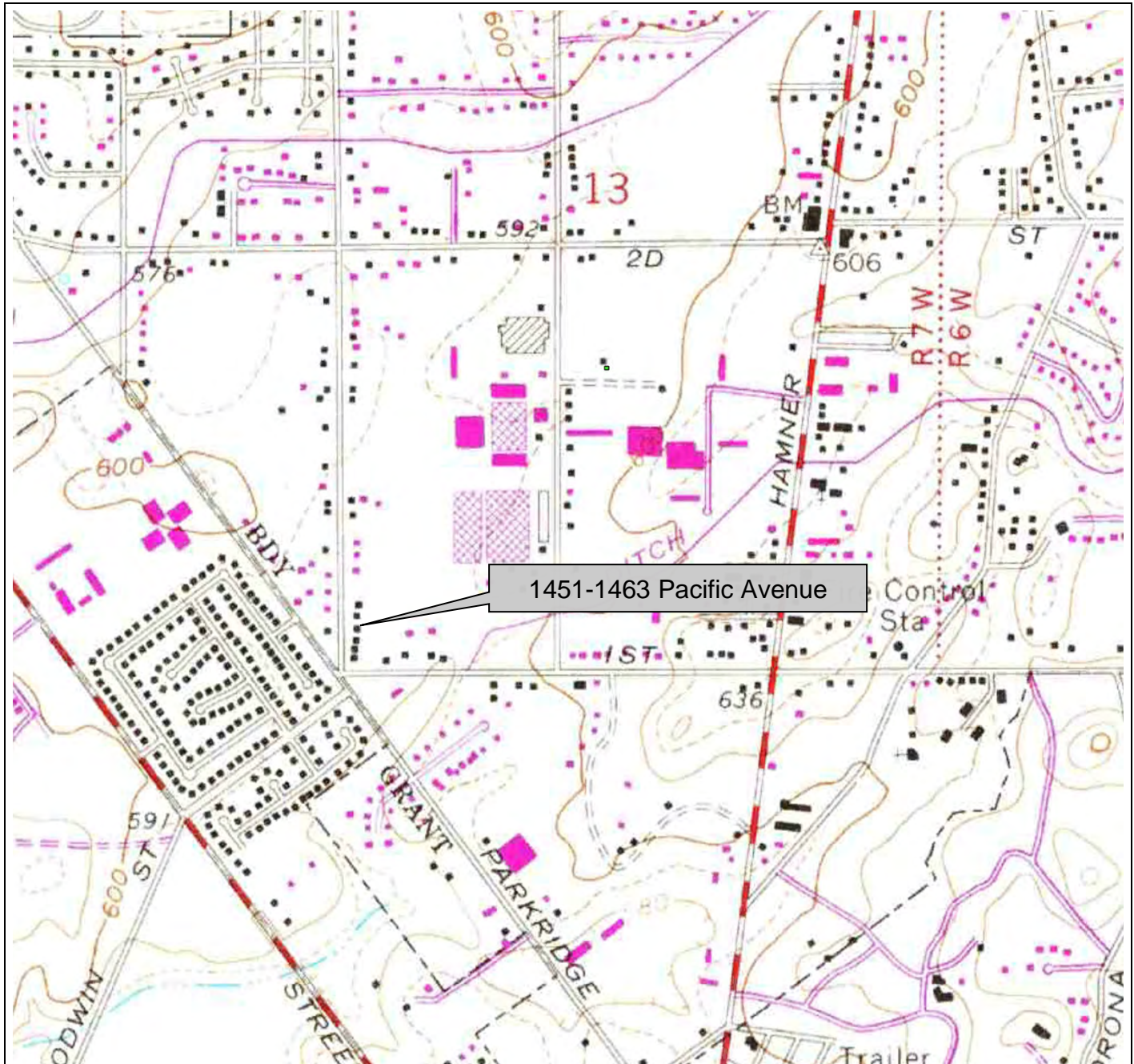
Resource Name: 1451-1463 Pacific Avenue

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019909

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4

Resource Name or #: 1451 and 1463 Pacific Avenue

P1. Other Identifier: _____

***P2. Location:** ☐ Not for Publication ☒ Unrestricted ***a. County:** Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Corona North **Date:** 1967 PR 1981 **T** 3S ; **R** 7W ; **S.B.B.M.**

c. Address: 1451 and 1463 Pacific Avenue **City:** Norco **Zip:** 92860

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) **APN:** 126200002; located on the east side of Pacific Avenue, north of First Street

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This property includes two vernacular single-family residences. The residence at 1451 Pacific Avenue is located south of the residence at 1463 Pacific Avenue. The residence at 1451 Pacific Avenue rests on a concrete foundation and is surmounted by a low-pitched, side-gable roof sheathed with composition shingles. It has two different roof heights, indicating that part of the residence may be an addition. The exterior walls are clad with stucco. The eaves are narrow and have some exposed rafter tails. The west-facing façade features a partial-width, covered porch, a ribbon window, a door, and what appears to be a wood-framed, double-hung window. A small air conditioning unit has been installed in the wall. The south elevation includes two wood-framed, double-hungs and a small air conditioning unit in the wall. A detached garage is located northeast of the residence. The residence is in good condition, but appears to have been added onto and retains fair integrity. (See Continuation Sheet)

***P3b. Resource Attributes:** (List attributes and codes) HP3 – Multi-family property

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) 1451 Pacific Avenue, façade, view to the east (9/19/11)

***P6. Date Constructed/Age and Sources:** ☒ Historic

☐ Prehistoric ☐ Both

1451 Pacific Avenue: 1949

1463 Pacific Avenue: 1947

(Riverside County Assessor's Office)

***P7. Owner and Address:**

Moshe Eisen
1701 Patricia Pl
Corona, CA 92880

***P8. Recorded by:** (Name, affiliation, and address)

Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**

August 2011

***P10. Survey Type:** (Describe): Intensive CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

***Attachments:** ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1451 and 1463 Pacific Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Residences B4. Present Use: Residences

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)

Originally constructed in 1947 (1463 Pacific Avenue)

Originally constructed in 1949 (1451 Pacific Avenue)

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

Detached garages

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture/Post World War II Development Area: City of Norco

Period of Significance: 1947-1949 Property Type: Residential Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

These vernacular residences do not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. They are modest examples of a common type and style of resource and do not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residences are associated with post-World War II development in southern California and the City of Norco. However, they represent in-fill development as opposed to being part of a post-WWII subdivision or tract and are two of numerous similar post-WWII residences in the area. Therefore, they do not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1942-1947; 1948-1952; 1953-1958; and 1959-1963 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019909

HRI #

Trinomial

Page 3 of 4

*Resource Name or #: (Assigned by recorder) 1451 and 1463 Pacific Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation Update

***P3a. Description:** (Continued from page 1)

The residence at 1463 Pacific Avenue rests on a concrete foundation and is surmounted by a high-pitched, hipped roof sheathed with composition shingles. It has narrow eaves and the exterior walls are clad with modern stucco and brick veneer. The west-facing façade features a centered, projecting, hipped-roof bay with a south-facing door and an aluminum-framed sliding window flanked by vertical board panels. On either side of the projecting bay are two, vinyl-framed ribbon windows with flat, scrollwork, wood trim. Aerial photographs reveal a patio cover attached to the rear of the house that may connect to the south-facing garage. The residence has sustained alterations and retains a low degree of integrity.

P5a. Photo or Drawing (Continued from page 1)



1463 Pacific Avenue. Façade, view to the east (9/19/11)

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 2, during the historic period (pre-1962) the residences were owned by George and Mary Andrews (1947–1963). No evidence was found indicating that these people are important figures in history. Therefore, neither residence appears to be significant under this criterion. Under CRHR criterion 3, these vernacular residences do not embody the distinctive characteristics of a type, period, region, or method of construction, and do not represent the work of an important creative individual or possesses high artistic values. Therefore, they do not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residences have not yielded, nor are they likely to yield, information important in prehistory or history. Therefore, the residences do not appear significant under this criterion.

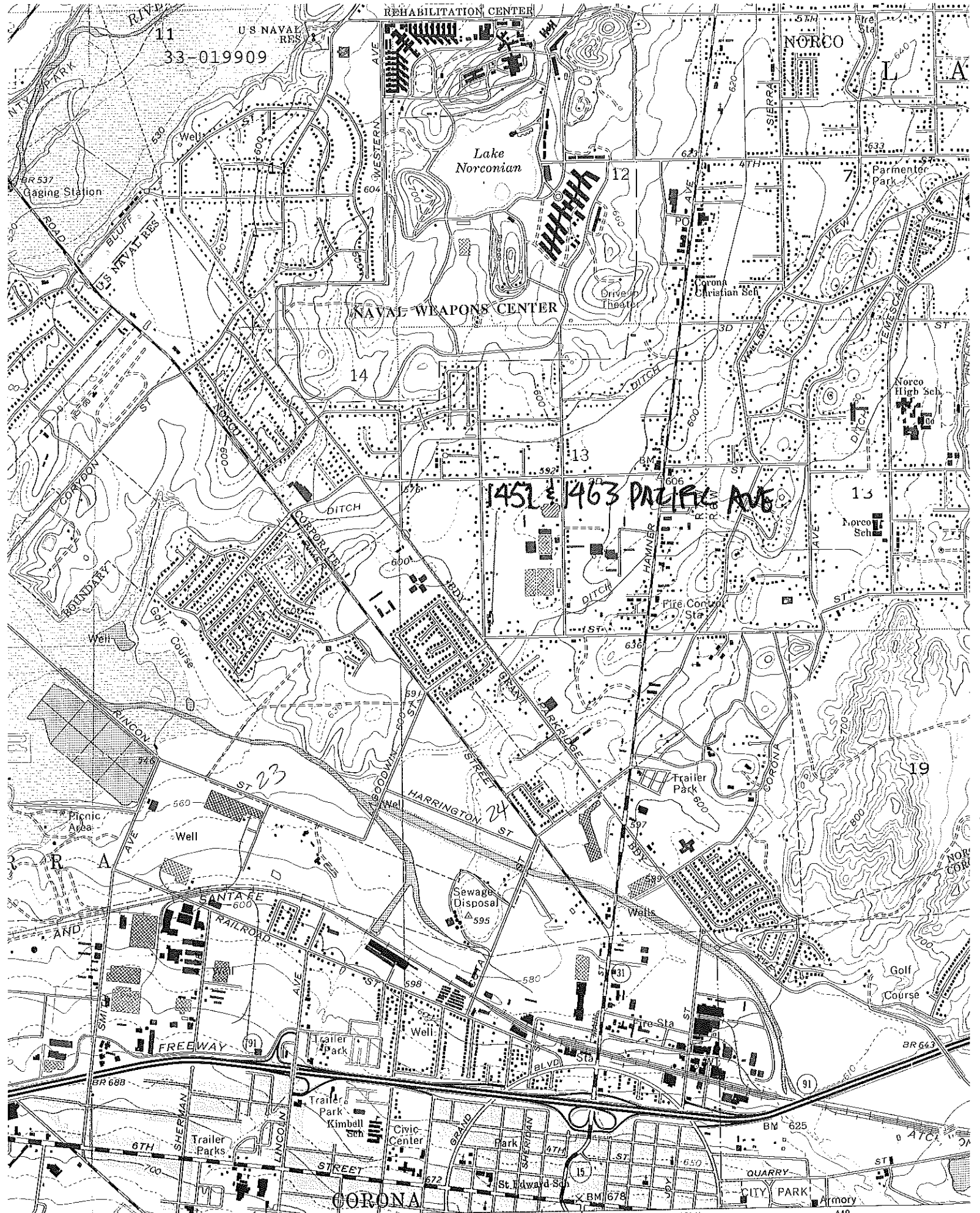
Under the City of Norco Landmark (CNL) criterion A, the residences do not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, they do not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residences are not associated with persons important in history. Therefore, they do not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, they do not embody the distinctive characteristics of a style, type, period or method of construction and are not a valuable example of the use of indigenous materials or craftsmanship. Therefore, they do not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that they represent the work of a notable builder, designer, or architect. Therefore, they do not appear to be significant under this criterion. Under CNL criterion E, the residences do not have unique locations or singular physical characteristics, nor are they an established and familiar visual feature of a neighborhood community or of the City. Therefore, they do not appear to be significant under this criterion. Under CNL criterion F, the vernacular style of the residences is not indicative of any particular era and the residences are not part of a significant community planning effort. Therefore, they do not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR (see Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019909
HRI # _____
Trinomial _____

Page 4 of 4 *Resource Name or #: (Assigned by recorder) 1451 and 1463 Pacific Avenue
*Recorded by LSA Associates, Inc. *Date: August 2011 X Continuation _____ Update

***B10. Significance:** (Continued from page 3)
criterion 4 above, the residences are not likely to yield important information in history. Therefore, they do not appear to be significant under this criterion.
For the reasons discussed above, these vernacular residences do not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, are not historical resources as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019910

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1445 Pacific Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; **B.M.** _____

c. Address: 1445 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447223 mE/ 3751517 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-003

***P3a. Description:**

1445 Pacific Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View northeast of west and south elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1948, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Resource Name: 1445 Pacific Avenue

Page 2 of 2

Primary #: P-33-019910

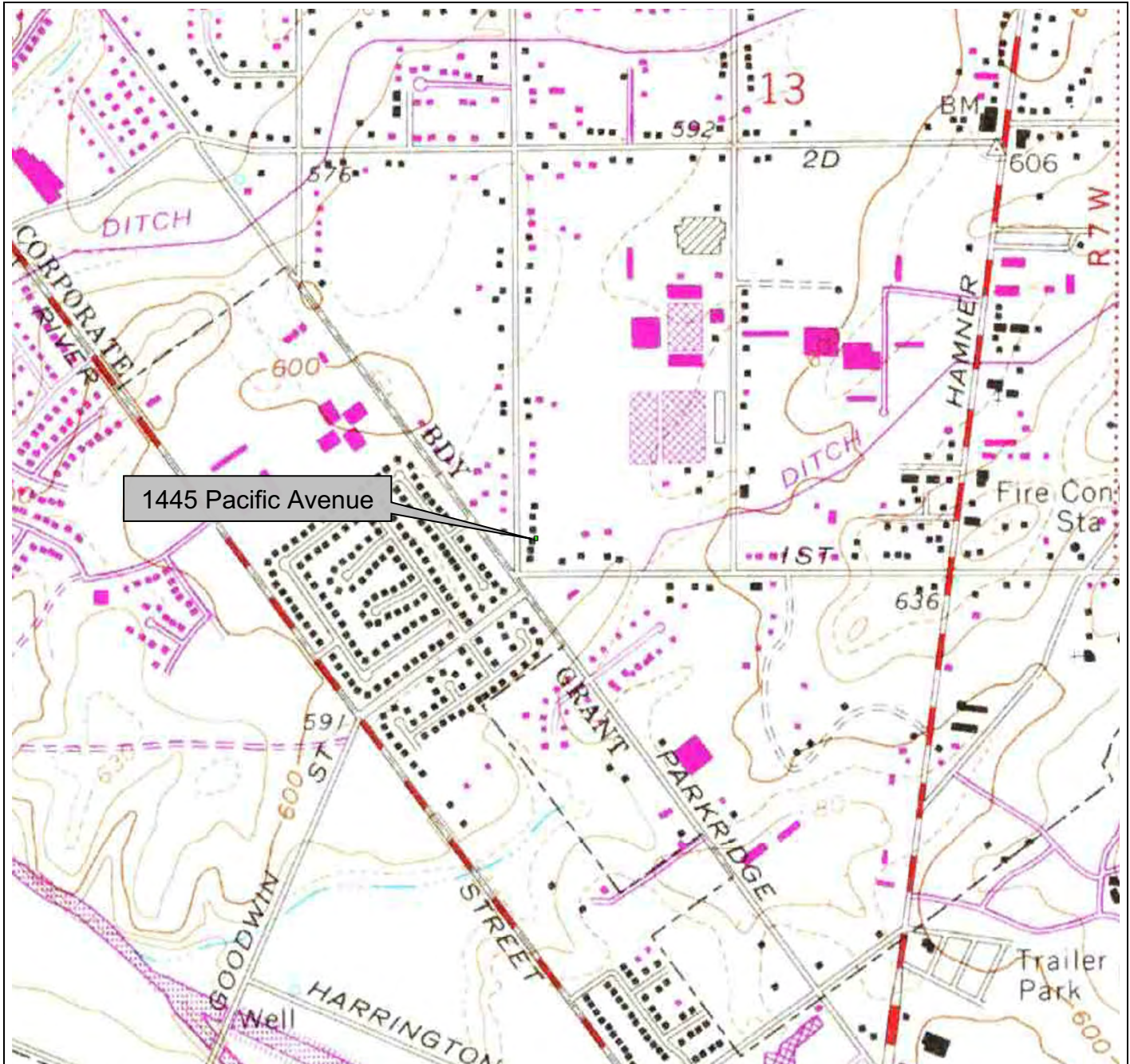
HRI #: N/A

Trinomial: N/A

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019910

HRI #

Trinomial

NRHP Status Code 6Z

Other Listings

Review Code

Reviewer

Date

Page 1 of 3

Resource Name or #: 1445 Pacific Avenue

P1. Other Identifier:

***P2. Location:** ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S; R 7W; S.B.B.M.

c. Address: 1445 Pacific Avenue

City: Norco

Zip: 92860

d. UTM: Zone: 11; mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126200003; located on the east side of Pacific Avenue north of First Street.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This two-story vernacular residence rests on a concrete foundation and is surmounted by a moderately-pitched side-gable roof sheathed with composition shingles. It has narrow eaves and exposed rafter tails. The exterior walls are clad with modern stucco. The west-facing façade includes wood-framed, double-hung windows flanked by shutters and a small, centered porch that is sheltered by a projecting gable supported by wood posts and enclosed on the sides with lattice panels. The integrity of this residence is fair. The exterior stucco appears modern, likely replacing wood siding, and the second story may be an addition.

***P3b. Resource Attributes:** (List attributes and codes) HP2 – Single family residence

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Façade and south elevation, view to the east (4/21/11)

***P6. Date Constructed/Age and Sources:** ☒ Historic

☐ Prehistoric

☐ Both

1948 (Riverside County Assessor's Office)

***P7. Owner and Address:**

H & H Properties

***P8. Recorded by:** (Name, affiliation, and address)

Casey Tibbet, M.A.

LSA Associates, Inc.

1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**

August 2011

***P10. Survey Type:** (Describe)

Intensive CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

***Attachments:** ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1445 Pacific Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1948

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____

Original Location: _____

*B8. Related Features:

Detached garage

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture/Post World War II Development Area: City of Norco

Period of Significance: 1948

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly second story addition).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. In addition, its vernacular style is so nondescript that it does not convey a strong association with the post-WWII era. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 2, until 1951 this parcel was part of a larger parcel owned by Charles Andrews from 1939 to 1950 and by Amelia White from 1951 to at least 1959. No evidence was found indicating that these people are important figures in history. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1936–1941; 1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Primary # 33-019910

HRI #

Trinomial

Page 3 of 3

*Resource Name or #: (Assigned by recorder) 1445 Pacific Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

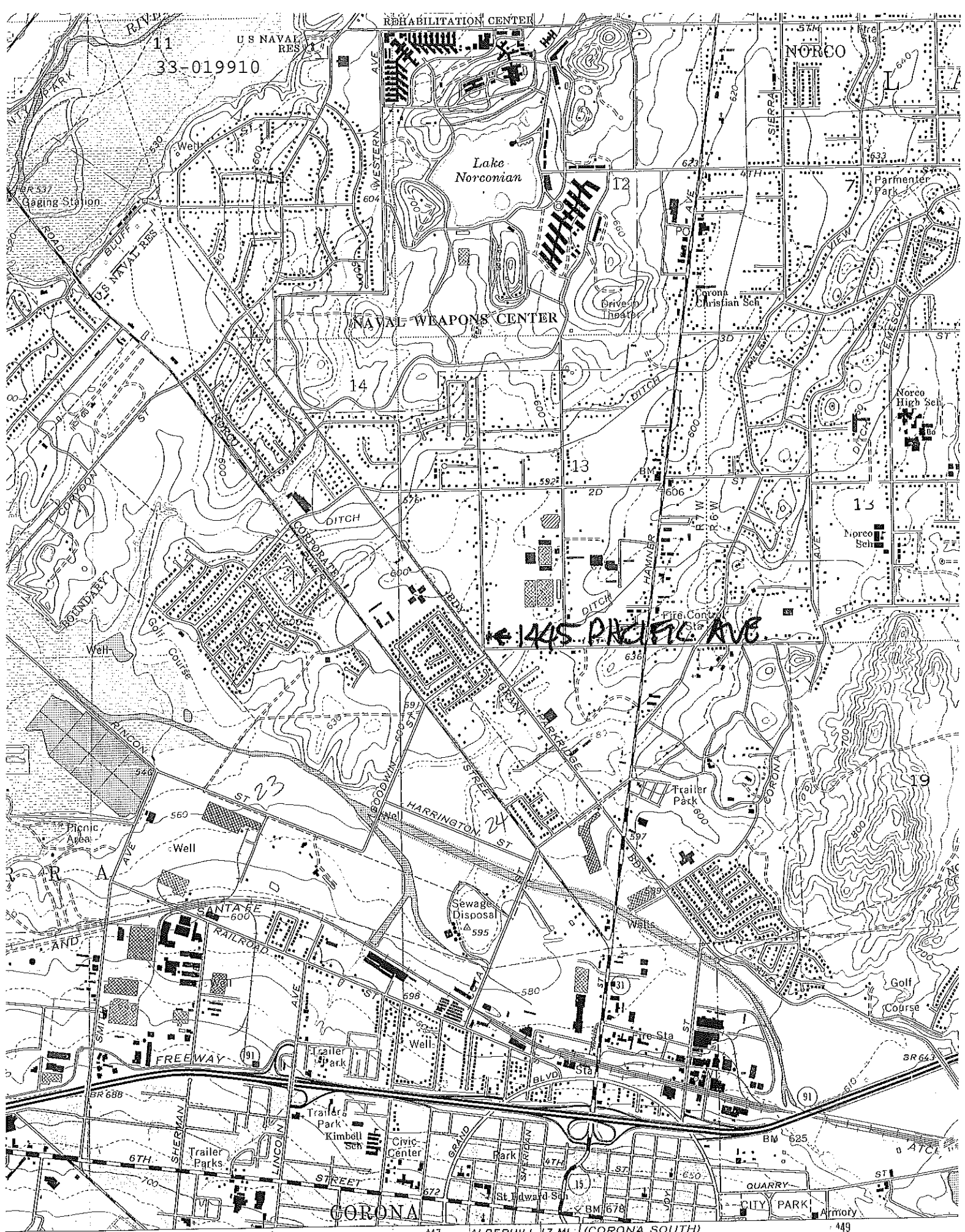
X Continuation Update

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 3, the residence is nondescript and does not embody the distinctive characteristics of a type, period, region, or method of construction. It does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, the residence does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the nondescript vernacular style of the residence does not reflect any particular era and because it is not part of a larger subdivision or tract, it is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019908

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1433 Pacific Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M.

c. Address: 1433 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447224 mE/ 3751497 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-004

***P3a. Description:**

1433 Pacific Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: 1955, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019908

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: 1475 Pacific Avenue

P1. Other Identifier: _____

***P2. Location:** ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S ; R 7W ; S.B.B.M.

c. Address: 1463 Pacific Avenue

City: Norco

Zip: 92860

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126200019; located on the east side of Pacific Avenue, north of First Street

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story vernacular residence rests on a concrete foundation and is surmounted by a cross-hipped roof sheathed with composition shingles. The exterior walls are clad with stucco and visible fenestration consists of wood-framed double-hungs and one aluminum-framed sliding window (north elevation). The north-facing façade features a projecting addition on the northeast end and a wrap-around porch. The porch is covered by an extended eave supported by wood posts. An attached two-car garage, which appears to be an addition, is located on the south side of the residence with the door facing Pacific Avenue. The residence appears to have sustained several alterations including the garage addition, the northeast wing addition, and possibly the roof over the porch. It retains low integrity.

***P3b. Resource Attributes:** (List attributes and codes) HP2 – Single family residence

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Top: west elevation, view to the east. Bottom: Façade and west elevation, view to the southeast (8/23/11).

***P6. Date Constructed/Age and Sources:** ☒ Historic ☐ Prehistoric ☐ Both
1947 (Riverside County Assessor's Office)

***P7. Owner and Address:**
H & H Properties

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
August 2011

***P10. Survey Type:** (Describe)
Intensive CEQA compliance



***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

***Attachments:** ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1475 Pacific Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1947

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____

Original Location: _____

*B8. Related Features: _____

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture

Area: City of Norco

Period of Significance: 1947

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a nondescript and relatively common style and type and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1942–1947; 1948–1952; 1953–1958; and 1959–1963 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Primary # 33-019908

HRI #

Trinomial

Page 3 of 3

*Resource Name or #: (Assigned by recorder)

1475 Pacific Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

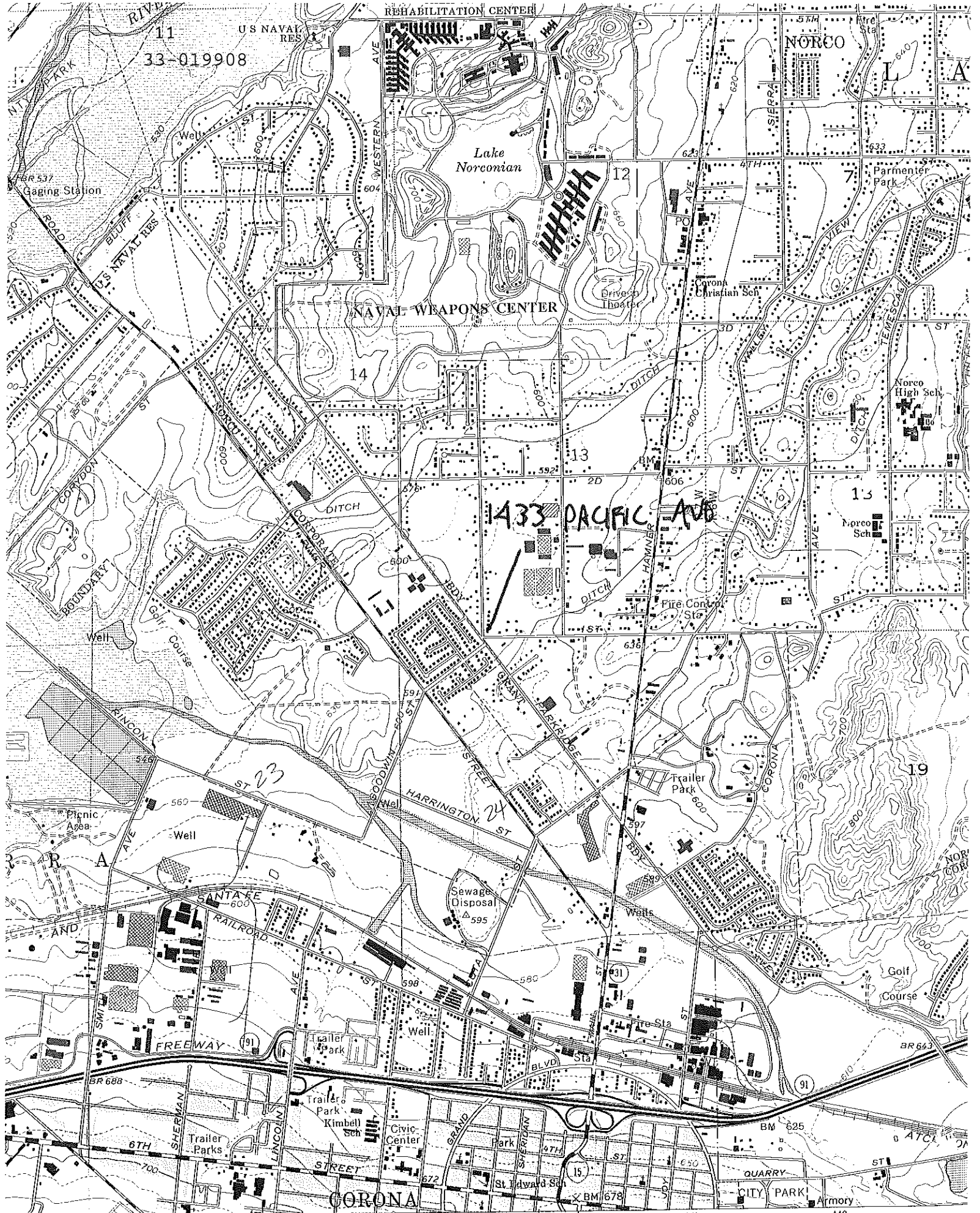
X Continuation Update

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 2, during the historic-period (pre-1962) the residence was owned by Chester A. and Lura M. Morrow (1948-1963). These people do not appear to have been important in history. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 3, this vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, during the historic-period the building does not appear to have been associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019899

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2503 First Street

Page 1 of 2

P1. Other Identifier: 2503 1st Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2503 First Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447268 mE/ 3751469 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-006

***P3a. Description:**

2503 First Street was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View northwest of south and east elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1949, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

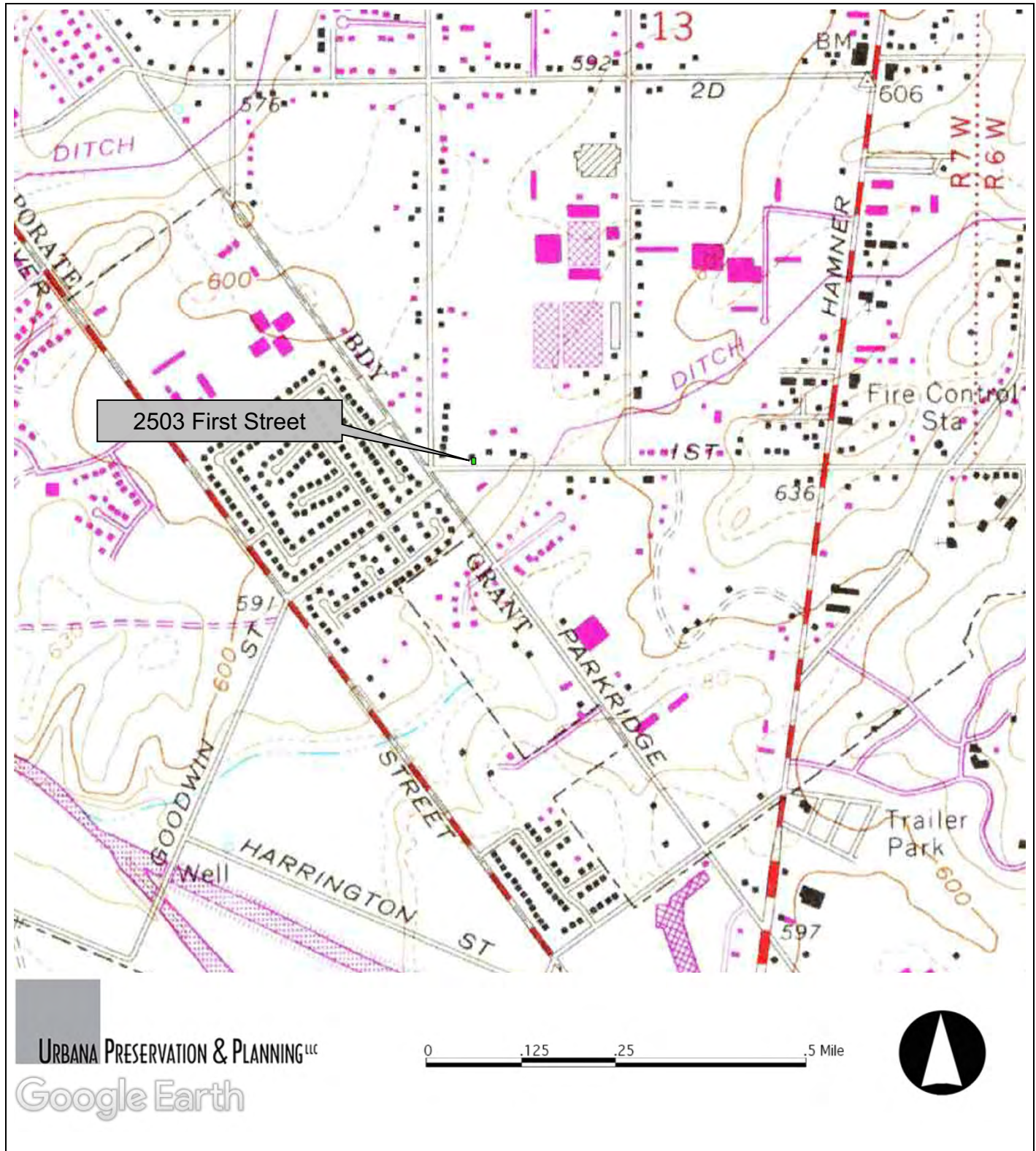
Resource Name: 2503 First Street

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



33-19899

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3Resource Name or #: 2503 First Street

*P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S; R 7W; S.B.B.M.

c. Address: 2503 First Street City: Norco Zip: 92860

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126200006; located on the north side of First Street, east of Pacific Avenue

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This modest, one-story Ranch-style residence rests on a concrete foundation and is surmounted by a side-gable roof sheathed with composition shingles. It has narrow eaves and the exterior walls are clad with modern stucco, with the exception of the rear addition which appears to also be sided with wood panels. The south-facing façade features pairs of wood-framed double-hung windows, a door, and a full-width covered porch. Other visible fenestration consists of wood-framed double-hungs and aluminum-framed sliding windows (rear addition). There is a large addition on the rear of the residence and the integrity level is only fair.

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

*P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

*P5b. Description of Photo: (View, date, accession #) Façade and east elevation, view to the northwest (8/23/11)

*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
1949 (Riverside County Assessor's Office)

*P7. Owner and Address:
H & H Properties

*P8. Recorded by: (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded:
August 2011

*P10. Survey Type: (Describe)

Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

33-19899

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

Primary # _____
HRI# _____

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 2503 First Street

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1949

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features: _____

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture

Area: City of Norco

Period of Significance: 1949

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This modest Ranch-style residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1–4) and the City of Norco criteria (A–G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence has sustained alterations (large rear addition) and only retains a fair degree of integrity.

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 2, during the historic period (pre-1962) the residence was owned by Edward and Mary White (1950–1970). Anecdotal information indicates that Mary was a secretary at the Norco Egg Ranch (Wright 2011). No evidence was found indicating that these people are important figures in history. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12.

Microfiches on file, Riverside County Assessor's Office, Riverside.

Wright, Steve

2011 Personal communication in August 2011. Mr. Wright is a former manager at Norco Ranch, Inc.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



33-19899

State of California - The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
 HRI # _____
 Trinomial _____

Page 3 of 3 *Resource Name or #: (Assigned by recorder) 2503 First Street
 *Recorded by LSA Associates, Inc. *Date: August 2011 ☒ Continuation ☐ Update

P5a. Photo or Drawing (Continued from page 1)



East elevation (8/23/11)



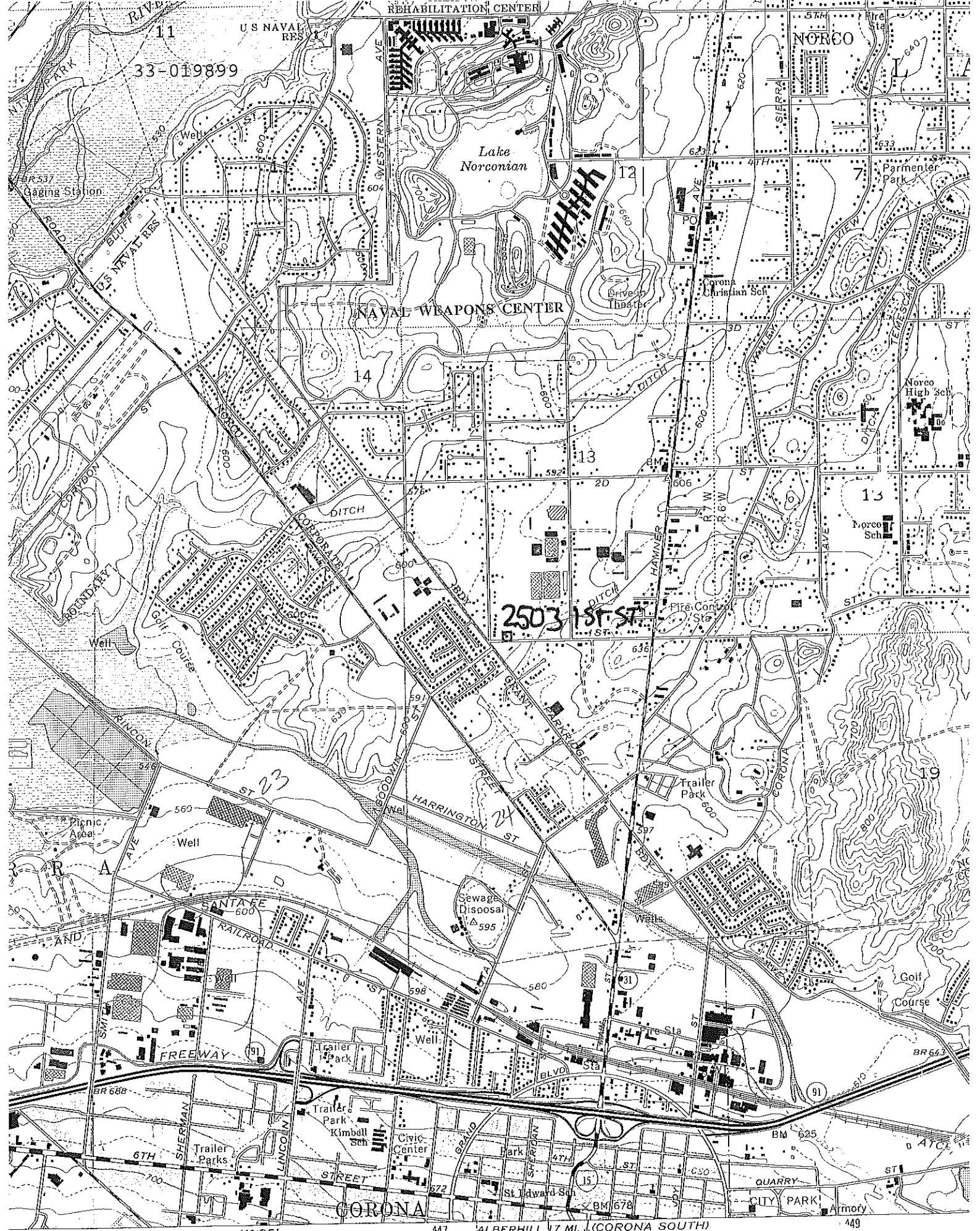
North (rear) elevation (8/23/11)

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way could reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019904

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1492 Mountain Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M.

c. Address: 1492 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447554 mE/ 3751611 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-015

***P3a. Description:**

1492 Mountain Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below (dwelling was not visible from public right-of-way).

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:

View west of lot

***P6. Date Constructed/Age and Source:**

☒ Historic: 1955, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019904

HRI #: N/A

Trinomial: N/A

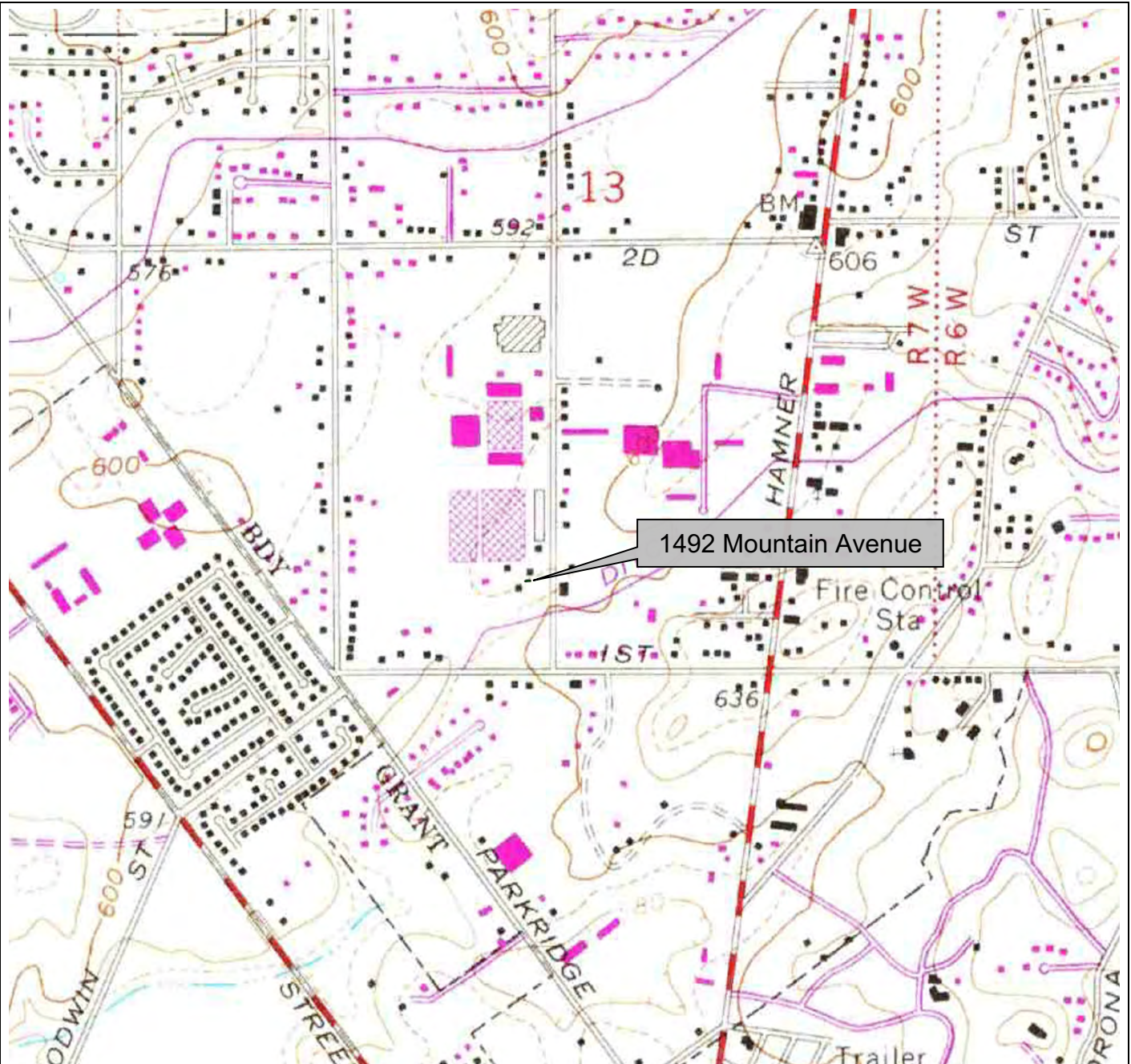
Resource Name: 1492 Mountain Avenue

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



33-19904

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3Resource Name or #: 1492 Mountain Avenue

*P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S ; R 7W ; S.B.B.M.

c. Address: 1492 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126200015; located on the west side of Mountain Avenue, north of First Street

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story Ranch-style residence rests on a concrete foundation and is surmounted by a multi-level, side-gable roof. The exterior walls are clad with brick and horizontal wood siding. The east-facing façade includes a recessed porch and entry, multi-paned double-hung and casement windows, a multi-paned corner window, and aluminum-framed sliding windows. The front door has a nine-paned window above a wood panel that has an X pattern. There appear to be at least two additions to the southern portion of the house. A dilapidated wooden structure is located east of the residence. The residence is in poor condition and has low integrity.

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

*P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

*P5b. Description of Photo: (View, date, accession #) Façade, view to the southwest (8/23/11)

*P6. Date Constructed/Age and Sources: ☒ Historic

☐ Prehistoric ☐ Both

1949 (Riverside County Assessor's Office)

*P7. Owner and Address:

H & H Properties

*P8. Recorded by: (Name, affiliation, and address)

Casey Tibbet, M.A.

LSA Associates, Inc.

1500 Iowa Avenue, Suite 200

Riverside, CA 92507

*P9. Date Recorded:

August 2011

*P10. Survey Type: (Describe)

Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1492 Mountain Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Residence

B4. Present Use: Abandoned

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1955

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

Dilapidated wooden structure

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture

Area: City of Norco

Period of Significance: 1955

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This altered Ranch-style residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. In addition, its integrity has been compromised by at (see Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

Wright, Steve

2011 Personal communication in August 2011. Mr. Wright is a former manager at Norco Ranch, Inc.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



33-19904

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 3 *Resource Name or #: (Assigned by recorder) 1492 Mountain Avenue
*Recorded by LSA Associates, Inc. *Date: August 2011 ☒ Continuation ☐ Update

P5a. Photo or Drawing (Continued from page 1)



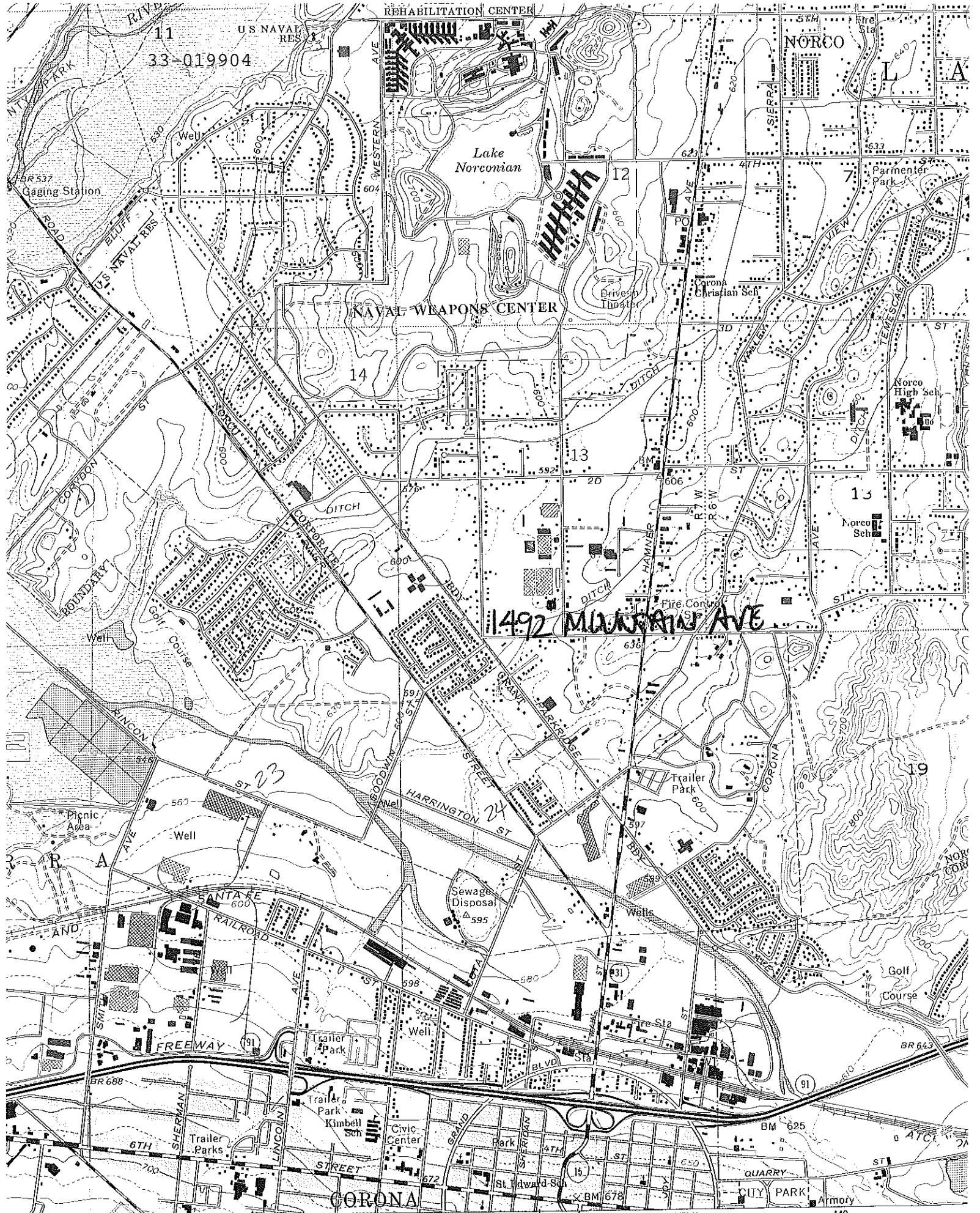
South end of façade, view to the northwest (8/23/11)

***B10. Significance:** (Continued from page 2)

least two additions that have altered the façade. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 2, during the historic period (pre-1962) the residence was owned by Kurt A. Schober from as early as 1953 to as late as 1963 (Riverside County Assessor). The residence appears to have been constructed around 1955 and was reportedly later used as a sort of bunk house for employees at Norco Egg Ranch (Wright 2011). No evidence was found indicating that it is associated with any persons important in history. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 3, the residence is a modest example of an altered Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, the residence has sustained alterations and does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, for some years the residence has been shielded from view from the public right-of-way by a fence and overgrown vegetation. It does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way does reflect a certain era of settlement, it has been altered and is one of thousands of similar residences throughout the City and region. It is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this altered Ranch-style residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019911

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1475 Pacific Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M.

c. Address: 1475 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447224 mE/ 3751570 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-019

***P3a. Description:**

1475 Pacific Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View southeast of north and west elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1947, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

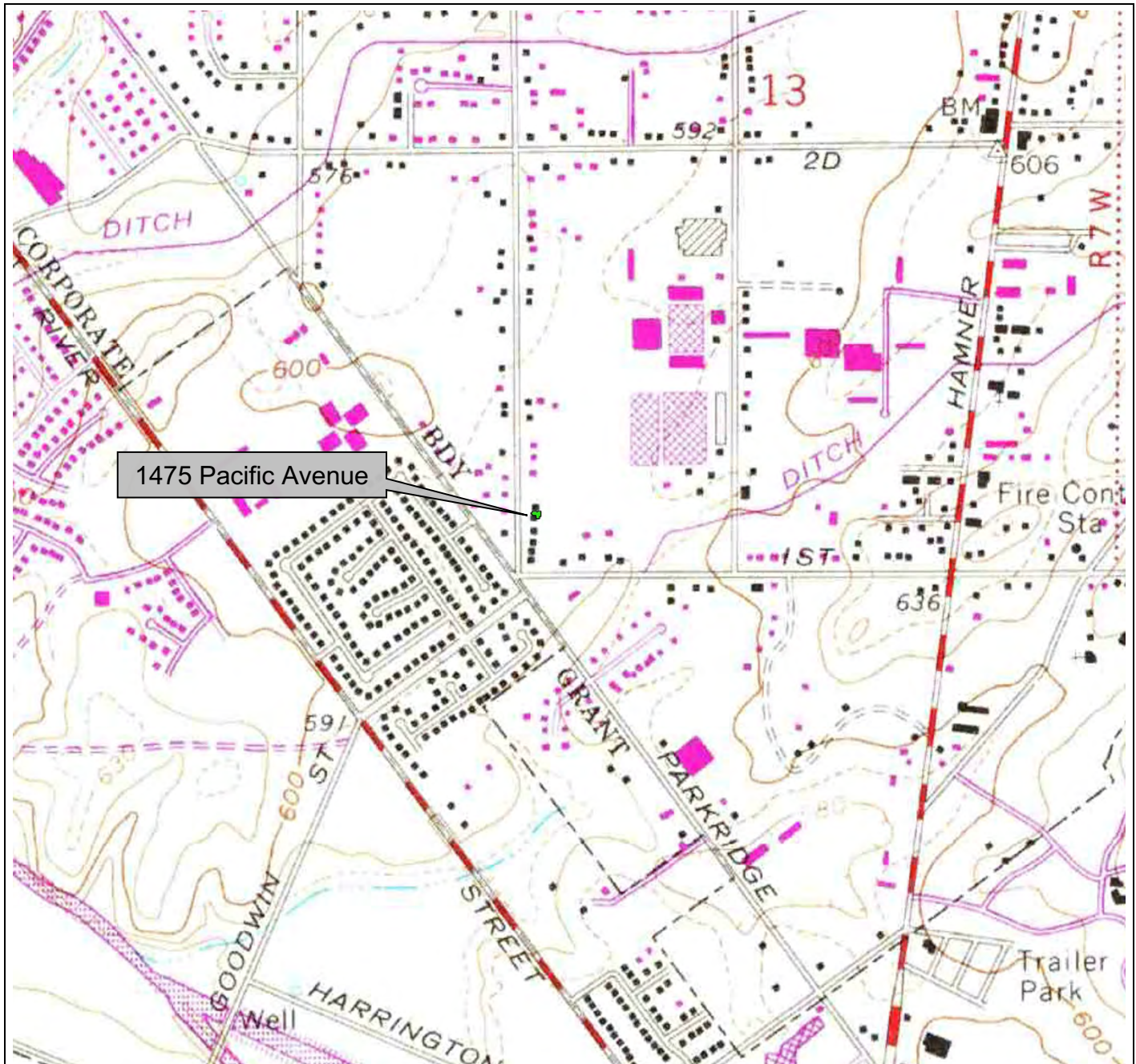
Resource Name: 1475 Pacific Avenue

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary # 33-019911

HRI # _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of

Resource Name or #: 1475 Pacific Avenue

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T. 3S; R. 7W; S.B.B.M.

c. Address: 1463 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126200019; located on the east side of Pacific Avenue, north of First Street

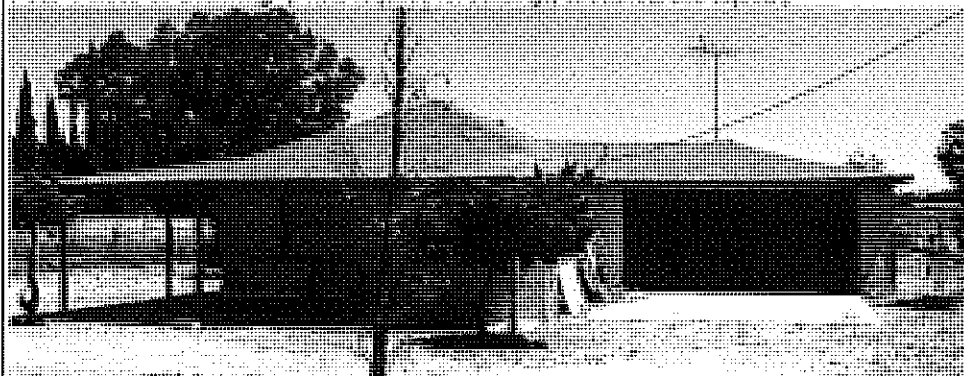
*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story vernacular residence rests on a concrete foundation and is surmounted by a cross-hipped roof sheathed with composition shingles. The exterior walls are clad with stucco and visible fenestration consists of wood-framed double-hungs and one aluminum-framed sliding window (north elevation). The north-facing façade features a projecting addition on the northeast end and a wrap-around porch. The porch is covered by an extended eave supported by wood posts. An attached two-car garage, which appears to be an addition, is located on the south side of the residence with the door facing Pacific Avenue. The residence appears to have sustained several alterations including the garage addition, the northeast wing addition, and possibly the roof over the porch. It retains low integrity.

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

FIG. Photo or Drawing (Photos preferred for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Top: west elevation, view to the east. Bottom: Façade and west elevation, view to the southeast (8/23/11).

*P6. Date Constructed/Age and Sources: ☒ Historic

☐ Prehistoric ☐ Both

1947 (Riverside County Assessor's Office)

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded:

August 2011

*P10. Survey Type: (Describe)

Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of _____

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1463 Pacific Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)

Originally constructed in 1947

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture

Area: City of Norco

Period of Significance: 1947

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a nondescript and relatively common style and type and does not appear to have any important associations with events or persons in history.

Historical Overview. According to Riverside County Assessor records, the house was built in 1947 and first owned by XX (1955-XXXX). Ancestry.com, google, etc.

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

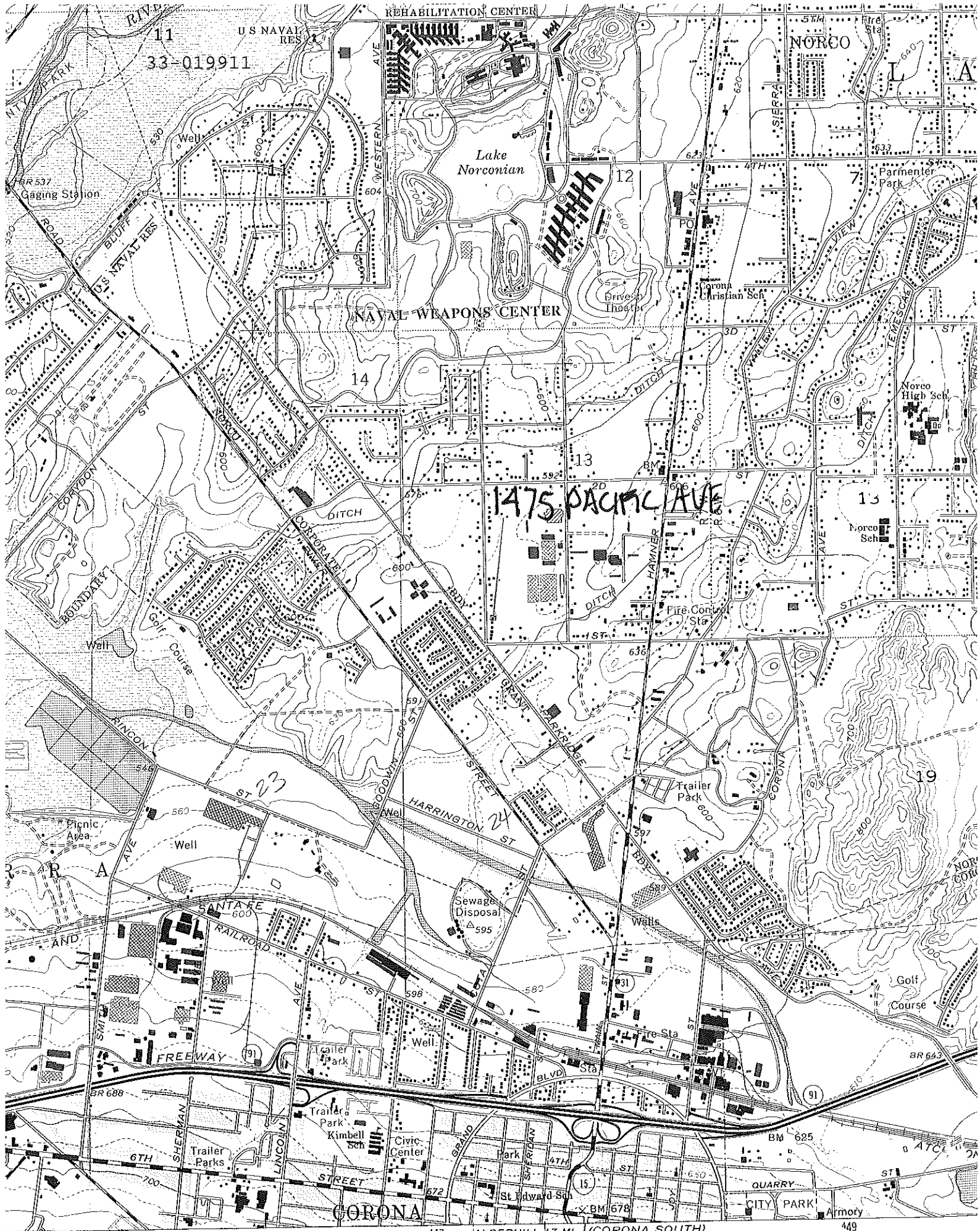
B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(Sketch Map with north arrow required.)

(This space reserved for official comments.)



PRIMARY RECORD

Primary#: P-33-019905

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1500 Mountain Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M.

c. Address: 1500 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447481 mE/ 3751625 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-020

***P3a. Description:**

1500 Mountain Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the structure's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP6

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View west of structure

***P6. Date Constructed/Age and Source:**

☒ Historic: Circa 1952, Previous Documentation (2011)

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019905

HRI #: N/A

Trinomial: N/A

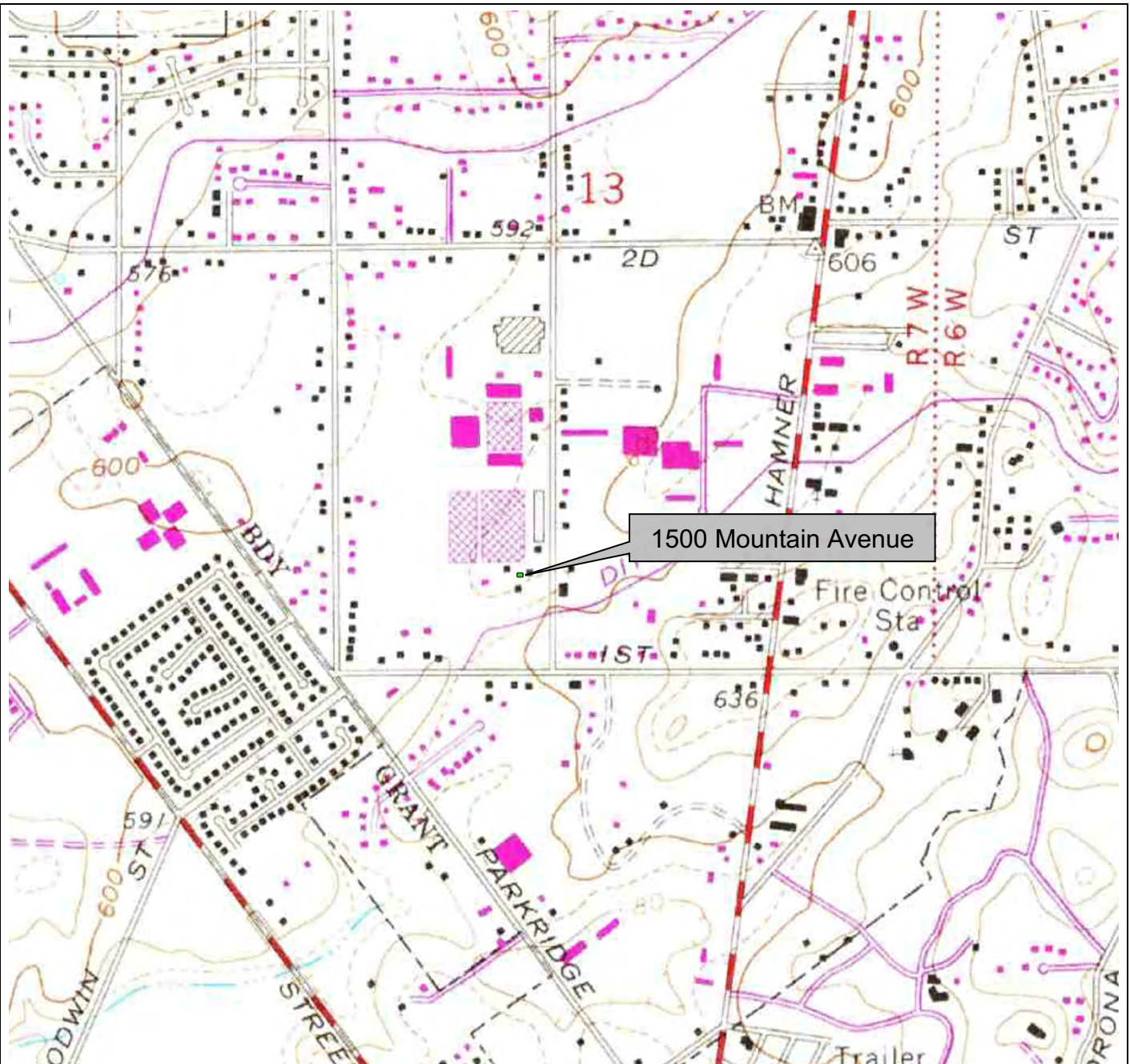
Resource Name: 1500 Mountain Avenue

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019905

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: 1500 Mountain Avenue

P1. Other Identifier: _____

***P2. Location:** ☐ Not for Publication ☒ Unrestricted ***a. County:** Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Corona North **Date:** 1967 PR 1981 **T** 3S ; **R** 7W ; **S.B.B.M.**

c. Address: 1500 Mountain Avenue

City: Norco

Zip: 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) **APN:** 126200020; located on the west side of Mountain Avenue north of First Street.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Although this one-story vernacular building has the exterior appearance of a modest residence, the floor plan (three rooms and a restroom), as well as anecdotal information indicate that it was actually constructed and used as a small office. It rests on a concrete foundation and is surmounted by a moderately-pitched side-gable roof. Knee braces support the wide eaves on the north and south elevations and wood posts support the extended eave that shelters the full-width front porch. The exterior walls are clad in stucco. Fenestration consists of multi-paned, metal-framed casement windows. There is a large addition on the west (rear) elevation that has corrugated metal siding and aluminum-framed windows. There are detached sheds located to the southwest of the building. All of the buildings are dilapidated and the office retains only a fair degree of integrity.

***P3b. Resource Attributes:** (List attributes and codes) HP6-commercial building under three stories

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Facade and south elevation, view to the northwest (8/23/11)

***P6. Date Constructed/Age and Sources:** ☒ Historic

☐ Prehistoric ☐ Both

Circa 1952

***P7. Owner and Address:**
H & H Properties

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
August 2011

***P10. Survey Type:** (Describe)
Intensive CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

***Attachments:** ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1500 Mountain Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Office B4. Present Use: Abandoned

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)
Based on Assessor's valuations, it appears that the office may have been built circa 1952.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:
Sheds

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme: Commercial Architecture Area: City of Norco

Period of Significance: circa 1952 Property Type: Office Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular office does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Historical Overview. According to Riverside County Assessor's records, the property was first assessed for improvements in 1933 when it consisted of five acres and was owned by R.H. Farnell (Riverside County Assessor 1932–1936). At that time, the assessed value of the improvements was only \$30.00. The value remained between 30 and 50 dollars from 1933 to 1947, when it jumped to \$140 and then began steadily rising, hitting \$3,310 in 1958 (Riverside County Assessor 1937–1941; 1942–1948; 1949–1952; and 1953–1958). In 1945, Kurt Schober acquired the property and is listed as the owner until at least 1970 (ibid.). Sometime between 1965 and 1970, the property was subdivided into its current configuration. No additional information was found regarding either R.H. Farnell or Kurt Schober.

Based on aerial photographs, in 1938 the property appears vacant, but by 1948, it is crisscrossed with roads, similar to what might be found in a junkyard or storage facility. Anecdotal information indicates that Harry Eisen (Norco Ranch Inc.) purchased the property from Joe Fernandez who used it as part of his automotive-related business (Wright 2011).

Significance Evaluation. The building is being evaluated for purposes of CEQA using the CRHR criteria (1–4) and the City of Norco criteria (A–G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this building retains only a fair degree of integrity (large rear addition). (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

Wright, Steve

2011 Personal communication in August 2011. Mr. Wright is a former manager at Norco Ranch, Inc.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019905

HRI #

Trinomial

Page 3 of 3

*Resource Name or #: (Assigned by recorder) 1500 Mountain Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation Update

P5a. Photo or Drawing (Continued from page 1)



West (rear) elevation, view to the southeast (8/23/11)



Shed behind office, view to the west (8/23/11)



Shed behind office, view to the west-northwest (8/23/11)



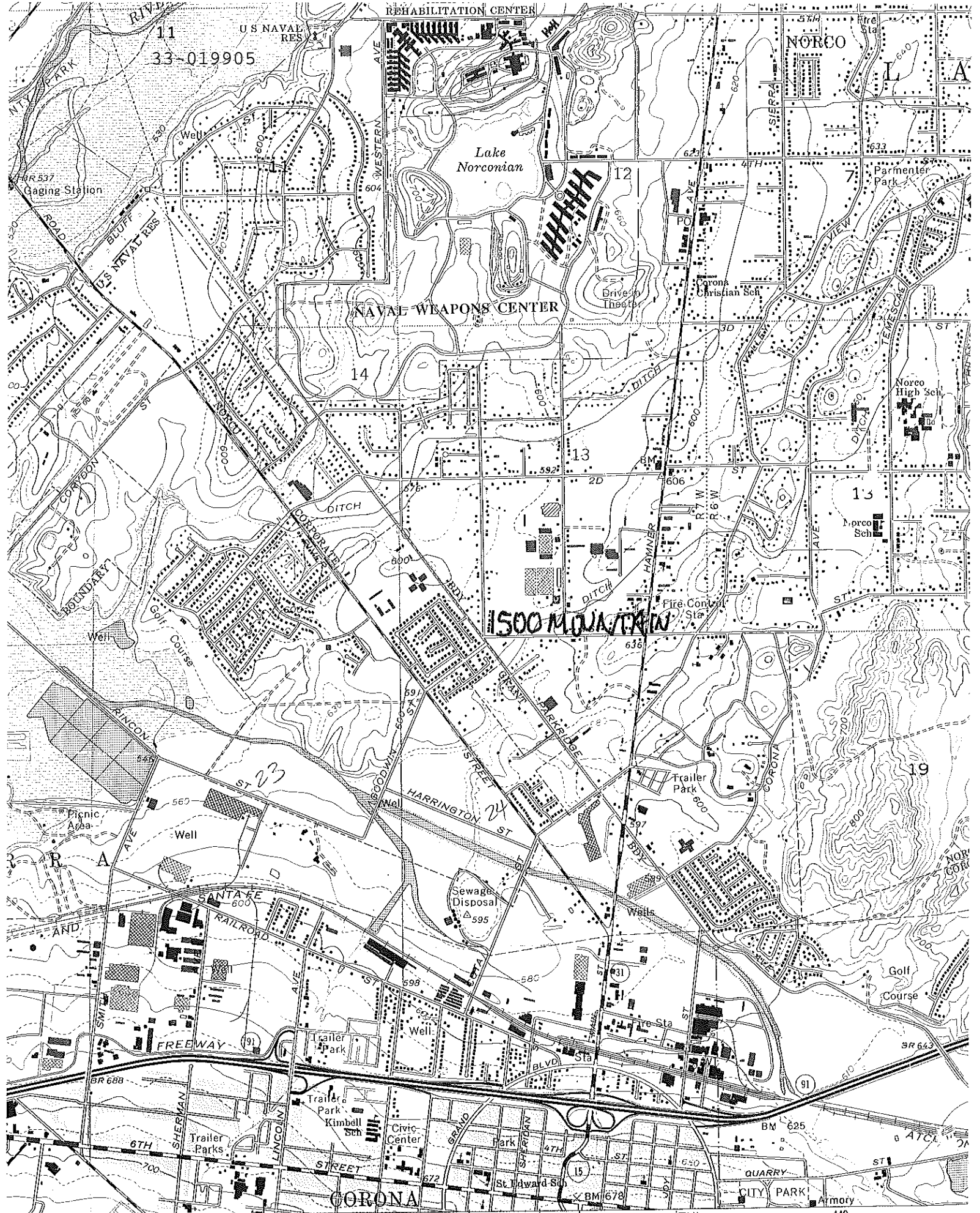
Dilapidated building behind office, view to the south (8/23/11)

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 1, this small office building is associated with post-WWII development. However, it is an undistinguished example of utilitarian in-fill development that is not particularly unique to or representative of the period. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 2, during the historic period (pre-1962) the property was owned by R.H. Farnell (1926-1944) and Kurt Schober (1945-1970). There is no indication that either of these people is important in history. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 3, the building is a modest example of a utilitarian office. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the building does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the building does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, for a number of years, view of the building from the public right-of-way has been completely obscured by a solid fence. It does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the vernacular style of the building is associated with a broad time period and is not indicative of any particular era or community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the building is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest, vernacular office building does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019898

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2441 First Street

Page 1 of 2

P1. Other Identifier: 2441 1st Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2441 First Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447346 mE/ 3751499 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-200-025

***P3a. Description:**

2441 First Street was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2, HP4

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View northwest of south and east elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1958, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019898

HRI #: N/A

Trinomial: N/A

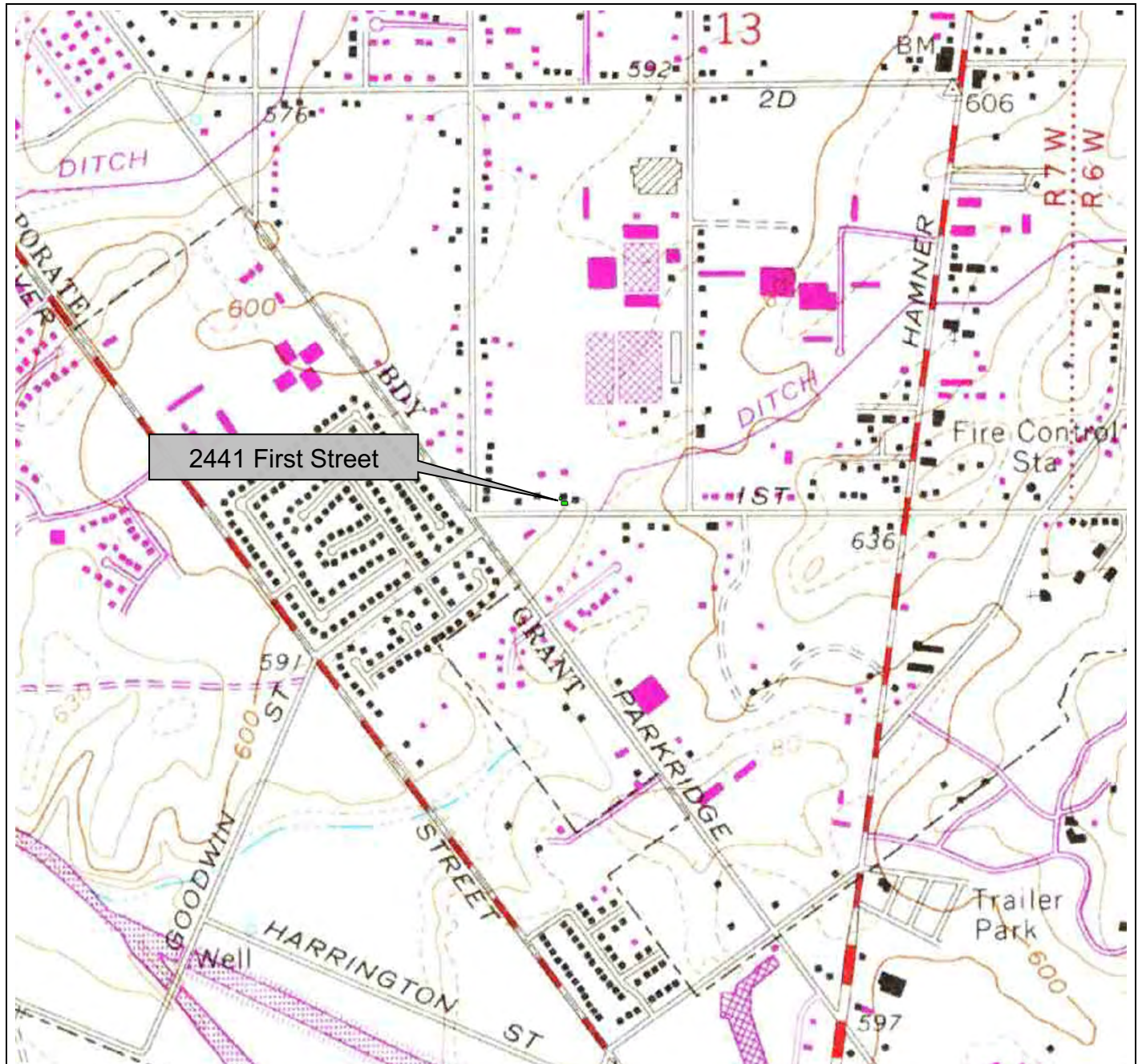
Resource Name: 2441 First Street

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019898

HRI #

Trinomial

NRHP Status Code 6Z

Other Listings

Review Code

Reviewer

Date

Page 1 of 3

Resource Name or #: 2441 First Street

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S ; R 7W ; S.B.B.M.

c. Address: 2441 First Street City: Norco Zip: 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126200025; located on the north side of First Street, between Pacific and Mountain Avenues.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story, modest Ranch-style residence rests on a concrete foundation and is surmounted by a medium-pitched hipped roof sheathed with composition shingles. It has narrow eaves and the exterior walls are clad with stucco and the south-facing façade includes board-and-batten along the lower portion of the wall. The façade also includes a door and a large multi-paned ribbon window that has casement windows flanking a fixed window. A large patio cover has been added to the rear of the residence and a detached garage with a hipped roof is located northwest of the residence. The residence retains a good degree of integrity.

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Façade and east elevation, view to the northwest (8/23/11)

*P6. Date Constructed/Age and Sources: ☒ Historic

☐ Prehistoric ☐ Both
1958 (Riverside County Assessor's Office)

*P7. Owner and Address:
H & H Properties

*P8. Recorded by: (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded:

August 2011

*P10. Survey Type: (Describe)

Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 244 1 First Street

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence B4. Present Use: Single-family residence

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1958

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:
Detached garage

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture Area: City of Norco

Period of Significance: 1958 Property Type: Residence Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This modest Ranch-style residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1–4) and the City of Norco criteria (A–G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 2, during the historic period (pre-1962) the residence was owned by Melvin W. Schafer (1958). The names of subsequent owners (1959–1962) were illegible in the Assessor's records. No evidence was found indicating that Mr. Schafer is an important figure in history. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

***B12. References:**

Riverside County Assessor

1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019898

HRI # _____

Trinomial _____

Page 3 of 3

*Resource Name or #: (Assigned by recorder) 2441 First Street

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

***B10. Significance:** (See Continuation Sheet)

Under CRHR criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way could reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



11
Page
4044

33-1898

2441 1ST ST

CORONA

SCALE 1:24 000

PRIMARY RECORD

Primary#: P-33-019906
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 5S3
Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: Norco Egg Ranch

Page 1 of 3

P1. Other Identifier: 1658 Mountain Avenue

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 1658 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447486 mE/ 3751840 mN

e. Other Locational Data:

Riverside County Assessor's Parcel Nos. 126-190-001, 126-190-002, 126-190-003, 126-170-013, 126-170-015

***P3a. Description:**

The Norco Egg Ranch was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the appearance or features of the dwelling, garage or egg plant building to warrant further or additional updated documentation beyond the current photographs provided below and on continuation sheets.

***P3b. Resource Attributes:** HP2, HP4, HP33

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☒ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View northwest of south and east elevations of dwelling

***P6. Date Constructed/Age and Source:**

☒ Historic: 1956, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other:

Primary Record *P3a. Continued: Description



View northwest of original Egg Processing Building



View northwest of original Egg Processing Building

LOCATION MAP

Primary #: P-33-019906

HRI #: N/A

Trinomial: N/A

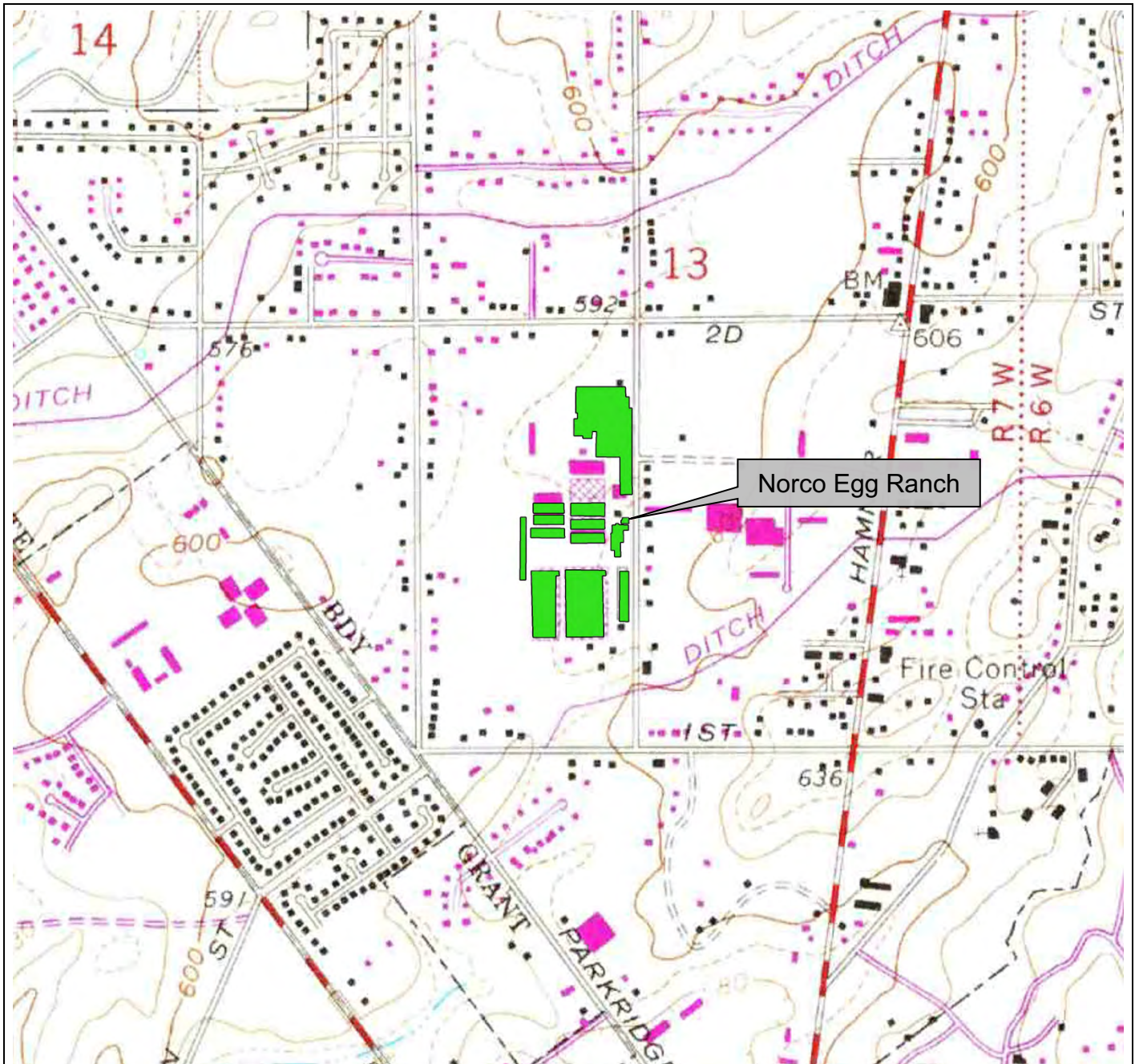
Resource Name: Norco Egg Ranch

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019906

HRI #

Trinomial

NRHP Status Code 5S3

Other Listings

Review Code

Reviewer

Date

Page 1 of 11

Resource Name or #: 1658 Mountain Avenue

P1. Other Identifier: Norco Egg Ranch; Eisen residence

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S ; R 7W ; S.B.B.M.

*c. Address: 1658 Mountain Avenue City: Norco Zip: 92860

*d. UTM: Zone: 11; mE/ mN (G.P.S.)

*e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APNs: 126-170-015; 126-019-001 and -002; located on the west side of Mountain Avenue, south of Second Street

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This property includes a residence, detached garage, industrial buildings, and concrete slabs, all of which are associated with the former Norco Egg Ranch. However, the only historic-period (pre-1962) features are the house, garage, and original egg plant building. The residence and egg plant building are hidden from view from the public right-of-way by fencing and tall Cyprus trees.

The residence is a very modest example of the Ranch style. It rests on a concrete foundation and is surmounted by a moderately-pitched hipped roof sheathed with composition shingles. It has narrow eaves and the exterior walls are clad with stucco. The east-facing façade includes a door with a metal security screen and features a large ribbon window with diamond paned double-hungs flanking a fixed window. Other fenestration consists primarily of wood-framed double-hung and fixed windows, as well as a few vinyl-framed casement windows (south elevation). The wood-framed detached garage has a low-pitched roof and is located south of the residence. It abuts the L-shaped egg plant building, which is clad with corrugated metal and has a side-gabled roof.

The residence and garage are in good condition and retain a moderate degree of integrity. The original egg plant building is in a state of deterioration and appears to retain low to moderate integrity.

*P3b. Resource Attributes: (List attributes and codes) HP3-Farm/Ranch;

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Façade, view to the west (8/23/11)

*P6. Date Constructed/Age and Sources: ☒ Historic

☐ Prehistoric ☐ Both

1956 (Riverside County Assessor's Office)

*P7. Owner and Address: H & H Properties

*P8. Recorded by: (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded: August 2011

*P10. Survey Type: (Describe): Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

Attachments: ☐ NONE ☒ Location Map ☒ Sketch Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☒ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 11

*NRHP Status Code 5S3

*Resource Name or # (Assigned by recorder) 1658 Mountain Avenue

B1. Historic Name: Norco Egg Ranch

B2. Common Name:

B3. Original Use: Residence and egg ranch

B4. Present Use: Residence and egg distribution facility

*B5. Architectural Style: Ranch and vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)

Residence originally constructed in 1956.

Original egg plant building constructed in 1956 and expanded throughout early 1960s

Other buildings on the property were built around 1966–1967 and have been modified over time or removed.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

*B8. Related Features:

Detached garage, egg ranch buildings, and concrete slabs (refer to ASR)

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Poultry Farming; Harry and Hilda Eisen Area: City of Norco

Period of Significance: 1956–1962

Property Type: Residence/ranch

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This modest Ranch-style residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR); however, because of its associations with events and people important in Norco's history, it meets the local criteria for designation. Therefore, it is a historical resource pursuant to the California Environmental Quality Act (CEQA).

Historical Overview: Norco Egg Ranch, later known as Norco Ranch, Inc., was founded by Harry Eisen. Harry and his wife Hilda both grew up in the Jewish community of Ibicza, Poland. During the Nazi occupation, Harry was sent to Auschwitz, where he survived as a slave laborer building railroads and mining coal. In 1944, shortly before Auschwitz was liberated by the Russian army, Nazis forced Harry along with other prisoners on a death march to another camp. Harry, his stepbrother, and one other man managed to escape; the remaining prisoners were killed upon reaching the camp. At the beginning of the war, Hilda found herself in a Jewish ghetto. After bribing a Nazi guard to let her out, in 1942 she joined with the Jewish partisans or underground resistance. For the next three years Hilda lived on the run in the Polish countryside, engaging in guerilla warfare and sabotage against Nazi forces while living off the land (McGaffin 1961; Stokely 1993 and 2000; Eisen personal testimonies). (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

See Continuation Sheet

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019906

HRI # _____

Trinomial _____

Page 3 of 11

*Resource Name or #: (Assigned by recorder) _____

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation

Update

P5a. Photo or Drawing (Continued from page 1)



Façade and north elevation, view to the southwest (8/23/11)



North and west (rear) elevations, view to the southeast (8/23/11)



South elevation, view to the northeast (8/23/11)



Detached garage, east elevation, view to the west (8/23/11)



North end of egg plant building, east and south elevations, view to the northwest (8/23/11)

(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019906

HRI # _____

Trinomial _____

Page 4 of 11

*Resource Name or #: (Assigned by recorder) 1658 Mountain Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

☒ Continuation ☐ Update

P5a. Photo or Drawing (Continued from page 3)



Middle of east elevation, view to the west (8/23/11)



South end of egg plant building, east elevation, view to the southwest (8/23/11)



Interior of egg plant building, view to the south (8/23/11)

(See Continuation Sheet)



Interior of egg plant building adjacent to loading dock, view to the south (8/23/11)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019906
HRI # _____
Trinomial _____

Page 5 of 11 *Resource Name or #: (Assigned by recorder) 1658 Mountain Avenue
*Recorded by LSA Associates, Inc. *Date: August 2011 ☒ Continuation ☐ Update

P5a. Photo or Drawing (Continued from page 4)



View of 1658 Mountain Avenue from across the street. View to the southwest (9/19/11)



View of the original egg plant building from across the street. View to the northwest (9/19/11)

***B10. Significance:** (Continued from page 2)

Harry and Hilda met and married after the war and immigrated to the United States in 1948. They lived briefly with Hilda's cousin in Beverly Hills before moving to Boyle Heights. Harry found work making sausages for the Pioneer Packing Company and later with the Great Taste Company in Vernon, where he was quickly promoted to a manager (Cramer 2011; McGaffin 1961). A number of Jewish organizations, such as the National Council of Jewish Women, the Hebrew Immigrant Aid Society (HIAS), and the Jewish Agricultural Society (JAS), and the ORT (an acronym of the Russian words *Obshestvo Remeslenofo zemledelcheskofo Truda*, meaning the Society for Trades and Agricultural Labor), offered vocational training for Jewish immigrants after World War II (*Los Angeles Times* 1950; McLoughlin and Rosenthal 2008). For a brief period of time, from about 1946 until the early 1950s, one popular form of assistance was to help Jewish immigrants establish small poultry farms. The Eisens took advantage of this training and started a small egg farm in Arcadia.

In Arcadia, Harry maintained his job with the Great Taste Company during the week, while Hilda and Perel stayed at home caring for both the chickens and their children. Eggs were processed and packed by hand in the basement of the (see Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019906

HRI # _____

Trinomial _____

Page 6 of 11

*Resource Name or #: (Assigned by recorder)

*Recorded by LSA Associates, Inc.

*Date: _____

X

Continuation

Update

***B10. Significance:** (Continued from page 2)

family home. By the time they were four years old, the Eisens' oldest children, daughters Ruth and Mary, were packing eggs. They also helped catch the family's chickens when they escaped their coops. Harry sold and delivered the eggs on the weekends, and his daughter Mary Cramer remembers that he used to ride his bicycle up and down Venice Beach, selling his eggs to beachgoers (Cramer 2011).

As the Eisen egg business was growing, so too was the City of Arcadia. While the community had been home to numerous poultry farms since the 1920s, during the postwar period rapid suburbanization forced farmers to sell their land. The Eisens' growing backyard poultry farm was "zoned out," and by 1955 the family had bought out the Rotters and was looking for a new place to settle (Cramer 2011). Harry Eisen purchased five acres of land on Mountain Avenue in Norco in 1955. A newspaper article described the property as having "no gas, no water, no electricity, and not a single flat spot" (McGaffin 1961). The original egg ranch buildings consisted of the family home, a detached garage, two brooders (structures for raising chicks), and two chicken houses (which held the laying hens). Of these buildings, the house and garage are still extant. After the ranch was prepared, the family moved to Norco in 1956. By the time they moved to Norco, the Eisens' poultry operation had expanded considerably. Speaking to a reporter in the 1970s, Harry remembers having a flock of 5,000 hens when they moved to Norco, although his daughter Mary thinks that the original chicken houses could have held as many as 20,000 birds. The business was now a wholesale operation and the Eisens had to hire employees from the local Norco area to help tend the growing flock (ibid.).

Initially, eggs were processed in the family's garage, but before the end of 1956 construction was completed on the first egg processing plant (still extant). Harry continued to expand the plant throughout the 1950s, adding a loading dock and cooling room. The plant also housed Norco Egg Ranch's first egg processing machine. Increasingly large egg orders by chain grocery stores and the United States military required the purchase of the company's first semi-trailer truck in the late 1950s. Throughout the decade, Harry made it a policy to purchase any adjacent properties that came up for sale. By 1961, Norco Egg Ranch had expanded to 40 acres, maintained a fleet of five trucks, employed 39 people, and housed 120,000 chickens in "massive cage houses." It was considered "the largest and most modern chicken ranch in western Riverside County" (McGaffin 1961).

The Norco Egg Ranch underwent major transformations in the 1960s, including changing its name to Norco Ranch, Inc. At the beginning of the decade, Harry Eisen had arranged the financing to expand his operations to cover the full 40 acres, with plans to increase his flock to a quarter of a million chickens by 1963 (ibid.). He purchased additional land, bringing the ranch to 80 acres, and built a new, \$1.5 million, 65,000-square foot processing plant, which was completed in 1965 (now surrounded by modern additions). Eggs were processed in a fully automated, assembly-line manner, with the plant's automatic packer capable of packaging 23,400 eggs per hour. The plant employed between 50 and 85 people, and could process 1,500 cases, or 540,000 eggs a day. Harry originally had difficulties purchasing enough eggs to keep the new processing plant busy, and so expanded his flock to meet the demand. By the mid 1960s, there were a million birds on the Mountain Avenue property (ibid.; Butler 1965; Reinke 1966; Cramer 2011).

The building of the new plant marked a major turning point for the Eisen family. After the plant was complete, the family moved away from Norco, taking up residence in a new home at 1052 West Olive Street in Corona. Also, Harry no longer personally worked in the plant doing physical labor, but instead dedicated himself to overseeing the business end of the operation on a fulltime basis (Cramer 2011; Lusky 1967). During the 1960s the Eisens also fought to prevent the annexation of Norco by nearby cities, which would have potentially resulted in zoning changes and threatened their ability to raise livestock. In 1964, Harry Eisen contributed \$5,000 seed money for the incorporation of the City of Norco. The Norco Chamber of Commerce later acknowledged these actions in 1985, when it honored Harry with an Award of Merit for lifetime contributions to the city (Cramer 2011; Mittendorf 1985).

Harry continued to expand Norco Ranch, and made substantial additions to the new processing plant over the years. Since the 1960s, Harry made it a priority to employ underprivileged people, preferably with large families, and many of his employees were of Hispanic background. The workforce at Norco Ranch never unionized, which Harry believed was because of the good working conditions and close personal relationship he had with his employees.

By the early 1980s, the egg ranch was among the ten largest in the nation, housing hundreds of thousands of chickens on 100 acres and processing an average of 12 to 16 million eggs a week. Norco Ranch, Inc. grossed \$43 million a year and owned about a dozen smaller chicken ranches as well as the hatchery near Hemet (Japenga 1983). By the 1990s, Norco Ranch, Inc. was the largest private employer in Norco and was selling its eggs to large chains such as McDonald's, Ralphs, Vons, and Kraft Foods (Stokely 1993).

In addition to their business reputation, the Eisens are known for their philanthropy. Harry and Hilda have donated hundreds of thousands of dollars to a number of causes, including the United States Holocaust Memorial Museum, the Anti-Defamation League, Chabad, Guardians of the Jewish Homes for the Aging, and the Tel Hashomer Hospital in Israel. The Eisens also make donations through their non-profit organization, the Harry and Hilda Eisen Family Foundation, and are members of the 1939 Club and the Lodzer Organization, both of which are charitable organizations. The Eisens have been honored for their philanthropy by the Anti-Defamation League of B'nai B'rith, the Jaycees, and the Lodzer Organization (Stokely 1988; Wagner 1985).

(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019906

HRI # _____

Trinomial _____

Page 7 of 11

*Resource Name or #: (Assigned by recorder) 1658 Mountain Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

***B10. Significance:** (Continued from page 6)

Significance Evaluation. The former Eisen residence, garage, and egg plant building is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, the residence and garage retain a high degree of integrity. The original egg plant building retains only moderate integrity.

Under CRHR criterion 1, the residence is associated with post-World War II residential development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. It does not qualify for listing in the CRHR for its association with post-WWII development. The Norco Egg Ranch buildings are associated with poultry farming in Norco, which is a central theme in the City's history. The Norco Egg Ranch was the embodiment of Rex Clark's marketing plan for Norco. In the 1920s, Rex Clark founded and promoted the town as a place where the little guy could make it on his own by working independently as a chicken farmer. As a result, for decades poultry farming was a primary part of life in Norco. The Norco Egg Ranch started out small and became one of the largest egg ranches and distribution centers in the country, relying primarily on local labor. For these reasons, it represents this important theme in local history. However, the majority of historic-period buildings, such as the early chicken houses, have been demolished and large, modern buildings now dominate the setting. This loss of historic setting, coupled with the extremely nondescript character of the three remaining historic-period buildings, has limited their ability to convey their association with the Norco Egg Ranch. Therefore, they do not qualify for listing in the CRHR.

Under CRHR criterion 2, Norco Egg Ranch was founded by Harry and Hilda Eisen. The Eisens are Holocaust survivors who immigrated to the United States and took part in Displaced Person/Jewish retraining programs that emphasized poultry farming. They built a successful business, using predominantly local workers. They were involved in the City's efforts to incorporate and have been honored for their community service and philanthropic efforts. The Eisens lived in this residence for approximately 10 years and were locally prominent. However, the utilitarian and nondescript remnants of the Norco Egg Ranch do not physically convey the story of the Eisens or their business. Therefore, the buildings are not significant under this criterion.

Under CRHR criterion 3, the remaining historic-period buildings do not embody the distinctive characteristics of a type, period, region, or method of construction. They do not represent the work of an important creative individual or possesses high artistic values. Although they retain a moderate level of integrity, they do not convey their association with any particular period or style. Therefore, they do not appear to be significant under this criterion.

Under CRHR criterion 4, which is typically associated with archaeological resources, the buildings have not yielded, nor are they likely to yield, information important in prehistory or history. Therefore, they do not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, these buildings are associated with poultry farming which was an important aspect of the City's economic history since Rex Clark and the North Corona Land Company came to the area in the 1920s. While the North Corona Land Company also promoted viniculture, orchards, and the farming of rabbits, the popularity of small poultry operations was crucial to the success of Clark's Norco Farms development. Almost all of the company's advertisements mentioned poultry farming and were often accompanied by photographs of hens and chicken coops. The company had a "Poultry Headquarters" staffed by a poultry expert and catered to the needs of poultry ranchers by constructing pre-fabricated chicken coops and keeping them in storage for quick installation at a customer's property. The Norco Egg Ranch grew from a small family farm to one of the biggest egg distribution businesses in the country. It contributed greatly to the local economy by relying heavily on local workers and remaining family owned and operated. For these reasons, the Norco Egg Ranch is an important part of the City's economic history. The three remaining historic-period buildings are from the earliest period in the ranch's history and are utilitarian and nondescript with only a moderate level of integrity. In addition, their historic setting has been compromised by the removal of other historic-period buildings associated with the ranch. Because of this, they do not clearly convey their association with the Norco Egg Ranch. However, as one of the most successful, home-grown businesses in the history of Norco and one that embodies Rex Clark's vision for the community, the local importance of this business outweighs the lack of integrity of the remaining historic-period buildings, which appear to be significant under this criterion.

Under CNL criterion B, as discussed above under CRHR criterion 2 and CNL criterion A, the buildings are associated with the locally prominent Eisen family and their Norco Egg Ranch. Although they do not convey the story of the Eisens, they are the last remaining historic-period buildings closely associated with both the Eisens and their successful Norco Egg Ranch, which was locally important. Therefore, they meet this criterion for local designation.

Under CNL criterion C, similar to the discussion above under CRHR criterion 3, the buildings do not embody the distinctive characteristics of a style, type, period or method of construction and are not a valuable example of the use of indigenous materials or craftsmanship. Therefore, they do not appear to be significant under this criterion.

Under CNL criterion D, no evidence was found indicating that the buildings represent the work of a notable builder, designer, or architect. Therefore, they do not appear to be significant under this criterion.

(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019906

HRI # _____

Trinomial _____

Page 8 of 11

*Resource Name or #: (Assigned by recorder) 1658 Mountain Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

***B10. Significance:** (Continued from page 7)

Under CNL criterion E, the historic-period buildings on this property do not have a unique location or singular physical characteristic. For many years they have been screened from view by fencing and large cypress trees. They are not an established and familiar visual feature of a neighborhood, community, or of the City. Therefore, they do not appear to be significant under this criterion. The large industrial buildings on the property that are fairly visible date to the mid-1960s or later and, as modern buildings, are not old enough to be considered under this criterion.

Under CNL criterion F, the buildings are associated with post-WWII residential and industrial development, but as in-fill development that expanded over time, they do not represent a significant community planning effort and are not particularly representative of a specific era. Therefore, they do not appear to be significant under this criterion.

Under CNL criterion G, similar to CRHR criterion 4 above, the historic-period buildings are not likely to yield important information in history. The history and technological improvements related to poultry farming and egg distribution are already well-documented and the remnants of this facility will not significantly add to that body of knowledge. Therefore, the property does not appear to be significant under this criterion.

For the reasons discussed above, the buildings do not appear to meet the criteria for listing in the CRHR. However, they are significant under the local ordinance, criteria A and B, for their association with the economic history of Norco (poultry farming and the Norco Egg Ranch) and their association with the Eisens. Therefore, they are a historical resource as defined by CEQA.

***B12. References:** (Continued from page 2)

Butler, Mary

1965 "Army General Gets Tour of Norco Poultry Ranch," *Daily Enterprise – Corona Edition*, April 30.

Cramer, Mary

2011 Interviewed by Jennifer Thornton, August 30.

Eisen, Hilda

2001 "Holocaust Survivor Hilda Eisen Testimony." Interviewed by Zepporah Glass. Survivors of the Shoah Visual History Foundation, USC Shoah Foundation Institute, June 18. Accessed online on August 30, 2011 at <http://www.youtube.com/watch?v=Dage8Lad-z8>.

Japenga, Ann

1981 "The Egg and Them: Ranchers keeping their Sunny Side Up," *Los Angeles Times*, April 19: F1.

Los Angeles Times

1950 "Jewish Council Will Provide Job Training for Immigrants," *Los Angeles Times*, August 15: B4.

Luskey

1967 *Luskey's Criss Cross City Directory*. Archived at the Corona Public Library Heritage Room.

McGaffin, Don

1961 "Eichmann Trial 'Interests' Them," *The Daily Independent Enterprise – Corona Edition*, March 11: B-1.

McLoughlin, Maryann, and Gail H. Rosenthal

2008 "The Third Wave: Holocaust Survivors and South Jersey Farms," Holocaust Resource Center. Accessed online on September 1, 2011 at http://www.srietc.org/tah/Summer_Institute_2010_Docs/Maryann%20McLoughlin,%20Portraits%20of%20Resilience--The%20Third%20Wave.pdf.

Mittendorf, Robert

1985 "Chamber Lauds 3 Norconians," *Corona-Norco Independent*, January 14.

Reinke, Bette

1966 "At Norco Ranch: Breaking Egg Barrier," *Daily Independent – Norco Edition*, August 2: 3.

Stokley, Sandra

1993 "Norco Pair Step Into Past Horrors," *Press Enterprise*, September 7.

2000 "Ranch Founders Harry and Hilda Eisen Survivors of Holocaust in World War II," *Press Enterprise*, April 4.

State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

Primary # 33-019906

Trinomial

Page 9 of 11 *Resource Name or #: (Assigned by recorder) 1658 Mountain Ave.

*A1. Dimensions (aerial extent of features): a. Length ~860' by b. Width ~575'
Method of Measurement: Paced Taped Visual estimate ☒ Other: Site map
Method of Determination (Check all that apply): Artifacts ☒ Features Vegetation Soil
☒ Property boundary Topography Cut bank Animal burrow Excavation Other (Explain)

Reliability of determination: ☒ High Medium Low Explain:

Limitations (Check any that apply): Restricted access Paved/built over Site limits incompletely defined Disturbance
Vegetation Other (Explain):

A2. Depth: <60 cm None Unknown Method of Determination: Estimate

*A3. Human Remains: Present ☒ Absent Possible Unknown (Explain):

*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Nine Concrete slab/foundations: #s1-5 (~240' x 80'), #6 (~260' x 80'), #7 (~480' x 45'), #8 (~530' x 180'), #9 (~525' x 270')

*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None

*A6. Were Specimens Collected? ☒ No Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

*A7. Site Condition: Good ☒ Fair Poor (Describe disturbances):

*A8. Nearest Water: (Type, distance, and direction) Drainage channel approximately 500' to the south

*A9. Elevation: Approximately 590' AMSL

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a rural-suburban residential neighborhood.

A11. Historical Information: Harry and Hilda Eisen established the residence in the mid-1950s and constructed the large chicken houses of the Norco Ranch from the end of decade into the 1960s. The chicken houses were expanded and their footings altered from the 1960s to the 1990s.

*A12. Age: Prehistoric Protohistoric 1542-1769 1769-1848 1848-1880 1880-1914
1914-1945 ☒ Post 1945 Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known):

A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
Altered 1950s and 1960s chicken house foundations.

A14. Remarks: With the exception of their scale, the features are a typical example of relatively common, unremarkable and recent resource: historic-period poultry building foundations. They represent a minimum of archaeological data, and therefore are not a "historical resource" under CEQA per se, nor do they contribute to the potential eligibility of the primary resource (the Eisen residence). The features' resource potential has been realized by this documentation.

A15. References: Riverside County Assessor, Various real property tax assessment records, Book 9. 1899-1964
Wright, Stephen; Personal communication regarding the Norco Ranch, 2011

A16. Photographs: Frames 1-5; 12 & 13
Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

*A17. Form Prepared By: Riordan Goodwin Date: 9/2/11
Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

CONTINUATION SHEET

Primary # 33-019906

HRI # _____

Trinomial _____

Page 10 of 11

*Resource Name or #: (Assigned by recorder) 1658 Mountain Avenue

*Recorded by Riordan Goodwin

*Date: August 2011

☒ Continuation ☐ Update



View west of foundation #6, with #2 and #4 at left.



View south of foundation #7.



View west-southwest of foundation #8.



View northwest of foundation #9

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # 33-019906

HRI #

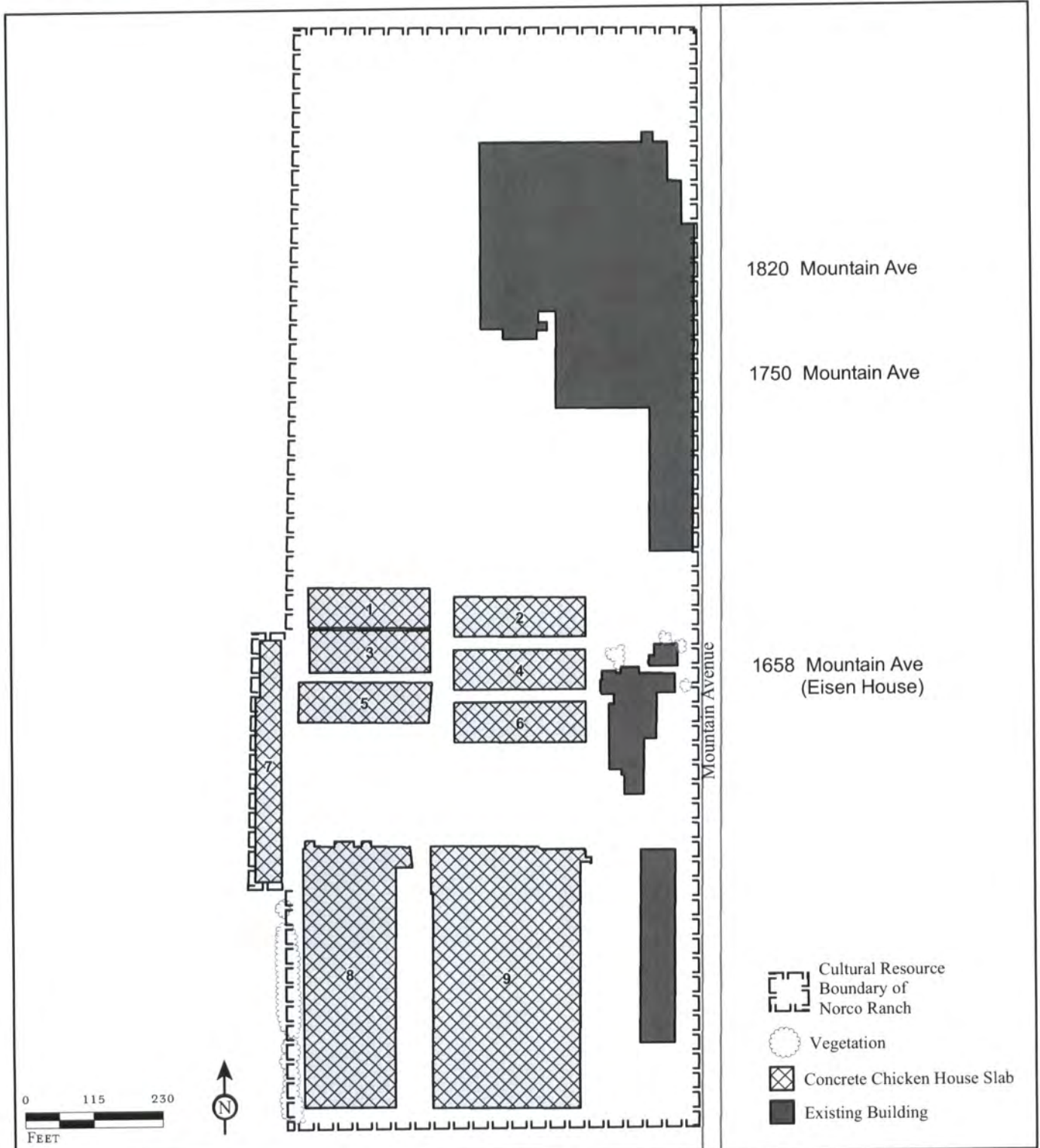
Trinomial

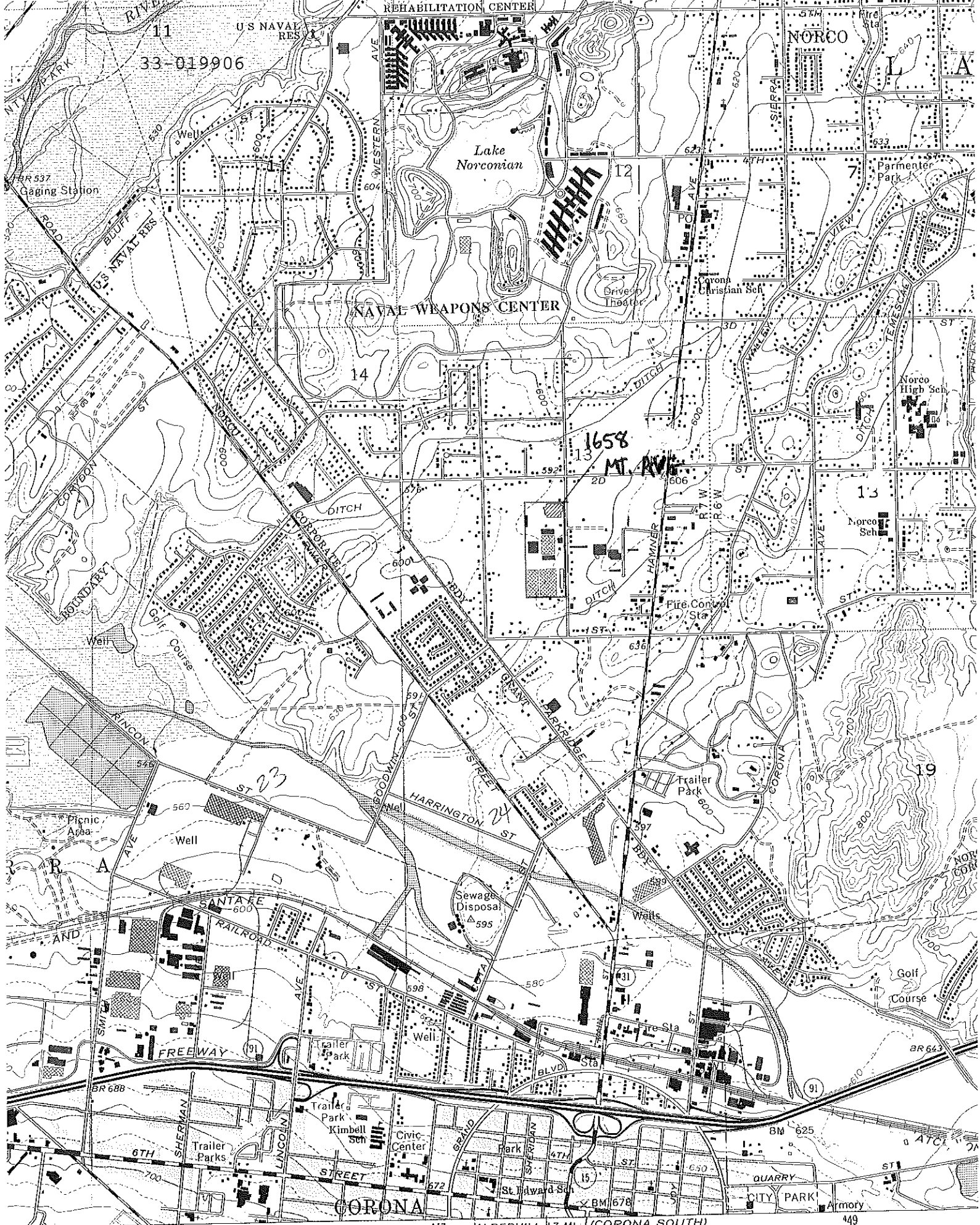
Page 11 of 11

*Resource Name or # (Assigned by recorder) 33-019906 (1658 Mountain Avenue)

Drawn By: Riordan Goodwin

Date: August 30, 2011





PRIMARY RECORD

Primary#: P-33-019914

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1765 Pacific Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M.

c. Address: 1765 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447227 mE/ 3752023 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-180-001

***P3a. Description:**

1765 Pacific Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: 1950, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Resource Name: 1765 Pacific Avenue

Page 2 of 2

Primary #: P-33-019914

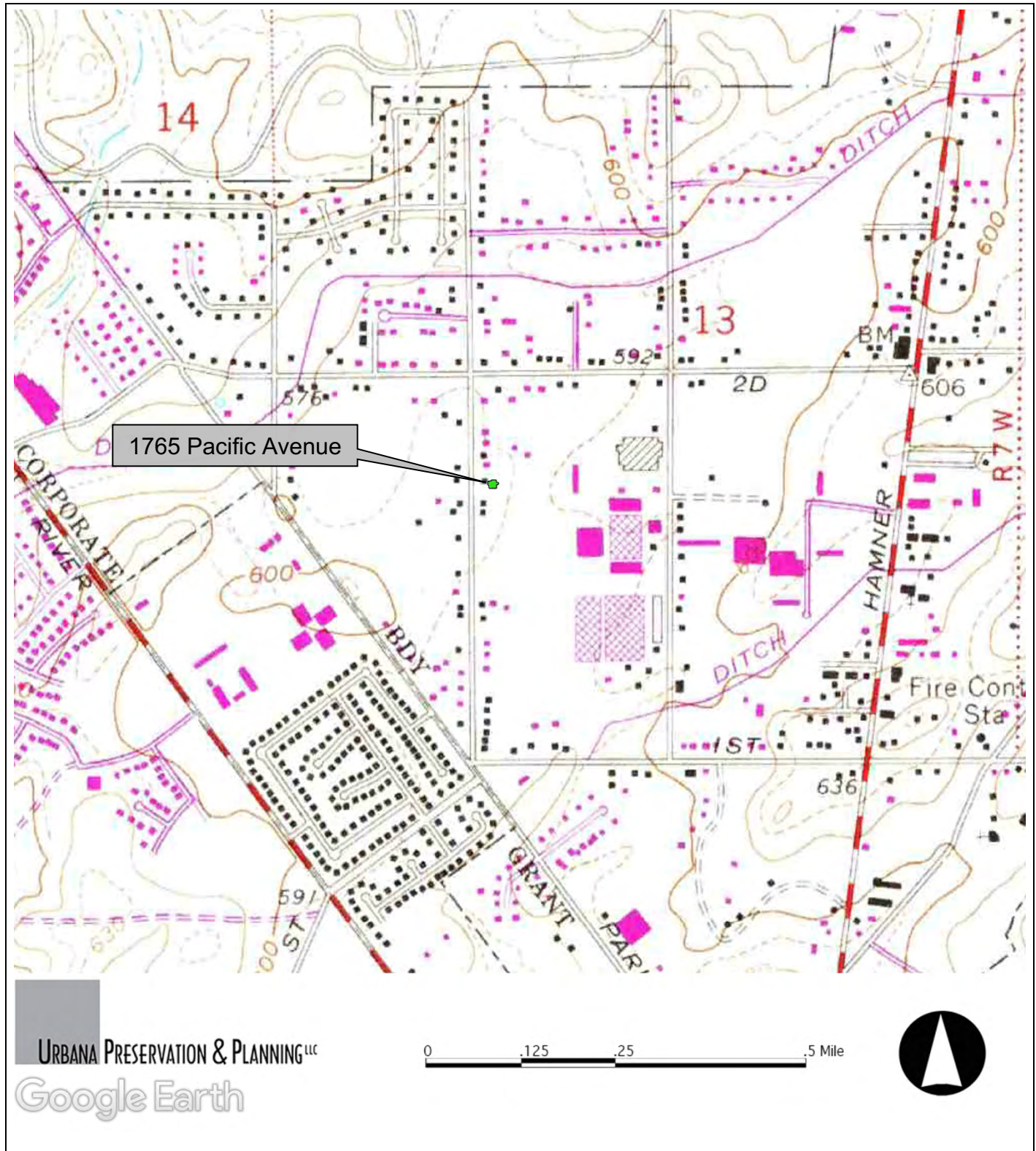
HRI #: N/A

Trinomial: N/A

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019914

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: 1765 Pacific Avenue

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S; R 7W; S.B.B.M.

c. Address: 1765 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126180001; located on the east side of Pacific Avenue between First and Second Streets

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story modest Ranch-style residence rests on a concrete foundation and is surmounted by a low-pitched side-gable roof sheathed with composition shingles. It has narrow eaves and the exterior walls are clad with stucco. The west-facing façade features pairs of wood-framed double-hung windows, a door, and a full-width porch sheltered by an extended eave supported by wood posts. A large attached garage, which appears to be a later addition, is located at the south end of the façade. There appears to be a rear addition, as well as a covered patio. The property also includes two detached sheds located south and southeast of the residence. The residence retains a fair degree of integrity.

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Top: Façade, view to the east. Bottom: Façade and south elevation, view to the northeast (8/23/11).

*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
1950 (Riverside County Assessor's Office)

*P7. Owner and Address:
H & H Properties

*P8. Recorded by: (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded:
August 2011

*P10. Survey Type: (Describe)

Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1765 Pacific Avenue

B1. Historic Name:

B2. Common Name:

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)

Originally constructed in 1950

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date:

Original Location:

*B8. Related Features:

Sheds

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture/Post World War II Development Area: City of Norco

Period of Significance: 1950

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This modest Ranch-style residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 2, during the historic period (pre-1962) the residence was owned by L.E. and Alice Woods (1950–1954). No information about owners between 1954 and 1963 was found and no evidence was found indicating that the owners are important figures in history. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1936–1941; 1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019914

HRI # _____

Trinomial _____

Page 3 of 3

*Resource Name or #: (Assigned by recorder) 1765 Pacific Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

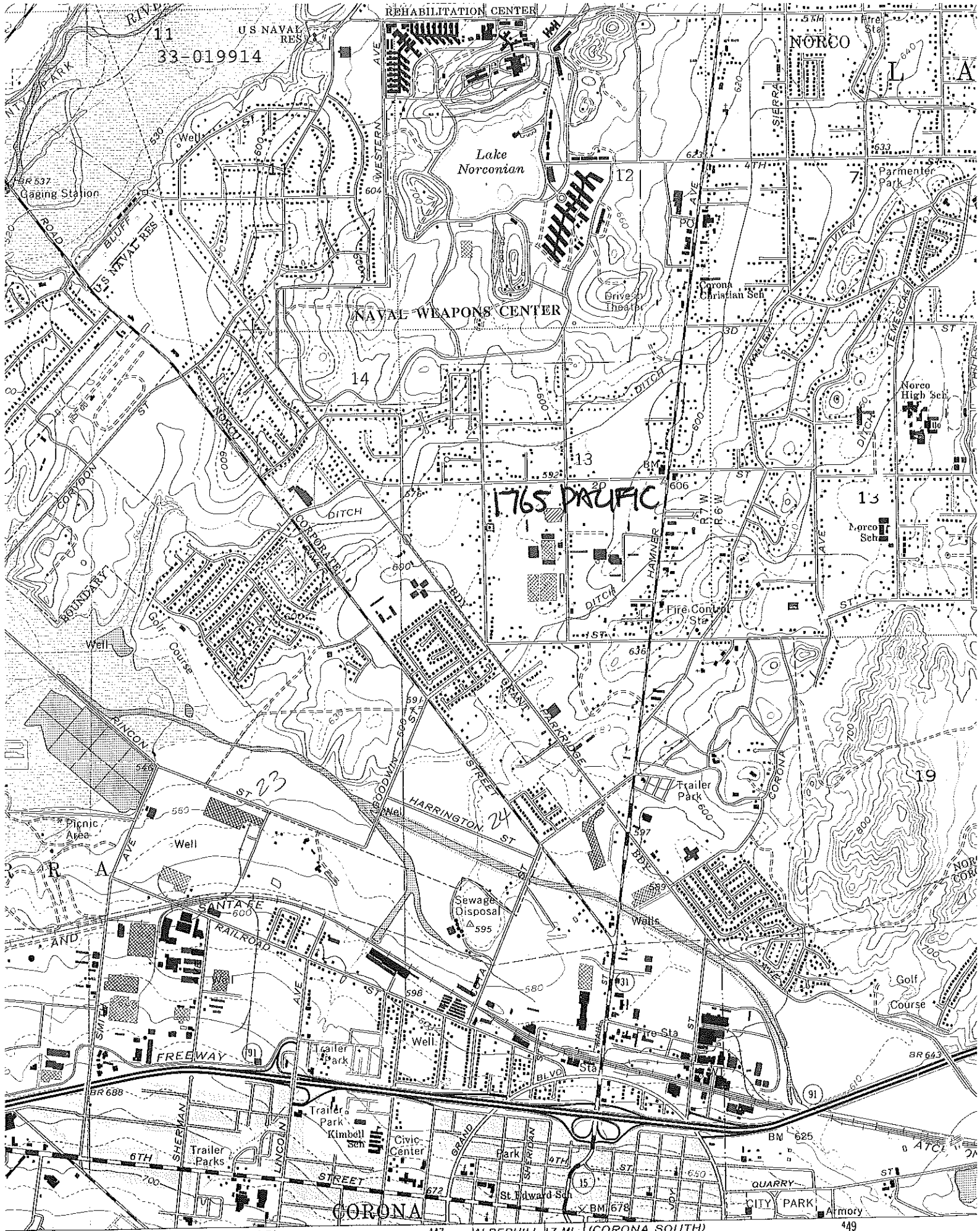
X Continuation _____ Update

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way does reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019913

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1619 Pacific Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M.

c. Address: 1619 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447222 mE/ 3751863 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-180-004

***P3a. Description:**

1619 Pacific Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: 1916, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

PRIMARY RECORD

Primary # 33-019913

HRI # _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of _____

Resource Name or #: 1619 Pacific Avenue

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S; R 7W; S.B.B.M.

c. Address: 1619 Pacific Avenue

City: Arcadia

Zip: 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126180004; located on the east side of Pacific Avenue between First and Second streets

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story vernacular farm cottage with Craftsman elements rests on a concrete foundation and is surmounted by a low-pitched, cross-gable roof sheathed with composition shingles. It has wide eaves and exposed rafter tails. The exterior walls are clad in clapboard siding. The west-facing façade includes two wood-framed ribbon windows, a door, and a partial-width porch sheltered by a projecting gable supported by pairs of wood posts atop brick piers. Based on the materials and construction, the projecting gable, wood posts, and brick piers appear to be modern. In addition, the chimney on the south side of the residence appears modern. There are detached sheds behind the residence. The residence is in good condition and retains a fair degree of integrity.

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Façade, view to the east (4/12/11)

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric

☐ Both

1916 (Riverside County Assessor's Office)

*P7. Owner and Address:

H & H Properties

*P8. Recorded by: (Name, affiliation, and address)

Casey Tibbet, M.A.

LSA Associates, Inc.

1500 Iowa Avenue, Suite 200

Riverside, CA 92507

*P9. Date Recorded:

August 2011

*P10. Survey Type: (Describe)

Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record

☐ District Record

☐ Linear Feature Record

☐ Milling Station Record

☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of

*NRHP Status Code 6L

*Resource Name or # (Assigned by recorder) 1619 Pacific Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Vernacular with Craftsman influence

*B6. Construction History: (Construction date, alterations, and date of alterations)

Originally constructed in 1916

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____

Original Location: _____

*B8. Related Features:

Detached sheds

Fragmentary concrete slab, concrete standpipe along Pacific Avenue, and a welded steel well casing (refer to ASR)

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Orange Heights Development

Area: City of Norco

Period of Significance: 1916

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Historical Overview. According to Riverside County Assessor records, the house was built in 1916 and first owned by XX (1916-XXXX). Ancestry.com, google, etc.

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

Var. 1899-1926 Real property tax assessment records, Book 9. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(Sketch Map with north arrow required.)

(This space reserved for official comments.)

CONTINUATION SHEET

Primary # 33-019913

HRI # _____

Trinomial _____

Page 3 of _____

*Resource Name or #: (Assigned by recorder) 1619 Pacific Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

P5a. Photo or Drawing (Continued from page 1)



Exterior and street elevation, view to the northeast (4/12/11)

*B10. Significance: (Continued from page 2)

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (XX).

Under CRHR criterion 1, the residence is associated with development of the Orange Heights Tract. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 2, during the historic period (pre-1962) the residence was owned by XX. No evidence was found indicating that these people are important figures in history. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 3, the residence is a vernacular with a Craftsman influence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 1, the residence is associated with development of the Orange Heights Tract XXX. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Craftsman influence conveys an association with the early part of the 1900s does reflect a certain era of settlement. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular residence with Craftsman influences does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

Primary # 33-019913
Trinomial _____

Page ? of ? *Resource Name or #: (Assigned by recorder) 1619 Pacific Avenue

*A1. Dimensions (of parcel): a. Length ~660' by b. Width ~660'
Method of Measurement: Paced Taped Visual estimate X Other: Site map/historic aerials

Method of Determination (Check any that apply): Artifacts X Features Vegetation Soil

 Property boundary Topography Cut bank Animal burrow Excavation X Other (Explain) Parcel boundary

Reliability of determination: X High Medium Low Explain: _____

Limitations (Check any that apply): Restricted access Paved/built over Site limits incompletely defined Disturbance

 X Vegetation Other (Explain): _____

A2. Depth: 600+ cm None Unknown Method of Determination: Well estimated to be more than 20' deep.

*A3. Human Remains: Present X Absent Possible Unknown (Explain): _____

*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Fragmentary concrete slab (447240mE/3751803mN) concrete standpipe along Pacific Avenue, and a welded steel 10' well casing (447275mE/3751897mN).

*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None

*A6. Were Specimens Collected? X No Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

*A7. Site Condition: Good Fair X Poor (Describe disturbances): _____

*A8. Nearest Water: (Type, distance, and direction) Drainage ditch approximately 1250' to the southeast.

*A9. Elevation: Approximately 590' AMSL

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a Rural- suburban residential neighborhood.

A11. Historical Information: Residence was constructed in 1916, the shed was constructed by the late 1930s and appears to have been removed by the late 1970s; the well appears to have been drilled by the early 1950s.

*A12. Age: Prehistoric Protohistoric 1542-1769 1769-1848 1848-1880 1880-1914
 X 1914-1945 X Post 1945 Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known): _____

A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
Residence was probably constructed as a farm house, parcel was likely cultivated by the late 1930s into the 1960s; well and standpipe probably part of agricultural water conveyance infrastructure and shed also likely supported agricultural operations.

A14. Remarks: Features are typical examples of ubiquitous, unremarkable resources: water conveyance features associated with historic-period agriculture and a slab associated with a historic-period residence. The features represent a minimum of archaeological data, do not appear to be "historical resources" under CEQA, nor contribute to the residential building's significance. Their resource potential has been realized by this documentation.

A15. References: Aerial Photographs, 1938, 1953, 1968, 1977 from AMI, USDS and Teledyne via GeoSearch
Riverside County Assessor, Various real property tax assessment records, Book 9. 1899-1964

A16. Photographs: Frames 14-17
Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

*A17. Form Prepared By: Riordan Goodwin Date: 9/13/11
Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

CONTINUATION SHEET

Primary # 33-019913

HRI # _____

Trinomial _____

Page ? of ?

*Resource Name or #: (Assigned by recorder) 1619 Pacific Avenue

*Recorded by Riordan Goodwin

*Date: August 2011

☒ Continuation

☐ Update



View south of well casing.



View south of fragmentary concrete slab of shed.



View southwest of concrete standpipe with Pacific Avenue in background.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # 33-019913

HRI #

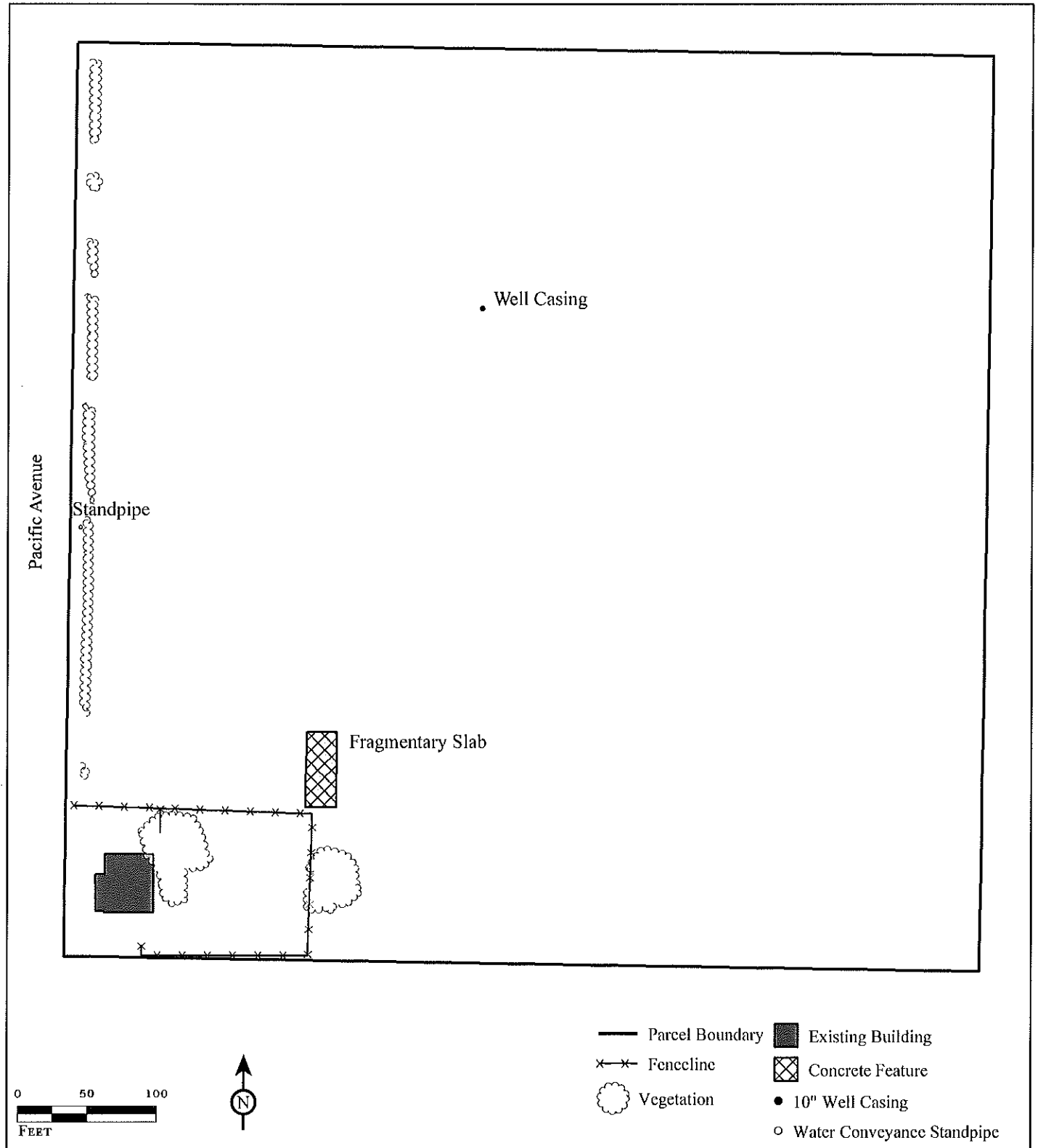
Trinomial

Page 3 of 4

*Resource Name or # (Assigned by recorder) 1619 Pacific Avenue

Drawn By: Riordan Goodwin

Date: August 30, 2011



PRIMARY RECORD

Primary#: P-33-019912

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1577 Pacific Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M.

c. Address: 1577 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447229 mE/ 3751727 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-180-005

***P3a. Description:**

1577 Pacific Avenue was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation

***P6. Date Constructed/Age and Source:**

☒ Historic: 1915, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Resource Name: 1577 Pacific Avenue

Page 2 of 2

Primary #: P-33-019912

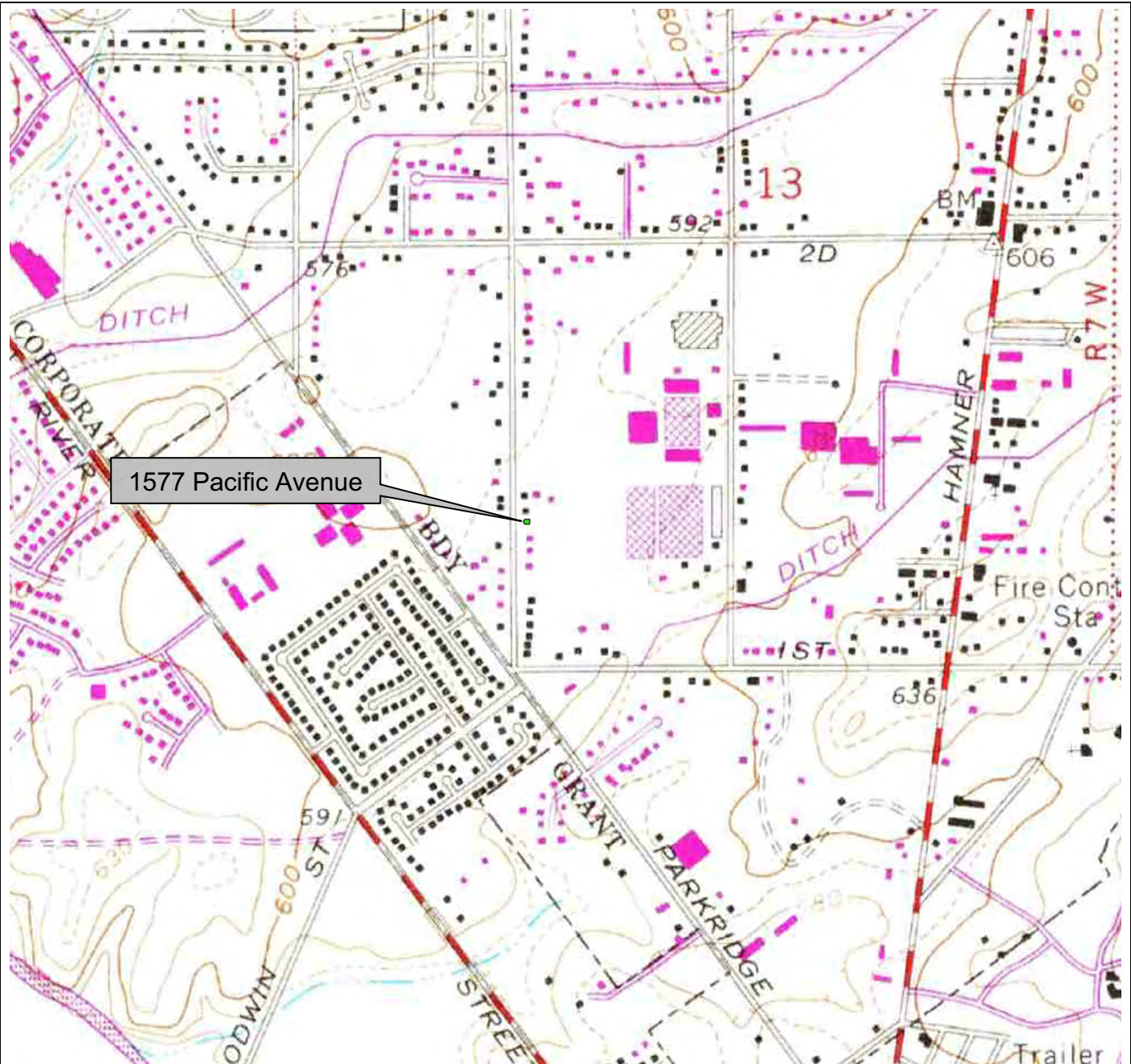
HRI #: N/A

Trinomial: N/A

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019912

HRI # _____

Trinomial _____

NRHP Status Code 6L

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 7

Resource Name or #: 1577 Pacific Avenue

P1. Other Identifier: _____

***P2. Location:** ☐ Not for Publication ☒ Unrestricted ***a. County:** Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Corona North **Date:** 1967 PR 1981 **T** 3S ; **R** 7W ; S.B.B.M.

c. Address: 1577 Pacific Avenue **City:** Norco **Zip:** 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126180005; located on the east side of Pacific Avenue between First and Second Streets

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story vernacular farm cottage rests on a concrete foundation and is surmounted by a cross-gable roof sheathed with composition shingles. The exterior walls are clad with clapboard siding. The west-facing façade includes two wood-framed windows, a door, and a projecting gable supported by turned wooden spindles. Other visible fenestration includes wood-framed double-hungs. There is a rear shed-roof addition and air conditioning units have been installed in two of the windows in the north elevation. The residence retains a fair degree of integrity.

***P3b. Resource Attributes:** (List attributes and codes) HP2 – Single family residence

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Façade and north elevation, view to the southeast (4/12/11)

***P6. Date Constructed/Age and Sources:** ☒ Historic

☐ Prehistoric ☐ Both
1920 (Riverside County Assessor's Office)

***P7. Owner and Address:**
H & H Properties

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
August 2011

***P10. Survey Type:** (Describe): Intensive CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

***Attachments:** ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 7

*NRHP Status Code 6L

*Resource Name or # (Assigned by recorder) 1577 Pacific Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Vernacular farm house

*B6. Construction History: (Construction date, alterations, and date of alterations)

1920 was the first year the Riverside County Assessor records list assessments for improvements.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

Concrete slabs and a poured concrete rectangular well (refer to ASR)

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Citrus Belt Land Company Area: City of Norco

Period of Significance: 1920

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular farm cottage does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history. However, as one of the few remaining fairly intact homes in Norco that dates to the early 1900s, it warrants special consideration in local planning. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Brown, John Jr., and James Boyd

1922 *History of San Bernardino and Riverside Counties*. Chicago, IL: The Lewis Publishing Company.

Los Angeles Times

1908 "Citrus Land, Record Deal," October 18: V-1.

1910 Advertisement, February 11: I-8.

Riverside County Assessor

1913–1919 Real property tax assessment records, Book 21. Microfiches on file, Riverside County Assessor's Office, Riverside.

1920–1925 Real property tax assessment records, Book 18. Microfiches on file, Riverside County Assessor's Office, Riverside.

1926–1931 Real property tax assessment records, Book 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

1932–1935 Real property tax assessment records, Book 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

1936–1941; 1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map

12. Microfiches on file, Riverside County Assessor's Office, Riverside.

Tibbet, Casey and Bill Wilkman

2011 Norco Historic Resources Survey. Prepared for and on file at the City of Norco.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019912
HRI # _____
Trinomial _____

Page 3 of 7 *Resource Name or #: (Assigned by recorder) 1577 Pacific Avenue
*Recorded by LSA Associates, Inc. *Date: _____ ☒ Continuation ☐ Update

P5a. Photo or Drawing (Continued from page 1)



Façade and south elevation, view to the northeast (4/12/11)

***B10. Significance:** (Continued from page 2)

Historic Context. Between 1908 and 1922, the lands of what would become Norco were first divided into lots for sale to individuals. In October 1908, the *Los Angeles Times* reported the sale of the 18,000 acre Stearns Rancho to George E. Pillsbury and W.J. Hole (*Los Angeles Times* 1908). These men, along with Paul Blades and E.H. Bagby, would later form the Citrus Belt Land Company and build the first subdivisions in Norco. Shortly after this sale, the Citrus Belt Land Company began laying out subdivisions in the area that would become the City of Norco. Orange Heights Tract #1, the first subdivision in Norco, was recorded on June 9, 1909. The 93-lot subdivision extended from First Street north to Third Street. Parcels ranged in size from 7.40 acres to 35.58 acres, with the most common lot size around 10 acres. The following year the second phase of the Orange Heights development, the 82-lot Orange Heights Tract #2, was established to the north.

The Citrus Belt Land Company created a mutual water company called the Orange Heights Water Company. In 1909, this company constructed reservoirs covering approximately fifteen acres and, in 1910, dug several wells, graded roads, and laid miles of irrigation pipe. In addition the Citrus Belt Land Company built a nursery and planted 16 acres of navel oranges (*Los Angeles Times* 1910). Advertisements targeted middle-class families hoping to make a living off the land and encouraged the establishment of numerous, small-scale citrus operations. By the close of 1912, 21 lots in the Orange Heights Tracts had been sold to individuals and there were 17 lots with assessable structures.

Despite claims that Orange Heights was ideal for growing citrus, citrus crops proved unsuccessful due to unfavorable soil and climatic conditions. During the 1910s, citrus trees were gradually replaced with other crops, particularly deciduous fruits such as apricots, peaches, and pears. By 1920, the transition away from citrus was nearly complete and the Corona Chamber of Commerce conducted a contest to come up with a new name for the area. A total of 147 names were entered, and the winning name was "Orchard Heights."

The newly christened Orchard Heights, with its small, profitable ranches producing a variety of fruits and vegetables, was considered "a desirable place for a country home" (Brown and Boyd 1922). By 1921, of the 209 lots in the Orange Heights Tracts, 155 (74%) had been sold and were now individually owned. A total of 109 lots (52%) had assessable structures, and 29 lots (14%) had assessable tree or vine crops. To facilitate sales, the company had split some lots into smaller parcels. Where Orange Heights Tract #1 started with 93 lots, it had 120 lots by 1921.

With most of its Orchard Heights lots sold and no plans to pursue subdivision of its remaining lands, the Citrus Belt Land Company bowed out of the picture in the early 1920s. County Assessor's records reflect that in 1922, all of the unsold lots in the Orchard Heights Tracts had become the property of the Los Angeles Trust and Savings Bank. The undivided lands north of these tracts, formerly owned by the Citrus Belt Land Company, also became the property of the bank. In 1923, County Assessor's records list all of these unsold lots and land as the property of a new developer, the North Corona Land Company owned by Rex Clark.

(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019912

HRI # _____

Trinomial _____

Page 4 of 7

*Resource Name or #: (Assigned by recorder) 1577 Pacific Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

***B10. Significance:** (Continued from page 3)

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain a fair degree of integrity.

Under CRHR criterion 1, the residence is associated with the Citrus Belt Land Company, Orange Heights Tract #1, and the earliest development (1908-1922) in what would become Norco. The residence dates to the later period of development, but is one of less than 15 buildings in the City that are known to date to that time (Tibbet and Wilkman 2011). However, because it has been altered it does not appear to be significant under this criterion. Under CRHR criterion 2, according to Riverside County Assessor records, in 1913 the Citrus Belt Land Company owned this property (Riverside County Assessor 1913-1919). B.J. Welch acquired the property in 1916 and the first assessment for improvements occurred in 1920 (Riverside County Assessor 1920-1925). B.J. Welch was listed as the owner until 1925 (ibid.). Other owners during the historic period (pre-1962) include: T.L. Henson (1926-1932); F.J. Whiteside et al. (1933-1938); Mildred A. and Davis N. Whiteside (sister and brother, 1939-1941); Jason R. and Nancy E. Taylor (1943 to at least 1970; Riverside County Assessor 1926-1931; 1932-1935; 1936-1941; 1942-1947; 1948-1952; 1953-1958; 1959-1963; and 1965-1970). No evidence was found indicating that any of these people are important figures in history. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 3, the vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, as discussed above, the residence is associated with the Citrus Belt Land Company and the earliest development in what would become Norco. This venture gave the area its start and, therefore, is an important part of Norco's history. Although the residence lacks integrity and does not appear eligible for designation under this criterion, as one of the few remaining residences from that period, it warrants special consideration in local planning. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the vernacular style of residence is not particularly indicative of any era and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA. However, because it is one of the few remaining residences associated with the Citrus Belt Land Company era (1908-1922), it warrants special consideration in local planning.

State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

Primary # 33-019912

Trinomial

Page 5 of 7 *Resource Name or #: (Assigned by recorder) 1577 Pacific Avenue

*A1. Dimensions (of parcel): a. Length ~650' by b. Width ~80'
Method of Measurement: Paced ☒ Taped ☐ Visual estimate ☒ Other: Site map/estimate
Method of Determination (Check all that apply): ☐ Artifacts ☒ Features ☐ Vegetation ☐ Soil
☒ Property boundary ☐ Topography ☐ Cut bank ☐ Animal burrow ☐ Excavation ☐ Other (Explain)
Reliability of determination: ☒ High ☐ Medium ☐ Low Explain:
Limitations (Check any that apply): ☐ Restricted access ☐ Paved/built over ☐ Site limits incompletely defined ☐ Disturbance
☒ Vegetation ☐ Other (Explain):

A2. Depth: <30 cm ☐ None ☐ Unknown ☐ Method of Determination: Estimate

*A3. Human Remains: ☐ Present ☒ Absent ☐ Possible ☐ Unknown (Explain):

*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Concrete slabs (~50' x 30'; ~40' x 30'; ~30' x 25' and ~15' x 15' around well), along with a poured concrete rectangular well (4' x 4' x 3.5' thick >25' deep).

*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None

*A6. Were Specimens Collected? ☒ No ☐ Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

*A7. Site Condition: ☐ Good ☒ Fair ☐ Poor (Describe disturbances):

*A8. Nearest Water: (Type, distance, and direction) Drainage ditch approximately 1,200' to the southeast.

*A9. Elevation: Approximately 588' AMSL

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a rural-suburban residential neighborhood.

A11. Historical Information: Residence was constructed in 1915.

*A12. Age: ☐ Prehistoric ☐ Protohistoric ☐ 1542-1769 ☐ 1769-1848 ☐ 1848-1880 ☐ 1880-1914
☒ 1914-1945 ☐ Post 1945 ☐ Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known):

A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
Well was likely excavated at time of the house's construction (1915) and slabs appear to have had buildings constructed on them by the late 1930s. Outbuildings appear to have been removed some time between late 1960s and mid-1990s.

A14. Remarks: Features are a typical example of ubiquitous, unremarkable resources: associated outbuilding, feature foundations and a well associated with a historic residence. The features represent a minimum of archaeological data, collectively do not appear to be a "historical resource" under CEQA, nor contribute to the residential building's significance. Their resource potential has been realized by this documentation.

A15. References: Aerial Photographs, 1938, 1953, 1968, 1994 from AMI, USDS and Teledyne via GeoSearch
Riverside County Assessor, Various real property tax assessment records, Book 9, 1899-1964

A16. Photographs: Frames 24-31
Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

*A17. Form Prepared By: Riordan Goodwin Date: 9/12/11
Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

CONTINUATION SHEET

Primary # 33-019912

HRI # _____

Trinomial _____

Page 6 of 7

*Resource Name or #: (Assigned by recorder) 1577 Pacific Avenue

*Recorded by Riordan Goodwin

*Date: August 2011

☒ Continuation ☐ Update



View northwest of well and wooden tripod above it.



View west-southwest of poured concrete well.



View northeast of northeast 40' x 30' slab.



View east of southern fragmentary 50' x 30' slab and well

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

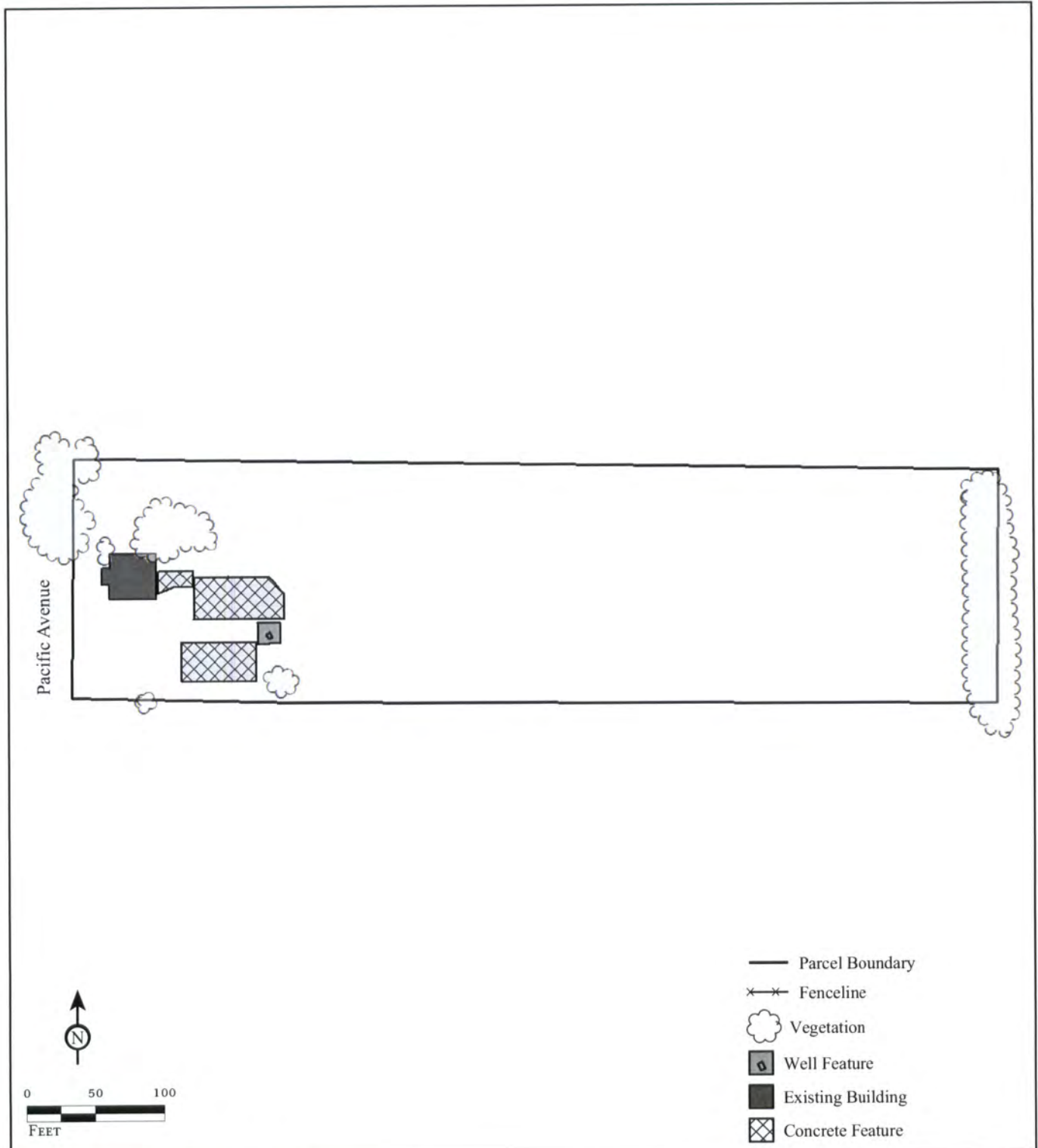
Primary # 33-019912
HRI # _____
Trinomial _____

Page 7 of 7

*Resource Name or # (Assigned by recorder) 33-019912 (1577 Pacific Avenue)

Drawn By: Riordan Goodwin

Date: August 30, 2011





PRIMARY RECORD

Primary#: N/A
HRI#: N/A
Trinomial #: N/A
CRHR Status Code: 6Z
Other Listings:

Review Code _____ Reviewer _____ Date _____
Resource Name: 1541 Pacific Avenue
Page 1 of 3

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; **B.M.** _____

c. Address: 1541 Pacific Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, mE/ mN

e. Other Locational Data: Riverside County Assessor's Parcel No. 126-180-007

***P3a. Description:** Constructed in 1971, the 1541 Pacific Avenue property includes a single-story, single-family dwelling constructed in a late Ranch style with a principal side gabled roof and a cross gable that projects out from the front facade to cover the attached two-car garage, giving the home an L-shaped plan. The garage is enclosed by a replacement roll-up door, with a row of four fanlights. Exterior wall are stucco-clad in a rough texture; roofing is contemporary terra cotta tile; and visible windows appear to be replacement vinyl units. The home features an arcaded breezeway that serves as the walkway to the front entrance. The breezeway features one front-facing arch and three additional side-facing arches, all lined in brick (within the arch) and clad in additional brick at the base of each arch. The stucco and brick work continues in the low wall constructed in the front yard, that is further enclosed by decorative iron railing. Overall the exterior appears to be in good condition, although it is architecturally unmeritorious. Additional buildings and structures are sited to the rear of the dwelling; these improvements are not discernible from the public right of way, but appear to include a secondary dwelling, barns or stables, and an equestrian ring, which collectively fill in much of the developable land area within the narrow parcel.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View east of west elevation.

***P6. Date Constructed/Age and Source:**

☒ Historic: 1971, Riverside County Assessor
☐ Prehistoric
☐ Both

***P7. Owner and Address:**

Elias S. Jiminez
1541 Pacific Avenue
Norco, CA 92860

***P8. Recorded by:**
Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC,

Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other:

B1. Historic Name: Jiminez Residence

B2. Common Name: Jiminez Residence

B3. Original Use: Single-Family Dwelling

B4. Present Use: Single-Family Dwelling

***B5. Architectural Style:** Ranch

***B6. Construction History:** Constructed in 1971 according to City of Norco Building Permit No. 1852; Bathroom Addition (1978, Permit No. 3516); Replace original windows (date unknown), garage door replacement (date unknown); construction of rear buildings and structures (ca. 1994-2003).

***B7. Moved?** ☒ No ☐ Yes ☐ Unknown **Date:** N/A

Original Location: N/A

***B8. Related Features:** None

B9a. Architect: Not Identified

b. Builder: Not Identified

***B10. Significance:** **Theme:** Residential Architecture / Post World War II Development **Area:** City of Norco
Period of Significance: 1971 **Property Type:** Residence **Applicable Criteria:** None

Little information was discovered through historical research to support a positive finding of individual eligibility. Without evidence to indicate otherwise, the subject property has been found not eligible under NRHP / CRHR Criterion A / 1 as it has not been associated with significant events or patterns of events in local, regional, state, or national history; not eligible under Criterion B / 2 as it has not been identified as having an association with an important person; not eligible under Criterion C / 3 as it has not been identified as embodying the distinctive characteristics of a Ranch style home and has not been identified as being the work of a master or an important and creative individual; and not eligible under Criterion D / 4 as further study of the subject property would not appear to yield information which could be considered important in local, regional, state, or national history.

B11. Additional Resource Attributes:

***B12. References:** Riverside County Assessor, City of Norco Building Permit Records

B13. Remarks: None

***B14. Evaluator:** Ginger Weatherford, MPS, Associate | Urbana Preservation & Planning, LLC | www.urbanapreservation.com

***Date of Evaluation:** January 2019

(Sketch Map with north arrow required.)

Refer to DPR 523 J for site location map(s).

(This space reserved for official comments.)

LOCATION MAP

Primary #: N/A

HRI #: N/A

Trinomial: N/A

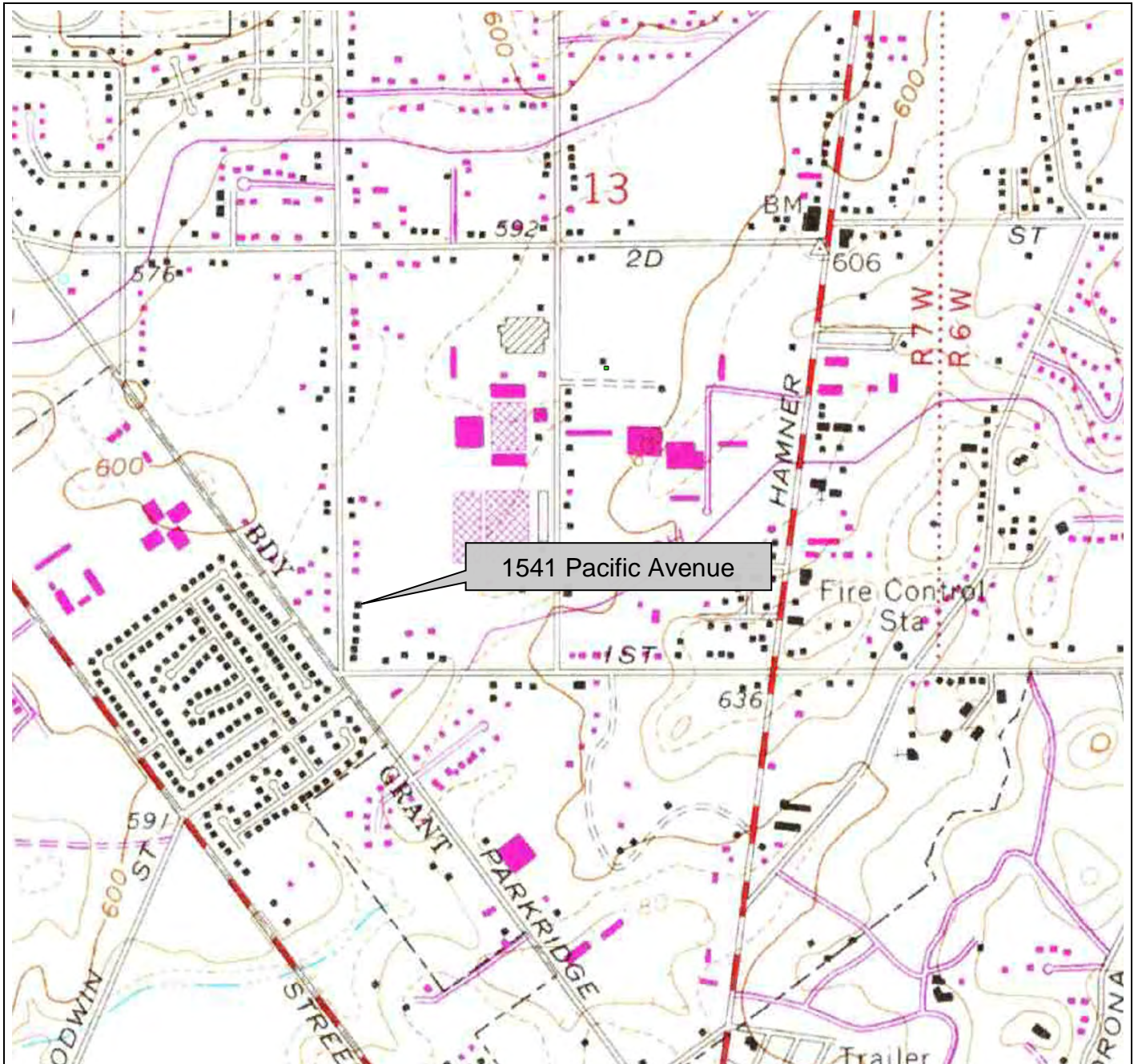
Resource Name: 1541 Pacific Avenue

Page 3 of 3

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



PRIMARY RECORD

Primary#: P-33-019903

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2390 Second Street

Page 1 of 2

P1. Other Identifier: 2390 2nd Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2390 Second Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447441 mE/ 3752216 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-009

***P3a. Description:**

2390 Second Street was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View southeast of north and west elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1958, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019903

HRI #: N/A

Trinomial: N/A

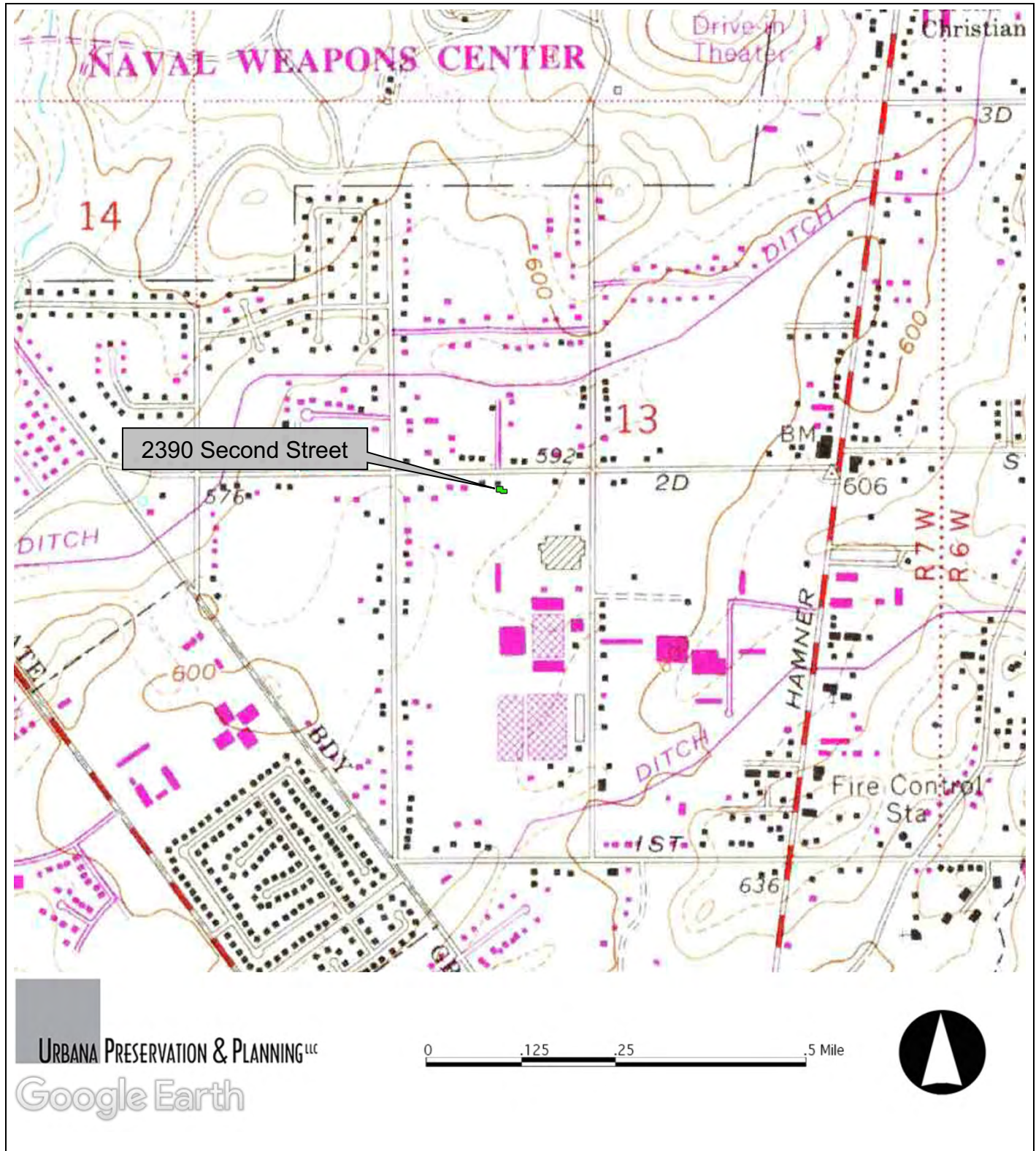
Resource Name: 2390 Second Street

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019903

HRI # _____

Trinomial _____

NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 3

Resource Name or #: 2390 Second Street

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S ; R 7W ; S.B.B.M.

c. Address: 2390 Second Street City: Norco Zip: 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126170009; located on the south side of Second Street between Pacific and Mountain Avenues

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This modest, one-story Ranch-style residence rests on a concrete foundation and is surmounted by a high-pitched gable-on-hip roof sheathed with composition shingles. It has narrow eaves with exposed rafter tails and the exterior walls are clad in stucco. The north-facing façade includes a recessed entry and three metal-framed ribbon windows with diamond-paned casement windows flanking fixed panes. An air conditioning unit has been installed in one of the windows. Although obscured from view by vegetation, there appears to be an addition on the east side of the residence that has attached the house to the garage. The residence retains a fair degree of integrity.

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Façade, view to the southeast (8/23/11)

*P6. Date Constructed/Age and Sources: ☒ Historic

☐ Prehistoric ☐ Both

1958 (Riverside County Assessor's Office)

*P7. Owner and Address:
H & H Properties

*P8. Recorded by: (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded:
August 2011

*P10. Survey Type: (Describe)
Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 2390 Second Street

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence B4. Present Use: Single-family residence

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1958.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features: _____

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme: _____ Area: City of Norco

Period of Significance: _____ Property Type: _____ Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This modest Ranch-style residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1–4) and the City of Norco criteria (A–G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1936–1941; 1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019903

HRI # _____

Trinomial _____

Page 3 of 3

*Resource Name or #: (Assigned by recorder) 2390 Second street

*Recorded by LSA Associates, Inc.

*Date: August 2011

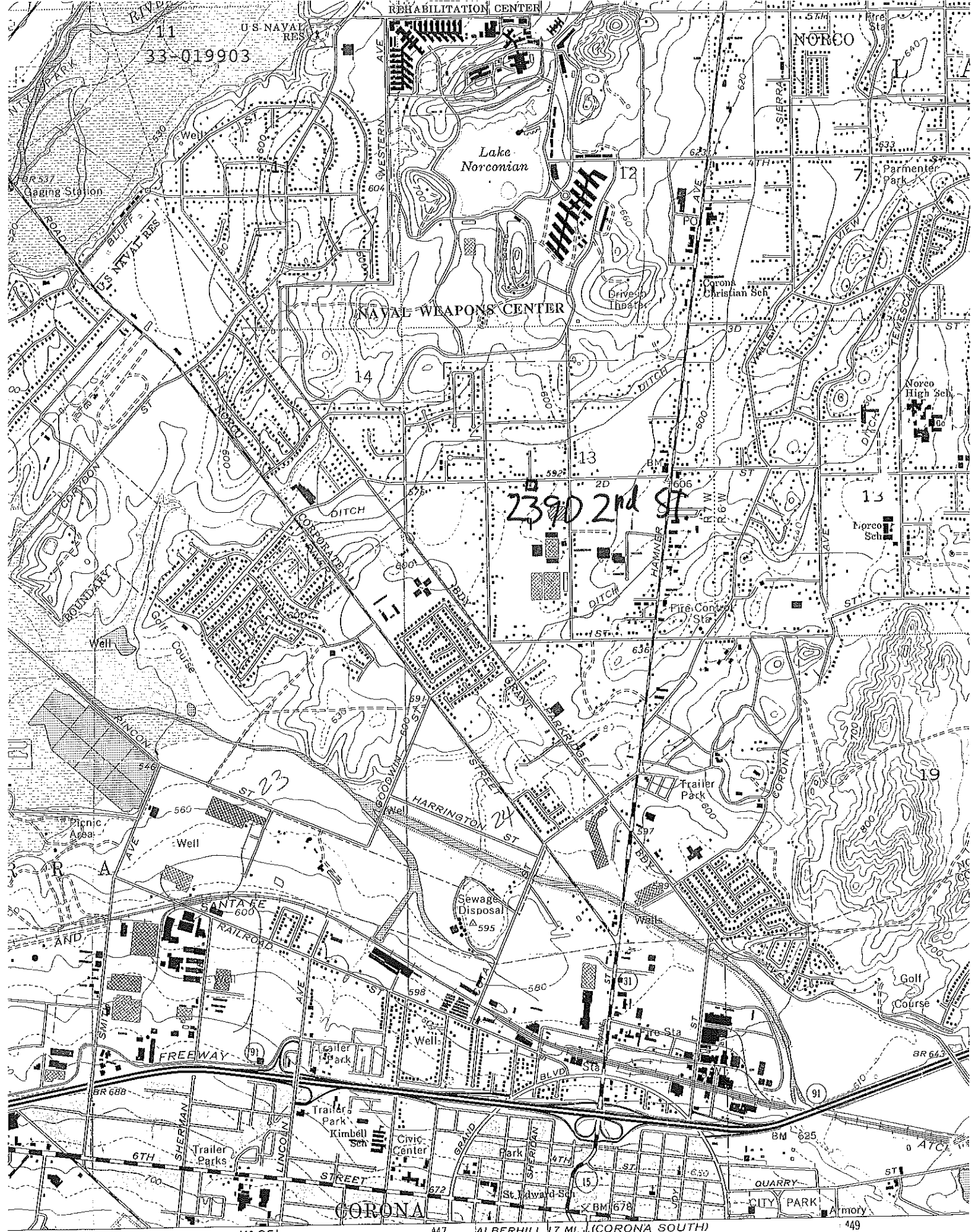
X Continuation _____ Update

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 2, during most of the historic period (pre-1962) this property was part of a larger approximately 9 acre parcel and ownership records for the smaller lots are somewhat unclear. However, the residence was reportedly built in 1958 when the property was owned by Herbert Lewis (Riverside County Assessor). From 1965 to at least 1970 Juana A. Ramirez is listed as the owner (ibid.). No evidence was found indicating that these people are important figures in history. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 1, the residence is associated with post-WWII residential development, but no more so than thousands of other similar structures throughout the region. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way does reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019900

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2214 Second Street

Page 1 of 2

P1. Other Identifier: 2214 2nd Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2214 Second Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447579 mE/ 3752225 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-011

***P3a. Description:**

2214 Second Street was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2, HP4

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:
View southeast of north and west elevations

***P6. Date Constructed/Age and Source:**

☒ Historic: 1927, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019900

HRI #: N/A

Trinomial: N/A

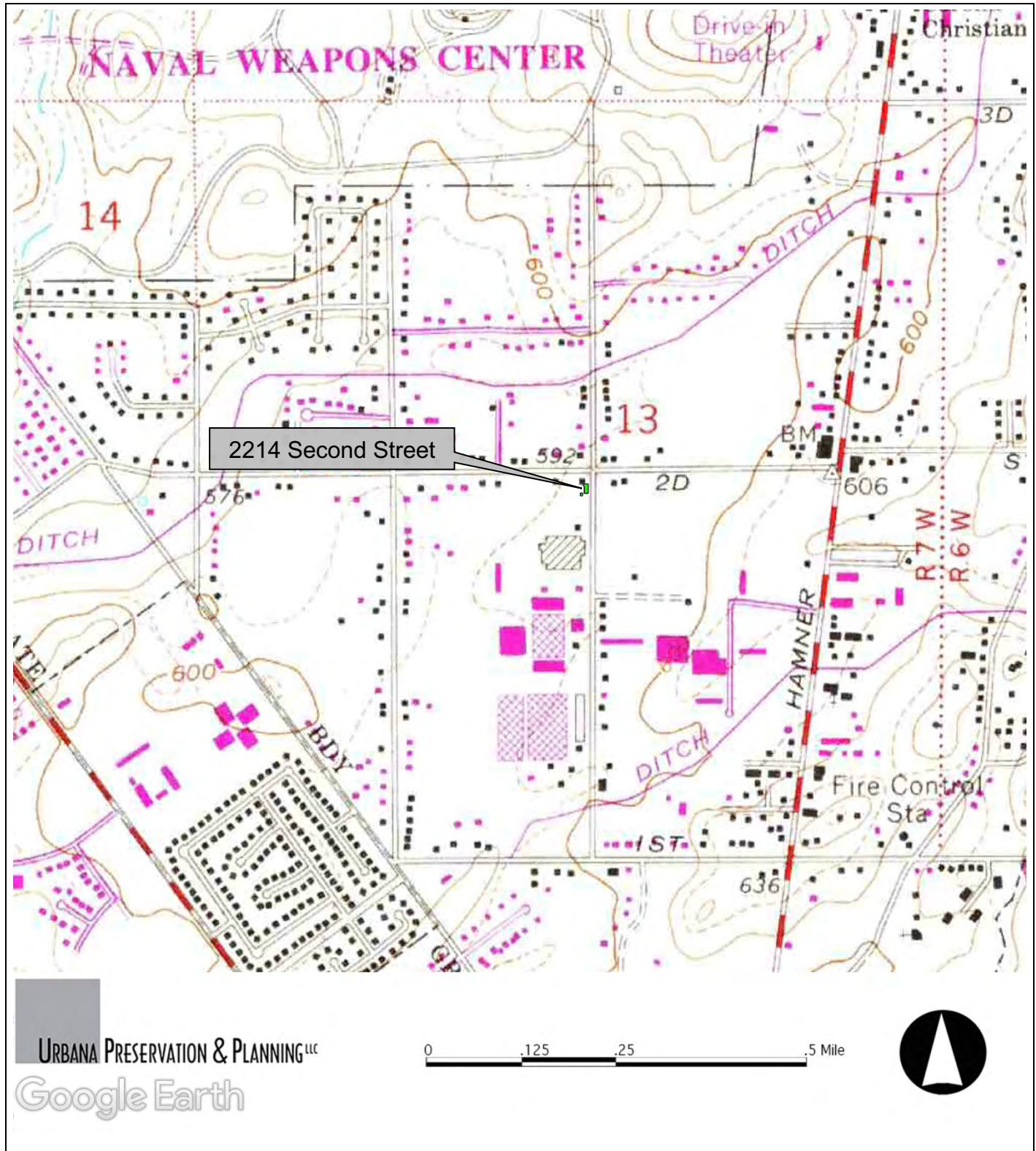
Resource Name: 2214 Second Street

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019900

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 4

Resource Name or #: 2214 Second Street

P1. Other Identifier: _____

***P2. Location:** ☐ Not for Publication ☒ Unrestricted ***a. County:** Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Corona North **Date:** 1967 PR 1981 **T** 3S ; **R** 7W ; **S.B.B.M.**

c. Address: 2214 Second Street **City:** Norco **Zip:** 92860

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) **APN:** 126170011; located on the southwest corner of Second Street and Mountain Avenue

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story vernacular residence rests on a concrete foundation and is surmounted by a front gable roof and a flat roof. It has narrow eaves and the exterior walls are clad with modern stucco. The north-facing façade features a large, flat-roofed addition that may once have been a full-width porch that at sometime was partially enclosed to create more living space. All of the windows are boarded over and the building and property are in poor condition. A detached garage is located behind the residence and takes access from Mountain Avenue. The residence retains low integrity.

***P3b. Resource Attributes:** (List attributes and codes) HP2 – Single family residence

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Façade, view to the southwest (4/11/11)

***P6. Date Constructed/Age and Sources:** ☒ Historic

☐ Prehistoric ☐ Both
1927 (Riverside County Assessor's Office)

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
August 2011

***P10. Survey Type:** (Describe)

Intensive CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

***Attachments:** ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 4

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 2214 Second Street

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence B4. Present Use: Abandoned

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1927

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:
Detached garage

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme: North Corona Land Company Area: City of Norco

Period of Significance: 1927 Property Type: _____ Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This altered vernacular residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Historic Context. Rex Clark and his North Corona Land Company were responsible for expanding on the earlier Citrus Belt Land Company development efforts. Depending heavily on his wife's inheritance, Clark engaged in land speculation and devoted considerable time to the creation of the town of Norco and the opulent Norconian Resort Supreme. In 1920, an article in the *Corona Daily Independent* reported that Clark had bought 800 acres of land formerly held by the Citrus Belt Land Company with the intention of making extensive improvements to it. Two years later, Clark was selling mortgage bonds and installing major improvements, spending \$75,000 to install wells, lay a steel pipe irrigation system, plant orchards, and purchase a concrete pipe making machine. By 1923 Riverside County Assessor's rolls reflect that the North Corona (see Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Corona Daily Independent

1920 "Pasadena Man Buys Over Eight Hundred Acres in Orchard Heights: Will Develop Property at Once," October 29.

1926 "Norco Project Explained by Rex Clark to Rotarians," April 9.

Riverside County Assessor

1920–1925 Real property tax assessment records, Book 18. Microfiches on file, Riverside County Assessor's Office, Riverside.

1926–1931 Real property tax assessment records, Book 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

1932–1935 Real property tax assessment records, Book 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

1936–1941; 1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019900

HRI # _____

Trinomial _____

Page 3 of 4

*Resource Name or #: (Assigned by recorder) 2214 Second Street

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

P5a. Photo or Drawing (Continued from page 1)



Detached garage and south (rear) elevation of the residence, view to the northwest (4/11/11)

***B10. Significance:** (Continued from page 2)

Land Company had assumed ownership of many of the vacant lots in the original Orchard Heights Tracts and the vast majority of the vacant acreage north and east of these tracts. Between 1923 and 1926, the area north of Orchard Heights was subdivided into the Norco Farms Tracts #1-5. This area would become the core of the new community that Rex Clark named "Norco," a contraction of his company's name, the North Corona Land Company.

Clark's approach to the development of his lands was entirely different from the approach taken by the Citrus Belt Land Company. Clark's vision for Norco was that of a self-contained community with its own village-like town center, commercial uses, a school, and manufacturing businesses. His idea was to base the town's economy on small, self-sustaining farms and ranches, and to supply the town's farmers and ranchers with just about everything they would need to carry on the activities of their daily lives and farming businesses.

In the town center, Clark built a school, a general store, a pavilion, a gasoline station, and an auto repair garage. North and northeast of the town center, he built a manufacturing complex to make and supply the materials necessary to build the town and operate its farms. In many respects Norco was a kind of "company town." The North Corona Land Company owned all of the business and manufacturing uses for the first several years of the community's existence. Clark insisted that all the essential services to support Norco be in place before the town's grand opening on May 13, 1923.

Clark's Norco Farms capitalized on a trend to get "back to the soil" that emerged in the 1920s and continued through the depression years of the 1930s. According to Clark and the North Corona Land Company, buying a five-acre Norco Farm was the equivalent of buying your family's freedom. By the late 1920s, over 400 families had purchased their 5-acre portion of Rex Clark's growing, agrarian utopia.

While most of the development during the 1920s occurred in the Norco Farms lots north of the project area, the North Corona Land Company continued to slowly sell its holdings in the original Orchard Heights tracts. Between 1926 and 1945, the company sold three of the 18 lots it owned in what was originally called the Orange Heights Tract #1 (the area encompassing the current project area). While the North Corona Land Company was not very active the area, the former Orange Heights Tract #1 did see significant development during this time period: the number of lots with structural improvements increased by 65% between 1926 and 1945. Orchard Heights also saw itself transformed from an isolated subdivision into the southern extent of an agricultural community, complete with improved roads, a town site, general store, school, post office, and small manufacturing center.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with the North Corona Land Company period (1923-1928) of development in Norco's early history. It was during this time that Rex Clark built the town center and provided nearly everything necessary for people to establish the agrarian lifestyle promoted by his marketing program. This residence is one of more than 60 remaining in the City from this period. However, it has been extensively altered and no longer conveys its association with this period. Therefore, it does not appear to be significant under this criterion.

Under CRHR criterion 2, throughout most of the historic period (pre-1962), the residence was located on a larger parcel (Riverside County Assessor). The first improvements on the larger, approximately 8.70-acre parcel were assessed in 1922 when the property was owned by Lucy Pest (1921-1925; Riverside County Assessor). In 1953, the property was listed as 9.70 acres (See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019900

HRI # _____

Trinomial _____

Page 4 of 4

*Resource Name or #: (Assigned by recorder) 2214 Second Street

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

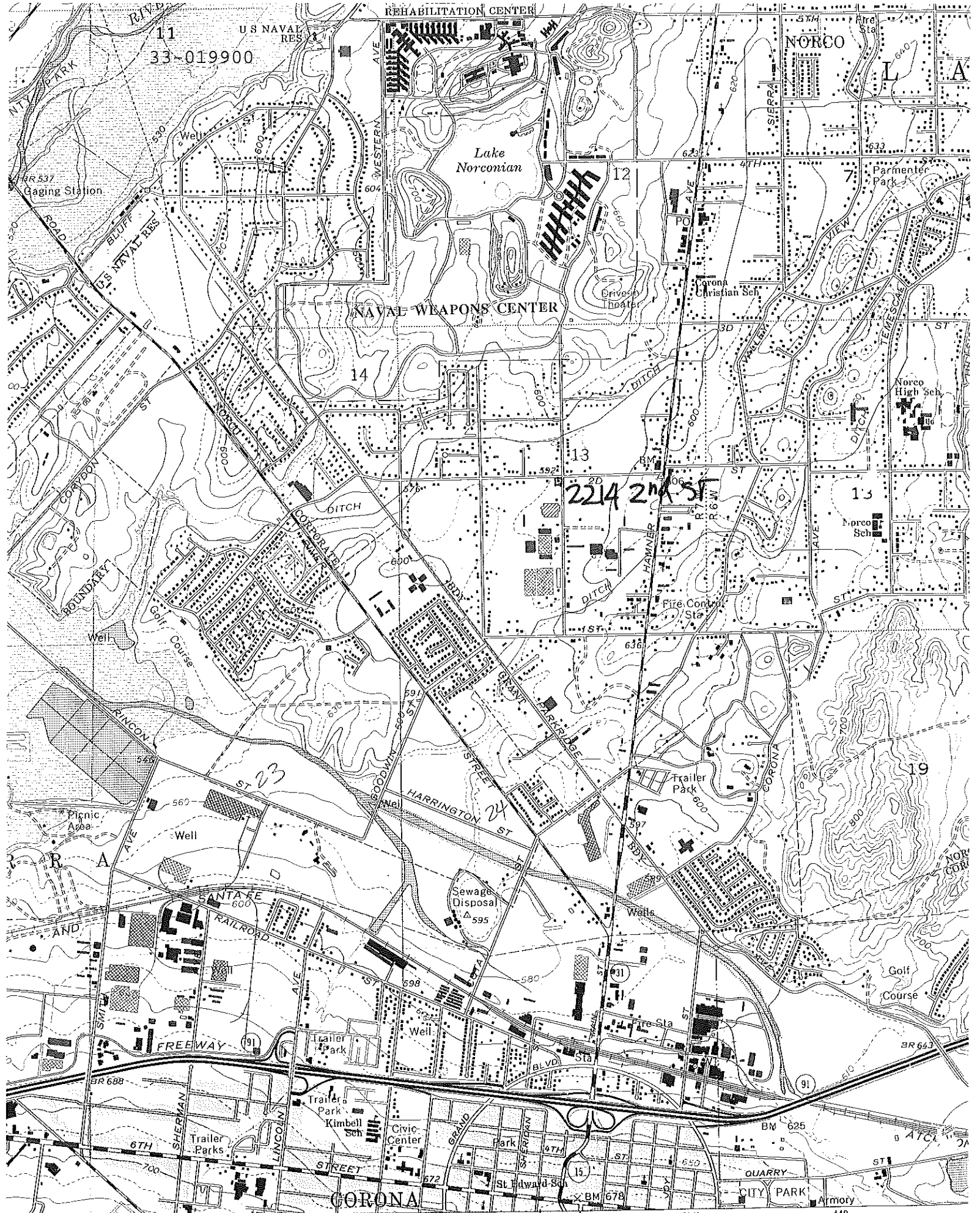
***B10. Significance:** (Continued from page 3)

Significance Evaluation.

and in 1962 was finally listed in the size (0.25 acre) and configuration it is today (ibid.). In addition to Lucy Pest, owners throughout this period include Lillian H. Van Horne (1926–1933); Louis and Florence Van Horne (1934–1938); Home Owners Loan Corp. (1939); Herbert Lewis (1940–1956); Herbert and Beverly Lewis (1956–1963); Henry E. and Barbara Siemans (1964–1965); and Kenneth and Bernadine Hartman (1966). No evidence was found indicating that these people are important figures in history. Therefore, the residence does not appear to be significant under this criterion. Under CRHR criterion 3, this altered vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, although associated with an important period in Norco's history, this altered residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the residence has been extensively altered and does not reflect any particular era. It is not part of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this altered vernacular residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019902

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 2266 Second Street

Page 1 of 2

P1. Other Identifier: 2266 2nd Street

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T _; R _; _ ¼ of _ ¼ of Sec _; B.M. _____

c. Address: 2266 Second Street City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447543 mE/ 3752227 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-170-010

***P3a. Description:**

2266 Second Street was previously recorded, and evaluated for eligibility, in 2011. No changes have occurred to the dwelling's appearance or features to warrant further or additional updated documentation beyond the current photograph provided below.

***P3b. Resource Attributes:** HP2

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:

View south of north elevation

***P6. Date Constructed/Age and**

Source:

☒ Historic: 1956, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties

4740 Green River Road No. 118

Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other:

LOCATION MAP

Primary #: P-33-019902

HRI #: N/A

Trinomial: N/A

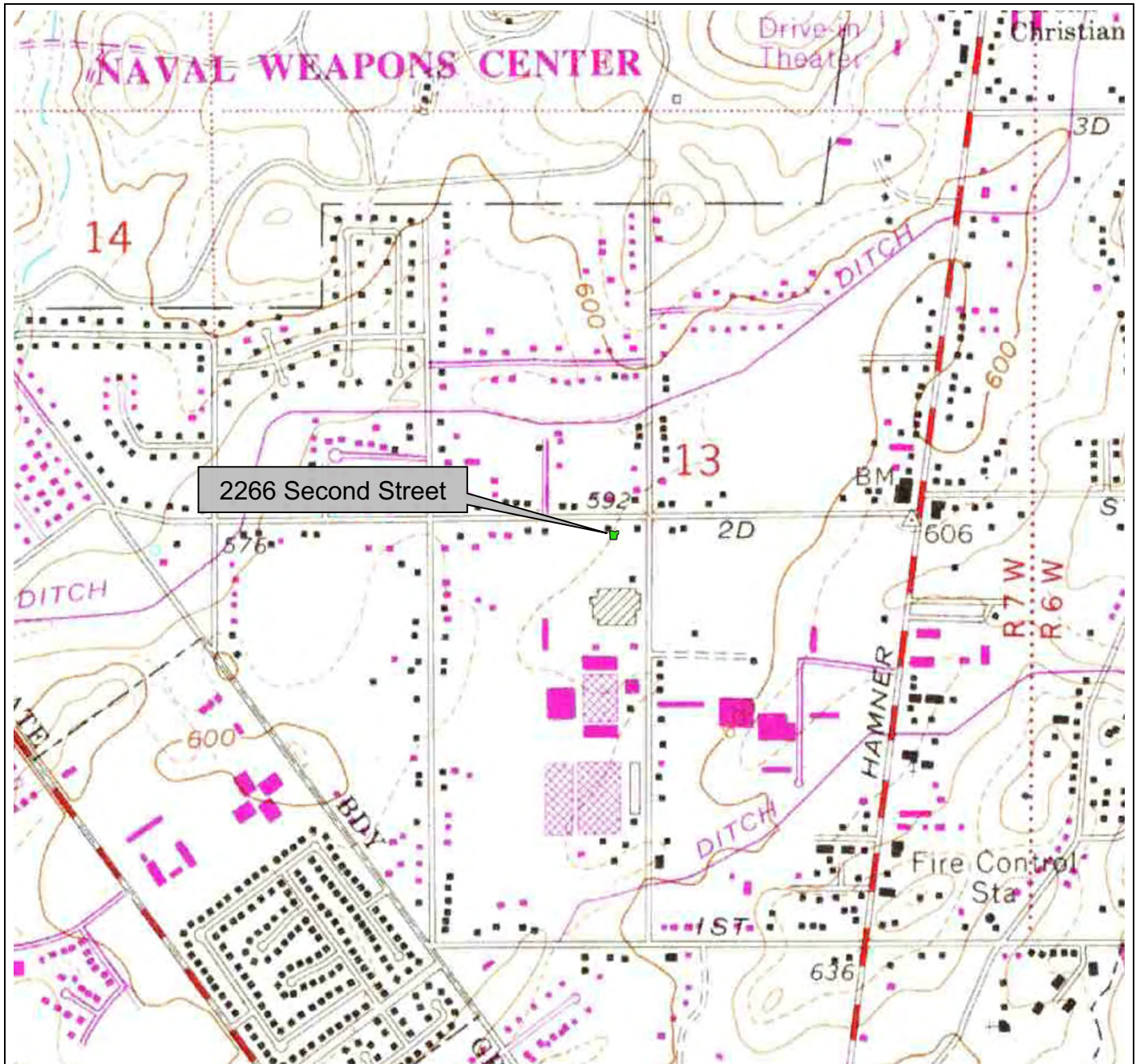
Resource Name: 2266 Second Street

Page 2 of 2

*Map Name: Corona North CA Quadrangle

*Scale: 1:24,000

*Map Date: 1981



URBANA PRESERVATION & PLANNING LLC
Google Earth

0 .125 .25 .5 Mile



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019902

HRI #

Trinomial

NRHP Status Code 6Z

Other Listings

Review Code

Reviewer

Date

Page 1 of 3

Resource Name or #: 2266 Second Street

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Corona North Date: 1967 PR 1981 T 3S ; R 7W ; S.B.B.M.

c. Address: 2266 Second Street City: Norco Zip: 92860

d. UTM: Zone: 11; mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126170010; located on the south side of Second Street west of Mountain Avenue

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story Ranch-style house rests on a concrete foundation and is surmounted by a cross-hipped roof sheathed with composition shingles. It has narrow eaves and the exterior walls are clad in stucco with board-and-batten siding around the main entry. The north-facing façade includes an attached one-car garage with its original wood door, wood-framed double-hung windows, and a recessed entry. A patio cover has been added to the rear of the residence. The residence is in fair condition and retains a good degree of integrity.

*P3b. Resource Attributes: (List attributes and codes) HP2 – Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Façade, view to the south (8/23/11)

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1956 (Riverside County Assessor's Office)

*P7. Owner and Address:

H & H Properties

*P8. Recorded by: (Name, affiliation, and address)

Casey Tibbet, M.A.

LSA Associates, Inc.

1500 Iowa Avenue, Suite 200

Riverside, CA 92507

*P9. Date Recorded:

August 2011

*P10. Survey Type: (Describe)

Intensive CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

*Attachments: ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 2266 Second Street

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence

B4. Present Use: Single-family residence

*B5. Architectural Style: Ranch

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1956

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features: _____

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture/Post World War II Development Area: City of Norco

Period of Significance: 1956

Property Type: Residence

Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This modest Ranch-style residence does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1–4) and the City of Norco criteria (A–G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1936–1941; 1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12. Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019902
HRI # _____
Trinomial _____

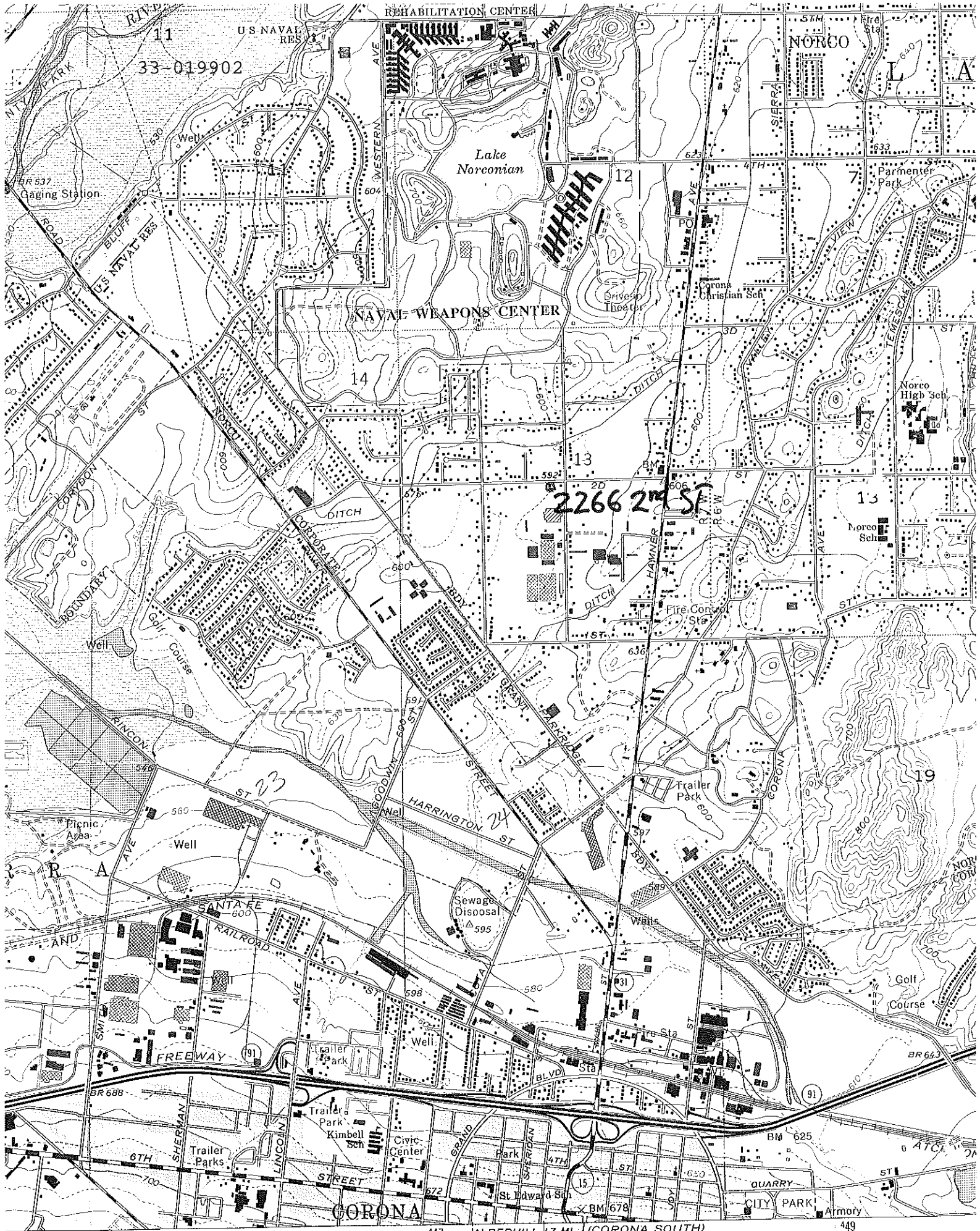
Page 3 of 3 *Resource Name or #: (Assigned by recorder) 2266 Second Street
*Recorded by LSA Associates, Inc. *Date: August 2011 X Continuation _____ Update

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 2, during most of the historic period (pre-1962) this property was part of a larger approximately 9 acre parcel and ownership records for the smaller lots are somewhat unclear. However, the residence was reportedly built in 1956 when the property was owned by Herbert Lewis (Riverside County Assessor). Herbert and Beverly Lewis are listed as the property owners from 1957 to as late as 1970 (ibid.). No evidence was found indicating that these people are important figures in history. Therefore, the residence does not appear to be significant under this criterion. Under CRHR criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with important persons in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way does reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.



PRIMARY RECORD

Primary#: P-33-019907

HRI#: N/A

Trinomial #: N/A

CRHR Status Code: 6Z

Other Listings:

Review Code _____ Reviewer _____ Date _____

Resource Name: 1751 Mountain Avenue

Page 1 of 2

P1. Other Identifier: N/A

***P2. Location:** ☐ Not for Publication ☒ Unrestricted

***a. County:** Riverside

***b. USGS 7.5' Quad:** Corona North Date: 1981 T ; R ; ¼ of ¼ of Sec ; B.M.

c. Address: 1751 Mountain Avenue City: Norco Zip: 92860

d. UTM: Zone: 11 S, 447724 mE/ 3752029 mN

e. Other Locational Data:

Riverside County Assessor's Parcel No. 126-210-004

***P3a. Description:**

1751 Mountain Avenue was previously recorded, and evaluated for eligibility, in 2011. The dwelling was demolished between 2017 and 2018. Only the foundation remains.

***P3b. Resource Attributes:** AH2

***P4. Resources Present:** ☐ Building ☒ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other



P5b. Description of Photo:

View northeast of lot

***P6. Date Constructed/Age and Source:**

☒ Historic: 1947, Riverside County Assessor

☐ Prehistoric

☐ Both

***P7. Owner and Address:**

H & H Properties
4740 Green River Road No. 118
Corona, CA 92880

***P8. Recorded by:**

Urbana Preservation & Planning, LLC
www.urbanapreservation.com

***P9. Date Recorded:**

January 2019

***P10. Survey Type:**

NHPA Section 106 Review / CEQA Review

***P11. Report Citation:** Urbana Preservation & Planning, LLC, Historical Resource Analysis Report | H & H Properties - 2nd Street and Pacific Avenue Master Plan, Norco, CA, January 2019.

***Attachments:** ☐ NONE ☒ Location Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other:

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # 33-019907

HRI # _____

Trinomial _____

NRHP Status Code 6Z

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 7

Resource Name or #: 1751 Mountain Avenue

P1. Other Identifier: _____

***P2. Location:** ☐ Not for Publication ☒ Unrestricted ***a. County:** Riverside and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** Corona North **Date:** 1967 PR 1981 **T** 3S ; **R** 7W ; S.B.B.M.

c. Address: 1751 Mountain Avenue **City:** Norco **Zip:** 92860

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 126210004; located on the east side of Mountain Avenue, south of Second Street

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This one-story vernacular farm cottage rests on a concrete foundation and is surmounted by a moderately-pitched side-gable roof partially sheathed with composition shingles. It has narrow eaves and exposed rafter tails. The exterior walls are clad with clapboard siding, but there are vertical boards with scalloped edges below the gable ends. The north-facing façade includes two pairs of wood-framed, double-hung windows on either side of the main entrance, which is boarded over. A small extended eave shelters the entry. The west elevation includes a single, wood-framed, double-hung window and a pair of wood-framed, double-hungs. The south elevation includes wood-framed, double-hung and fixed windows, a boarded-over door, and possibly a small, flat-roofed addition. A group of outbuildings is located west of the residence. An abandoned well with a mechanical pump is located in the westernmost building. The residence is in poor condition, but despite some alterations (boarded-over doors and possible addition) appears to retain a fair degree of integrity.

***P3b. Resource Attributes:** (List attributes and codes) HP2 – Single family residence

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Façade and west elevation, view to the southeast (4/11/11)

***P6. Date Constructed/Age and Sources:** ☒ Historic ☐ Prehistoric ☐ Both
1947 (Riverside County Assessor's Office)

***P7. Owner and Address:**
H & H Properties

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
August 2011

***P10. Survey Type:** (Describe): Intensive CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment: Norco Ranch Commerce Park, prepared by LSA Associates, Inc. for Alere Property Group, September 2011.

***Attachments:** ☐ NONE ☒ Location Map ☐ Sketch Map ☐ Continuation Sheet ☐ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 7

*NRHP Status Code 6Z

*Resource Name or # (Assigned by recorder) 1751 Mountain Avenue

B1. Historic Name: _____

B2. Common Name: _____

B3. Original Use: Single-family residence B4. Present Use: Abandoned

*B5. Architectural Style: Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)
Originally constructed in 1947.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:
Sheds
Abandoned well with mechanical pump (refer to ASR)

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme: Residential Architecture/Post World War II Development Area: City of Norco
Period of Significance: 1947 Property Type: Residence Applicable Criteria: NA

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

This vernacular farm cottage does not appear to meet any of the criteria for listing in the California Register of Historical Resources (CRHR) or for designation under the local ordinance. It is a modest example of a common type and style of resource and does not appear to have any important associations with events or persons in history.

Significance Evaluation. The residence is being evaluated for purposes of CEQA using the CRHR criteria (1-4) and the City of Norco criteria (A-G) for Landmarks (City of Norco Municipal Code, Title 20, Section 20.15). Both the CRHR and City require that the resource retain integrity and meet at least one of the criteria. As discussed on page 1, this residence appears to retain at least a fair degree of integrity (modern stucco and possibly modern windows).

Under CRHR criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. (See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

*B12. References:

Riverside County Assessor

1942–1947; 1948–1952; 1953–1958; 1959–1963; 1965–1970 Real property tax assessment records, Book 9, Map 12.
Microfiches on file, Riverside County Assessor's Office, Riverside.

B13. Remarks:

*B14. Evaluator: Casey Tibbet, M.A., LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

*Date of Evaluation: August 2011

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019907

HRI # _____

Trinomial _____

Page 3 of 7

*Resource Name or #: (Assigned by recorder) 1751 Mountain Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

P5a. Photo or Drawing (Continued from page 1)



Sheds and house, view to the north (4/11/11)



Sheds, view to the south (4/11/11)

***B10. Significance:** (Continued from page 2)

Under CRHR criterion 2, during the historic period (pre-1962) the residence, which appears to have been built in 1947, was owned by L.C. and Nora Campbell (1947–1948), O. Hughes (1949), Sophia H. Flaigg (1950–1956), Earl and Ella Madron (1957–1959 and 1962–1970; Riverside County Assessor). No evidence was found indicating that these people are important figures in history. Therefore, the residence does not appear to be significant under this criterion. Under CRHR criterion 3, this vernacular farm cottage does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under CRHR criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed above under CRHR criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion above under CRHR criterion 3, it does not embody the distinctive characteristics of a style, type, period or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the vernacular style of the residence is not indicative of any particular period and does not reflect a specific era of settlement (see Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # 33-019907

HRI # _____

Trinomial _____

Page 4 of 7

*Resource Name or #: (Assigned by recorder) 1751 Mountain Avenue

*Recorded by LSA Associates, Inc.

*Date: August 2011

X Continuation _____ Update

***B10. Significance:** (Continued from page 3)

or a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to CRHR criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the CRHR or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

State of California • The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
ARCHAEOLOGICAL SITE RECORD

Primary # 33-019907

Trinomial

Page 5 of 7 *Resource Name or #: (Assigned by recorder) 1751 Mountain Avenue

*A1. Dimensions (of parcel): a. Length ~440' by b. Width ~90'
Method of Measurement: Paced Taped Visual estimate ☒ Other: Site map/historic aerials
Method of Determination (Check all that apply): Artifacts ☒ Features Vegetation Soil
Property boundary Topography Cut bank Animal burrow Excavation ☒ Other (Explain) Parcel boundary
Reliability of determination: High ☒ Medium Low Explain:
Limitations (Check any that apply): Restricted access Paved/built over Site limits incompletely defined Disturbance
☒ Vegetation Other (Explain):

A2. Depth: 600+ cm None Unknown Method of Determination: Well estimated to be more than 20' deep.

*A3. Human Remains: Present ☒ Absent Possible Unknown (Explain):

*A4. Features (Number, briefly describe, indicate size, list associated cultural constituents, and show location of each feature on sketch map):
Abandoned well (6–8" diameter casing) with mechanical pump ("THE F.E. MYERS & BRO. CO. ASHLAND OHIO U.S.A. V" cast on the housing) on approximately 3.5' x 2' concrete well pad in pump house (447240mE/3751803mN).

*A5. Cultural Constituents (Describe and quantify artifacts, ecofacts, cultural residues, etc., not associated with features):
None

*A6. Were Specimens Collected? ☒ No Yes (If yes, attach Artifact Record or catalog and identify where specimens are curated.)

*A7. Site Condition: Good ☒ Fair Poor (Describe disturbances):

*A8. Nearest Water: (Type, distance, and direction) Drainage ditch approximately 1,500' to the southeast.

*A9. Elevation: Approximately 593' AMSL

A10. Environmental Setting (Describe culturally relevant variables such as vegetation, fauna, soils, geology, landform, slope, aspect, exposure, etc.):
Site is located in a rural-suburban residential neighborhood.

A11. Historical Information: Residence constructed in 1947.

*A12. Age: Prehistoric Protohistoric 1542-1769 1769-1848 1848-1880 1880-1914
1914-1945 ☒ Post 1945 Undetermined (Describe position in regional prehistoric chronology or factual historic dates if known):

A13. Interpretations (Discuss data potential, function(s), ethnic affiliation, and other interpretations):
Well was likely drilled at the time the house was constructed but may have been previously established for irrigation of agriculture.

A14. Remarks: Feature is a typical example of an unremarkable resource: a well associated with a historic residence. The feature does not appear to be exceptionally old (likely post-World War II), represents a minimum of archaeological data, does not appear to be a "historical resource" under CEQA, or contribute to the residential building's significance. Its resource potential has been realized by this documentation.

A15. References: Aerial Photographs, 1938, 1953, 1968, 1977 from AMI, USDS and Teledyne via GeoSearch
Riverside County Assessor, Various real property tax assessment records, Book 9. 1899–1964

A16. Photographs: Frames 6–8, 35
Original Media/Negatives Kept at: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

*A17. Form Prepared By: Riordan Goodwin Date: 9/13/11
Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, California 92507

CONTINUATION SHEET

Primary # 33-019907

HRI #

Trinomial

Page 6 of 7

*Resource Name or #: (Assigned by recorder) 1751 Mountain Avenue

*Recorded by Riordan Goodwin

*Date: August 2011

X Continuation Update



View south of pump house (to right of residence in background).



View northwest of well pump on concrete platform.



View west of well pump detail ("THE F.E. MYERS & BRO. CO. ASHLAND OHIO U.S.A. V")



View south of interior pump mechanism.

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

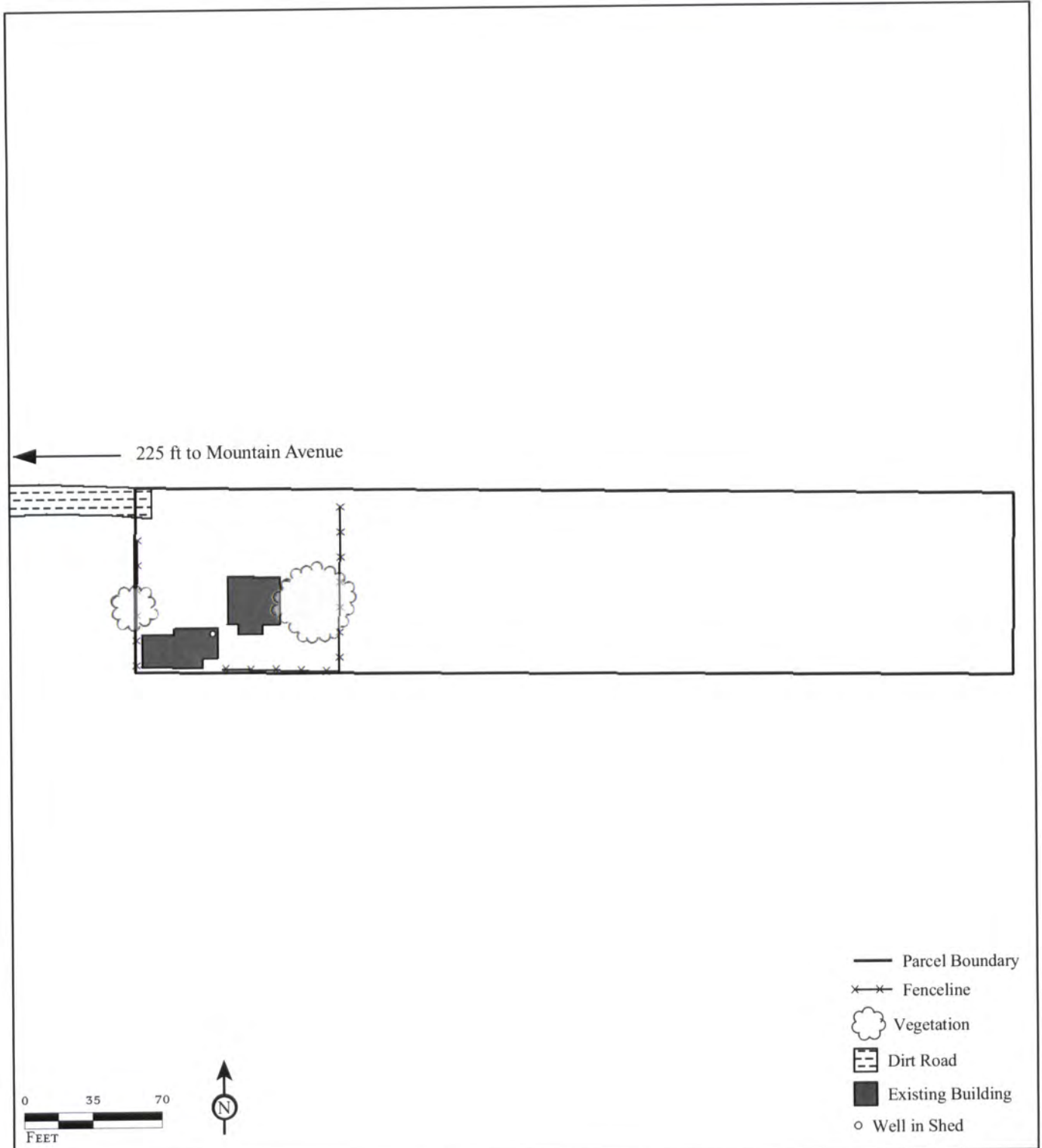
Primary # 33-019907
HRI #
Trinomial

Page 7 of 7

*Resource Name or # (Assigned by recorder) 33-019907 (1751 Mountain Avenue)

Drawn By: Riordan Goodwin

Date: August 30, 2011





APPENDIX D. PREPARER QUALIFICATIONS

Ginger Weatherford, MPS
Associate Historian / Preservation Specialist
ginger@urbanapreservation.com

Southern California
 4594 Mayapan Drive
 La Mesa, CA 91941
 619-543-0693/P
 800-880-4434/F

Northern California
 248 3rd Street, #841
 Oakland, CA 94607
 510-663-7443/P
 800-880-4434/F

www.urbanapreservation.com

Associate Historian / Preservation Specialist, **Ginger Weatherford**, holds a Master of Preservation Studies from Tulane University, and a Bachelor of Science degree from the California State University, San Diego.

Ginger meets *The Secretary of the Interior's Historic Preservation Professional Qualifications Standards* in the disciplines of History and Architectural History. She brings diverse geographic and typological experience including historic-era building assessments in Texas, Montana, and throughout California; completing Section 106 compliance reviews for cell sites and collocation towers throughout California; preparation of CEQA historical resource surveys for transportation projects in the Southern California region; Historic American Buildings Survey (HABS) documentation; local landmark applications; and design review analysis under *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Ginger is experienced in conducting historic paint analysis and material conservation projects at historic buildings. In addition to her technical expertise, she is an architectural photographer specializing in cultural and natural landscapes, and historic objects. Her work has been featured in local photography exhibitions.

SELECT PROJECT EXPERIENCE

In-progress	<i>TLRR Kern River to Los Angeles Historic-Era Built Environment Survey Report, Kern and Los Angeles Counties, CA.</i>
In-progress	<i>TLRR Eldorado-Lugo-Pisgah Historic-Era Built Environment Survey Report, San Bernardino County, CA and Clark County, NV.</i>
In-progress	<i>SCE Gale to Pisgah Communications System Historic-Era Built Environment Survey Report, San Bernardino County, CA.</i>
In-progress	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for 3481 Cooper Street, San Diego, CA.</i>
In-progress	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for 2801 29th Street, San Diego, CA.</i>
May 2018	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for the Lottie and Michael Falahy House, 1030 26th Street, San Diego, CA.</i>
May 2018	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for the William Templeton Johnson House No. 2, 4154 Lark Street, San Diego, CA.</i>
April 2018	<i>Historic Designation Consulting for 4536 Nebo Drive, La Mesa, CA.</i>
March 2018	<i>Historic Preservation and Exterior Color Consulting for 2829 Broadway, San Diego, CA.</i>
March 2018	<i>Assessment of Architectural Significance Report for 3077 Martin Avenue, San Diego, CA.</i>
February 2018	<i>Designation and Mills Act Rehabilitation Consulting for 1225 W Brookes Avenue, San Diego, CA.</i>
January 2018	<i>Determination of Historic Significance Reporting and Consulting for 908 Pomona Avenue, Coronado, CA.</i>
January 2018	<i>Designation and Mills Act Rehabilitation Consulting for 4238 Hilldale Road, San Diego, CA.</i>
November 2017	<i>Historic Preservation Subject Matter Expert, AC Hotel (743 Fifth and 744 Sixth Avenues) - Gaslamp Quarter Development Permit/Variance/ Neighborhood Use Permit No. 2017-27 - Gaslamp Quarter Neighborhood of the Downtown Community Plan Area, San Diego, CA.</i>

EDUCATION

Master of Preservation Studies –
 School of Architecture
 Tulane University
 Graduate Practicum:
*Documentation, Conservation, and
 Restoration of Grant-Kohrs Ranch
 National Historic Site*

—
 Bachelor of Science – Business
 Administration | California State
 University, San Diego
 Concentrations: *Environmental
 Design, Art, Architecture,
 Information Systems*

PROFESSIONAL EXPERIENCE

Associate Historian / Preservation
 Specialist: Urbana Preservation &
 Planning, LLC (San Diego) 2018-
 present

—
 Principal / Owner: Ginger
 Weatherford | Historic
 Preservation Consulting / Historic
 Visions Photography (San Diego)
 2003-2018

—
 Architectural Historian: LSA
 Associates, Inc. (Carlsbad) 2016

—
 Architectural Historian: EBI
 Consulting (San Diego) 2010-2012

—
 Architectural Historian: ICF
 International (Los Angeles) 2008-
 2009

—
 Historical Resources Board Staff:
 City of San Diego (San Diego)
 2006-2007

—
 Historical Researcher: Brian F.
 Smith and Associates (Poway)
 2005-2006

—
 Architectural Historian: Galveston
 Historical Foundation (Galveston,
 TX) 2004-2005

SELECT PROJECT EXPERIENCE (CONT.)

October 2017	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for the Charles and Audala Edwards Jr. House, City of San Diego HRB No. 1289, 1050 Cypress Avenue, San Diego, CA.</i>
July 2017	<i>Assessment of Architectural Significance Report for 3134 Franklin Avenue, San Diego, CA.</i>
July 2017	<i>Assessment of Architectural Significance Report for 3551 Boston Avenue, San Diego, CA.</i>
June 2017	<i>Assessment of Architectural Significance Report for 2829 Broadway, San Diego, CA.</i>
May 2017	<i>Assessment of Architectural Significance Report for 4209 Madison Avenue, San Diego, CA.</i>
December 2016	<i>Historical Resources Research Report for 3021 B Street, San Diego, CA.</i>
September 2016	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for the Edward Booker House, City of Coronado HR No. 2016-08, 1144 Isabella Avenue, Coronado, CA.</i>
April 2016	<i>Determination of Historic Significance Reporting and Consulting for 550 J Avenue, Coronado, CA.</i>
March 2016	<i>Historical Resources Research Report for 2766 - 2768 Bayside Walk, San Diego, CA.</i>
November 2015	<i>Visual Effects Assessment and Department of Parks and Recreation Forms for Section 106 Review for Verizon Wireless Saratoga Santa Cruz Site, 236 North Santa Cruz Avenue, Santa Cruz, CA.</i>
May 2015	<i>Historical Resources Research Report for 1901 - 1923 E Street, San Diego, CA.</i>
June 2014	<i>Designation Reporting and Consulting for the Jim Morrison Apartment Courtyard, 8214 - 8218 1/2 Norton Avenue, West Hollywood, CA.</i>
March 2014	<i>Designation and Mills Act Consulting for 4269 Jackdaw Street, San Diego, CA.</i>
February 2014	<i>Designation and Mills Act Consulting for 2920 Redwood Street, San Diego, CA.</i>
2010 - 2014	<i>Various Telecommunications Visual Effects Projects in California and Arizona.</i>
November 2008	<i>Survey of I-15 for a Caltrans Freeway Improvement Project, Corona, CA.</i>
March 2006	<i>Historic Paint Analysis Project for the San Diego Gas and Electric Station B Building, City of San Diego HRB No. 354, 903 Kettner Blvd, San Diego, CA.</i>
September 2004	<i>Architectural Building Survey for the Kempner Park Historic District, Galveston, TX.</i>
September 2003	<i>Historic Paint Analysis, Materials Conservation and Building Rehabilitation Projects for Grant-Kohrs Ranch National Historic Site, 266 Warren Lane, Deer Lodge, MT.</i>
November 2001	<i>Photographic Archiving Project for the Santa Monica Historical Society, Santa Monica, CA.</i>
August 1993	<i>Historic American Building Survey Package for the Heilman Villas, 706-720 Orange Avenue & 1060-1090 Seventh Street, Library of Congress Call No. HABS CAL, 37-CORO, 3--4, Coronado, CA.</i>

PROFESSIONAL EXPERIENCE (CONT.)

Preservation Intern: National Park
Service Grant-Kohrs Ranch
National Historic Site (Deer Lodge,
MT) 2003
—
Annual Conference & Workshop
Volunteer: California Preservation
Foundation (Southern California
locations) 2006-present

MEMBERSHIPS

Honorary Member: American
Institute of Architects, San Diego
Chapter
—
National Trust for Historic
Preservation
—
California Preservation Foundation
—
Museum of Photographic Arts
—
Save Our Heritage Organization

VOLUNTEER POSITIONS

Preservation Committee Member /
Secretary: American Institute of
Architects, San Diego Chapter
(San Diego) 2017-present
—
Photo Archivist: Santa Monica
Historical Society (Santa Monica)
2001
—
Architectural Assistant: Ferris
Johnson Preservation Architects
(San Diego) 1993

PHOTOGRAPHY EXHIBITIONS

Third Sun (San Diego) 2017
—
Viz Cult (San Diego) 2014
—
Raw Artists (San Diego) 2010
—
Eyes & Ears (San Diego) 2010
—
Whistle Stop – Solo Show (San
Diego) 2006
—
Ray at Night (San Diego) 2006



URBANA PRESERVATION & PLANNING LLC

Wendy L. Tinsley Becker, RPH, AICP, Principal
Architectural Historian + Urban / Preservation Planner
wendy@urbanapreservation.com

Southern California
 4594 Mayapan Drive
 La Mesa, CA 91941
 619-543-0693/P

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 248 3rd Street, #841
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Founding Principal, **Wendy L. Tinsley Becker, RPH, AICP**, brings an expert background in American history, architecture, and urban planning, with a particular emphasis on issues relating to historic preservation. Her experience includes extensive historical resources survey work, design review under *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, single-site historic property research and documentation, and practice in municipal regulatory planning and cultural resources compliance issues including code compliance, revision and review, CEQA, NEPA, and Section 106 of the National Historic Preservation Act. As a preservation-planning consultant she participates in the development and administration of local land use regulations, policies, programs and projects; prepares reports involving research and analysis of various planning issues; conducts site-specific project and design review; and facilitates project coordination between contractors, architects, developers, citizens and other stakeholders. Wendy meets the *Secretary of the Interior's Historic Preservation Professional Qualifications Standards* in the disciplines of History and Architectural History and the *draft standards* established for Historic Preservation and Land Use/Community Planning. She is included on the California Council for the Promotion of History's Register of Professional Historians and also maintains professional certification in the American Institute of Certified Planners (AICP).

Wendy is a co-author and editor of the AICP Certified Urban Designer Exam Study Guide (V1.0) released in March 2016. From 2013 forward she has provided professional training to AICP exam applicants as part of the American Planning Association California Chapter – San Diego Section annual exam training program.

Wendy has assisted municipalities, utility providers, and lead agencies in preservation planning program development and implementation efforts. She regularly consults for private and agency applicants on historical resource and historic property analysis for discretionary projects and undertakings pursuant to Section 106 of the National Historic Preservation Act and the California Environmental Quality Act, as well as Federal Rehabilitation Tax Credit proposals at National Register listed or eligible properties, which are subject to review by the State Office of Historic Preservation and the National Park Service. She was the author / facilitator and lead historic preservation consultant for the City of Chula Vista's award winning Municipal Preservation Planning Program. She authored the Historic Preservation Element for the City of La Mesa's award winning 2011 / 2030 General Plan update process. She provides survey, architectural history, context development, programmatic agreement, and historic preservation planning consulting services for the Southern California Edison Company including preparation of a programmatic guide for the treatment of all historic-era properties in the company's 55,000 square mile service territory. She served as the lead Architectural Historian for the City and County of Honolulu High Capacity Transit Corridor Project's Kako'o (Section 106 Programmatic Agreement Program manager) consultant team. Wendy's professional analysis and determinations are reviewed for compliance and concurrence by numerous municipalities, and state and federal agencies including the California State Office of Historic Preservation, the California Public Utilities Commission, the USDA Forest Service, the Bureau of Land Management, and the National Park Service.

Her current interests include facilitating approvals for brick and mortar construction and building rehabilitation projects, and working with community-based organizations that emphasize public participation while striving for the improvement of the built environment through good urban and architectural design and associated social programs.

EDUCATION

Master of City Planning, Historic
 Preservation & Urban Design
 Concentration | California State
 University, San Diego

—
 Bachelor of Arts – History, Public
 History & Urban Studies
 Concentration | California State
 University, San Diego

PROFESSIONAL REGISTRATIONS

American Institute of Certified
 Planners (#022838)
 Register of Professional Historians
 (#612)

PROFESSIONAL EXPERIENCE

Founding Principal: Urbana
 Preservation & Planning, LLC, (San
 Diego & Oakland) 04/2005-present

—
 Faculty + Lecturer: San Diego State
 University Master of City Planning
 Graduate program, 2012

—
 Instructor: University of California, San
 Diego – Extension, 2006-2017

—
 Architectural Historian & Preservation
 Planner: Architectural Resources
 Group (San Francisco & Los
 Angeles), 10/2002-04/2005

—
 Architectural Historian & Preservation
 Planner: HRS, (San Diego) 12/2001-
 10/2002

—
 Historian & Historic Preservation
 Planner: Office of Marie Burke Lia,
 Attorney at Law, (San Diego)
 01/2000-11/2001

—
 Assistant Coordinator + Researcher:
 SHPO/CHRIS-South Coastal
 Information Center, 12/1996-08/1999

PROJECT EXPERIENCE*

In-progress	<i>Programmatic Agreement Among the Bureau of Land Management – California, the USDA Forest Service, Pacific Southwest Region, California Utility Providers, and the California Office of Historic Preservation, Regarding the Identification, Evaluation, Management, and Exemption of Historic-Era Electrical Infrastructure Facilities in the State of California.</i>
In-progress	<i>4 Greenwood Common (Berkeley Landmark No. 125) Mills Act Application Package, Berkeley, CA.</i>
In-progress	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for the Edwin K. Hurlbert House, 2930 Chatsworth Boulevard, San Diego, CA.</i>
In-progress	<i>NHPA Section 106 Historic Property Analysis and Findings of Effect Statement for the Southern California Yeshiva High School, San Diego, CA.</i>
In-progress	<i>Peak Valley Solar Farm CEQA Cultural Resources Analysis (Historical Resources, Cultural Resources, and Paleontological Resources), San Bernardino County, CA.</i>
September 2016	<i>City of Oceanside / Caltrans, Coast Highway (Hill Street) Bridge over the San Luis Rey River Replacement Project Historical Resources Evaluation Report, Oceanside, CA.</i>
August 2016	<i>Historical Resource Technical Report – 715 Muirlands Vista Way, La Jolla, CA.</i>
June 2016	<i>Class III Cultural Resources Inventory / NRHP Eligibility Determination, SCE Eldorado 500kV Transmission System, California, Arizona, Nevada.</i>
June 2016	<i>Casa de las Flores Property Carriage House / Garage Building, Historical Resource Analysis Report, Chula Vista, CA.</i>
May 2016	<i>Historic American Engineering Record (HAER) No. CA-167-O – Southern California Edison Company Big Creek Hydroelectric System Vincent 220kV Transmission Line, Kern, Fresno, and Los Angeles Counties.</i>
May 2016	<i>San Diego Gas & Electric Company Eastern Division Property Eligibility Review Memo, El Cajon, CA.</i>
March 2016	<i>Historical Resource Review - 1347-1349 Locust Street, Walnut Creek, CA.</i>
March 2016	<i>City of La Mesa Collier Park NHPA Section 106 Review, La Mesa, CA.</i>
March 2016	<i>Redwood Solar Farm 4 CEQA Cultural Resources Analysis (Historical Resources, Cultural Resources, and Paleontological Resources), Kern County, CA.</i>
March 2016	<i>City of La Mesa Vista La Mesa Park NHPA Section 106 Review, La Mesa, CA.</i>
February 2016	<i>City of Chula Vista Third Avenue Community Character + Business Improvement Guidelines.</i>
February 2016	<i>City of San Diego HRB No. 461 / Anderson House, San Diego County Historic Site Designation and Mills Act Rehabilitation Consulting, 3841 Sweetwater Road, Bonita, CA.</i>
January 2016	<i>Historic American Landscapes Survey (HALS) No. CA-122 – Collier Park, La Mesa, CA.</i>
December 2015	<i>Historic American Engineering Record (HAER) No. CA-2138 – Southern California Edison Company Substations: Monumental Type, Santa Barbara, Kern, Fresno, and Los Angeles Counties.</i>
December 2015	<i>Pacific Gas & Electric Company South of Palermo Project Historical Resource Analysis Report / Historic Property Survey Report.</i>
November 2015	<i>Historic American Engineering Record (HAER) No. CA-167-N – Amendment to Southern California Edison Company Big Creek Hydroelectric System East & West Transmission Line.</i>
November 2015	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for the Alexander Schreiber Spec House No. 1 / Payne House, 1429 Dale Street, San Diego, CA.</i>
October 2015	<i>Designation and Mills Act Rehabilitation Reporting and Consulting for the Florence Palmer Spec. House II of III, 350 Fern Glen, San Diego, CA.</i>

BOARDS + COMMITTEES

Chair / Immediate Past Chair: American Planning Association National Urban Design & Preservation Division, 04/2012-12/2016
—
Founder + Volunteer Executive Director / Ex –Officio Director: Built Environment Education Program (BEEP) San Diego, 2008-2015
—
Education Committee Member: California Preservation Foundation, 04/2012-04/2014
—
Vice-Chair + Newsletter Editor: APA National Urban Design & Preservation Division, 01/2010-03/2012
—
Director & Education Chair: San Diego Architectural Foundation, 11/2008-2011
—
Appointed Public Member: City of San Diego Historical Resources Board Incentives Subcommittee, 08/2008-02/2010
—
Advisor/Member – UCSD Extension Advisory Group Urban Planning & Development Certificate Program, 2007 forward
—
Founding President – Jack London District Association, 2005-2006

SELECT PROJECT AWARDS

2016 - Award of Excellence for Preservation Advancement - City of San Diego Historical Resources Board (recognized for Urbana's preservation planning study for the San Diego State Normal School Campus & San Diego City Schools Historic District).
—
2014 - American Planning Association (APA) San Diego Chapter – Planning Agency Award for preparation of La Mesa 2030 General Plan. *Historic Preservation Element prepared by WLTB / Urbana.

May 2015	<i>Historic-era Electrical Infrastructure Management Program: A Program for the Identification, Review, Exemption, and Treatment of Generating Facilities, Transmission Lines, Sub-transmission Lines, Distribution Lines, and Substations within the Southern California Edison Company's Service Territory.</i>
March 2015	<i>Class III Cultural Resources Inventory for Southern California Edison's Coolwater-Lugo Transmission Project, San Bernardino County, California – Volume 1: Historic-Era Built Environment Survey Report.</i>
2014-2015	<i>Los Angeles Regional Intercommunications System NHPA Section 106 Assessment of 125 sites located throughout Los Angeles County.</i>
2014	<i>Historic Preservation and Urban Planning Expert Witness, Brandon Milan v. City of San Diego, State of California Superior Court Case No. 37-2013-00067039-CU-EI-CTL.</i>
2013-2014	<i>Historic Preservation and Urban Planning Expert Witness, Edward Valerio v. City of San Diego, U.S.D.C. Case No. 12C1200W (WMC)</i>
November 2014	<i>Historic-Era Built Environment Survey Report, NRHP / CRHR Eligibility Evaluations, and Concurrence Consulting for proposed Coolwater Lugo Transmission Project (approx. 200 built environment sites over 13 segments in the vicinity of Apple Valley, Barstow, and Hesperia, California).</i>
November 2014	<i>Herald Examiner Building, 1101-1139 S. Broadway, Los Angeles, CA, Historic Preservation Certification Application: Part 1 – Determination of Eligibility – Draft Submittal.</i>
November 2014	<i>Cecil Hotel Building, 640 Main Street, Los Angeles, CA, Historic Preservation Certification Application: Part 1 – Determination of Eligibility – Draft Submittal.</i>
November 2014	<i>Cecil Hotel Building, 640 Main Street, Los Angeles, CA, City of Los Angeles Historic Cultural Monument Application Package – Draft Submittal.</i>
November 2014	<i>Historic-Era Electrical Infrastructure Management Program: A Program for the Identification, Review, Exemption, and Treatment of Generating Facilities, Transmission Lines, Sub-transmission Lines, Distribution Lines, and Substations within the SCE Service Territory.</i>
October 2014	<i>Commercial Exchange Building, 416 W. 8th Street, Los Angeles, CA, Historic Preservation Certification Application: Part 2 – Description of Rehabilitation – Draft Submittal.</i>
October 2014	<i>NRHP / CRHR Eligibility Review, SCE Lighthipe and Laguna Bell Substations, Long Beach and Commerce, California.</i>
October 2014	<i>NRHP / CRHR Eligibility Review, SCE Eagle Rock Substation, Los Angeles, California.</i>
October 2014	<i>NRHP / CRHR Eligibility Review, SCE Colton Substation, Colton, California.</i>
September 2014	<i>City and County of Honolulu Little Makalapa National Register of Historic Places Nomination Peer Review.</i>
September 2014	<i>City and County of Honolulu Big Makalapa National Register of Historic Places Nomination Peer Review.</i>
September 2014	<i>Sudberry Properties Strawberry Fields Historic Cultural Landscape Analysis Report, Chula Vista, CA.</i>
July 2014	<i>Friday Morning Club Building, 938 S. Figueroa, Los Angeles, CA, Historic Preservation Certification Application: Part 2 – Description of Rehabilitation – Draft Submittal.</i>
May 2014	<i>Commercial Club of Southern California Building / Case Hotel Part 2 Determination of Eligibility, Los Angeles, CA.</i>
May 2014	<i>City and County of Fresno Tertiary Treatment and Disinfection Facility – Plant 2 NHPA Section 106 and CEQA Historical Resource Assessment.</i>
April 2014	<i>City and County of Honolulu Aloha Stadium Station Project Treatment Plan Peer Review, Honolulu, CA.</i>

SELECT RECENT AWARDS (CONT.)

- 2013 – American Planning Association National Division Executive Committee Recipient – Division Achievement Award (*recognized for professional development webinars on historic preservation, urban design, and development topics developed on behalf of the APA Urban Design & Preservation Division*). —
- 2012 - American Association of Environmental Professionals San Diego Chapter – *Outstanding Planning Document Award for preparation of the City of Chula Vista Historic Preservation Program & Ordinance. *Historic Preservation Ordinance& Program prepared by WLTB / Urbana.* —
- 2012 - American Planning Association National Division Executive Committee Recipient – Education Excellence Award (*recognized for education efforts on behalf of the APA Urban Design & Preservation Division*). —
- 2011 - American Planning Association National Division Executive Committee Recipient Branding Award (*recognized for visibility, outreach, and education efforts on behalf of the APA Urban Design & Preservation Division*). —
- 2010 - Award of Excellence in Education - City of San Diego City Planning & Community Investment Department Historical Resources Board (*recognized for the Built Environment Education Program developed for the San Diego Architectural Foundation / BEEP San Diego*). —
- 2009 - San Diego Public Library Foundation / Friends of the San Diego Public Library 2008-2009 Chapter Volunteer Award, University Heights Branch (*recognized for preservation planning work at the historic San Diego State Normal College campus*).

April 2014	<i>Redwood Solar Farm Historic Property Survey / Historical Resource Report, Kern County, CA.</i>
April 2014	<i>4th @ Broadway EIR Mitigated Negative Declaration – Historical Resource Assessment Report, Los Angeles, CA</i>
March 2014	<i>Commercial Club of Southern California Building / Case Hotel Part 1 Determination of Eligibility, Los Angeles, CA.</i>
February 2014	<i>Commercial Club of Southern California Building / Case Hotel Historic Cultural Monument Application, Los Angeles, CA.</i>
January 2014	<i>1560 S. Escondido Boulevard NHPA Section 106 Review and Concurrence Consulting.</i>
November 2013	<i>Consulting for Two Historic House Relocations to the City of San Diego Development Services Department, Public Works Department, and City Attorney's Office.</i>
September 2013	<i>Caltrans Section 106 Historic Property and CEQA Historical Resource Survey – Gilbert Street, Santa Ana, CA.</i>
October 2013	<i>NHPA Section 106 Historic Property and CEQA Historical Resource Survey Report, Proposed Coolwater Lugo Transmission Project.</i>
June 2013	<i>Historic Agricultural Landscapes of Visalia and Tulare County electronic book and exhibit – Tulare County Museum of Farm Labor and Agriculture, Visalia, CA</i>
January 2013	<i>National Park Service Historic American Engineering Record (HAER) Level II Documentation (Large Format Negative Photography & Narrative) – Big Creek Hydroelectric System East & West Transmission Line, Fresno to Los Angeles, CA</i>
January 2013	<i>Historical and Architectural Eligibility Evaluation of Delano Substation Complex.</i>
October 2012	<i>Historical and Architectural Eligibility Evaluations of the Southern California Edison Company Historic-Era Casitas, Santa Barbara, Carpinteria, Santa Clara, and Goleta Substations</i>
October 2012	<i>City and County of San Francisco, 2419-2435 Lombard Street Historical Resource Evaluation Report.</i>
2011-2013	<i>Historic Preservation Expert Witness, Academy of Our Lady of Peace v. City of San Diego, U.S.D.C. Case No. 09CV0962 WQH (MDD)</i>
In-process	<i>San Diego Municipal Anglers Building Historical Resource Designation Report, San Diego, CA</i>
July 2012	<i>National Park Service Historic American Engineering Record (HAER) Level II Documentation (Large Format Negative Photography & Narrative) – SCE San Joaquin Cross Valley Loop Project, Visalia, CA</i>
June 2012	<i>Historic Structure Report - Casa Peralta, 384 West Estudillo Avenue, San Leandro, CA</i>
June 2012	<i>County of San Diego Historic Site Designation Report, John N. Mortenson's Hines Residence, Mt. Helix, CA</i>
April 2012	<i>NHPA Section 106 Review, Lodi Municipal Stadium, Lodi, CA</i>
March 2012	<i>Federal Rehabilitation Certification Application – Part 3 Request for Certification of Completed Work – Imig Manor / Lafayette Hotel, 2223 El Cajon Boulevard, San Diego, CA</i>
February 2012	<i>National Register of Historic Places Nomination, Imig Manor / Lafayette Hotel, 2223 El Cajon Boulevard, San Diego, CA</i>
February 2012	<i>Sequoia National Forest Electric Power Conveyance Systems NRHP Eligibility Evaluations, Tulare County, CA</i>
January 2012	<i>NHPA Section 106 Review, La Mesa Youth Center, La Mesa, CA</i>
December 2011	<i>City of La Mesa 2012 General Plan Update – 2030 Historic Preservation Element, La Mesa, CA</i>
December 2011	<i>Crown City Medical Center EIR Historical Resource Initial Study, Pasadena,</i>

RELATED EXPERIENCE

Member: County of San Diego Valle de Oro Community Planning Group, 09/2016 forward	—
Director + Civic Improvement Chair, Grossmont-Mt. Helix Improvement Association, 08/2016 forward	—
Mentor: San Diego State University Aztec Mentor Program, Spring 2016 Cohort	—
Co-Author / Editor: AICP Certified Urban Designer Exam Study Guide, Version 1.0 (released March 2016)	—
AICP Exam Course Speaker: California Chapter, San Diego Section, (annually) 02/2013-present	—
Retreat Facilitator: Beautiful Pacific Beach, Annual Board of Directors Retreat, (annually) 2016-present	—
Invited Panel Speaker: <i>Density and Design: The Future of Housing in San Diego</i> , American Planning Association San Diego Section, San Diego, 09/2017	—
Invited Speaker: <i>Building Community and Character – Preservation is Place; 1st Annual Historic Preservation Conference Nebraska State Office of Historic Preservation, Omaha (NE),</i> 06/2013	—
Panel Speaker: <i>Preservation Toolkit for Small Cities</i> , American Planning Association California Chapter Conference, 10/2012	—
Invited Speaker: <i>Preliminary Findings – The Status of Preservation Planning Regulatory Programs in the San Diego Region - 2012</i> , Association of Environmental Professionals San Diego Chapter September Luncheon, 09/2012	—

	CA
November 2011	NHPA Section 106 Review, 4470 Acacia Avenue, La Mesa, CA
September 2011	Big Creek Hydroelectric System Historic District Vincent 220kV Transmission Line NRHP Eligibility Evaluation and Historic Property Treatment Plan.
July 2011	Historic-Era Electric Power Conveyance Systems Programmatic Agreement (SCE, BLM, & CA, NV SHPO) (Context, Typology, Identification, Integrity Qualifications, & Treatment Processes)
June 2011	Aesthetic impact Analysis Report, Hollywoodland Historic Rock Retaining Walls, Los Angeles, CA
April 2011	Kern River – Los Angeles 60 / 66kV Transmission Line NRHP Eligibility Evaluation, Kern & L.A. Counties
December 2010	Historic Structure Report - Linda Vista Federal Defense Housing Project Tenant Activity Building, San Diego, CA
October 2010	City of San Diego Redevelopment Agency, Historic Property / Historical Resource Analysis Report of the Linda Vista Federal Defense Housing Project Tenant Activity Building, San Diego, CA
November 2010	Historic Designation Report, Burt F. Raynes Residence, 299 Hilltop Drive, Chula Vista, CA
August 2010	Southern California Edison Company Tehachapi Renewable Transmission Project Antelope-Vincent No. 1 220kV Transmission Line NRHP/CRHR Review
July 2010	Southern California Edison Company Tehachapi Renewable Transmission Project Rosamond Substation NRHP/CRHR Review, Montebello, California
July 2010	Southern California Edison Company Tehachapi Renewable Transmission Project Antelope-Mesa 220kV Transmission Line NRHP/CRHR Review
June 2010	Southern California Edison Company Tehachapi Renewable Transmission Project Chino-Mesa 220kV Transmission Line NRHP/CRHR Review
June 2010	Southern California Edison Company Tehachapi Renewable Transmission Project Chino Substation NRHP/CRHR Review, Chino, California
April 2010	Historical Resource Analysis Report, Hollywoodland Historic Rock Retaining Walls, Los Angeles, CA
March 2010	Imig Manor/ Lafayette Hotel Part 2 20% Federal Rehabilitation Tax Credit Application
January 2010	CEQA Historical Resource Analysis Report, 2629 National Avenue, San Diego CA
December 2009	City of Santa Ana Warner Avenue Transportation Study Historical Resource Survey, Santa Ana, CA
December 2009	Proposed Heidi Square Redevelopment Project – Project Management, Preservation Planning & Subdivision Re-Design Consulting, San Lorenzo, CA
November 2009	City of San Diego Redevelopment Agency, Historical Resource Review of 4102-4122 University Avenue, San Diego, CA
November 2009	CEQA Historical Resource Analysis Report, 7195 Country Club Drive, La Jolla, CA
November 2009	Imig Manor/ Lafayette Hotel Part 1 20% Federal Rehabilitation Tax Credit Application
August 2009	CEQA Historical Resource Analysis Report, 5511 Calumet Avenue, La Jolla, CA
August 2009	Preservation Planning Study, Site Development, & Rehabilitation Analysis of the Herman Hotel Carriage House, Chula Vista, CA
August 2009	Historical Site Designation, Design Review, & Mills Act Property Tax Consulting for the Dennstedt Building Company's Calavo Gardens Queen Avenue Dwelling, Mt. Helix, CA
August 2009	CEQA and NHPA Section 106 Review of the Nike Missile Defense System - LA - 14/29 Commemorative Site, unincorporated Los Angeles, CA

RELATED EXPERIENCE (CONT.)

Invited Panel Speaker: *Outsiders & Fringe Dwellers – Preservation Partners of the Future*, California Preservation Foundation Conference, 05/2011

Guest Lecturer: *Preservation, Housing, and Sustainability*, UCSD Urban Studies & Planning Program, 05/2011

—

Invited Speaker: *Harriett Wimmer, Women, and Modern Landscape Architecture in California*, Congress of History of San Diego & Imperial Counties, 03/2011

—

Guest Lecturer: *Historic Preservation Planning*, San Diego State University Public Administration Program, 07/2010

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Attendee: AIA Webinar, *The 2030 Commitment: Setting and Achieving Energy Goals with Integrated Design*, 12/2009

—

Attendee: APA Webinar, *Balancing the Land-Use Transportation Equation: At the Community Level*, 09/2009

—

Attendee: APA Webinar, *LEED for Neighborhoods*, 08/2009

—

Attendee: San Diego APA, *Making Density Work – San Diego Density Symposium*, 10/2008

Moderator: *Planning for Preservation: A Survey of Municipal Preservation Programs Throughout San Diego County*, San Diego APA & UCSD Extension-UPD Cert. Program, 08/2008

—

Invited Speaker: *Local Historic Site Designation & The Mills Act Historic Property Tax Credit Program*, City of San Leandro (CA), 04/2005

—

Attendee: CA Preservation Foundation & CA Office of Historic Preservation, *Historical Resource Surveys for Local Governments*, San Diego (CA) 02/2004

July 2009	<i>Code Compliance and Historical Resource Review, 2341 Irving Avenue, San Diego, CA</i>
July 2009	<i>City of Santa Ana Bristol & 17th Transportation Study Historical Resource Survey, Santa Ana, CA</i>
May 2009	<i>Fresno Unified School District Historical Resource Survey of the Proposed M-4 Site, Fresno, CA</i>
May 2009	<i>Section 106 Review of Casa Blanca – 716 Santa Clara Avenue, Alameda, CA</i>
April 2009	<i>Design Review Analysis for the 2110 Glenneyre Street Property, Laguna Beach, CA</i>
April 2009	<i>Section 106 Review of the Fairfax Theatre, Oakland, CA</i>
March 2009	<i>National Register of Historic Places Documentation & Eligibility Evaluation for the Middle Fork American River Hydroelectric Project, Placer County, California</i>
February 2009	<i>Historical Resource Analysis Report & Design Review – 337 Hawthorne Road, Laguna Beach, CA</i>
February 2009	<i>San Diego Normal School Campus Phase I Preservation Planning Study & Historical Resource Survey, San Diego, CA</i>
January 2009	<i>Historical Resource Analysis Report, 634 2nd Avenue, Chula Vista, CA</i>
October 2008	<i>Pier 29 National Historic Preservation Act Finding of Effects Statement, San Francisco, CA</i>
2007-2008	<i>Lead Consultant – City of Chula Vista Historic Preservation Program Development – City of Chula Vista Historic Preservation Program Binder (ordinance, historic inventory database, historical overview statement, incentives, project review process and related permit application and processing forms</i>
August 2008	<i>Mayor John Gill Residence, Designation, Mills Act & Rehabilitation Consulting, San Leandro, CA</i>
July 2008	<i>California Portland Cement Company P&H Excavators #3 & #4 Historic Context Statement & California Register Eligibility Review, Mojave, CA</i>
July 2008	<i>Historic Context Statement – Bean Springs Site, Rosamond, CA</i>
June 2008	<i>Cultural Resource Report & Regulatory Review, PL-SCE-Tehachapi-10H, Acton, CA</i>
May 2008	<i>Historical Resource Documentation & Review, San Diego Aqueduct, San Diego, CA</i>
April 2008	<i>Historic Site Designation & Mills Act Historic Property Tax Consulting for the Goldberg Residence, 4654 Iowa Street, San Diego, CA</i>
April 2008	<i>Storefront Improvement / Façade Revitalization Historical Resource Analysis & Design Review Assistance, 3201 Adams Avenue, San Diego, CA</i>
March 2008	<i>Lombardi Ranch CEQA Review, San Ardo, California</i>
February 2008	<i>Del-Sur Saugus Mining Complex Historical Resource Review, Grass Valley, CA</i>
February 2008	<i>Foothill Ranch Historical Resource Review, Palmdale, CA</i>
January 2008	<i>Section 106 Review 1425-1475 South Main Street, Walnut Creek, CA</i>
January 2008	<i>Historic Site Designation Report & Mills Act Property Tax Consulting - Ocean Beach Cottage Emerging Historic District Contributor, 4670 Del Monte Ave., San Diego, CA</i>
November 2007	<i>Historic Site Designation & Mills Act Historic Property Tax Consulting for the Olmstead Building Company's Calavo Gardens Project #531, Mt. Helix, CA</i>
October 2007	<i>Southern CA Edison Company's Del Sur-Saugus Transmission Line Historical Resource Review, Lancaster - Palmdale, CA</i>
October 2007	<i>Southern CA Edison Company's Antelope Substation Historical Resource Review, Lancaster, CA</i>
September 2007	<i>Historical Resource Review & Data Responses for the Proposed SDG&E Orange Grove Energy Project in Pala, CA</i>

RELATED EXPERIENCE (CONT.)

Attendee: National Charrette Institute, *Introduction to Dynamic Planning* (Level 1 NCI Charrette Manager Certification Training), San Diego (CA) 10/2003 —

Attendee: CA Preservation Foundation, *Incentives for Historic Preservation Projects*, Berkeley (CA) 09/2003 —

Attendee: University of Southern CA, *Preservation Planning & Law*, Los Angeles (CA) 07/2003 —

Attendee: League of CA Cities, *Smart Growth Zoning Codes*, Lodi (CA) 12/2002 —

Invited Participant: *Second Natures, Redefining The Los Angeles Riverfront*, Los Angeles (CA) 01/2002 (2-Day Planning & Design Charrette hosted by MOCA & The Geffen) —

Selected Smart Growth Researcher: San Diego State University Foundation & City Planning Graduate Program, Dr. Roger Caves, 01/2001 – 08/2001 (Grant Topic: Planning for Sprawl in the U.S) —

Attendee: *Section 106 An Introductory Course*, National Preservation Institute, San Francisco (CA) 04/1999

COURSES CREATED & TAUGHT

BUSA 40687 - Historic Preservation Planning (UCSD 2006-2012) —

BUSA 40515 - Fundamentals of City Planning (UCSD 2007) —

BUSA 40748 - Foundations of Urban Planning & The Built Environment (UCSD 2009-2012) —

BUSA 40749 - Functions & Processes of City Planning (UCSD 2011-2012) —

ART 40436 - American Architectural History I & II (UCSD 2008-2014) —

CP 670 - History of Urban Planning (SDSU 2012)

September 2007 *Southern CA Edison Company's Kaiser Pass Cabin Historic Property Assessment, Fresno Co., CA*

August 2007 *USDA Forest Service Meeks Creeks Historic Bridge Assessment, Lake Tahoe, CA*

July 2007 *Historical Resource Analysis Report, 433 W. Meadow Drive, Palo Alto, CA*

May 2007 *Historic Preservation Assessment & New Project Planning and Design Consulting – 3994 Jackdaw Street, San Diego (CA)*

February 2007 *419 Park Way Historical Resource Analysis Report, Chula Vista, CA*

January 2007 *Upper Triangle Areas Historic Property Survey (Historic Context Statement and Architectural/Historical Documentation of 50 Properties over 15 City Blocks), Fresno, CA*

December 2006 *Historic Site Designation & Mills Act Historic Property Tax Consulting for the Charles Wakefield Cadman Residence, Mt. Helix, CA.*

November 2006 *Historical Resource Analysis of the 4303 Narragansett Avenue Property, San Diego, CA*

September 2006 *Section 106 Review of the 1333 Balboa Street Property, San Francisco, CA*

September 2006 *Section 106 Review of the Historic Delta-Mendota Canal, Los Banos, CA*

August 2006 *Historical Evaluation Report – 2959 East Avenue, Hayward, CA*

June 2006 *Historical Resource Analysis Report: 418-450 10th Avenue Properties, San Diego, CA*

May 2006 *Section 106 Review of the Coconut Grove Building – Santa Cruz Beach Boardwalk, Santa Cruz, CA*

May 2006 *Historical Resource Evaluation Report for the 70 15th Street Warehouse, San Diego, CA*

April 2006 *Historic Site Designation Report & Mills Act Property Tax Consulting - Ocean Beach Cottage Emerging Historic District Contributor, 4528 Saratoga Avenue, San Diego, CA*

March 2006 *City of Fresno Arts-Culture District Historic Property Survey (Historic Context Statement and Architectural/Historical Documentation of 90-100 Properties over 18 City Blocks), Fresno, CA*

March 2006 *South Mossdale Historic-Era House Evaluation, Lathrop, CA*

February 2006 *Westwind Barn Historic Preservation Study, Los Altos Hills, CA*

January 2006 *Section 106 Review of the 2654 Mission Street Property, San Francisco, CA*

January 2006 *Section 106 Review of the 325 Mowry Avenue Property, Fremont, CA 94536*

January 2006 *Section 106 Review of Ardenwood 34551 Ardenwood Boulevard, Fremont, CA 94555*

December 2005 *Section 106 Review of the 1230 N Street Property, Sacramento, CA 95814*

December 2005 *Section 106 Review of the Sacramento City College Water Tower, Sacramento, CA*

November 2005 *Section 106 Review of Fair Oaks Watts, 525 La Sierra Drive, Sacramento, CA*

November 2005 *Napa Valley College Bus Shelter West Historical Resource Analysis Report, Napa, CA*

October 2005 *Section 106 Review of the 1025 3rd Street Property, Sacramento, CA 95818*

September 2005 *City of Davis, Historic Anderson Bank Building Research, Documentation & Design Review Analysis, 203 G Street, Davis, CA*

September 2005 *Historical Resource Analysis Report, 1212 & 1214 Second Street, San Rafael, CA*

August 2005 *Historical Resource Analysis Report – Somky Property/Thompson's Soscol Ranch, Napa, CA 94558*

July 2005 *Walnut Creek Women's Club Environmental Impact Report, 1224 Lincoln Avenue, Walnut Creek, CA*

June 2005 *Tam Property Lot Split Historic Preservation Consulting, Castro Valley, CA*

May 2005 *Historical Resource Analysis Report, 7329-7331 Eads Avenue, San Diego, CA*

March 2005 *Ehlers Estate Historical Resource Analysis, 3222 Ehlers Lane, St. Helena, CA*

- March 2005 *University of CA at Santa Cruz Preservation Consulting (Campus Wide Cultural Resources Inventory, Historic Context Statement – Campus Planning History)*
- February 2005 *Hall Winery Historical Resource Analysis, St. Helena, CA*
- January 2005 *Historical Resource Evaluation, 700 28th Avenue, San Mateo, CA*
- January 2005 *Historical Resource Evaluation, 312 & 318 Highland Avenue, San Mateo, CA*
- December 2004 *San Mateo Motel Historical Resource Report – Park Bayshore Townhomes – Environmental Impact Report (Revised February 2005)*
- November 2004 *Historical Evaluation of the San Mateo Motel, 801 South Bayshore Boulevard, San Mateo, CA*
- October 2004 *Stonegate Homes Subdivision Plan, and Single-and-Multi-Family Dwellings Design Review, San Mateo, CA*
- September 2004 *University of CA at Santa Cruz, Getty Campus Heritage Grant Application*
- September 2004 *City of Riverside Downtown Fire Station No.1 Cultural Resources Analysis, Riverside, CA*
- August 2004 *Residential Remodel Design Review – Glazenwood Historic District Contributor, 929 Laurel Avenue, San Mateo, CA*
- August 2004 *Odd Fellows Hall, Historic Structure Report, 113 South B Street, San Mateo, CA (with Conservator Seth Bergstein)*
- July 2004 *Design Review Analysis – Schneider's Building, 208 East Third Street, San Mateo, CA 94401*
- July 2004 *Embarcadero Cove Development Project Initial Study – Preliminary Historical Resource Analysis, Oakland, CA 94606*
- July 2004 *Historical Resource Evaluation Report – 4830 Cape May Avenue, San Diego, CA 92107 (Revised January 2005)*
- June 2004 *City of Monterey Alvarado Street Mixed-Use Project - APE Survey, Monterey, CA*
- June 2004 *City and County of San Francisco Historical Resource Evaluation Report – 450 Frederick Street, San Francisco, CA 94117*
- June 2004 *Design Review Analysis – 117 Clark Drive, San Mateo, CA 94402*
- May 2004 *Historical Evaluation of the 426 Clark Drive Residence, San Mateo, CA 94402*
- April 2004 *City and County of San Francisco Historical Resource Evaluation Report – 1272 42nd Avenue, San Francisco, CA 94122*
- April 2004 *City of Fresno Broadway Row Historical Resource Survey, Fresno, CA*
- March 2004 *Historical Evaluation of the 117 Clark Drive Residence, San Mateo, CA 94402*
- March 2004 *Historical Evaluation Of The Fresno Republican/McMahan's Building, 2030 Tulare Street, Fresno, CA 93721*
- February 2004 *Crocker Bank Building Preservation Planning Considerations Memorandum*
- January 2004 *Historical Evaluation of the 501 Walnut Street Residence, San Carlos, CA 94070*
- January 2004 *Historical Evaluation of the 20 Madison Avenue and 29 Hobart Avenue Properties, San Mateo, CA 94402*
- January 2004 *Historical Evaluation Of The Residence Located At 571 Valley Street, San Francisco, CA*
- January 2004 *Historical Evaluation Of The 3925 20th Street Residence, San Francisco, CA 94131*
- November 2003 *Historical Evaluation of Commercial Building Located at 1022 El Camino Real, San Carlos, CA*
- November 2003 *Peer Review Statement for the K & T Foods Building, 451 University Avenue, Palo Alto, CA*
- November 2003 *Historical Evaluation of the Greer-O'Brine Property, 51 Encina Avenue, Palo Alto, CA,*
- November 2003 *Embarcadero Hotel Environmental Impact Report, Historical Resources*

	<i>Analysis and Design Review Statement</i>
October 2003	<i>City of San Leandro Historical Resources Survey, Historic Context Statement, Historic Preservation Ordinance, and Draft Historic Preservation Benefits/Incentive Program</i>
August 2003	<i>Palm Theater Environmental Impact Report, Historical Resources Analysis</i>
July 2003	<i>Historical Evaluation Of The First Christian Church Building, 2701 Flores Street, San Mateo, CA 94403</i>
June 2003	<i>Alameda Naval Air Station Reuse Project Historic Preservation Regulatory and Policy Memorandum (Prepared for Alameda Point Community Partners-Master Developer for NAS Alameda)</i>
May 2003	<i>Historical Evaluation Of The Residence Located At 606 Dorchester Road, San Mateo, CA</i>
March 2003	<i>Ames Aeronautical Laboratory 40' x 80' Wind Tunnel National Register Nomination (Prepared for NASA Ames Research Center)</i>
March 2003	<i>Ames Aeronautical Laboratory 6' x 6' Supersonic Wind Tunnel National Register Nomination (Prepared for NASA Ames Research Center)</i>
March 2003	<i>Ames Aeronautical Laboratory Administration Building National Register Nomination (Prepared for NASA Ames Research Center)</i>
March 2003	<i>Historical Evaluation Of The Residence Located At 1015 South Grant Street, San Mateo, CA</i>
February 2003	<i>8th & Market, 10 United Nations Plaza, Cell Site Impact Review, San Francisco, CA</i>
February 2003	<i>Existing Conditions and Subdivision Design Alternatives For The Proposed Hayman Homes Tract No. 7267, Proctor Road, Castro Valley, CA</i>
February 2003	<i>Historical Evaluation Of The Residence Located At 336 West Poplar Avenue, San Mateo, CA</i>
January 2003	<i>Historical Evaluation Of The Residence Located At 744 Occidental Avenue, San Mateo, CA</i>
January 2003	<i>Historical Evaluation Of The 131 and 141 West Third Avenue Apartment Buildings, San Mateo, CA</i>
December 2002	<i>CA State Capitol Building, Historical Resource Review, Sacramento, CA</i>
November 2002	<i>Wireless Antenna Site Review, Medical Arts Building, 2000 Van Ness Avenue, San Francisco, CA</i>
October 2002	<i>Historical Evaluation Of The LeDucq Winery Estate, 3222 Ehlers Lane, St. Helena, CA 94574 (Revised June 2003)</i>
October 2002	<i>Historical Assessment Of The St. Patrick's Parish Community Building Located At 3585 30th Street, San Diego, CA, 92104</i>
September 2002	<i>Historical Assessment Of The Building Located At 4257 Third Street, San Diego, CA,</i>
April 2002	<i>Historical Assessment Of The Building Located At 3567 Ray Street, San Diego, CA,</i>
October 2001	<i>Historical Assessment Of The Gustafson's Furniture Building Located At 2930 El Cajon Boulevard, San Diego, CA, 92104</i>
September 2001	<i>Historical Review Of Lots A, B, K & L, Block 93, Horton's Addition Lockling, San Diego, CA</i>
August 2011	<i>El Cortez Hotel Part 3 - Request for Certification of Completed Work</i>
August 2001	<i>Core Inventory Of All Sites Appearing To Be More Than 45 Years Of Age Not Previously Documented (Prepared For Centre City Development Corporation)</i>
August 2001	<i>Urbana Project Abstract Bibliography (Prepared for Dr. Roger Caves, San Diego State University and San Diego State University Foundation)</i>
July 2001	<i>Historical Assessment Of The Kirkland Apartments Building Located At 2309 Fifth Avenue, San Diego, CA, 92103</i>

July 2001	<i>Historical Assessment Of The Building Located At 4230 Maryland Street, San Diego, CA, 92103 (With Kathleen A. Crawford)</i>
June 2001	<i>Historical Assessment Of The 2525-2529, 2537-2547, 2561 First Avenue Residences, San Diego, CA 92103</i>
May 2001	<i>Update Of The November 1988 Historic Site Inventory Of Centre City East For Centre City Development Corporation (with Scott Moomjian)</i>
April 2001	<i>East Village Inventory Of All Sites Appearing To Be More Than 45 Years Of Age Not Previously Documented (Prepared For Centre City Development Corporation)</i>
April 2001	<i>Update Of The May 1989 Historic Site Inventory Of Bayside For Centre City Development Corporation</i>
January 2001	<i>Historic Survey Report Of The Former Teledyne-Ryan Aeronautical Complex 2701 North Harbor Drive San Diego, CA 92101 (with Scott Moomjian)</i>
January 2001	<i>Historical Assessment Of The Fletcher-Salmons Building 602-624 Broadway, San Diego, CA 92101</i>
December 2000	<i>Cultural Resource Report for The Winona Avenue Area Elementary School Preferred Site, Alternative 1 Site, and Alternative 2 Site</i>
November 2000	<i>Cultural Resource Report for The Edison/Hamilton/Parks Area Elementary School Preferred Site and Alternative Sites</i>
November 2000	<i>Cultural Resource Report for The Adams/Franklin Area Elementary School Preferred Site and Alternative Site</i>
October 2000	<i>The National Register of Historic Places Travel Itinerary; Old Town San Diego</i>
August 2000	<i>Cultural Resource Report for The Winona Avenue Area Elementary School Preferred Site and Alternative Sites</i>
July 2000	<i>Cultural Resource Report, 52nd Street Area Elementary School Preferred & Alternative Sites, San Diego, CA</i>
July 2000	<i>Historical Assessment Of The 3658 Warner Street Residence, San Diego, CA 92106</i>
July 2000	<i>Historical Assessment Of The 367 Catalina Boulevard Residence, San Diego, CA 92106</i>
July 2000	<i>Historical Assessment Of The 906 West Lewis Street Residence, San Diego, CA 92103</i>
May 2000	<i>Historical Assessment Of The 501-503, 507 and 509 14th Street Residences, San Diego, CA</i>
May 2000	<i>The San Diego Flume Company System Redwood Pipeline, San Diego County, CA</i>
March 2000	<i>Historical Assessment of The Society For Crippled Children's Hydrotherapy Gymnasium Located at 851 South 35th Street, San Diego, CA 92113 (with Scott Moomjian)</i>

*Visit www.urbanapreservation.com for project profiles and additional information.

**APPENDIX E. CULTURAL RESOURCES ASSESSMENT: NORCO RANCH COMMERCE PARK, CITY OF NORCO, RIVERSIDE
COUNTY, CALIFORNIA (LSA ASSOCIATES, INC., 2011)**

CULTURAL RESOURCES ASSESSMENT

NORCO RANCH COMMERCE PARK

CITY OF NORCO

RIVERSIDE COUNTY, CALIFORNIA

LSA

October 2011

CULTURAL RESOURCES ASSESSMENT

NORCO RANCH COMMERCE PARK

CITY OF NORCO

RIVERSIDE COUNTY, CALIFORNIA

Prepared for:

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LSA Project No. APG1101

National Archaeological Database (NADB)

USGS Quadrangles: Corona North, California 7.5' (1967/1981), T3S R7W, Section 13

Area Covered: 76 acres

Sites Recorded: 33-019896 through -019914 and 33-019937

Keywords: Norco, chicken ranch, agriculture, historic-period archaeological features

LSA

October 2011

MANAGEMENT SUMMARY

LSA Associates, Inc. (LSA) was retained by Alere Properties Group (AGP) to conduct a cultural resources assessment of the Norco Ranch Commerce Park project consisting of approximately 50 parcels generally located on the south side of Second Street between Pacific and Mountain Avenues in the City of Norco, County of Riverside, California. The project area consists of approximately 83 acres, including vacant land and parcels developed with residential and commercial uses. All of the buildings within the project area are proposed to be demolished to facilitate development of a distribution center with six buildings totaling nearly 3.4 million square feet along with related parking, landscaping, and drainage improvements. The City of Norco (City) as Lead Agency for the project required this study as part of the environmental review process to comply with the California Environmental Quality Act (CEQA).

The purpose of the study is to provide the City with the necessary information and analysis to determine whether the proposed project would cause substantial adverse changes to any historical/archaeological resources that may exist in or around the project area, as mandated by CEQA. In order to identify and evaluate such resources, LSA completed a historical/archaeological resources records search, conducted historical background research, and carried out intensive-level field surveys.

As a result of those efforts, seven historic-period (pre-1962) archaeological resources were identified and recorded in the project area. These consist primarily of concrete slabs/foundations associated with residences and the former Norco Egg Ranch. A total of 18 properties with historic-period buildings were documented and evaluated in the project area. These consist of an office and residences dating from 1915 to 1960, along with related features. Of these resources, only one was determined to be a historical resource pursuant to CEQA. This resource, located at 1658 Mountain Avenue (Assessor's Parcel Number [APN] 126-190-002, 33-019906), consists of the former home, garage, and original egg plant building of Harry and Hilda Eisen, founders of Norco Egg Ranch. As discussed in the body of the report, these buildings are the only remaining historic-period buildings associated with the Norco Egg Ranch and were determined significant under criteria A and B of the City's preservation ordinance for their association with poultry farming, the Norco Egg Ranch, and the Eisens. The remaining 17 properties in the project area were determined not to be significant under either the State or local criteria and are not historical resources as defined by CEQA.

Because the proposed project involves the demolition of a historical resource (1658 Mountain Avenue), pursuant to PRC §21084.1 it is "a project that may cause a substantial adverse change in the significance of a historical resource [and] is a project that may have a significant effect on the environment." In some circumstances, preservation would be recommended as the best way to avoid significant impacts. However, in this case, preservation of this resource, which has been screened from public view for many years, will not add to the public's awareness of the historical significance of the Eisens or the Norco Egg Ranch or enhance the historic character of the area. Therefore, preservation is not recommended in this circumstance. Instead, it is possible to mitigate the loss of these buildings to a level that is less than significant by applying mitigation measures that will

increase the public's awareness of the Eisens, the Norco Egg Ranch, and the contributions of both to Norco and the wider community.

With this in mind, LSA recommends the following to the project proponent and the Lead Agency:

1. The house, garage, and original egg plant building should be documented equivalent to Level III of the Historic American Buildings Survey (HABS) by an architectural historian meeting the Secretary of the Interior's Professional Qualification Standards. The documentation should include thirty-five-millimeter (35 mm) archival quality black-and-white photographs of all exterior elevations, interior views, character-defining features, and context views; a site plan showing the view of photographs and the building footprint; and any available archival material, including historic photographs, newspaper articles, and architectural drawings. A copy of this report will satisfy the written data requirement. A copy of the HABS documentation should be submitted to the City of Norco Planning Department, the Norco Public Library, and the Norco Historical Society.
2. Fund the installation of a plaque close to the public right-of-way and in the vicinity of the current location of the house, garage, and egg plant building that describes the historical significance of the Eisens and the Norco Egg Ranch.
3. Fund the creation and installation of an interpretive display in the community center or other appropriate public location identified by City staff.
4. Fund the creation of murals or large panels depicting the egg ranch, the Eisens, and/or other elements of Norco's history that can be placed on the Mountain Avenue side of at least one of the proposed buildings in a manner that is clearly visible and identifiable from the public right-of-way. It is suggested that this be a community art work project using local high school or college students and/or local artists.
5. Include the Eisen name(s) prominently in the development.
6. Fund one of the following:
 - a. The preparation of a historic context focused on chicken/egg ranching in Norco in the post-World War II era. This study should include information about programs established to assist Jewish immigrants after WWII, especially those that focused on agricultural pursuits such as the Jewish Federation, ORT (an acronym of the Russian words *Obshestvo Remeslenofo zemledelcheskofo Truda*, meaning The Society for Trades and Agricultural Labor), and the Jewish Agricultural Society (JAS). The study should also identify other Jewish chicken/egg ranchers in Norco during the historic-period and catalog their contributions to that field and the community of Norco.
 - b. The creation of a larger, traveling exhibit about Harry and Hilda Eisen and their success in Norco and coordinate showings with museums, schools, and other groups.

If buried cultural materials are encountered during earthmoving operations associated with the project, all work in that area should be halted or diverted until a qualified archaeologist can identify and assess the nature of the finds.

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition

pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 48 hours of notification by the NAHC. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials.

TABLE OF CONTENTS

MANAGEMENT SUMMARY.....	i
TABLE OF CONTENTS	iv
FIGURES.....	v
TABLES	vi
APPENDICES	vi
INTRODUCTION.....	1
SETTING	4
CURRENT NATURAL SETTING	4
Hydrology.....	4
Biology	4
Geology	4
CULTURAL SETTING.....	5
Prehistory	5
Ethnohistory	5
Spanish and Mexican Periods, 1771–1848.....	5
Early American Period and the Stearns Rancho, 1848–1908.....	6
Citrus Belt Land Company, 1908–1922.....	7
North Corona Land Company Developments, 1923–1928	9
The Great Depression and World War II, 1929–1945.....	12
Post-World War II Development, 1946–1965.....	13
METHODS.....	15
RECORDS SEARCH	15
NATIVE AMERICAN SCOPING	15
ARCHIVAL RESEARCH.....	16
ARCHAEOLOGICAL FIELD SURVEY	16
ARCHITECTURAL FIELD SURVEY	16
RESULTS.....	17
RECORDS SEARCH	17
NATIVE AMERICAN SCOPING	17
ARCHIVAL RESEARCH.....	18
Poultry Farming.....	18
The Eisen Family.....	22
Norco Egg Ranch	26

ARCHAEOLOGICAL FIELD SURVEY	32
ARCHITECTURAL FIELD SURVEY	33
2441 First Street (33-019898)	34
2503 First Street (33-019899)	34
1492 Mountain Avenue (33-019904)	35
1500 Mountain Avenue (33-019905)	35
1658 Mountain Avenue (Norco Egg Ranch/33-019906)	35
1661 Mountain Avenue (33-019937)	38
1751 Mountain Avenue (33-019907)	38
1433 Pacific Avenue (33-019908)	39
1445 Pacific Avenue (33-019910)	39
1451 and 1463 Pacific Avenue (33-019909)	40
1475 Pacific Avenue (33-019911)	41
1577 Pacific Avenue (33-019912)	42
1619 Pacific Avenue (33-019913)	42
1765 Pacific Avenue (33-019914)	43
2138 Second Street (33-019901)	44
2214 Second Street (33-019900)	44
2266 Second Street (33-019902)	45
2390 Second Street (33-019903)	45
SIGNIFICANCE EVALUATION	46
DEFINITIONS	46
California Register of Historical Resources	46
Norco	47
EVALUATION	47
Archaeological Resources	47
Architectural Resources	49
Summary of Significance Evaluations	65
IMPACTS ANALYSIS	67
RECOMMENDATIONS	68
REFERENCES	70

FIGURES

Figure 1: Project Location Map	2
Figure 2: Site Plan	3
Figure 3: 1910 Advertisement for Orange Heights	8
Figure 4: Rex Clark meets with men in Norco field, 1920s	11
Figure 5: Chicken Ranch in Norco, 1920s	18
Figure 6: Chicken coops under construction	19
Figure 7: Norco Demonstration Poultry Plant, 1923	19
Figure 8: Illustration of a California Chicken Ranch, circa 1930	20
Figure 9: The Jewish Farmer, a publication of the Jewish Agricultural Society	24

Figure 10: 1938 Aerial Photo	27
Figure 11: 1953 Aerial Photo	28
Figure 12: 1968 Aerial Photo	29
Figure 13: 2421 First Street. Detached garage foundation (August 2011).....	32
Figure 14: 2485 First Street. House foundations (September 2011)	32
Figure 15: 2441 First Street. Façade and east elevation, view to the northwest (8/23/11).....	34
Figure 16: 2503 First Street. Façade and east elevation, view to the northwest (8/23/11).....	34
Figure 17: 1492 Mountain Avenue. Façade, view to the southwest (8/23/11).....	35
Figure 18: 1500 Mountain Avenue. Façade and south elevation, view to the northwest (8/23/11).....	35
Figure 19: 1658 Mountain Avenue street view. View to the southwest from across Mountain Avenue (9/19/11)	36
Figure 20: 1658 Mountain Avenue residence. Façade, view to the west (8/23/11)	36
Figure 21: Norco Egg Ranch building. North end of original egg plant building, east and south elevations, view to the northwest (8/23/11)	37
Figure 22: Middle section of original egg plant building. East elevation, view to the west (8/23/11).....	37
Figure 23: South end of egg plant building. East elevation, view to the southwest (8/23/11)	37
Figure 24: 1661 Mountain Avenue. Façade and part of the north elevation, view to the southeast (8/23/11).....	38
Figure 25: 1751 Mountain Avenue. Façade and west elevation, view to the southeast (4/11/11)	38
Figure 26: 1443 Pacific Avenue. North elevation and façade, view to the southeast (8/23/11).....	39
Figure 27: 1445 Pacific Avenue. Façade and south elevation, view to the east (4/21/11).....	39
Figure 28: 1451 Pacific Avenue. Façade, view to the west (9/19/11).....	40
Figure 29: 1463 Pacific Avenue. Façade, view to the east (9/19/11)	41
Figure 30: 1475 Pacific Avenue. Façade and west elevation, view to the southeast (8/23/11).....	41
Figure 31: 1577 Pacific Avenue. Façade and north elevation, view to the southeast (4/12/11).....	42
Figure 32: 1619 Pacific Avenue. Façade, view to the east (4/12/11)	43
Figure 33: 1765 Pacific Avenue. Façade, view to the east (8/23/11)	43
Figure 34: 2138 Second Street. Façade, view to the south (6/27/11)	44
Figure 35: 2214 Second Street. Façade, view to the southwest (4/11/11).....	44
Figure 36: 2266 Second Street. Façade, view to the south (8/23/11)	45
Figure 37: 2390 Second Street. Façade, view to the southeast (8/23/11).....	45

TABLES

Table A: Archaeological Resources Unrelated to Existing Built Environment	33
Table B: Archaeological Resources Associated with Existing Historic-Period Buildings	33
Table C: Historic-Period Architectural Resources	33
Table D: Resources Evaluated.....	66

APPENDICES

- A: NATIVE AMERICAN SCOPING
- B: DPR SITE RECORDS

INTRODUCTION

LSA is under contract to Alere Properties Group to conduct a cultural resources study of the Norco Ranch Commerce Park project, consisting of approximately 50 parcels and 83 acres in the City of Norco, County of Riverside, California (Figure 1). The project area is generally located on the south side of Second Street between Pacific and Mountain Avenues and includes vacant land, as well as parcels developed with residential and commercial uses. All buildings in the project area are proposed to be removed to facilitate development of the property with a distribution center, including related parking, landscaping, and drainage improvements (Figure 2).

This cultural resources assessment was completed pursuant to the California Environmental Quality Act (CEQA), Public Resources Code (PRC) Chapter 2.6, Sections 21083.2 and 21084.1, and California Code of Regulations (CCR) Title 14, Chapter 3, Article 5, Section 15064.5.

The project is located in Section 13, Township 3 South, Range 7 West, San Bernardino Baseline and Meridian, as shown on the United States Geological Survey (USGS) *Corona North, California* 7.5-minute topographic quadrangle.

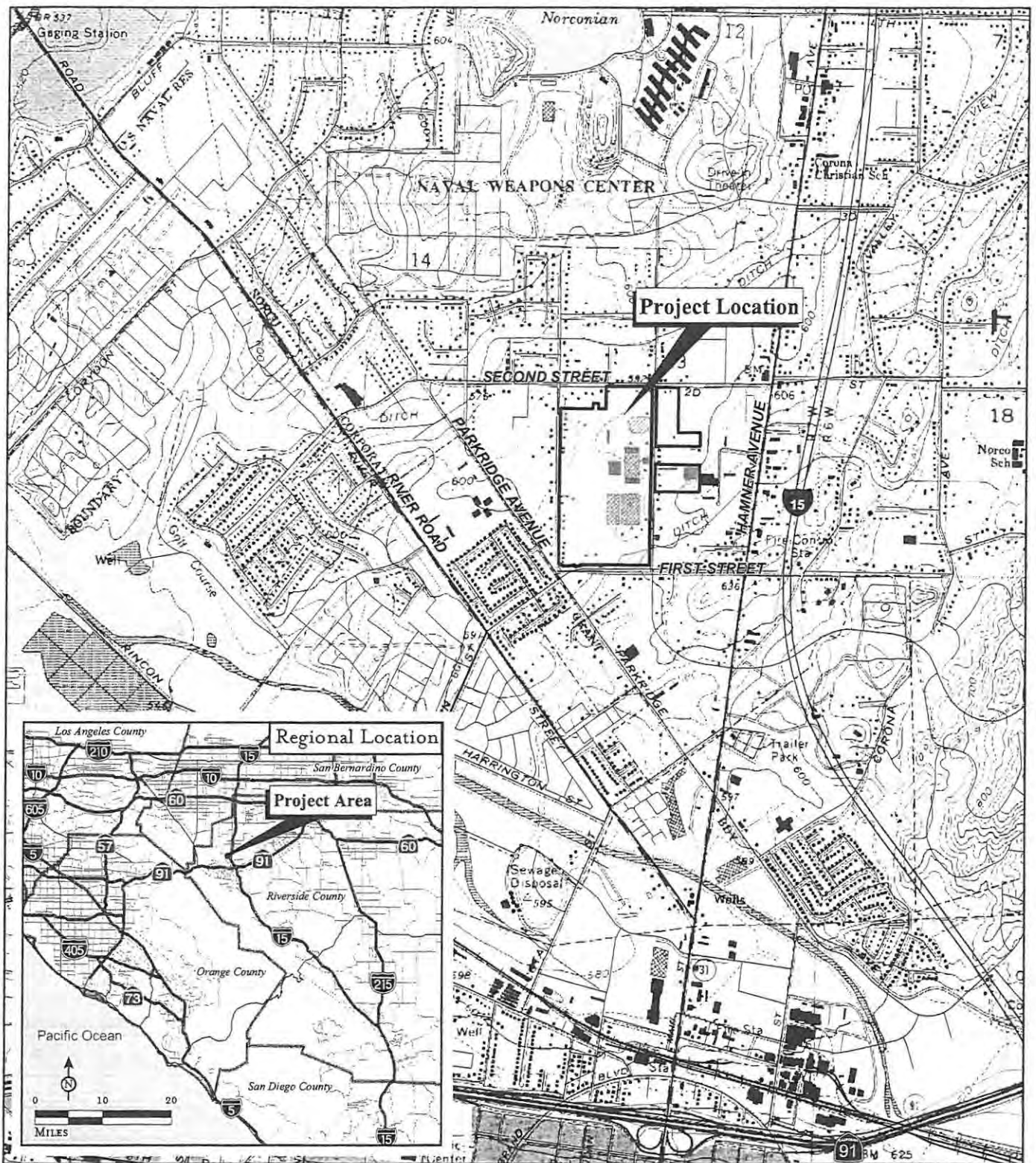
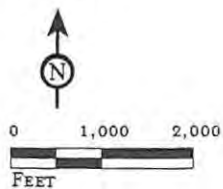


FIGURE 1

LSA



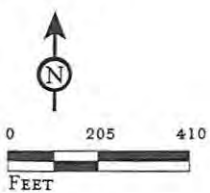
Norco Ranch Commerce Park
Cultural Resources Report

Regional and Project Location

SOURCE: USGS 7.5' Quad: Corona North (1981), CA; Thomas Bros., 2009

H:\APG1101\Reports\Cultural\fig1_reg_loc.mxd (09/06/11)

FIGURE 2



SOURCE: HPA, 2011

I:\APG1101\Reports\Cultural\fig2_SitePlan.mxd (09/28/11)

Norco Ranch Commerce Park
Cultural Resources Report
Proposed Site Plan

SETTING

CURRENT NATURAL SETTING

Hydrology

The City of Norco is located in an area characterized by a semi-arid climate with dry, hot summers and moderate winters. Annual rainfall in this area averages 12 inches per year.¹ Most precipitation occurs in the form of winter rain, with occasional warm monsoonal showers in the late summer. The project is located approximately 2 miles east of the Santa Ana River (now channelized), which drains to the southwest.

Biology

At an average elevation of 580 feet above mean sea level (AMSL), the project area is within the Upper Sonoran Life Zone, which ranges in elevation from about 500 to 5,000 feet AMSL and is represented in valleys and low mountain slopes with a predominantly chaparral community. Common native plants include oak and scrub oak, sycamore, chamise, cacti, agave, yucca, species of sage, chia, and various grasses.² Common animals include deer, coyote, rodents, as well as endemic species of birds and reptiles.³ Mustard, telegraph weed, puncturevine, and seasonal grasses were all noted within the project area. Ornamental landscaping includes bougainvillea, as well as eucalyptus, palm, and pepper trees.

Geology

The project is located north of the Santa Ana Mountains, a western portion of the northern Peninsular Range geologic province of Southern California. The parcel, in southwestern Riverside County, sits on terraced channel deposits of early Pleistocene age (Qvoa: very old alluvial channel deposits)⁴ on the south side of the Santa Ana River. The project is five miles north of the Elsinore Fault and three miles north of the Chino Fault, both near the base of the Santa Ana Mountains.⁵ Jurassic volcanic and Cretaceous granitic rocks make up the core of the Santa Ana Mountains.⁶ These mountains also contain a suite of late Cretaceous through Miocene marine sediments. In contrast, the clasts found in the early Pleistocene channel deposits on the project were brought by the Santa Ana River from the San Bernardino Mountains to the northeast. These channel deposits have covered low hills of cretaceous granitic rocks and hills of late Pliocene sediments of the Norco Area (QTn).⁷ The coarse clastic alluvial deposits are mixed with sand, silt and organic plant matter to produce a horizon of Holocene and recent soil.

¹ Beck and Haase 1974.

² Munz and Keck 1968.

³ Schoenherr 1992.

⁴ Morton and Gray 2002.

⁵ Rogers 1965.

⁶ Ibid.

⁷ Morton and Gray 2002.

Sheet flow and small, unnamed drainages run southwest across the terrace toward Temescal Wash, which drains northwest into the Santa Ana River. These drainages and surface sheet flow have been intermittently active in historic and recent time, subjecting the parcel and surrounding area to surface disturbing erosion. This surficial erosion may have disturbed or buried cultural resources within the project area. Therefore, the project has undetermined potential for intact surface or subsurface archaeological resources.

CULTURAL SETTING

Prehistory

Of the many chronological sequences proposed for southern California, two primary regional syntheses are commonly used in the archaeological literature. The first defines four cultural horizons, each with characteristic local variations: Early Man Horizon, Milling Stone, Intermediate, and Late Prehistoric.⁸ The second, employing a more ecological approach, defined five periods in southern California prehistory: Lake Mojave, Pinto, Gypsum, Saratoga Springs, and Protohistoric.⁹ This approach views cultural continuity and change in terms of various significant environmental shifts, defining the cultural ecological approach for archaeological research of the California deserts and coast. Many changes in settlement patterns and subsistence focus are viewed as cultural adaptations to a changing environment, beginning with the gradual environmental warming in the late Pleistocene, the desiccation of the desert lakes during the early Holocene, the short return to pluvial conditions during the middle Holocene, and the general warming and drying trend, with periodic reversals, that continues to this day.¹⁰

Ethnohistory

The project is located within the traditional territory of the Gabrielino.^{11 12} Like other Native American groups in southern California, the Gabrielino were semi-nomadic hunter-gatherers who subsisted by exploitation of seasonably available plant and animal resources and were first encountered by Spanish missionaries in the late 18th century. The first written accounts of the Gabrielino are attributed to mission fathers and later documentation was by Johnston,¹³ Blackburn,¹⁴ Hudson,¹⁵ and many others.

Spanish and Mexican Periods, 1771–1848¹⁶

During the late 1700s, the first Europeans entered the region around Norco as part of various overland expeditions. In 1771, explorer Father Francisco Garces traveled from Yuma to Mission San Gabriel,

⁸ Wallace 1955.

⁹ Warren 1986.

¹⁰ Ibid.

¹¹ Kroeber 1925.

¹² Bean and Smith 1978.

¹³ Johnston 1962.

¹⁴ Blackburn 1962–1963.

¹⁵ Hudson 1971.

¹⁶ Unless otherwise noted, the historic context for Norco has been adapted from "Historic Resources Survey: Pre-1946," prepared by Bill Wilkman, Wilkman Historical Services, for the City of Norco, 2011.

crossing the Mojave Desert and reaching the coast by way of the Cajon Pass. The following year, Pedro Fages led a contingent of Spanish soldiers in to the area tracking down deserters from the garrison in San Diego. Later, in an attempt to establish an overland route across Alta California, Juan Bautista de Anza traversed the area in 1774 and 1776. Despite these occasional forays into the region, the lands around Norco were not settled during the Spanish period, nor were they assigned to a particular mission or rancho. Nevertheless, they appear to have been informally under the control of Mission San Gabriel and may have been used for grazing.

Spanish rule of Southern California was replaced by Mexican rule in 1821. During the Mexican period, four ranchos were located in the Norco area, including Jurupa (Rubidoux), Jurupa (Stearns), La Sierra (Sepulveda), and El Sobrante de San Jacinto. However, the only one that included what would later become the City of Norco was Rancho La Sierra (Sepulveda).

Rancho La Sierra (Sepulveda) was a Mexican land grant issued to Vicenta Sepulveda on June 15, 1846, by Mexican Governor Pio Pico. The history of this rancho began in 1810, when Jose Antonio Yorba was granted the huge Santiago de Santa Ana land grant, encompassing what is now northern and eastern Orange County. Over time, the Yorba family grazed its herds on pasture lands to the east of the original land grant, eventually extending into the area the Yorba family called La Sierra. While the Yorba family's use of this area started as early as 1825, they did not apply for a grant to secure the land until it was apparent that Mexico's rule over Alta California would likely fall to the United States. To correct this lapse, in 1845 Bernardo Yorba filed a land grant application with Governor Pio Pico for the La Sierra lands. This angered his sister-in-law Vicenta Sepulveda, widow of Bernardo's brother, who felt a portion of the La Sierra lands should belong to her. Governor Pico settled the dispute by dividing the La Sierra lands between the two, granting the westerly portion to Bernardo Yorba and the easterly lands to Vicenta Sepulveda. As a result of this division, the westerly lands became known as Rancho La Sierra (Yorba) and the easterly lands took on the name Rancho La Sierra (Sepulveda). Rancho La Sierra (Sepulveda) totaled 17,774 acres and extended from the area of present-day Van Buren Boulevard on the east to the vicinity of Norco's westerly boundary.

Early American Period and the Stearns Rancho, 1848–1908

The Mexican-American War ended Mexican rule over California, which became part of the United States in 1848. While ranching generally declined with this change, the discovery of gold, the building of the transcontinental railroad, and a number of speculation-friendly land acts spurred increasing growth and interest in California. By 1860, advances in irrigation fostered a booming agricultural industry in the vicinity of today's Norco.

In 1872, around the time the Colony of Riverside was founded to the east, Abel Stearns purchased Rancho La Sierra (Sepulveda) from Vicenta Sepulveda. Stearns died a short time later, but the Stearns Rancho Company held the land until the early 1900s. The portion of the rancho west of the Norco Hills ridgeline ultimately became Norco. Over time, annexations have extended the boundaries of Norco beyond the original boundaries of Rancho La Sierra (Sepulveda), but the north and west boundaries of Norco are roughly the same as the boundaries of the westerly half of Vincenta Sepulveda's rancho.

In 1893, when Riverside County was created, the Stearns Rancho Company owned all of the land that would define Norco in the 1920s. In fact, the Stearns Rancho Company continued to own the vast

majority of future Norco lands until around 1909 when the Los Angeles Trust and Savings Bank and Citrus Belt Land Company recorded the Orange Heights Tracts, which subdivided the majority of the land south of today's Fifth Street.

Citrus Belt Land Company, 1908–1922

It is in the period between 1908 and 1922 that the seeds of the Norco we know today were planted. It was during this time that the lands of what would become Norco were first divided into lots for sale to individuals who would build homes and establish a connection to the area as a place to live, raise families, and engage in small-scale farms and ranches.

In October of 1908, the *Los Angeles Times* reported the sale of the 18,000 acre Stearns Rancho to George E. Pillsbury and W.J. Hole. These men, along with Paul Blades and E.H. Bagby, would later form the Citrus Belt Land Company and build the first subdivisions in Norco. The *Los Angeles Times* article states that the sale was “the largest transaction for an undivided continuous piece of citrus land in the recent history of this section,” and concludes, “the 18,000-acres is a domain fit for a king of this earth.”¹⁷

Shortly after this sale, the Citrus Belt Land Company began laying out subdivisions in the area that would become the City of Norco. Encompassing the current project area, Orange Heights Tract #1, the first subdivision in Norco, was recorded on June 9, 1909. The 93-lot subdivision extended from First Street north to Third Street. Parcels ranged in size from 7.40 acres to 35.58 acres, with the most common lot size around 10 acres. The following year the second phase of the Orange Heights development, the 82-lot Orange Heights Tract #2, was established north of the project area.

To provide water to its tracts, the Citrus Belt Land Company created a mutual water company, the Orange Heights Water Company. In 1909, this company constructed reservoirs covering approximately 15 acres, and in 1910 it dug several wells, graded roads, and laid miles of irrigation pipe. In addition, the Citrus Belt Land Company built a nursery, which by 1910 held 150,000 budded citrus trees ready to plant. That same year, the *Los Angeles Times* reported that the company had planted sixteen acres of naval oranges and was preparing to plant 100 more. The article went on to state that out of the total 5,500 acres, “About 150 acres have been sold in small tracts and purchases are building.”¹⁸

In 1909, the first advertisements for Orange Heights Tract #1 appeared in the *Los Angeles Times*. Under the banner “Best Orange and Lemon Lands,” citrus lots were selling for \$200 to \$350 per acre, and alfalfa lands were offered for \$125 to \$175 per acre.¹⁹ The following year, elaborately illustrated advertisements were selling the “Proven Orange and Lemon Land” for \$225 to \$275 per acre (Figure 3), with S.J. White & Co., Erkenbrecher Syndicate, Paul H. Blades & Co., and Fairchild & Bertrand listed as selling agents.²⁰ By 1911, advertisements adopted the slogan “The Safest and Best Investment on Earth Is The Earth Itself,” and bragged that “The men who have had the foresight to acquire good Orange land and plant to [sic] Oranges and Lemons are getting their reward.”²¹

¹⁷ “Citrus Land, Record Deal,” *Los Angeles Times*, 10-18-1908: V-1.

¹⁸ “Voters Favor Land Change,” *Los Angeles Times*, 5-23-1910: II-7.

¹⁹ Advertisement, *Los Angeles Times*, 3-23-1909: II-10.

²⁰ Advertisement, *Los Angeles Times*, 2-11-1910: I-8.

²¹ Advertisement, *Los Angeles Times*, 4-2-1911: VI-12.

These advertisements targeted middle-class families hoping to make a living off the land, and encouraged the establishment of numerous, small-scale citrus operations. This trend of family-owned and operated agricultural ventures would continue to play an important role in the settlement of Norco, as the allure of making a living from the soil drew more residents to the area.



Figure 3: 1910 Advertisement for Orange Heights. Source: *Los Angeles Times*

By the close of 1912, 21 lots in the Orange Heights Tracts had been sold to individuals and there were 17 lots with assessable structures. It is interesting to note that while the subdivision was developed by the Citrus Belt Land Company, the owner of the majority of the lots in 1912 was the Los Angeles Trust and Savings Bank. Of the 175 lots in the two phases of the Orange Heights Tract, the bank was listed as the owner of 113 lots in 1912. The remaining lots were either individually owned, or owned by the Citrus Belt Land Company.

Despite claims that Orange Heights was “an ideal place for the successful and profitable raising of Citrus Fruits,” citrus crops proved unsuccessful due to unfavorable soil and climatic conditions. During the 1910s, citrus trees were gradually replaced with other crops, particularly deciduous fruits such as apricots, peaches, and pears. By 1920, the transition away from citrus was nearly complete, and the *Corona Courier* reported that the area had enjoyed one of the largest apricot crops on record, bringing “top notch prices.” In the Orange Heights area alone, “nearly 200 tons of ‘cots’ were

harvested” from 250 acres planted with apricot trees.²² With citrus losing favor to deciduous crops, in 1920, the Corona Chamber of Commerce conducted a contest to come up with a new name for the area. A total of 147 names were entered, and the winning name was “Orchard Heights.”

The newly christened Orchard Heights, with its small, profitable ranches producing a variety of fruits and vegetables, was considered “a desirable place for a country home.”²³ By 1921, of the 209 lots in the Orange Heights Tracts, 155 (74%) had been sold and were now individually owned. A total of 109 lots (52%) had assessable structures, and 29 lots (14%) had assessable tree or vine crops. To facilitate sales, the company had split some lots into smaller parcels. Where Orange Heights Tract #1 started with 93 lots, it had 120 lots by 1921.

With most of its Orchard Heights lots sold and no plans to pursue subdivision of its remaining lands, the Citrus Belt Land Company bowed out of the picture in the early 1920s. County Assessor’s records reflect that in 1922, all of the unsold lots in the Orchard Heights Tracts had become the property of the Los Angeles Trust and Savings Bank. The undivided lands north of these tracts, formerly owned by the Citrus Belt Land Company, also became the property of the bank. In 1923, County Assessor’s records listed all of these unsold lots and land as the property of a new developer, the North Corona Land Company. This company, and its founder Rex Clark, would have a profound effect on the community of Norco.

North Corona Land Company Developments, 1923–1928

Rex Clark and his North Corona Land Company were responsible for expanding upon the Orchard Heights subdivisions and creating the foundations of the Norco of today. Born in Detroit, Michigan on May 31, 1876, Rex Brainerd Clark was the son of Ransom Bruce and Nellie (Russel) Clark and was educated in Detroit schools. On September 4, 1901, he married Miss Grace M. Scripps, the daughter of James Scripps, a powerful newspaper publisher. Barred from employment at the Scripps publishing enterprises, Clark built his own successful office supplies business in Detroit. Later, Clark’s business failed and he suffered a nervous breakdown. To make a new start, the Clarks moved to La Jolla, California to stay with Grace’s uncle, successful publisher E.W. Scripps. From there, the Clarks, with their children Rex, William, and Ellen, moved to Julian to raise cattle and apples and establish a freight company. Rex Clark also engaged in land speculation and devoted considerable time to the creation of the town of Norco and the opulent Norconian Resort Supreme. The inheritance Grace received from her family greatly assisted in covering the expenses Rex Clark incurred in his business ventures in Norco.

In 1920, an article in the *Corona Daily Independent* reported that Rex Clark had bought 800 acres of Orchard Heights land and intended to “...at once commence extensive improvement of a large part of his new holdings.”²⁴ Two years later Clark was selling mortgage bonds and installing major improvements, spending \$75,000 to install wells, lay a steel pipe irrigation system, plant orchards, and purchase a concrete pipe making machine. By 1923, Riverside County Assessor’s rolls reflected that the North Corona Land Company had assumed ownership of many of the vacant lots in the

²² “Corona Farm Center,” *Corona Courier*, 7-23-1920.

²³ John Brown Jr. and James Boyd, *History of San Bernardino and Riverside Counties* (Chicago, IL: The Lewis Publishing Company, 1922), 565.

²⁴ “Pasadena Man Buys Over Eight Hundred Acres in Orchard Heights: Will Develop Property at Once,” *Corona Daily Independent*, 10-29-1920.

original Orchard Heights Tracts and the vast majority of the vacant acreage north and east of these tracts. Between 1923 and 1926, the area north of Orchard Heights was subdivided into the Norco Farms Tracts #1-5. This area would become the core of the new community that Rex Clark named "Norco," a contraction of his company's name, the North Corona Land Company.

Clark's approach to the development of his lands was entirely different from the approach taken by the Citrus Belt Land Company. As noted earlier, Orchard Heights was divided and planned as a suburb of Corona. The tracts did not include land for schools, commercial uses, or manufacturing businesses. The residents of Orchard Heights obtained services, advice, and materials wherever they could find these in the marketplace. Clark's vision for Norco was that of a self-contained community with its own village-like town center, commercial uses, a school, and manufacturing businesses. His idea was to base the town's economy on small, self-sustaining farms and ranches, and to supply the town's farmers and ranchers with just about everything they would need to carry on the activities of their daily lives and farming businesses.

In the town center, Clark built a school, a general store, a pavilion, a gasoline station, and an auto repair garage. North and northeast of the town center, he built a manufacturing complex to make and supply the materials necessary to build the town and operate its farms. In many respects Norco was a kind of "company town." The North Corona Land Company owned all of the business and manufacturing uses for the first several years of the community's existence. Clark insisted that all the essential services to support Norco be in place before the town's grand opening on May 13, 1923. This was an elaborate event with speeches, dinner, and fireworks. According to the *Los Angeles Times*, it attracted 5,000 spectators, and "[p]ractically all sections of the Southland were represented."²⁵

Norco, as envisioned by Rex Clark, was a utopian, agrarian community, where every man could make a decent living off the land. In the first advertisement, published April 26, 1923, Clark described Norco as "The Vale of Dreams Come True." Above the headline was an artist's concept of Norco as a prosperous community of small farms clustered around a village center. The extensive copy rhapsodized:

[W]e see laid out before us, as if by the magic of Aladdin, a garden city of dreams, nestled beside the fertile orchards of Norco, between the peak on which we stand and the constant flowing river that winds around it. This is the child of Common Wealth, nourished by the fruit of fertile fields. This is the Commonwealth of dreams come true. We invite you to share it with us.²⁶

Clark's Norco Farms capitalized on a trend to get "back to the soil" that emerged in the 1920s and continued through the Depression years of the 1930s. By 1925, a *Los Angeles Times* article reported that "Hundreds of educated men and women ... including former teachers, lawyers, physicians, manufacturers, electricians, and cigarmakers" were moving to small, suburban farms.²⁷ Advertisements for Norco Farms directly appealed to these urban residents longing to enjoy a simple, but prosperous, country lifestyle. Clark even went so far as to promote the purchase of a Norco farm as the ideal weekend retreat for the busy city dweller looking to "get out of the grind."²⁸

²⁵ "Norco Draws Big Crowd at Opening," *Los Angeles Times*, 5-20-1923: V13.

²⁶ Advertisement, *Los Angeles Times* 4-26-1923: I-8.

²⁷ "Back-to-Land Move Spreads," *Los Angeles Times*, 5-31-1925: F11.

²⁸ "Week-End Farm for Busy City People is Urged," *Los Angeles Times*, 9-23-1923: V7.

Advertisements included testimonials with headings such as: "How NORCO FARMS Are Building A Home and Fortune for the Man Who Got Tired of Playing A Flute," "When that San Pedro Jeweler And His Wife Went Shopping For A FARM," and "Two Years' House Rent Buys Irrigated NORCO FARM."²⁹

According to Clark and the North Corona Land Company, buying a five-acre Norco Farm was the equivalent of buying your family's freedom. Under "Prices and Terms," a 1923 advertisement sold "Two Acres and Independence" for \$1,100, "Three Acres and Liberty" for \$1,575, and "Five Acres and Freedom" for \$2,500.³⁰ Another claimed that to make a success of your Norco Farm "You must love the Freedom of Being your own 'Boss.'"³¹ Clark believed that small farms offered average Americans financial security, as the money the farms generated paid for themselves. In Norco, middle-class families could own "[their] own home-income," achieving both "Independence and an Income."³² By the late 1920s, over 400 families had purchased their 5-acre portion of Rex Clark's growing, agrarian utopia. See Figure 4.



Figure 4: Rex Clark meets with men in Norco field, 1920s.

While most of the development during the 1920s occurred in the Norco Farms lots north of the project area, the North Corona Land Company continued to slowly sell its holdings in the original

²⁹ Advertisements, *Los Angeles Times*, 6-27-1923: I-5; 6-29-1923: I-8; 6-19-1923: II-22.

³⁰ Advertisement, *Los Angeles Times*, 11-3-1923: II-2.

³¹ Advertisement, *Los Angeles Times*, 12-1-1923: I8.

³² Advertisement, *Los Angeles Times*, 10-15-1926: 5.

Orchard Heights tracts. Between 1926 and 1945, the company sold three of the 18 lots it owned in what was originally called the Orange Heights Tract #1 (the area encompassing the current project area). While the North Corona Land Company was not very active the area, the Orange Heights Tract #1 did see significant development during this time period: the number of lots with structural improvements increased by 65 percent between 1926 and 1945. Orchard Heights also saw itself transformed from an isolated subdivision into the southern extent of an agricultural community, complete with improved roads, a town site, general store, school, post office, and small manufacturing center.

The Great Depression and World War II, 1929–1945

During the mid-1920s, Rex Clark announced his plans to build a \$1.5 million dollar resort in Norco. The large resort, named the Norconian, was to be located on a reserved stretch of land with a hot mineral spring west of Hamner Avenue and north of Orchard Heights. Architect Dwight Gibbs designed the resort in a Mediterranean style, and the Norconian's many features included a 60-acre lake, golf course, exercise facilities, and an Olympic-size swimming pool. During its 15 months of construction, the Norconian had a significant effect on the local economy. Local residents were employed as construction workers, and locally made concrete blocks and "stone tiles" were used to build the resort.

The resort opened its doors on February 2, 1929. The timing could not have been worse. Just months later on October 29, better known as "Black Tuesday," the stock market crash signaled the beginning of the Great Depression. During the 1930s, visitors to the luxury resort had to drive through a "tobacco road" environment before entering the posh grounds of the Norconian. The combination of the depressed economy and the impoverished surroundings dealt a death-blow to the resort and it lost money from the beginning.

Living off the land held even more allure during the difficult economic times of the 1930s. While the Norco region suffered during the Great Depression, city dwellers struggling with high unemployment rates idealized the benefits of an agrarian lifestyle. In 1931, the *Los Angeles Times* reported that Norco was populated by "people making their living in a small, but contented manner ... had they been living in the city, [they] would have been walking the streets looking for a job or worrying about their sustenance."³³

The advent of World War II brought some economic relief to Norco. Clark put the resort up for sale in 1941 for \$2 million, not even half of its final construction cost. With U.S. participation in World War II looming, the Navy expressed interest in the resort to serve as a hospital. Just one day after the Japanese attack on Pearl Harbor on December 7, 1941, the Norconian became the U.S. Naval Hospital. The hospital served a vital function during the war years, treating scores of injured and ill soldiers. Significant advances were made in the treatment of tuberculosis, malaria, and polio. Additions to the resort expanded its capacity from 500 to 4,050 patients. At its peak, the hospital was staffed by 99 naval officers, 46 medical officers, 74 nurses, and 410 hospital workers.

In 1951, the Bureau of Standards moved into empty tuberculosis wards on the hospital campus. This move led to a portion of the Norconian becoming a world-class facility for weapons research,

³³ "Fact and Comment: Small Farm Trend," *Los Angeles Times*, 4-19-1931: D1.

development, and testing. In 1962, a line was drawn north of the lake and the balance of the land was turned over to the State of California to serve as a criminal narcotics treatment facility.

Post-World War II Development, 1946–1965

Norco grew significantly after World War II, but the area did not see the wide-scale housing developments that characterized so many other communities in Southern California during the postwar period. Census records indicate that Norco's population increased by 3,380 people between 1950 and 1960, but this number may be artificially inflated due to changes in the size of the Census district for the unincorporated community.³⁴ Instead of large-scale developments, the trend in Norco was toward the establishment of small subdivisions and the continuing division of multi-acre lots into smaller parcels. An exception to this pattern occurred in 1955 when Rex Clark, the founder of the North Corona Land Company, passed away. At the time of his death, Clark was the largest landowner in the Norco Area. Seeing an opportunity, Hung Wo Ching, a businessman from Honolulu, paid \$1,150,000 for 1,534 acres of former Clark lands for development as real estate.³⁵

The steadily growing Norco area saw substantial changes to its transportation system in the decades after the war. Most significantly, in 1959, the California Highway Commission selected the route between Devore and Corona for what later would be designated Interstate 15. Located to the east of the current project area, the highway received its "interstate" designation in January 1972, when it linked with the route that stretched from Mexico to Canada. The improved transportation system made it easier for residents of Norco to shop outside of the community, and by 1960 the community's original store was vacant and vandalized. The interstate system also made it easier for residents to commute to places of work throughout the greater Los Angeles area. Others found employment locally in agricultural businesses, government positions, or at Wyle Laboratories, a private weapons testing facility that moved onto a 429-acre site in the hills east of the current project area in the late 1950s.³⁶

It was also during postwar period that Norco was transformed into "Horsetown USA." Starting in the early 1950s, horses owned by ranches in Norco began regularly participating in races, rodeos, and horse shows. Following this trend, real estate developers began catering to horse owners; during the mid-1960s, the JR Spread subdivision, located on Second Street, advertised half-acre "ranchettes" with large, ranch style homes and individual horse corrals. In addition, the subdivision featured a regulation-size riding ring for community use.³⁷

Norco continued to maintain its Western-themed and horse-friendly identity after it incorporated as a city in 1964. The new city established a half-acre minimum for housing lots, which maintained the community's low population density and controlled growth.³⁸ More recently, the city council has

³⁴ 1950 Census of Population and Housing, Volume 1: Number of Inhabitants, <http://www.census.gov/prod/www/abs/decennial/1950.html>, accessed 8-22-2011; 1960 Census of Population and Housing, Volume 1: Characteristics of the Population, <http://www.census.gov/prod/www/abs/decennial/1960.html>, accessed 8-22-2011.

³⁵ "Death Claims Resort Founder," *Los Angeles Times*, 9-1-1955: B13; "\$1,500,000 Sale of Clark Norco Land Approved," *Los Angeles Times*, 11-3-1956: B7.

³⁶ Alicia Robinson, "State Probe of Contamination Around Wyle Labs Finds Homes, Schools Safe," *Press Enterprise*, 11-17-2007.

³⁷ "Norco Project Offers Real Western Tableau," *Los Angeles Times*, 6-27-1965: H9.

³⁸ Kee Warner and Harvey Molotch, *Building Rules: How Local Controls Shape Community Environments and Economies* (Boulder, CO: Westview Press, 2000), 46, 49.

promoted Western-style architecture that complements Norco's rural atmosphere.³⁹ Currently the "animal-keeping and equestrian-oriented" town is home to 27,063 residents. The city limits contain approximately 15 square miles, and Norco features over 400 acres of parkland and 95 miles of equestrian trails. Major employers include the U.S. Naval Surface Warfare Center, the California Rehabilitation Center, and the Norco Campus of Riverside Community College.⁴⁰

³⁹ Laura Rico, "Norco Brands Itself Rural: Horsetown USA Promotes Tourism," *Press Enterprise*, 2-11-2007: B1.

⁴⁰ "About Norco," <http://www.norco.ca.us/about/default.asp>, accessed 8-19-2011.

METHODS

RECORDS SEARCH

Prior to fieldwork, a records search was conducted at the Eastern Information Center (EIC) of the California Historical Resources Information System, located in the Department of Anthropology at the University of California, Riverside. This included a review of all recorded historic and prehistoric archaeological sites, as well as a review of known cultural resources surveys and excavation reports generated from projects located within one-half mile of the project. In addition, a review was conducted of the National Register of Historic Places (National Register) and documents and inventories from the California Office of Historic Preservation including the lists of California Historical Landmarks, California Points of Historical Interest, Listing of National Register Properties, and the Inventory of Historic Structures.

NATIVE AMERICAN SCOPING

Native American scoping was conducted for the project. LSA requested that a Sacred Lands File (SLF) search be performed by the Native American Heritage Commission (NAHC) on July 22, 2011. The NAHC responded on July 25, 2011, to state that the SLF search did not identify Native American cultural resources at the location specified. However, the NAHC also provided a list of 14 Native American contacts that may have knowledge of cultural resources that could be affected by the project. These individuals/tribes were contacted by letter sent via certified mail dated July 29, 2011. The letter provided notification of the project and requested comment. The following individuals/tribes were contacted per the NAHC's recommendation:

- Pala Band of Mission Indians, Tribal Historic Preservation Office/Shasta Gaughen;
- Rincon Band of Mission Indians, Tiffany Wolfe, Cultural and Environmental;
- Pauma & Yuima Reservation, Randall Majel, Chairperson;
- Santa Rosa Band of Mission Indians, Mayme Estrada, Chairwoman;
- Pechanga Band of Mission Indians, Paul Macarro, Cultural Resource Center;
- Morongo Band of Mission Indians, Michael Contreras, Cultural Heritage Program;
- Ramona Band of Cahuilla Mission Indians, Joseph Hamilton, Chairman;
- Pauma Valley Band of Luiseño Indians, Bennae Calac, Tribal Council Member;
- Pechanga Band of Mission Indians, Mark Macarro, Chairperson;
- Pechanga Cultural Resources Department, Anna Hoover, Cultural Analyst;
- Willie J. Pink, Luiseño;
- Soboba Band of Luiseño Indians, Joseph Ontiveros, Cultural Resource Department;

- La Jolla Band of Mission Indians, Rob Roy, Environmental Director; and
- Cabuilla Band of Indians, Luther Salgado, Sr., Chairperson.

ARCHIVAL RESEARCH

LSA completed archival research during July, August, and September 2011. Research methodology focused on the review of a variety of primary and secondary source materials relating to the history and development of the project area. Sources included, but were not limited to, online sources, published literature in local and regional history, historic aerial photographs, historic maps, information provided by the City, and personal communication with persons associated with the property. Primary historical themes included poultry farming and the Eisen family's association with the properties.

Some of the repositories and individuals contacted for this project are provided below. A complete list of all references is included at the end of this report.

- Riverside County Assessor's records and maps;
- Historic photographs;
- Los Angeles Public Library Reference Section, including online databases;
- The Corona Public Library Heritage Room;
- Ron Snow, Norco City Historian;
- Steve Wright, Corporate Controller for Norco Ranch, Inc from 1980 to 2000; and
- Mary Cramer, daughter of Harry and Hilda Eisen and Norco Ranch property manager.

ARCHAEOLOGICAL FIELD SURVEY

LSA archaeologist Riordan Goodwin conducted an intensive-level pedestrian survey of the project area on August 23 and 24, 2011, utilizing 15-meter transects where possible. Mr. Goodwin examined all exposed areas of native soil surface for the presence of cultural resources. A follow-up site visit was made on September 19, 2011, in order to complete documentation of the archaeological resources.

ARCHITECTURAL FIELD SURVEY

On August 23, 2011, LSA Architectural Historian Casey Tibbet conducted the intensive-level architectural survey. During the survey, Ms. Tibbet took numerous photographs of the exteriors of each building, as well as other features such as the concrete slabs. In addition, she made detailed notations regarding the structural and architectural characteristics and current conditions of the buildings and their associated features, and conducted a brief reconnaissance survey of the immediate vicinity.

RESULTS

RECORDS SEARCH

Data from the EIC indicate that there have been 10 previous cultural resources studies conducted within 0.5 mile of the project area but none of these included any portion of the project area. No cultural resources are documented within the project area, but six archaeological sites are recorded within the 0.5 mile radius: two historic-period sites (a well, CA-RIV-5311H, and a refuse scatter, CA-RIV-5310H) and four prehistoric sites (milling features CA-RIV-2315, CA-RIV-2316, and CA-RIV-1229, and one quarry and lithic scatter, CA-RIV-1040). None of these resources was previously documented adjacent to or in the immediate vicinity of the project area, and none is listed in the California or National Registers or any of the historic properties inventories.

NATIVE AMERICAN SCOPING

As a result of the scoping inquiry, two initial responses were received: A letter dated August 2, 2011, was received from Joseph Ontiveros, Soboba Band of Luiseño Indians. Mr. Ontiveros indicated that the project falls within the boundaries of the Tribe's Traditional Use Area and the location is regarded as highly sensitive to the Soboba. He requested consultation with the project developer and notification of the project status; that Soboba continue to act as a consulting tribal entity for the project; monitoring by a Native American Monitor from the Soboba Band of Luiseño Indians Cultural Resources Department; and that the proper procedures be taken and the requests of the Tribe, as delineated in the letter attachment, be honored.

A letter dated August 18, 2011, was received from Shasta Gaughen, Pala Band of Mission Indians. The letter stated that the project is outside of the Tribe's area of concern and the Tribe has no objection and will defer to tribes in closer proximity.

No initial responses were received from any of the remaining Native Americans contacted. Two rounds of email follow-up communication were conducted between August 23 and August 31, 2011.

Yvonne Markel, Environmental Office Manager, Cahuilla Band of Indians responded (via email) on August 26, 2011, indicating that while the Tribe currently has no knowledge of cultural resources within the project area, the project is within its Traditional Use Area and as a courtesy would like to be kept informed as the project progresses and requested documentation regarding cultural resources. It was also recommended that Cultural Monitors approved by the Tribe be present on site during project activities.

No additional responses were received as a result of the Native American scoping. Please see Appendix A for a detailed record of the Native American contacts and communications.

ARCHIVAL RESEARCH

The following provides historic context information relevant to the project area based on the archival research conducted for this project.

Poultry Farming

Ever since the days of the North Corona Land Company and Rex Clark's Norco Farms, poultry has played a significant role in the development of Norco. While the company also promoted viticulture, orchards, and the farming of rabbits, the popularity of small poultry operations was crucial to the success of Norco Farms (Figure 5). Rex Clark once explained the economics of the poultry business: "There are approximately 3,000,000 meals served every day in metropolitan Los Angeles. If every one ate one egg a day, it would require 365,000,000 eggs per year to supply the market and it would keep nearly 2,000,000 hens busy. That demand alone would maintain 2,000 poultry farms ... and would keep 2,000 families in comfort."⁴¹

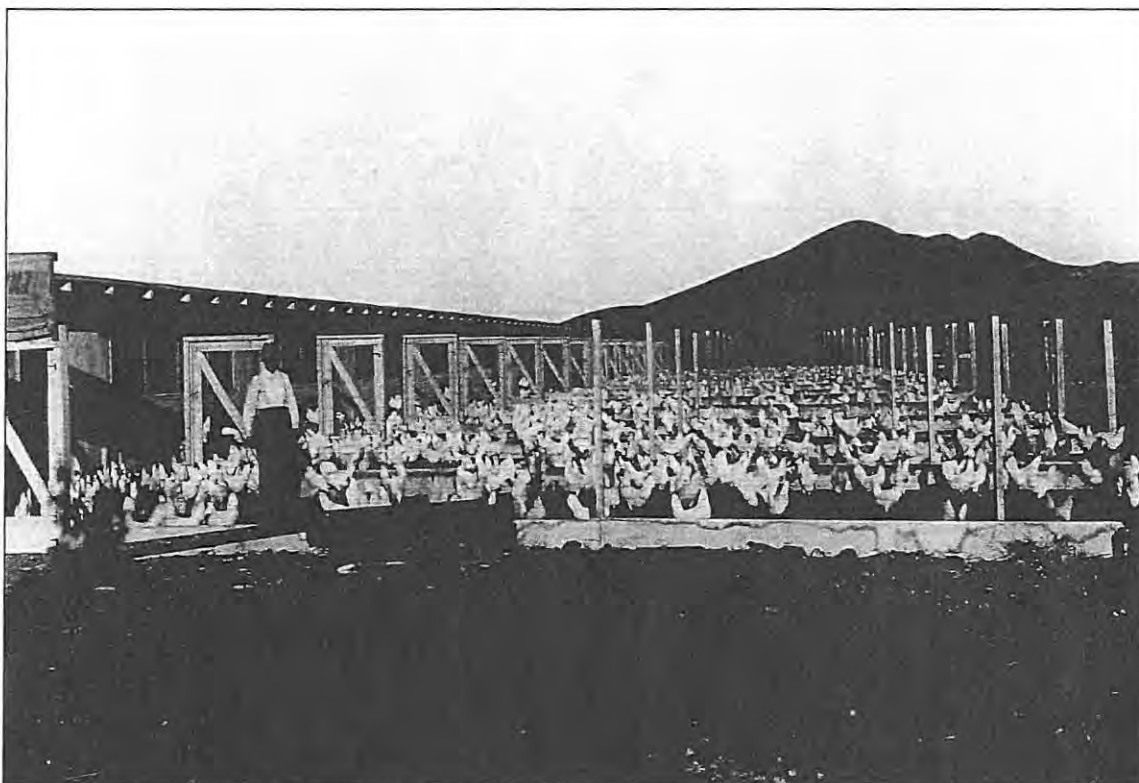


Figure 5: Chicken Ranch in Norco, 1920s

Almost all of the company's advertisements mentioned poultry farming, and were often accompanied by photographs of hens and chicken coops. These advertisements claimed that for \$1,100, even those with no previous experience could earn a comfortable living on a two-acre poultry farm stocked with

⁴¹ "Large Sum Spent For Improvements," *Los Angeles Times*, 11-4-1923; V6.

1,000 laying hens. One advertisement explained that "You will not get rich Keeping a few chickens on A 'pocket-handkerchief farm.' ... [But] you can **MAKE** an Independent Living, And money over ... on a **NORCO TWO-ACRE POULTRY FARM.**"⁴² All you needed to do was to listen to the professionals. The company had a "Poultry Headquarters" staffed by a poultry expert. Clark noted to the Corona Rotary Club in 1926 that "... his expert advice was available to Norco residents day or night in connection with their poultry problems."⁴³

The company also catered to the needs of poultry ranchers by constructing pre-fabricated chicken coops and keeping them in storage for quick installation at a customer's property (Figures 6 and 7). In Clark's address to the Corona Rotary Club, he explained that "The units are built in sections and stored ... so that when occasion arises seven complete units can be placed on the ground ... inside of four days. There have been 665 of these units built and put to use since 1925 when the company building program was started."⁴⁴ In addition, with the help of the North Corona Land Company, over 30 poultry farmers joined together to form the Norco Poultry Association in 1924. The company even had plans to install a permanent poultry show on its land.⁴⁵



Figure 6: Chicken coops under construction

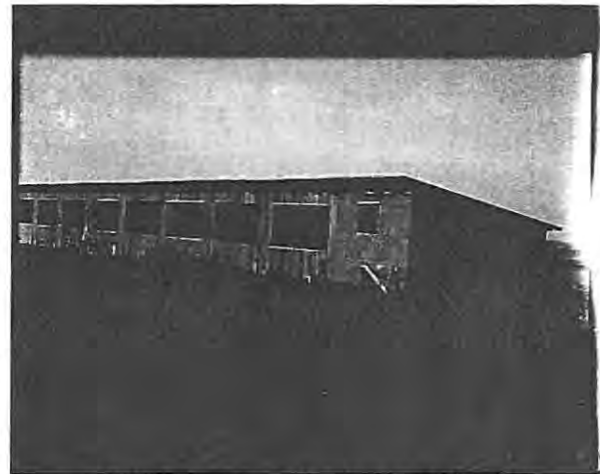


Figure 7: Norco Demonstration Poultry Plant, 1923

Company advertisements with tag lines such as "Poultry Pays in Norco" and "A Norco 'Nest Egg'" were reinforced by testimonials.⁴⁶ One man, a former cigar maker, explained that he had moved to his small Norco farm with no poultry experience, but with the help of the poultry adviser was now making \$55 to \$108 a week from his 560 laying hens. In a *Los Angeles Times* article he proudly sums up his experience with poultry: "I am independent, my health is better, and I wouldn't go back to any city."⁴⁷ Mrs. Lulu Currier, a widow, moved to a two-acre farm in Norco to support herself and her young daughter. Alone on the farm, she was able to make a comfortable living on her own, and even "[found] time for motoring and horseback riding."⁴⁸

⁴² Advertisement, *Los Angeles Times*, 12-1-1923: I8.

⁴³ "Norco Project Explained by Rex Clark to Rotarians," *Corona Daily Independent*, 4-9-1926.

⁴⁴ Ibid.

⁴⁵ "Subdivisions and Subdividers: Poultry-Men Organize," *Los Angeles Times*, 1-27-1924: D10.

⁴⁶ Advertisements, *Los Angeles Times*, 10-29-1923: I3; 4-24-1927: K15.

⁴⁷ "Back to Land Move Spreads," *Los Angeles Times*, 5-31-1925: F11.

⁴⁸ "Book Keeping Pays in Poultry Business," *Los Angeles Times*, 3-18-1928: J17.

Norco did not have a monopoly on poultry farming. Throughout Riverside County during the 1920s there was a decisive "Trend to Poultry." For instance, the *Los Angeles Times* reported that the subdivision of Glen Avon Heights, located approximately ten miles northeast of Norco, was developed largely by poultry farmers.⁴⁹ By 1926, a poultry census reported that there were 586,380 laying hens on commercial poultry farms in Riverside County, bringing in a gross income of \$2,638,710. The top three producing poultry districts were Hemet-San Jacinto, Riverside, and Norco, in that order. With 69,818 laying hens, the small community of Norco housed 12 percent of Riverside County's poultry.⁵⁰

Throughout the 1930s and 1940s, relatively small-scale, family-run poultry ranches continued to be the norm (Figure 8). All of this radically changed, however, during the 1950s and 1960s, when the poultry industry went through a dramatic transformation. As early as 1951, poultry farmers in southern California were beginning to struggle with restrictive zoning laws and encroachment from suburbanization, leading George Orme, the Riverside Country Farm Bureau poultry chairman, to report, "We are economically not as well off as we were in the depression period."⁵¹



Figure 8: Illustration of a California Chicken Ranch, circa 1930.

These issues particularly affected farmers located in Los Angeles and Orange Counties, which had been leading poultry-producing counties in previous decades. At the beginning of the postwar period, Covina chicken rancher Bill Randall remembered, "It seemed as if everyone in Los Angeles wanted to be an egg rancher."⁵² Demographic and economic realities, however, quickly made it difficult for these family farms to make a living. As suburban housing developments expanded exponentially, poultry ranches began selling their property and closing shop or, less commonly, moving their operations to Riverside, San Bernardino, and San Diego Counties, where there was more room to grow. Illustrative of this trend, Los Angeles County's total agricultural acreage decreased from

⁴⁹ "Subdivisions and Subdividers: Trend to Poultry," *Los Angeles Times*, 5-4-1924: D2.

⁵⁰ "Poultry Census Shows Good Returns," *Los Angeles Times*, 5/29/1927: K17.

⁵¹ "Poultry Industry Studies Problems," *Los Angeles Times*, 3-17-1951: 8.

⁵² Ann Japenga, "The Egg and Them: Ranchers keeping their Sunny Side Up," *Los Angeles Times*, 4-19-1981: F1.

320,493 in 1940 to 145,987 in 1960.⁵³ In the town of Covina alone, there had been over 500 small egg ranches in 1950; three decades later, Bill Randall's ranch was the only one left.⁵⁴ Similarly, the *Los Angeles Times* reported that during the 1950s there were 400 to 600 poultry farmers in Orange County. By 1963, only 150 poultry ranches remained, and in 1968 there were fewer than 50. All told, the number of poultry ranches in Orange County declined by a staggering 90 percent in less than 20 years.⁵⁵

During the same time period, economies of scale were forcing chicken ranchers to drastically expand their operations in order to remain profitable. As the 1950s progressed, there were fewer chicken ranches every year, but more birds than ever. At the beginning of the decade, a ranch with a few thousand laying hens was considered to be a large operation. By the mid-1960s, however, a minimum of 20,000 birds was required simply to break even. Egg ranching was no longer a backyard affair, and Nonie McAnally, a successful egg rancher based out of Yucaipa, estimated that an individual now needed at least \$250,000 to make a start in the industry. McAnally explained, "It's no exaggeration to say that ... a man often doesn't make a net profit from producing eggs, the net ... comes from the money he's able to save by buying feed and supplies in volume."⁵⁶ Given this economic environment, smaller operations were rapidly squeezed out of the market, leading Bill Randall to refer to small egg ranchers such as himself as "a dying race of people."⁵⁷

As egg ranching became more intensive, successful ranchers developed new technologies that increased both their operational efficiency and their profit margin. In 1951, a state of the art "model" chicken ranch was built in Riverside. It housed 5,500 chickens and featured sanitary pens arranged in long rows, an egg cooling plant, and electric feed and egg collection carts on cement tracts. One man ran the whole operation, working just five hours a day.⁵⁸ By the early to mid-1950s, most major chicken ranching operations had installed cooling sprinkler systems, which reduced flock mortality rates during heat waves.⁵⁹

In the 1960s, chicken ranches became even more mechanized. Located in Riverside County, Nonie McAnally's chicken ranches featured "chicken coops" that were up to 685 feet long, climate controlled, and housed 100,000 laying hens. The birds were fed by an automatic system and egg gatherers riding in flatbed carts collected up to 5,000 eggs per hour. The chickens had changed almost as much as their coops. Birds, now referred to by codes such as "K-34" and "M-15," were bred to be small hens that ate less feed while laying more eggs of better quality. While only 15 percent of eggs in 1940 were graded at the highest AA category, in the 1960s approximately 85 percent of eggs produced were graded AA.⁶⁰ Scientists were even studying ways to get hens to lay eggs with thicker shells in order to reduce breakage during transit.⁶¹

⁵³ Jack Torin, "Turning the Soil for Farm Produce or Building," *Los Angeles Times*, 1-3-1962: D1.

⁵⁴ Japenga, "The Egg and Them."

⁵⁵ Bob Gettemy, "Chicken Ranch Site Developed," *Los Angeles Times*, 10-20-1963: OC1; Milt Brouhard, "Eggmen Emigrate: Split-level Suburbs Scuttle Hen Houses," *Los Angeles Times*, 6-17-1968: B4E.

⁵⁶ "Egg Production: Sunny-side Up or Otherwise, It Spells Big Business," *Los Angeles Times*, 3-8-1966: B15; Charles Hillinger, "Production Doubled: Eggs Big Business in State," *Los Angeles Times*, 9-6-1967: A6.

⁵⁷ Japenga, "The Egg and Them."

⁵⁸ "Businessman 'Retires' to Model Chicken Farm," *Los Angeles Times*, 5-26-1951: 6.

⁵⁹ "Million Chickens Broiled to Death in Heat Wave," *Los Angeles Times*, 9-3-1955: 1; Bob Gettemy, "Harvest to Show More Heat Loss," *Los Angeles Times*, 10-2-1955: H1.

⁶⁰ "Egg Production."

⁶¹ "A Cracking Problem: Eggs-perts Playing Shell Game With Hens," *Los Angeles Times*, 11-28-1965: M8.

All of these innovations added up to a lot more eggs. In 1953, California was importing eggs, but by the mid-1960s, it was exporting a 20 percent surplus.⁶² The State's egg production doubled between 1957 and 1966, jumping from four billion to eight billion eggs a year. Southern California, in particular San Bernardino and Riverside Counties, was the "egg basket" of the state and, it could be argued, of the country. California was now producing more eggs than any other state, supplying 12 percent of the nation's eggs. Starting out the decade trailing behind San Bernardino, Riverside County surpassed its rival in 1966, producing more eggs than any other county in the United States: 1.4 billion eggs a year.⁶³ In the 21st century, Riverside County is still the leading egg producing county in California. Its approximately 8 million laying hens, housed on only 18 ranches, bring in between \$80 and \$95 million dollars each year.⁶⁴

Norco, with its long history of chicken ranching, did not escape the turbulent changes that transformed southern California's poultry industry during the postwar era. The rural community had been characterized by small, family-run poultry farms since the early 1920s, and in the early 1950s there were a large number of poultry ranches operating in the Norco area. Only a few of these, however, were listed in Corona regional directories, reflecting both a spotty coverage of the Norco area and the small, informal nature of these family businesses. By 1961, however, numerous poultry and egg producers were listed for Norco, clustered around Hamner Avenue in the Orchard Heights area and northeast in the Norco Farms Tracts. Poultry ranches were now classified as either retail or wholesale operations, with 19 retail and 18 wholesale businesses being listed. The separation of retail from wholesale businesses in the city directory is significant and reflects the increasing formality, size, and intensity of egg ranching. Just two years later, in 1963, city directories list only 15 poultry ranches in Norco and by 1967 just four retail and five wholesale poultry ranches remained.⁶⁵ While the poultry ranches were fewer in number, those that survived the upheavals of the 1950s and 1960s had expanded substantially, housing more chickens and producing more eggs than ever.

The Eisen Family

Norco Egg Ranch, later known as Norco Ranch, Inc., was one of the few poultry ranches that successfully expanded during the 1950s and 1960s, becoming one of the largest egg producers in the country. The farm was founded by Jewish immigrants and Holocaust survivors Harry and Hilda Eisen. The Eisens both grew up in the Jewish community of Ibibica, Poland, which was almost completely annihilated during the Holocaust. Harry and Hilda were among the few survivors. During the Nazi occupation, Harry was sent to Auschwitz, where he survived as a slave laborer building railroads and mining coal. In 1944, shortly before Auschwitz was liberated by the Russian army, Nazis forced Harry along with other prisoners on a death march to another camp. Harry, his step-brother, and one other man managed to escape; the remaining prisoners were killed upon reaching the camp.

⁶² "Egg Production: Sunny-side Up or Otherwise, It Spells Big Business," *Los Angeles Times*, 3-8-1966: B15; Charles Hillinger.

⁶³ Hillinger, "Production Doubled."

⁶⁴ Leslie Berkman, "Major Eggercise With Easter Approaching," *Press Enterprise*, 3-14-1999; Leslie Berkman, "Moark Goes After Two Egg Companies," *Press Enterprise*, 7-4-2001.

⁶⁵ Compiled from *Luskey's Official Greater Corona Criss Cross City Directory*, 1953, 1955-1956, 1958-1959; *Luskey's 1961 Corona 'Blue Book' Criss Cross City Directory*; *Luskey's Corona Criss Cross City Directory and Home Blue Book*, 1963; and *Luskey's Criss Cross City Directory*, 1967.

At the beginning of the war, Hilda found herself in the Jewish ghetto. After bribing a Nazi guard to let her out, she joined with the Jewish partisans, or underground resistance, in 1942. For the next three years Hilda lived on the run in the Polish countryside, engaging in guerilla warfare and sabotage against Nazi forces while living off the land.⁶⁶

Returning to the small town of Ibibza after the war proved devastating. Hilda lost her entire family and first husband to the Holocaust, and Harry lost his parents and eight of his siblings. Hilda remembered, "My house was a shambles ... torn all to pieces. ... We were such a close-knit family and I was aching for every member of my family. ... I married Harry and I said 'Harry, let's disappear from here.'"⁶⁷

The Eisens made their way to a camp for Displaced Persons in Munich, Germany. In 1948, the United States Congress passed a bill allowing the admittance of 205,000 Displaced Persons from Europe, with the requirement that 30 percent of these immigrants be agricultural workers able to find employment on American farms. The State of California alone expected to receive 14,000 of these Displaced Persons, including an estimated 2,500 Jewish refugees, between 1948 and 1950.⁶⁸

With the sponsorship of Hilda's cousin, who had immigrated to the United States in the 1930s and was living in Los Angeles, Harry and Hilda joined the stream of immigrants to the United States in 1948. Harry recalls arriving "with only 99 cents in [his] pocket."⁶⁹ After a brief stay with Hilda's cousin in Beverly Hills, the Los Angeles Jewish Federation helped the couple settle into an apartment in Boyle Heights. In Poland, Harry had left his home as a child and apprenticed with the owner of a kosher smoke shop. Applying these skills in America, Harry found work making sausages for the Pioneer Packing Company and later with the Great Taste Company in Vernon, where he was quickly promoted to a manager.⁷⁰

A number of Jewish organizations, such as the National Council of Jewish Women, the Hebrew Immigrant Aid Society (HIAS), the Jewish Agricultural Society (JAS; Figure 9), and the ORT (an acronym of the Russian words *Obshchestvo Remeslenofo zemledelcheskofo Truda*, meaning the Society for Trades and Agricultural Labor), offered vocational training for Jewish immigrants after World War II.⁷¹ For a brief period of time, from about 1946 until the early 1950s, one popular form of assistance was to help Jewish immigrants establish small poultry farms. The agricultural emphasis of these aid organizations was rooted in 19th century efforts to establish Jewish agrarian utopias and the

⁶⁶ Don McGaffin, "Eichmann Trial 'Interests' Them," *The Daily Independent Enterprise – Corona Edition*, 3/11/1961: B-1; Sandra Stokley, "Norco Pair Step Into Past Horrors," *Press Enterprise*, 9-7-1993; Sandra Stokley, "Ranch Founders Harry and Hilda Eisen Survivors of Holocaust in World War II," *Press Enterprise*, 4-4-2000; Harry Eisen's survivor testimony is archived at the United States Holocaust Memorial Museum Archives in Washington, D.C. Hilda Eisen was interviewed by the USC Shoah Foundation Institute. Her testimony is accessible at <http://www.youtube.com/watch?v=Daqe8Lad-z8>.

⁶⁷ Stokley, "Norco Pair Step Into Past Horrors."

⁶⁸ "Bill to Admit 205,000 DPs Sent to Truman," *Los Angeles Times*, 6/20/1948: 9. "State to Get 14,000 DPs from Europe," *Los Angeles Times*, 11/11/1948: 1.

⁶⁹ Richard Cornett, "Nazi Death Camp to Norco Egg Ranch," *The Daily Independent – Norco Ed.*, 12-8-1977.

⁷⁰ Mary Cramer, interview; McGaffin, "Eichman Trial"; Eisen, Holocaust testimony.

⁷¹ "Jewish Council Will Provide Job Training for Immigrants," *Los Angeles Times*, 8/15/1950: B4; Maryann McLoughlin and Gail H. Rosenthal, "The Third Wave: Holocaust Survivors and South Jersey Farms," Holocaust Resource Center, 2008, http://www.sriettec.org/tah/Summer_Institute_2010_Docs/Maryann%20McLoughlin,%20Portraits%20of%20Resilience--The%20Third%20Wave.pdf, accessed 9/1/2011. "Southland ORT Group to Mark Anniversary," *Los Angeles Times*, 11/6/1953: B5.

belief that “the stronger the agricultural base of American Israel, the stronger will be the house resting on it.”⁷² The JAS, which opened an office in Los Angeles immediately after World War II, led the effort; it placed 1,452 Jewish families on farms between 1946 and 1956, with 830 of these families being Displaced Persons from Europe. In total, 10 percent of Jewish immigrants to the United States after World War II started new lives as farmers.⁷³ Largely due to the efforts of these organizations, the *New York Times* noted that “Since the end of World War II there has been a large increase in the number of Jews on farms in contrast to the decline in farm population generally.”⁷⁴



Figure 9: The Jewish Farmer, a publication of the Jewish Agricultural Society.

The society originated in the 19th century, and attempted to establish utopian Jewish agrarian communities. After WWII, the society placed Jewish refugees on small farms.

The majority of Jewish farmers settled in the Northeastern United States and in California. Many moved to existing Jewish agricultural communities like those in southern New Jersey or Petaluma, California, that had been originally founded during the 19th century. In New Jersey alone, approximately 3,000 Holocaust survivors started poultry ranches with the assistance of JAS and HIAS, joining the existing community of Jewish farmers.⁷⁵ In Petaluma, refugees were called the *grine*, meaning greenhorns. Despite their inexperience, these immigrants quickly adapted to chicken farming. One immigrant explained, “If you can make ammunition in a Nazi concentration camp, why can’t you work with chickens?” Another remembered, “Was hard work with the chickens, but we know how to work hard. After what we went through with Hitler, a chicken ranch is freedom.”⁷⁶

⁷² “Movement to the Land,” *New York Times*, 4/12/1946: 26.

⁷³ “Jewish Refugees Take Up Farming,” *New York Times*, 6/17/1956: 16.

⁷⁴ “Jewish Farmers Continue Upswing,” *New York Times*, 6/26/1953: 40.

⁷⁵ “Land is Being Kept by Jewish Farmers,” *New York Times*, 5/28/1959: 11; McLoughlin and Rosenthal, “The Third Wave.”

⁷⁶ Kenneth L. Kann, *Comrades and Chicken Ranchers: The Story of a California Jewish Community* (Ithaca, NY: Cornell University Press, 1993), 178-179.

In the Los Angeles area, Jewish immigrants, most of whom had no prior farming experience, set up poultry ranches in the San Fernando and San Gabriel Valleys.⁷⁷ JAS provided loans and employed an extension specialist who trained the intrepid farmers how to select and care for the birds. In 1951, the *Los Angeles Times* described the trend of Jewish poultry farms in an article titled "No Barbed Wire Here: DPs Enjoy New Lives on Farms." The article profiled three families of Holocaust survivors, explaining "They used to be business and professional people of all walks of life. ... They are the fittest who survived despite the world around them when the powers that be demanded their extinction ... and now they raise chickens in the San Fernando Valley."⁷⁸ Poultry farming was popular among Jewish immigrants because it did not require previous agricultural experience, could be conducted on small lots of land, provided regular income, and did not require advanced English-language skills.⁷⁹

The Eisens soon joined this cohort of Jewish poultry farmers. Harry later explained that he decided to get into chicken ranching due to his limited English abilities: "I didn't speak English; neither did the chickens. ... [Chicken ranching] was the easiest way to make a living for four children without talking English. If you do all you can, the chickens help you out."⁸⁰ He added, "I talked Jewish to my chickens and they laid eggs."⁸¹

The Eisens lived extremely frugally in Boyle Heights, "sav[ing their] money fanatically ... taking in a boarder and spending for only the barest essentials."⁸² By 1952, they had saved enough money to purchase 100 chickens and move to the community of Arcadia. An extension worker from a Jewish aid organization advised the family and trained Hilda how to vaccinate and care for her new flock.⁸³ Joining the Eisens in this venture was another family of Holocaust survivors. Perel Rotter, one of Hilda's partisan comrades, along with her husband Abe and son Sammy, lived with the Eisens in their new home in Arcadia.⁸⁴

In Arcadia, Harry maintained his job with the Great Taste Company during the week, while Hilda and Perel stayed at home caring for both the chickens and their children. Eggs were processed and packed by hand in the basement of the family home. By the time they were four years old, the Eisens' oldest children, daughters Ruth and Mary, were packing eggs. They also helped catch the family's chickens when they escaped their coops. Harry sold and delivered the eggs on the weekends, and his daughter Mary Cramer remembers that he used to ride his bicycle up and down Venice Beach, selling his eggs to beachgoers.⁸⁵

⁷⁷ "San Gabriel and Pomona Valleys," http://www.jewishvirtuallibrary.org/jsource/judaica/ejud_0002_0018_0_17486.html, accessed 9/1/2011; Deborah Dash Moore, *To the Golden Cities* (New York: The Free Press, 1994), 288, note 63; "No Barbed Wire Here: DPs Enjoy New Lives on Farms," *Los Angeles Times*, 2/26/1951: 11.

⁷⁸ "No Barbed Wire Here."

⁷⁹ McLoughlin and Rosenthal, "The Third Wave."

⁸⁰ Japenga, "The Egg and Them."

⁸¹ Stokley, "Norco Pair Step Into Past Horrors."

⁸² McGaffin, "Eichman Trial."

⁸³ In Hilda Eisen's Holocaust Testimony, she states that the Jewish Federation sent the poultry expert to train them. Her daughter Mary Cramer believes that her mother may be mistaken, and that the organization was likely ORT, since its mission was specifically to provide vocational training. A third possibility is that the organization that trained the Eisens was the Jewish Agricultural Society, since it was actively promoting poultry farming in the Los Angeles area.

⁸⁴ Eisen Holocaust testimony; Cramer interview.

⁸⁵ Japenga, "The Egg and Them"; Cramer interview.

As the Eisen egg business was growing, so too was the City of Arcadia. While the community had been home to numerous poultry farms since the 1920s, during the postwar period, rapid suburbanization forced farmers to sell their land. The Eisens' growing backyard poultry farm was "zoned out," and by 1955 the family had bought out the Rotters and was looking for a new place to settle.⁸⁶

Norco Egg Ranch

Harry Eisen discovered the isolated, rural community of Norco and purchased five acres of land on Mountain Avenue in 1955. A newspaper article described the property as having "no gas, no water, no electricity, and not a single flat spot."⁸⁷ Harry wrote to his brother in Israel, and asked him to come and help build the new ranch. A Zionist, Harry's brother Moshe "Moe" Eisen served in the Polish army before immigrating in 1937 to what would become the State of Israel, where he helped build the Jewish communities of Kibbutz Dafna and Kibbutz Kfar Giladi. Answering his brother's request for assistance, Moshe temporarily moved to Norco and together they built the first chicken coop (no longer extant) at the Norco Egg Ranch. The original egg ranch buildings consisted of the family home, a detached garage, two brooders (structures for raising baby chicks), and two chicken houses (which held the laying hens). Of these buildings, the house and garage are still extant. When construction was completed in 1956, Moshe returned to his family in Israel.⁸⁸

After the ranch was prepared, the family moved to Norco in 1956. The area was sparsely inhabited, and Mary remembers that their only neighbors were a family across the street and a horse ranch to the north (Figures 10 through 12). The Jewish community consisted entirely of egg ranchers. There were three Jewish poultry farms located north of the Eisen egg ranch on 5th Street, and two other Jewish families ran poultry operations in nearby Mira Loma.⁸⁹

By the time they moved to Norco, the Eisens' poultry operation had expanded considerably. Speaking to a reporter in the 1970s, Harry remembers having a flock of 5,000 hens when they moved to Norco, although his daughter Mary thinks that the original chicken houses could have held as many as 20,000 birds. The business was now a wholesale operation and the Eisens had to hire employees from the local Norco area to help tend the growing flock.⁹⁰

Initially, eggs were processed in the family's garage, but before the end of 1956, construction was completed on the first egg processing plant (still extant). Harry continued to expand the plant throughout the 1950s, adding a loading dock and cooling room. The plant also housed Norco Egg Ranch's first egg processing machine. Increasingly large egg orders by chain grocery stores and the United States military required the purchase of the company's first semi-trailer truck in the late 1950s. Throughout the decade, Harry made it a policy to purchase any adjacent properties that came up for sale. By 1961, Norco Egg Ranch had expanded to 40 acres, maintained a fleet of five trucks,

⁸⁶ Cramer interview.

⁸⁷ McGaffin, "Eichman Trial."

⁸⁸ Cramer interview; "Obituaries: Moshe 'Moe' Eisen," *Press Enterprise*, 10-6-1994. After his first wife passed away, Moshe returned to Norco. He worked at his brother's egg ranch until his retirement in 1986, and was considered one of the spiritual leaders of the Jewish Temple Beth Shalom in Corona, where he conducted Hebrew readings for the services. Moshe passed away in 1994 at the age of 86.

⁸⁹ Cramer interview.

⁹⁰ Ibid.

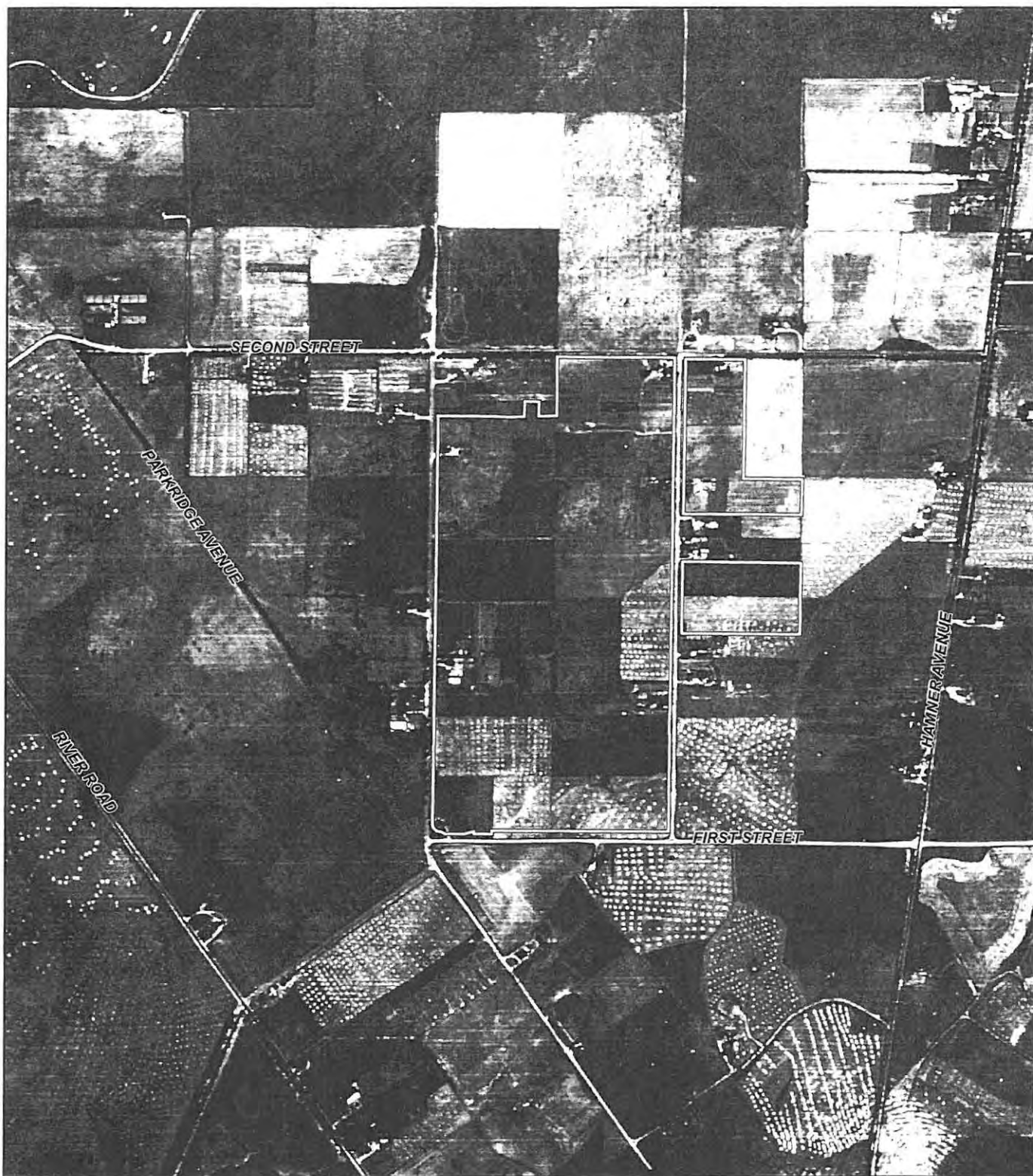



FIGURE 10

LSA



 Project Boundary

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FEET

SOURCE: GeoSearch, 1938

Norco Ranch Commerce Park
Cultural Resources Report

1938 Aerial

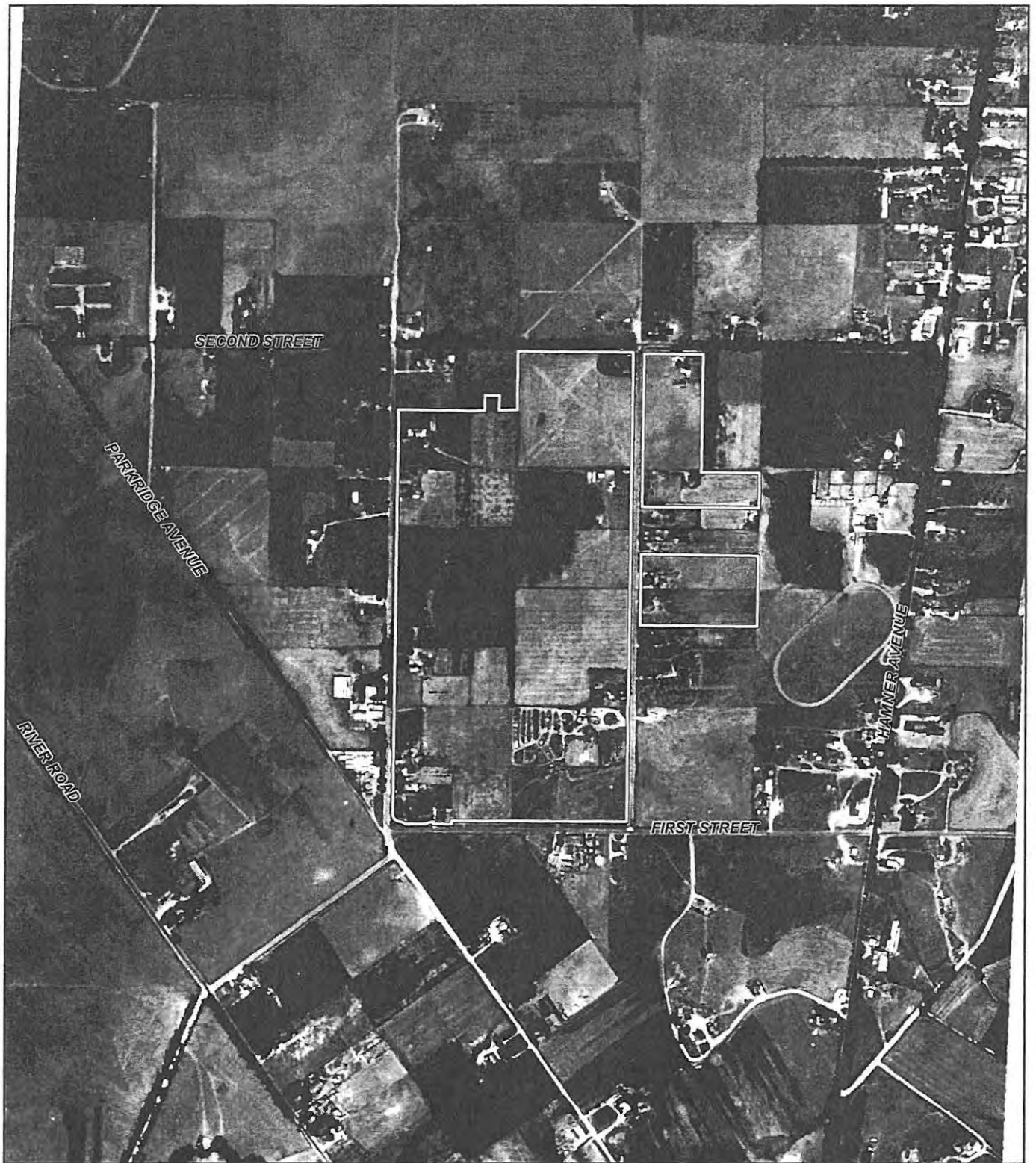
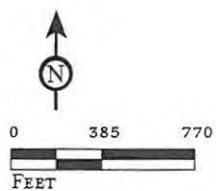


FIGURE 11

LSA



□ Project Boundary

SOURCE: GeoSearch, 1953

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Norco Ranch Commerce Park
Cultural Resources Report

1953 Aerial

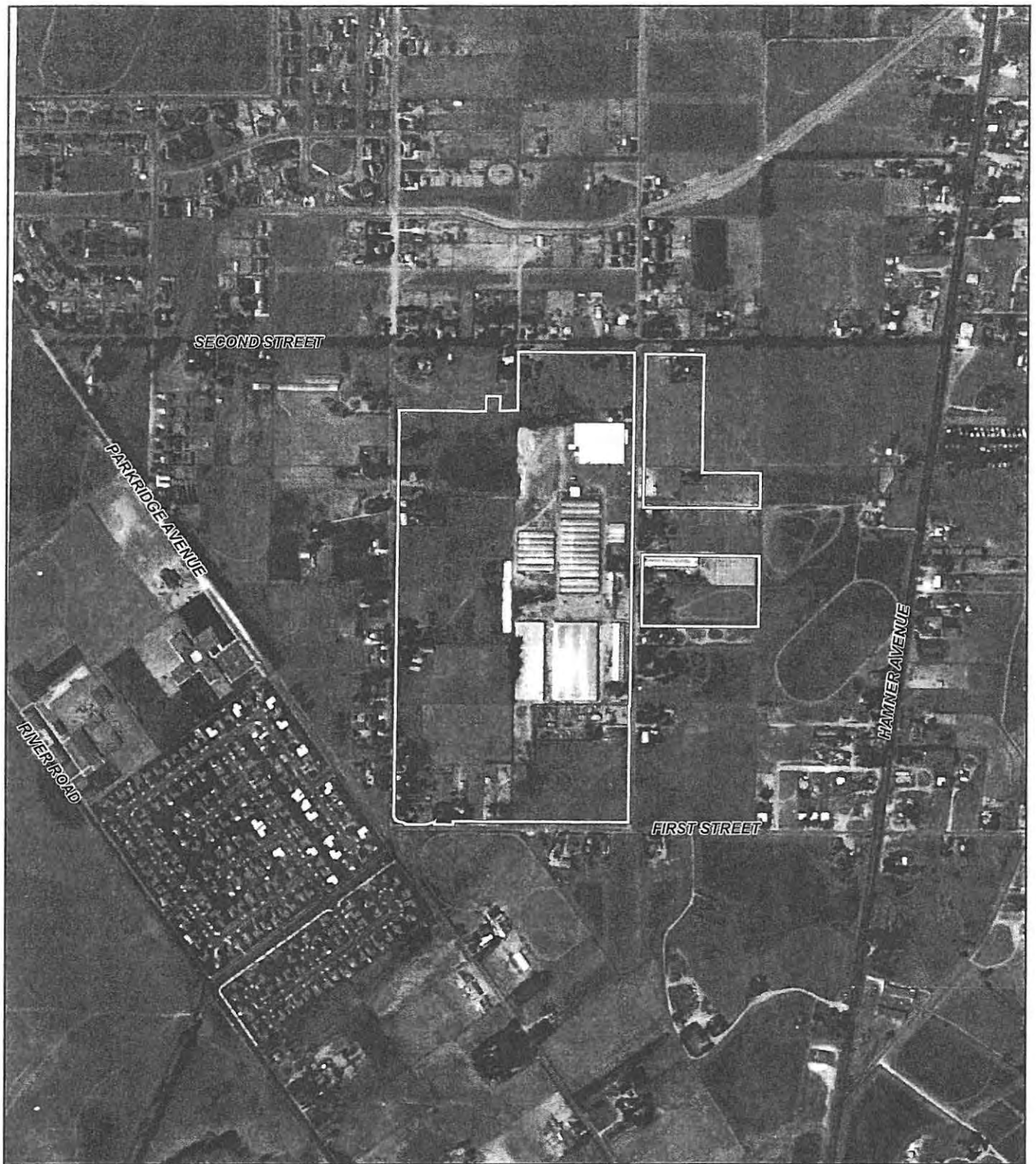
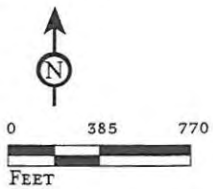


FIGURE 12

LSA



SOURCE: GeoSearch, 1953

Norco Ranch Commerce Park
Cultural Resources Report

1968 Aerial

employed 39 people, and housed 120,000 chickens in “massive cage houses.” It was considered “the largest and most modern chicken ranch in western Riverside County.”⁹¹

Crucial to the Eisens’ success during this time was a business deal with the Jewish grocery magnate Joe Goldstein, the founder of the Boys Market grocery chain based in Los Angeles. In exchange for giving Goldstein 51 percent interest in the Norco Egg Ranch, Goldstein used the Eisens’ eggs to supply his grocery stores. The business gained other customers through Goldstein’s extensive contacts. Harry later bought out Goldstein’s share of the company for \$400,000. Another important contact for Harry was William “Bill” R. Cramer, who later married Harry’s daughter Mary and became an executive at Norco Ranch, Inc. Cramer grew up in the poultry industry. His family had a 3,000-chicken egg farm in Walnut, California during the 1920s. They made their own chicken feed and owned a mill in Anaheim. Bill eventually became the owner of Orchard Egg farms, a poultry ranch located near Riverside, and Star Milling, a large feed mill operation located in Perris. Harry purchased a 50 percent interest in Star Milling, which supplied feed to Norco Ranch, and also received a steady stream of eggs for processing from the Cramer poultry ranch.⁹²

The Norco Egg Ranch underwent major transformations in the 1960s, including changing its name to Norco Ranch, Inc. At the beginning of the decade, Harry Eisen had arranged the financing to expand his operations to cover the full 40 acres, with plans to increase his flock to a quarter of a million chickens by 1963.⁹³ He purchased additional land, bringing the ranch to 80 acres, and built a new, \$1.5 million, 65,000-square foot processing plant, which was completed in 1965. The building also housed “a large, beautifully furnished front office, with wall-to-wall carpeting, attractive secretaries, and all the trimmings.” According to Harry, the new plant was “the nicest egg plant in the United States. ... We are the biggest and ... most efficiently automated.”⁹⁴ Eggs were processed in a fully automated, assembly-line manner, with the plant’s automatic packer capable of packaging 23,400 eggs per hour. The plant employed between 50 and 85 people, and could process 1,500 cases or 540,000 eggs a day. Harry originally had difficulties purchasing enough eggs to keep the new processing plant busy, and so expanded his flock to meet the demand. By the mid 1960s, there were a million birds on the Mountain Avenue property.⁹⁵

The building of the new plant marked a major turning point for the Eisen family. After the plant was complete, the family moved away from Norco, taking up residence in a new home at 1052 West Olive Street in Corona. Harry no longer personally worked in the plant doing physical labor, but instead dedicated himself to overseeing the business end of the operation on a fulltime basis.⁹⁶

⁹¹ Ibid.; McGaffin, “Eichmann Trial”; Iris Hayward, “She Remembers Eichmann: Hilda Eisen’s Story,” *Daily Enterprise*, 4/10/1961: A-9.

⁹² Cramer interview; “About Star Milling Company: A History of Growth,” <http://www.starmilling.com/about.html>, accessed 8-22-2011.

⁹³ McGaffin, “Eichmann Trial.”

⁹⁴ Carol Marsh, “Dream, Hard Work Equal \$1 Million,” 1965, newspaper clipping in Eisen family scrapbook, newspaper title not known.

⁹⁵ Ibid.; Mary Butler, “Army General Gets Tour of Norco Poultry Ranch,” *Daily Enterprise – Corona Edition*, 4/30/1965; Bette Reinke, “At Norco Ranch: Breaking Egg Barrier,” *Daily Independent – Norco Edition*, 8/2/1966: 3; “Rancher Launches his Private Poverty War,” 1966, newspaper clipping in Eisen family scrapbook, newspaper title and author not known; Cramer interview.

⁹⁶ Cramer interview; *Luskey’s Criss Cross City Directory*, 1967.

During the 1960s, the Eisens also fought to prevent the annexation of Norco by nearby cities, which could have resulted in zoning changes and threatened their ability to raise livestock. In 1964, Harry Eisen contributed \$5,000 seed money for the incorporation of the City of Norco. The Norco Chamber of Commerce later acknowledged these actions in 1985, when it honored Harry with an Award of Merit for lifetime contributions to the city.⁹⁷

Over the years, Harry worked to expand Norco Ranch, and made substantial additions to the new processing plant. An egg breaking room, complete with \$250,000 worth of machinery, was added in 1966, allowing the company to market liquid egg product.⁹⁸ Significant additions were also made to the main building during the 1980s and 1990s.⁹⁹ The large chicken houses, put in during the late 1950s and 1960s, were remodeled in the 1970s. The original chicken houses were metal structures that were enclosed on the sides and open on the ends, "much like long, low-roofed barns." These were replaced over a period of three years with totally enclosed structures that could be environmentally controlled.¹⁰⁰ In addition, Harry bought 320 acres near Hemet and built a pullet farm (or hatchery), and purchased several other egg ranches throughout Riverside County, which sent their eggs to the Norco Ranch for processing.¹⁰¹

Harry also continued to buy property adjacent to Norco Ranch and preferred for his employees to live near the facility. He often let his employees live in houses he owned on Mountain or Pacific Avenues for free or for minimal, below-market rents. Since the 1960s, Harry made it a priority to employ underprivileged people, preferably with large families, and many of his employees were of Hispanic background. The workforce at Norco Ranch never unionized, which Harry believed was because of the good working conditions and close personal relationship he had with his employees. In 1978, Harry's daughter Mary took over the management of the residential properties surrounding the egg ranch, and transitioned them into standard rental properties with rents set at market value.¹⁰²

By the early 1980s, the egg ranch was among the ten largest in the nation, housing hundreds of thousands of chickens on 100 acres and processing an average of 12 to 16 million eggs a week. Norco Ranch, Inc. grossed \$43 million a year and owned about a dozen smaller chicken ranches as well as the hatchery near Hemet.¹⁰³ By the 1990s, Norco Ranch, Inc. was the largest private employer in Norco and was selling its eggs to large chains such as McDonald's, Ralphs, Vons, and Kraft Foods.¹⁰⁴

In 2000, Norco Ranch, Inc. was purchased by Moark LLC, which is a subsidiary of Land O' Lakes. At the time, the egg ranch employed 450 people, sold 27 million shell eggs and 1 million pounds of liquid eggs a week, and was worth \$100 million in annual sales. Shortly after this purchase, Moark moved the poultry operation to Fontana and, around this time, two large chicken houses at the southern end of the complex were removed, leaving behind large concrete foundations. Between 2005

⁹⁷ Cramer interview; Robert Mittendorf, "Chamber Lauds 3 Norconians," *Corona-Norco Independent*, 1/14/1985: 1.

⁹⁸ Reinke, "At Norco Ranch."

⁹⁹ Based on aerial photographs from 1953, 1967, 1968, 1977, 1980, and 1989.

¹⁰⁰ Denis McDougal, "Large Egg Producer Hopes to Remodel Chicken Coops," *Daily Enterprise – Corona-Norco Edition*, 4/30/1974.

¹⁰¹ Marsh, "Dream, Hard Work"; Gary Quinliven, "From One Hundred to One Million Chickens," *Daily Enterprise – Corona-Norco Edition*, 2-6-1973.

¹⁰² Cramer interview; "Rancher Launches his Private Poverty War"; Marsh, "Dream, Hard Work."

¹⁰³ Japenga, "The Egg and Them"; Ron Raposa, "Polish Immigrant Couple Hatch Their Multi-Million Dollar Dream in Norco," *Press Enterprise*, 3-12-1983.

¹⁰⁴ Stokley, "Norco Pair Step Into Past Horrors."

and 2011, all of the remaining chicken houses were removed from the property. As part of the deal, Harry Eisen retained ownership of the land and buildings at the original Norco Ranch, Inc. location on Mountain Avenue.¹⁰⁵

In addition to their business reputation, the Eisens are known for their philanthropy. Harry and Hilda have donated hundreds of thousands of dollars to a number of causes, including the United States Holocaust Memorial Museum, the Anti-Defamation League, Chabad, Guardians of the Jewish Homes for the Aging, and the Tel Hashomer Hospital in Israel. The Eisens also make donations through their non-profit organization, the Harry and Hilda Eisen Family Foundation, and are members of the 1939 Club and the Lodzer Organization, both of which are charitable societies established by Holocaust survivors. The Eisens have been honored for their philanthropy by the Anti-Defamation League of B'nai B'rith, the Jaycees, and the Lodzer Organization.¹⁰⁶ When speaking about the Eisens, family friend and former Norco City Councilman Steve Nathan says, "It's the American dream ... [Harry] started small with a bunch of chickens, he worked hard and became a multi-millionaire."¹⁰⁷ Harry Eisen echoed his friend's sentiments, saying "We've enjoyed every minute of it. ... In America they give you opportunities like no place else in the world. ... The chance for the impossible dream."¹⁰⁸

ARCHAEOLOGICAL FIELD SURVEY

The archaeological field survey revealed that the project area has been disturbed by both residential and commercial development. Ground visibility was poor—approximately 10 percent—with almost complete obstruction by vegetation and development. Two historic-period archaeological sites were identified on First Street (33-019896 and 33-019897; Figures 13 and 14 and Table A), and archaeological features associated with the Norco Egg Ranch (1658 Mountain Avenue), as well as with four other historic-period residences (1751 Mountain Avenue, 1577 Pacific Avenue, 1619 Pacific Avenue and 2138 Second Street) were identified elsewhere within the project area (Table B). No trace of historic refuse was noted at the egg ranch or in any of the other parcels, and no other archaeological resources were identified within the project boundaries. The historic-period archaeological features were documented on August 24 and September 19, 2011.



Figure 13: 2421 First Street. Detached garage foundation (August 2011)



Figure 14: 2485 First Street. House foundations (September 2011)

¹⁰⁵ Leslie Berkman and Michael McBride, "Egg Marketer Norco Ranch Sold," *Press Enterprise*, 4-4-2000; Leslie Parrilla, "Norco Considers 88-acre Park," *Press Enterprise*, 8-4-2011. The removal of the structures at the southern end of the Norco Ranch, Inc. property is based on aerial photographs from 1994 and 2005.

¹⁰⁶ Stokley, "Ranch Founders"; Raposa, "Polish Immigrant Couple"; "Special Couple," *B'nai B'rith Messenger*, 11/4/1988: 13; Rob Wagner, "Jaycees Honor Leaders in Community," *Corona-Norco Independent*, 1/20/1985.

¹⁰⁷ Berkman and McBride, "Egg Marketer Norco Ranch Sold."

¹⁰⁸ Ron Raposa, "Polish Immigrant Couple."

Table A: Archaeological Resources Unrelated to Existing Built Environment

Address/Primary No.	APN	Year Built	Notes
2421 First Street/33-019897	126-200-024	1953	Detached garage foundation
2485 First Street/33-019896	126-200-022	1960	House, ancillary building foundations

Table B: Archaeological Resources Associated with Existing Historic-Period Buildings

Address/Primary No.	APN	Year Built	Notes
1658 Mountain Avenue/33-019906	126-190-002	Late 1950s–1960s*	Chicken house foundation slabs of Norco Egg Ranch
1751 Mountain Avenue/33-019907	126-210-004	1947	Well and mechanical pump
1577 Pacific Avenue/33-019912	126-180-005	1915	Well and outbuilding slabs
1619 Pacific Avenue/33-019913	126-180-004	1916	Well casing, standpipe and agricultural shed slab
2138 Second Street/33-019901	126-210-001	1924	Concrete box reservoir, agricultural shed slab, and standpipe stub

*Era of initial construction; expanded/modified into the 1990s.

ARCHITECTURAL FIELD SURVEY

As a result of the architectural field survey, the former Eisen residence, garage, and original egg plant building (Norco Egg Ranch), as well as 18 other historic-period residential properties were documented and evaluated (Table C). Each of these properties is described below and in the attached Department of Parks and Recreation (DPR) 523 forms in Appendix B.

Table C: Historic-Period Architectural Resources

Address/Primary No.	APN	Year Built	Notes
2441 First Street/33-019898	126-200-025	1958	Residence
2503 First Street/33-019899	126-200-006	1949	Residence
1492 Mountain Avenue/33-019904	126-200-015	1955	Residence
1500 Mountain Avenue/33-019905	126-200-020	Circa 1952	Office
1658 Mountain Avenue/33-019906	126-190-002	1956	Former Eisen house, garage, and original egg processing plant
1661 Mountain Avenue/33-019937	126-210-010	Circa 1948	Residence
1751 Mountain Avenue/33-019907	126-210-004	1947	Residence
1433 Pacific Avenue/33-019908	126-200-004	1955	Residence
1445 Pacific Avenue/33-019910	126-200-003	1948	Residence
1451 and 1463 Pacific Avenue/33-019909	126-200-002	1947	Residences
1475 Pacific Avenue/33-019911	126-200-019	1947	Residence
1577 Pacific Avenue/33-019912	126-180-005	1915	Residence

Table C: Historic-Period Architectural Resources

Address/Primary No.	APN	Year Built	Notes
1619 Pacific Avenue/33-019913	126-180-004	1916	Residence
1765 Pacific Avenue/33-019914	126-180-001	1950	Residence
2138 Second Street/33-019901	126-210-001	1924	Residence
2214 Second Street/33-019900	126-170-011	1927	Residence
2266 Second Street/33-019902	126-170-010	1956	Residence
2390 Second Street/33-019903	126-170-009	1958	Residence

2441 First Street (33-019898)

This one-story, modest Ranch-style residence rests on a concrete foundation and is surmounted by a medium-pitched hipped roof sheathed with composition shingles (Figure 15). It has narrow eaves and the exterior walls are clad with stucco and the south-facing façade includes board-and-batten along the lower portion of the wall. The façade also includes a door and a large multi-paned ribbon window that has casement windows flanking a fixed window. A large patio cover has been added to the rear of the residence and a detached garage with a hipped roof is located northwest of the residence. The residence retains a good degree of integrity.



Figure 15: 2441 First Street. Façade and east elevation, view to the northwest (8/23/11)

2503 First Street (33-019899)

This modest, one-story Ranch-style residence rests on a concrete foundation and is surmounted by a side-gable roof sheathed with composition shingles (Figure 16). It has narrow eaves and the exterior walls are clad with modern stucco, with the exception of the rear addition, which appears to also be sided with wood panels. The south-facing façade features pairs of wood-framed double-hung windows, a door, and a full-width covered porch. Other visible fenestration consists of wood-framed double-hungs and aluminum-framed sliding windows (rear addition). There is a large addition on the rear of the residence and the integrity level is only fair.



Figure 16: 2503 First Street. Façade and east elevation, view to the northwest (8/23/11)

1492 Mountain Avenue (33-019904)

This one-story Ranch-style residence rests on a concrete foundation and is surmounted by a multi-level, side-gable roof (Figure 17). The exterior walls are clad with brick and horizontal wood siding. The east-facing façade includes a recessed porch and entry, multi-paned double-hung and casement windows, a multi-paned corner window, and aluminum-framed sliding windows. The front door has a nine-paned window above a wood panel that has an X pattern. There appear to be at least two additions to the southern portion of the house. A dilapidated wooden structure is located east of the residence. The residence is in poor condition and has low integrity.



Figure 17: 1492 Mountain Avenue. Façade, view to the southwest (8/23/11)

1500 Mountain Avenue (33-019905)

Although this one-story vernacular building has the exterior appearance of a modest residence, the floor plan (three rooms and a restroom), as well as anecdotal information indicate that it was actually constructed and used as a small office (Figure 18). It rests on a concrete foundation and is surmounted by a moderately-pitched side-gable roof. Knee braces support the wide eaves on the north and south elevations and wood posts support the extended eave that shelters the full-width front porch. The exterior walls are clad in stucco. Fenestration consists of multi-paned, metal-framed casement windows. There is a large addition on the west (rear) elevation that has corrugated metal siding and aluminum-framed windows. There are detached sheds located to the southwest of the building. All of the buildings are dilapidated and the office retains only a fair degree of integrity.



Figure 18: 1500 Mountain Avenue. Façade and south elevation, view to the northwest (8/23/11)

1658 Mountain Avenue (Norco Egg Ranch/33-019906)

This property includes a residence, detached garage, industrial buildings, and concrete slabs, all of which are associated with the former Norco Egg Ranch. However, the only historic-period (pre-1962) features are the house, garage, and original egg plant building, which are hidden from view from the public right-of-way by fencing and tall Cyprus trees (Figures 19–23).

The residence is a very modest example of the Ranch style. It rests on a concrete foundation and is surmounted by a moderately-pitched hipped roof sheathed with composition shingles. It has narrow eaves and the exterior walls are clad with stucco. The east-facing façade includes a door with a metal security screen and features a large ribbon window with diamond-paned double-hung windows flanking a fixed window. Other fenestration consists primarily of wood-framed double-hung and fixed windows, as well as a few vinyl-framed casement windows (south elevation). The wood-framed detached garage has a low-pitched roof and is located south of the residence. It abuts the L-shaped egg plant building, which is clad with corrugated metal and has a side-gabled roof.

The residence and garage are in good condition and retain a moderate degree of integrity. The original egg plant building is in a state of deterioration and appears to retain low to moderate integrity.



Figure 19: 1658 Mountain Avenue street view. View to the southwest from across Mountain Avenue (9/19/11)

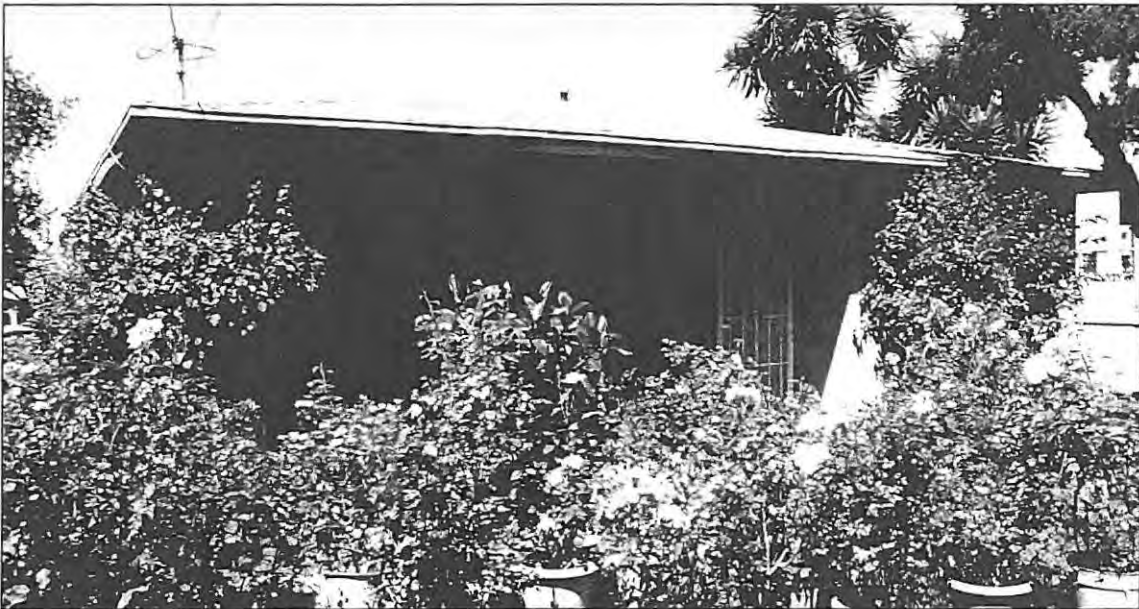


Figure 20: 1658 Mountain Avenue residence. Façade, view to the west (8/23/11)

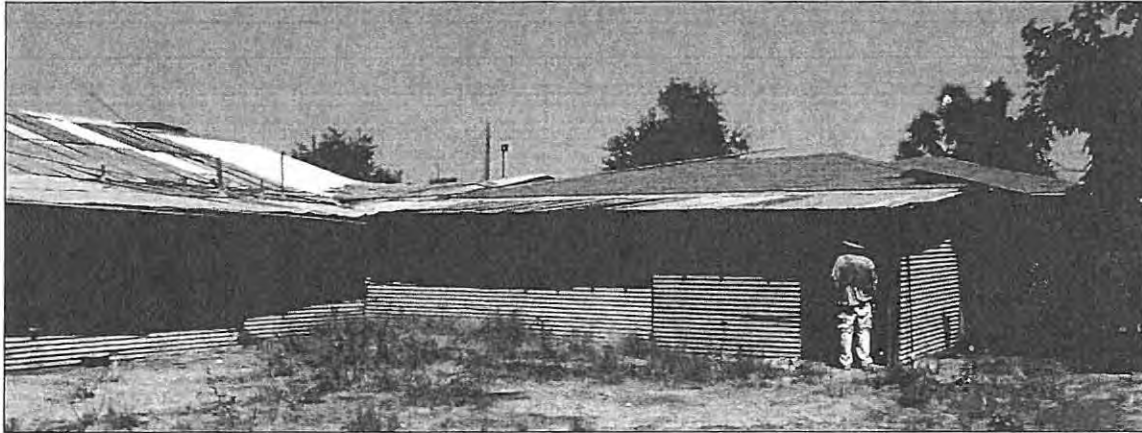


Figure 21: Norco Egg Ranch building. North end of original egg plant building, east and south elevations, view to the northwest (8/23/11)

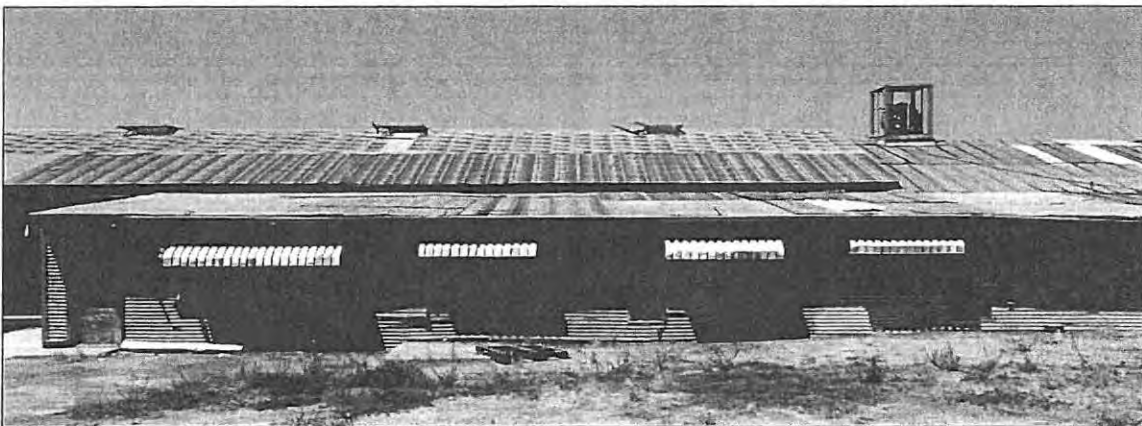


Figure 22: Middle section of original egg plant building. East elevation, view to the west (8/23/11)

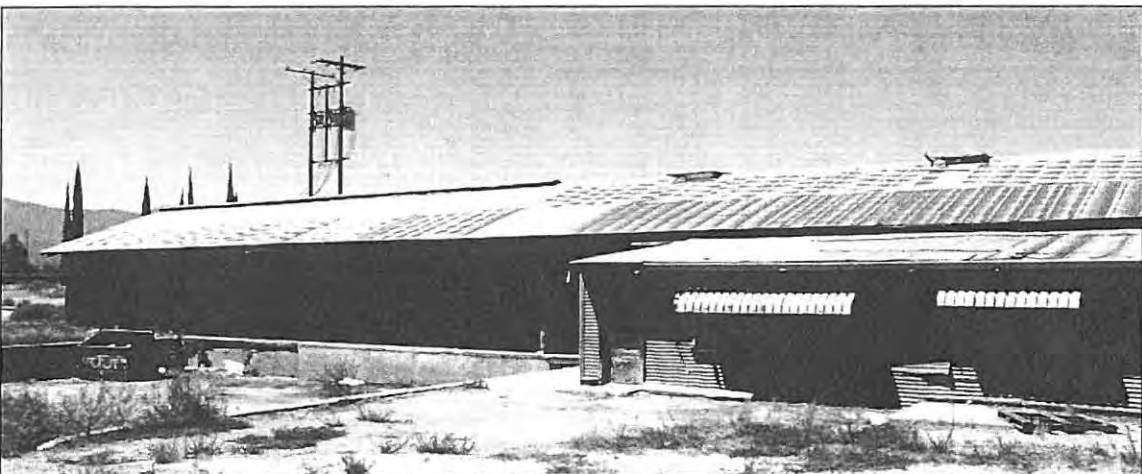


Figure 23: South end of egg plant building. East elevation, view to the southwest (8/23/11)

1661 Mountain Avenue (33-019937)

This vernacular farm cottage is obscured from view from the public right-of-way by fencing and vegetation (Figure 24). It rests on a concrete foundation and is surmounted by a low-pitched, side-gable roof. It has narrow eaves and the exterior walls are clad with clapboard siding. The west-facing façade features a full-width open veranda sheltered by a roof supported by wood posts. The façade also includes a door, wood-framed double-hung windows, and what appears to be a vinyl-framed ribbon window. Other visible windows are wood-framed double-hungs. There appear to be some additions to the side and rear of the residence, which is in fair condition and retains a low-to-fair degree of integrity.

A large, gable-roofed, metal shed is located northeast of the residence and another metal shed is located behind the residence.



Figure 24: 1661 Mountain Avenue. Façade and part of the north elevation, view to the southeast (8/23/11)

1751 Mountain Avenue (33-019907)

This one-story vernacular farm cottage rests on a concrete foundation and is surmounted by a moderately-pitched side-gable roof partially sheathed with composition shingles (Figure 25). It has narrow eaves and exposed rafter tails. The exterior walls are clad with clapboard siding, but there are vertical boards with scalloped edges below the gable ends. The north-facing façade includes two pairs of wood-framed, double-hung windows on either side of the main entrance, which is boarded over. A small extended eave shelters the entry. The west elevation includes a single, wood-framed, double-hung window and a pair of wood-framed, double-hungs. The south elevation includes wood-framed, double-hung and fixed windows, a boarded-over door, and possibly a small, flat-roofed addition. A group of outbuildings is located west of the residence. An abandoned well with a mechanical pump is located in the westernmost building. The residence is in poor condition, but despite some alterations (boarded over doors and possible addition) appears to retain a fair degree of integrity.



Figure 25: 1751 Mountain Avenue. Façade and west elevation, view to the southeast (4/11/11)

1433 Pacific Avenue (33-019908)

This one-story Ranch-style residence rests on a concrete slab foundation and is surmounted by a moderately-pitched gable-on-hip roof sheathed with composition shingles (Figure 26). The exterior walls are predominantly clad in modern stucco, but the west-facing façade features board-and-batten siding. A porch extends the width of the façade and is covered by an extended eave supported by square, wooden posts. Fenestration consists of aluminum-framed sliding and ribbon windows. The residence appears to retain at least a fair degree of integrity although the stucco is modern and the windows may be as well.

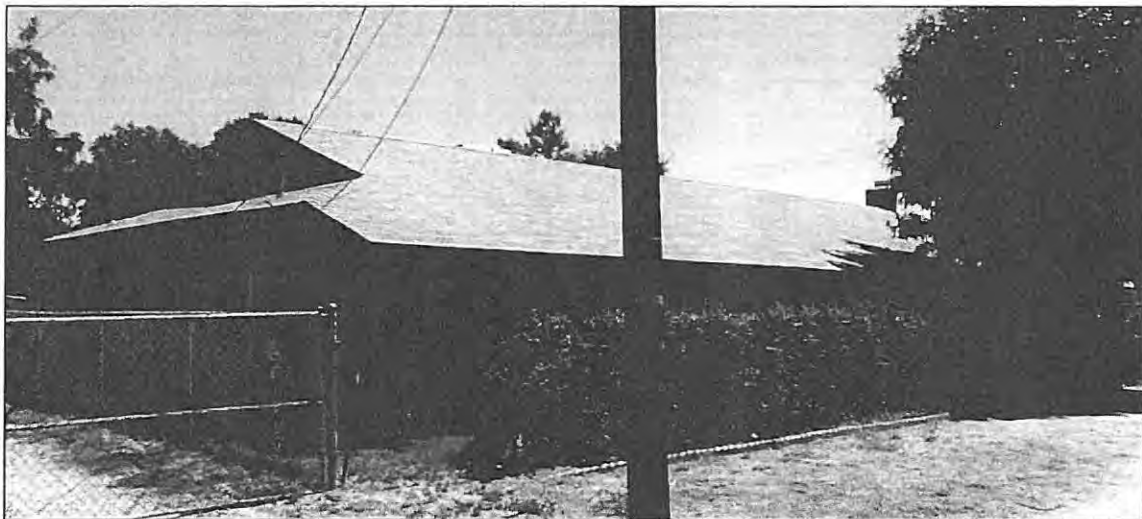


Figure 26: 1433 Pacific Avenue. North elevation and façade, view to the southeast (8/23/11)

1445 Pacific Avenue (33-019910)

This two-story vernacular residence rests on a concrete foundation and is surmounted by a moderately-pitched side-gable roof sheathed with composition shingles (Figure 27). It has narrow eaves and exposed rafter tails. The exterior walls are clad with modern stucco. The west-facing façade includes wood-framed, double-hung windows flanked by shutters and a small, centered porch that is sheltered by a projecting gable supported by wood posts and enclosed on the sides with lattice panels. The integrity of this residence is fair. The exterior stucco appears modern, likely replacing wood siding, and the second story may be an addition.

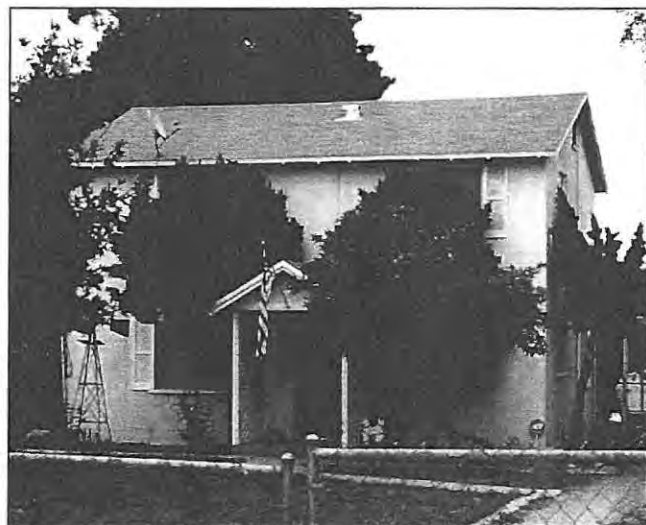


Figure 27: 1445 Pacific Avenue. Façade and south elevation, view to the east (4/21/11)

1451 and 1463 Pacific Avenue (33-019909)

This property includes two single-family residences. The vernacular residence at 1451 Pacific Avenue rests on a concrete foundation and is surmounted by a low-pitched, side-gable roof sheathed with composition shingles (Figure 28). It has two different roof heights, indicating that part of the residence may be an addition. The exterior walls are clad with stucco. The eaves are narrow and have some exposed rafter tails. The west-facing façade features a partial-width, covered porch, a ribbon window, a door, and what appears to be a wood-framed, double-hung window. A small air conditioning unit has been installed in the wall. The south elevation includes two wood-framed, double-hungs and a small air conditioning unit in the wall. A detached garage is located northeast of the residence. The residence is in good condition, but appears to have been added onto and retains fair integrity.



Figure 28: 1451 Pacific Avenue. Façade, view to the west (9/19/11)

The vernacular residence at 1463 Pacific Avenue rests on a concrete foundation and is surmounted by a high-pitched, hipped roof sheathed with composition shingles (Figure 29). It has narrow eaves and the exterior walls are clad with modern stucco and brick veneer. The west-facing façade features a centered, projecting, hipped-roof bay with a south-facing door and an aluminum-framed sliding window flanked by vertical board panels. On either side of the projecting bay are two, vinyl-framed ribbon windows with flat, scrollwork, wood trim. Aerial photographs reveal a patio cover attached to the rear of the house that may connect to the south-facing garage. The residence has sustained alterations and retains a low degree of integrity.



Figure 29: 1463 Pacific Avenue. Façade, view to the east (9/19/11)

1475 Pacific Avenue (33-019911)

This one-story vernacular residence rests on a concrete foundation and is surmounted by a cross-hipped roof sheathed with composition shingles (Figure 30). The exterior walls are clad with stucco and visible fenestration consists of wood-framed double-hungs and one aluminum-framed sliding window (north elevation). The north-facing façade features a projecting addition on the northeast end and a wrap-around porch. The porch is covered by an extended eave supported by wood posts. An attached two-car garage, which appears to be an addition, is located on the south side of the residence with the door facing Pacific Avenue. The residence appears to have sustained several alterations including the garage addition, the northeast wing addition, and possibly the roof over the porch. It retains low integrity.

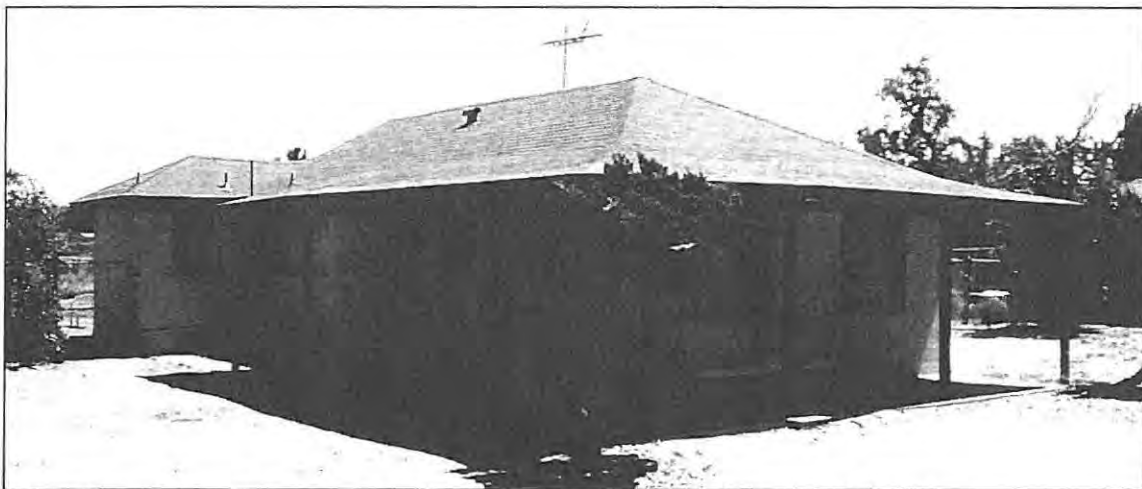


Figure 30: 1475 Pacific Avenue. Façade and west elevation, view to the southeast (8/23/11).

1577 Pacific Avenue (33-019912)

This one-story vernacular farm cottage rests on a concrete foundation and is surmounted by a cross-gable roof sheathed with composition shingles (Figure 31). The exterior walls are clad with clapboard siding. The west-facing façade includes two wood-framed windows, a door, and a projecting gable supported by turned wooden spindles. Other visible fenestration includes wood-framed double-hungs. There is a rear shed-roof addition and air conditioning units have been installed in two of the windows in the north elevation. The property also includes several concrete slabs and a poured concrete rectangular well. The residence retains a fair degree of integrity.



Figure 31: 1577 Pacific Avenue. Façade and north elevation, view to the southeast (4/12/11)

1619 Pacific Avenue (33-019913)

This one-story vernacular farm cottage with Craftsman elements rests on a concrete foundation and is surmounted by a low-pitched, cross-gable roof sheathed with composition shingles (Figure 32). It has wide eaves and exposed rafter tails. The exterior walls are clad in clapboard siding. The west-facing façade includes two wood-framed ribbon windows, a door, and a partial-width porch sheltered by a projecting gable supported by pairs of wood posts atop brick piers. Based on the materials and construction, the projecting gable, wood posts, and brick piers appear to be modern. In addition, the chimney on the south side of the residence appears modern. There are detached sheds behind the residence. The property also includes a fragmentary concrete slab, a concrete standpipe along Pacific Avenue, and a welded steel well casing. The residence is in good condition and retains a fair degree of integrity.



Figure 32: 1619 Pacific Avenue. Façade, view to the east (4/12/11)

1765 Pacific Avenue (33-019914)

This one-story modest Ranch-style residence rests on a concrete foundation and is surmounted by a low-pitched side-gable roof sheathed with composition shingles (Figure 33). It has narrow eaves and the exterior walls are clad with stucco. The west-facing façade features pairs of wood-framed double-hung windows, a door, and a full-width porch sheltered by an extended eave supported by wood posts. A large attached garage, which appears to be a later addition, is located at the south end of the façade. There appears to be a rear addition, as well as a covered patio. The property also includes two detached sheds located south and southeast of the residence. The residence retains a fair degree of integrity.

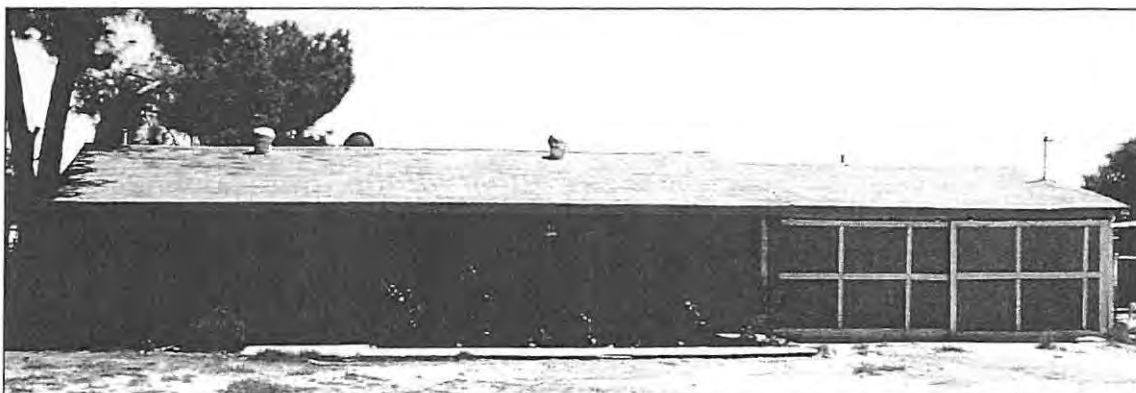


Figure 33: 1765 Pacific Avenue. Façade, view to the east (8/23/11)

2138 Second Street (33-019901)

This one-story vernacular farm cottage rests on a raised concrete foundation and is surmounted by a moderately-pitched side-gabled roof sheathed with composition shingles (Figure 34). It has narrow eaves and exposed rafter tails. The exterior walls are clad with stucco, but the north-facing façade has combination of board-and-batten siding, stucco, and brick veneer. The stucco and brick are in the recessed entry area along with a modern, east-facing door and what appears to be a multi-paned casement window. The façade also includes four multi-paned, wood-framed double-hung windows and several horizontal-rectangular vents along the bottom of the wall. Other fenestration consists of wood-framed double-hungs. The small wing on the east side of the residence appears to be a later addition as does the detached two-car garage, which is located southeast of the residence. The property also contains a concrete shed slab, a concrete box reservoir, and a standpipe stub. The residence is in fair condition, but has been altered (wall cladding, door, and addition) and retains only a fair degree of integrity.



Figure 34: 2138 Second Street. Façade, view to the south (6/27/11)

2214 Second Street (33-019900)

This one-story vernacular residence rests on a concrete foundation and is surmounted by a front gable roof and a flat roof (Figure 35). It has narrow eaves and the exterior walls are clad with modern stucco. The north-facing façade features a large, flat-roofed addition that may once have been a full-width porch that at sometime was partially enclosed to create more living space. All of the windows are boarded over and the building and property are in poor condition. A detached garage is located behind the residence and takes access from Mountain Avenue. The residence retains low integrity.



Figure 35: 2214 Second Street. Façade, view to the southwest (4/11/11)

2266 Second Street (33-019902)

This one-story Ranch-style house rests on a concrete foundation and is surmounted by a cross-hipped roof sheathed with composition shingles (Figure 36). It has narrow eaves and the exterior walls are clad in stucco with board-and-batten siding around the main entry. The north-facing façade includes an attached one-car garage with its original wood door, wood-framed double-hung windows, and a recessed entry. A patio cover has been added to the rear of the residence. The residence is in fair condition and retains a good degree of integrity.



Figure 36: 2266 Second Street. Façade, view to the south (8/23/11)

2390 Second Street (33-019903)

This modest, one-story Ranch-style residence rests on a concrete foundation and is surmounted by a high-pitched gable-on-hip roof sheathed with composition shingles (Figure 37). It has narrow eaves with exposed rafter tails and the exterior walls are clad in stucco. The north-facing façade includes a recessed entry and three metal-framed ribbon windows with diamond-paned casement windows flanking fixed panes. An air conditioning unit has been installed in one of the windows. Although obscured from view by vegetation, there appears to be an addition on the east side of the residence that has attached the house to the garage. The residence retains a fair degree of integrity.



Figure 37: 2390 Second Street. Façade, view to the southeast (8/23/11)

SIGNIFICANCE EVALUATION

Based on the research results discussed above, the following sections present the historical significance evaluations of the archaeological and built environment resources and related features and the conclusions regarding whether they qualify as a “historical resource” as defined by CEQA.

DEFINITIONS

CEQA (PRC Chapter 2.6, Section 21083.2 and CCR Title 145, Chapter 3, Article 5, Section 15064.5) calls for the evaluation and recordation of historical resources. The criteria for determining the significance of impacts to historical resources are based on Section 15064.5 of the CEQA Guidelines and Guidelines for the Nomination of Properties to the California Register. Properties eligible for listing in the California Register and subject to review under CEQA are those meeting the criteria for listing in the California Register, National Register, or designation under a local ordinance.

California Register of Historical Resources

The California Register criteria are based on National Register criteria. For a property to be eligible for inclusion in the California Register, one or more of the following criteria must be met:

1. It is associated with the events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;
2. It is associated with the lives of persons important to local, California, or national history;
3. It embodies the distinctive characteristics of a type, period, region, or method or construction, or represents the work of a master, or possesses high artistic values; and/or
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

In addition to meeting one or more of the above criteria, the California Register requires that sufficient time has passed since a resource’s period of significance to “obtain a scholarly perspective on the events or individuals associated with the resource.” Fifty years is used as a general estimate of time needed to develop the perspective to understand the resource’s significance (CCR 4852 [d][2]).

The California Register also requires that a resource possess integrity, which is defined as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance” (California Office of Historic Preservation 1999:2). To retain integrity, a resource should have its original location, design, setting, materials, workmanship, feeling, and association. Which of these factors is most important depends on the particular criterion under which the resource is considered eligible for listing (California Office of Historic Preservation 1999).

Norco

A local register of historical resources, as defined by PRC §5020.1(k), “means a list of properties officially designated or recognized as historically significant by a local government pursuant to a local ordinance or resolution.” For properties within the City of Norco, the City’s Cultural Resources ordinance (Title 20 of the Municipal Code) provides criteria for Landmark designation (Section 20.15.010) as follows:

An improvement, object, or natural feature may be designated a landmark by the City Council upon recommendation of the Historic Preservation Commission if it is determined eligible, retains integrity and meets one or more of the following criteria:

- A. Exemplifies or reflects special elements of the City’s cultural, social, economic, political, aesthetic, engineering, architectural or natural history; or
- B. Is identified with persons or events significant in local, State or national history; or
- C. Embodies distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship; or
- D. Represents the work of a notable builder, designer, or architect; or
- E. Has a unique location or singular physical characteristics or is a view or vista representing an established and familiar visual feature of a neighborhood community or of the City; or
- F. Reflects significant geographical patterns, including those associated with different eras of settlement and growth, particular transportation modes, or distinctive examples of park or community planning; or
- G. Has yielded, or may be likely to yield, information important in history or prehistory.

The City’s ordinance (Section 20.10.010(J)) defines integrity as follows:

“Integrity” means the ability of a cultural resource to convey its significance. To have integrity, a cultural resource must be largely intact or be readily restorable through the removal of non-original coverings, facades, additions, or minor reconstruction. Integrity includes historical location, design, setting, materials, workmanship, feeling, and association. Of these elements, historical location and setting are not essential if the other standards of integrity are or can be met.

EVALUATION

The following provides significance evaluations for each of the archaeological and built environment resources identified and documented in the project area. Additional information may be found in the DPR 523 forms in Appendix B.

Archaeological Resources

33-019896 (Formerly 2485 First Street). This site is a typical example of ubiquitous, unremarkable and very recent resource: 1960s house and ancillary building foundations with no associated artifacts or deposits. It is not associated with significant events or persons, and does not embody distinctive

characteristics of a type, period, or method of construction, nor does it have the potential to yield information important in history. Therefore, it does not meet any of the above criteria and is not eligible for listing in the California Register or for designation as a local Landmark. The site represents an absolute minimum of archaeological data, and is not a "historical resource" under CEQA.

33-019897 (Formerly 2421 First Street). The single feature at this site is a typical example of ubiquitous, unremarkable and very recent resource: a 1950s foundation of a residential ancillary building (garage) with no associated artifacts or deposits. It is not associated with significant events or persons, and does not embody distinctive characteristics of a type, period, or method of construction, nor does it have the potential to yield information important in history. Therefore, it does not meet any of the above criteria and is not eligible for listing in the California Register or for designation as a local Landmark. The site represents an absolute minimum of archaeological data, and is not a "historical resource" under CEQA.

1751 Mountain Avenue. The archaeological feature associated with this historic-period residence (a well and mechanical pump) is a typical example of ubiquitous, unremarkable resource. It does not embody distinctive characteristics of a type, period, or method of construction, nor does it have the potential to yield information important in history. Therefore, it does not meet any of the above criteria, and does not contribute to the potential eligibility of the built resource for listing in the California Register or for designation as a local Landmark.

Norco Egg Ranch (1658 Mountain Avenue). The archaeological features associated with this built environment complex are remnants of character-defining buildings (chicken houses) of the Norco Egg Ranch. However, the earliest of these buildings was constructed at the very end of the historic period (late 1950s) and the majority of their footprints (and associated foundations) were altered as late as the 1990s, disrupting their original integrity. They do not embody distinctive characteristics of a particular type, period, or method of construction, nor do they have the potential to yield information important in history. Therefore, they do not meet any of the above criteria, and do not contribute to the potential eligibility of the built resource for listing in the California Register or for designation as local Landmarks.

Archaeological Features Associated with Other Built Environment Resources (2138 Second Street, 1577 Mountain Avenue, and 1619 Mountain Avenue). The archaeological features associated with the historic-period residences are typical examples of ubiquitous, unremarkable features associated with agriculture (remnants of support buildings and water conveyance systems). They lack associated artifacts and do not embody distinctive characteristics of a type, period, or method of construction, nor do they have the potential to yield information important in history. Therefore, they do not meet any of the above criteria, and do not contribute to the potential eligibility of the built resources for listing in the California Register or for designation as local Landmarks.

Architectural Resources

As previously discussed, 18 properties with historic-period buildings were documented in the project area. These consist of an office, residences, and related features dating from 1915 to 1960. The following provides a summary of the detailed evaluations that are included in the related DPR 523 forms (Appendix B).

2441 First Street. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, no one living in the residence during the historic-period (pre-1962) appears to have been an important figure in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under the City of Norco Landmark (CNL) criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way could reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

2503 First Street. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, no one living in the residence during the historic-period (pre-1962) appears to be an important figure in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way could reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1492 Mountain Avenue. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. In addition, its integrity has been compromised by at least two additions that have altered the façade. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, no one living in the residence during the historic-period (pre-1962) appears to be an important figure in history. Therefore, it does not appear to be

significant under this criterion. Under California Register criterion 3, the residence is a modest example of an altered Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, the residence has sustained alterations and does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, for some years the residence has been shielded from view from the public right-of-way by a fence and overgrown vegetation. It does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way could reflect a certain era of settlement, it has been altered and is one of thousands of similar residences throughout the City and region. It is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this altered Ranch-style residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1500 Mountain Avenue. Under California Register criterion 1, this small office building is associated with post-WWII development. However, it is an undistinguished example of utilitarian in-fill development that is not particularly unique to or representative of the period. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the building does not appear to have been associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the building is a modest example of a utilitarian office. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to

yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the building does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the building does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, for a number of years, view of the building from the public right-of-way has been completely obscured by a solid fence. It does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, it does not reflect a significant geographical pattern, including those associated with different eras of settlement or growth, and is not a distinctive example of community planning. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the building is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest, vernacular office building does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1658 Mountain Avenue. Under California Register criterion 1, the residence is associated with post-World War II residential development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. It does not qualify for listing in the California Register for its association with post-WWII development. The Norco Egg Ranch buildings are associated with poultry farming in Norco, which is a central theme in the City's history. The Norco Egg Ranch was the embodiment of Rex Clark's marketing plan for Norco. In the 1920s, Rex Clark founded and promoted the town as a place where the little guy could make it on his own by working independently as a chicken farmer. As a result, for decades, poultry farming was a primary part of life in Norco. The Norco Egg Ranch started out small and became one of the largest egg ranches and distribution centers in the country, relying primarily on local labor. For these reasons, it represents this important theme in local history. However, the majority of historic-period buildings, such as the early chicken houses, have been demolished and large, modern buildings now dominate the setting. This loss of historic setting, coupled with the extremely nondescript character of the three remaining historic-period buildings, has limited their ability to convey their association with the Norco Egg Ranch. Therefore, they do not qualify for listing in the California Register.

Under California Register criterion 2, Norco Egg Ranch was founded by Harry and Hilda Eisen. The Eisens are Holocaust survivors who immigrated to the United States and took part in Displaced

Person/Jewish retraining programs that emphasized poultry farming. They built a successful business, using predominantly local workers. They were involved in the City's efforts to incorporate and have been honored for their community service and philanthropic efforts. The Eisens lived in this residence for approximately 10 years and were locally prominent. However, the utilitarian and nondescript remnants of the Norco Egg Ranch do not physically convey the story of the Eisens or their business. Therefore, the buildings are not significant under this criterion.

Under California Register criterion 3, the remaining historic-period buildings do not embody the distinctive characteristics of a type, period, region, or method of construction. They do not represent the work of an important creative individual or possesses high artistic values. Although they retain a moderate level of integrity, they do not convey their association with any particular period or style. Therefore, they do not appear to be significant under this criterion.

Under California Register criterion 4, which is typically associated with archaeological resources, the buildings have not yielded, nor are they likely to yield, information important in prehistory or history. Therefore, they do not appear significant under this criterion.

Under CNL criterion A, these buildings are associated with poultry farming, which was an important aspect of the City's economic history since Rex Clark and the North Corona Land Company came to the area in the 1920s. While the North Corona Land Company also promoted viniculture, orchards, and the farming of rabbits, the popularity of small poultry operations was crucial to the success of Clark's Norco Farms development. Almost all of the company's advertisements mentioned poultry farming and were often accompanied by photographs of hens and chicken coops. The company had a "Poultry Headquarters" staffed by a poultry expert and catered to the needs of poultry ranchers by constructing pre-fabricated chicken coops and keeping them in storage for quick installation at a customer's property. The Norco Egg Ranch grew from a small family farm to one of the biggest egg distribution businesses in the country. It contributed greatly to the local economy by relying heavily on local workers and remaining family owned and operated. For these reasons, the Norco Egg Ranch is an important part of the City's economic history. The three remaining historic-period buildings are from the earliest period in the ranch's history and are utilitarian and nondescript with only a moderate level of integrity. In addition, their historic setting has been compromised by the removal of other historic-period buildings associated with the ranch. Because of this, they do not clearly convey their association with the Norco Egg Ranch. However, as one of the most successful, home-grown businesses in the history of Norco and one that embodies Rex Clark's vision for the community, the local importance of this business outweighs the lack of integrity of the remaining historic-period buildings, which appear to be significant under this criterion.

Under CNL criterion B, as discussed under California Register criterion 2 and CNL criterion A, the buildings are associated with the locally prominent Eisen family and their Norco Egg Ranch. Although they do not fully convey the story of the Eisens, they are the last remaining historic-period buildings closely associated with both the Eisens and their successful Norco Egg Ranch. Therefore, they meet this criterion for local designation.

Under CNL criterion C, similar to the discussion under California Register criterion 3, the buildings do not embody the distinctive characteristics of a style, type, period, or method of construction and are not a valuable example of the use of indigenous materials or craftsmanship. Therefore, they do not appear to be significant under this criterion.

Under CNL criterion D, no evidence was found indicating that the buildings represent the work of a notable builder, designer, or architect. Therefore, they do not appear to be significant under this criterion.

Under CNL criterion E, the historic-period buildings on this property do not have a unique location or singular physical characteristic. For many years they have been screened from view by fencing and large cypress trees. They are not an established and familiar visual feature of a neighborhood, community, or of the City. Therefore, they do not appear to be significant under this criterion. The large industrial buildings on the property that are fairly visible date to the mid-1960s or later and, as modern buildings, are not old enough to be considered under this criterion.

Under CNL criterion F, the buildings are associated with post-WWII residential and industrial development, but as in-fill development that expanded over time, they do not represent a significant community planning effort and are not particularly representative of a specific era. Therefore, they do not appear to be significant under this criterion.

Under CNL criterion G, similar to California Register criterion 4 above, the historic-period buildings are not likely to yield important information in history. The history and technological improvements related to poultry farming and egg distribution are already well-documented and the remnants of this facility will not significantly add to that body of knowledge. Therefore, the property does not appear to be significant under this criterion.

For the reasons discussed above, the buildings do not appear to meet the criteria for listing in the California Register. However, they are significant under the local ordinance, criteria A and B, for their association with the economic history of Norco (poultry farming and the Norco Egg Ranch) and their association with the Eisens. Therefore, they are a historical resource as defined by CEQA.

1661 Mountain Avenue. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the building does not appear to have been associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, this vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, during the historic-period the building does not appear to have been associated with anyone important in history. Therefore, it does not appear to be significant under this

criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1751 Mountain Avenue. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the building does not appear to have been associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, this vernacular farm cottage does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F,

the vernacular style of the residence is not indicative of any particular period and does not reflect a specific era of settlement or a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1433 Pacific Avenue. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to have been associated with important figures in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the residence is a modest example of the Ranch style. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence is not associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way could reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1445 Pacific Avenue. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. In addition, its vernacular style is so nondescript that it does not convey a strong association with the post-WWII era. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to have been associated with significant figures in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the residence is nondescript and does not embody the distinctive characteristics of a type, period, region, or method of construction. It does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, the residence does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the nondescript vernacular style of the residence does not reflect any particular era and because it is not part of a larger subdivision or tract, it is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1451 and 1463 Pacific Avenue. Under California Register criterion 1, the residences are associated with post-World War II development in southern California and the City of Norco. However, they represent in-fill development as opposed to being part of a post-WWII subdivision or tract and are two of numerous similar post-WWII residences in the area. Therefore, they do not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residences do not appear to have been associated with important figures in history. Therefore, neither residence appears to be significant under this criterion. Under California Register

criterion 3, these vernacular residences do not embody the distinctive characteristics of a type, period, region, or method of construction, and do not represent the work of an important creative individual or possesses high artistic values. Therefore, they do not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residences have not yielded, nor are they likely to yield, information important in prehistory or history. Therefore, the residences do not appear significant under this criterion.

Under CNL criterion A, the residences do not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, they do not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residences are not associated with persons important in history. Therefore, they do not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, they do not embody the distinctive characteristics of a style, type, period, or method of construction and are not a valuable example of the use of indigenous materials or craftsmanship. Therefore, they do not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that they represent the work of a notable builder, designer, or architect. Therefore, they do not appear to be significant under this criterion. Under CNL criterion E, the residences do not have unique locations or singular physical characteristics, nor are they an established and familiar visual feature of a neighborhood community or of the City. Therefore, they do not appear to be significant under this criterion. Under CNL criterion F, the vernacular style of the residences is not indicative of any particular era and the residences are not part of a significant community planning effort. Therefore, they do not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residences are not likely to yield important information in history. Therefore, they do not appear to be significant under this criterion.

For the reasons discussed above, these vernacular residences do not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, are not historical resources as defined by CEQA.

1475 Pacific Avenue. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the building does not appear to have been associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, this vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore,

it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, during the historic-period, the building does not appear to have been associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1577 Pacific Avenue. Under California Register criterion 1, the residence is associated with the Citrus Belt Land Company (1908–1922), Orange Heights Tract #1, and the earliest development in what would become Norco. The residence dates to the later period of development, but is one of fewer than 15 buildings in the City that are known to date to that time (Tibbet and Wilkman 2011). However, because it has been altered, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to have been associated with anyone important in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, as discussed above, the residence is associated with the Citrus Belt Land Company and the earliest development in what would become Norco. This venture gave the area its start and, therefore, is an important part of Norco's history. However, the residence lacks integrity and does not appear eligible for designation under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be

significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the vernacular style of residence is not particularly indicative of any era and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1619 Pacific Avenue. Under California Register criterion 1, the residence is associated with the Citrus Belt Land Company, Orange Heights Tract #1, and the earliest development (1908–1922) in what would become Norco. The residence dates to the later period of development, but is one of fewer than 15 buildings in the City that are known to date to that time (Tibbet and Wilkman 2011). However, because it has been altered, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to have been associated with important figures in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the residence includes Craftsman elements, but does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, as discussed above, the residence is associated with the Citrus Belt Land Company and the earliest development in what would become Norco. This venture gave the area its start and, therefore, is an important part of Norco's history. However, the residence lacks integrity and does not appear eligible for designation under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, although it has a Craftsman influence, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Further, there are more articulated examples of the Craftsman style in the City and throughout the surrounding region. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the residence is not

representative of a significant community planning effort and, although it exhibits elements of the Craftsman style, which was popular in the early part of the 20th century. It is not particularly representative of that era. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this vernacular farm cottage does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

1765 Pacific Avenue. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to have been associated with important figures in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way does reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

2138 Second Street. Under California Register criterion 1, the residence is associated with the North Corona Land Company period (1923–1928) of development in Norco’s early history. It was during this time that Rex Clark built the town center and provided nearly everything necessary for people to establish the agrarian lifestyle promoted by his marketing program. However, as one of more than 60 residences remaining in the City from this period, this somewhat altered residence is not any more representative of this period than many others in the City. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to be associated with important figures in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, this altered vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City’s cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the residence conveys its association with the 1920s and the North Corona Land Company era, but has sustained alterations. Because there are better examples of buildings from this period in the City, this residence does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this altered vernacular residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

2214 Second Street. Under California Register criterion 1, the residence is associated with the North Corona Land Company period (1923–1928) of development in Norco’s early history. It was during

this time that Rex Clark built the town center and provided nearly everything necessary for people to establish the agrarian lifestyle promoted by his marketing program. This residence is one of more than 60 remaining in the City from this period; however, it has been extensively altered and no longer conveys its association with this period. Therefore, it does not appear to be significant under this criterion.

Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to be associated with important figures in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, this altered vernacular residence does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, although associated with an important period in Norco's history, this altered residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with persons important in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, the residence has been extensively altered and does not reflect any particular era. It is not part of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this altered vernacular residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

2266 Second Street. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to be associated with important figures in history. Therefore, it does not appear to be

significant under this criterion. Under California Register criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with important persons in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way does reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

2390 Second Street. Under California Register criterion 1, the residence is associated with post-World War II development in southern California and the City of Norco. However, it represents in-fill development as opposed to being part of a post-WWII subdivision or tract and is one of numerous similar post-WWII residences in the area. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 2, during the historic-period (pre-1962), the residence does not appear to be associated with important figures in history. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 3, the residence is a modest example of a Ranch-style residence. It does not embody the distinctive characteristics of a type, period, region, or method of construction, and does not represent the work of an important creative individual or possesses high artistic values. Therefore, it does not appear to be significant under this criterion. Under California Register criterion 4, which is typically associated with archaeological resources, the residence has not yielded, nor is it likely to yield, information important in prehistory or history. Therefore, the residence does not appear significant under this criterion.

Under CNL criterion A, the residence does not exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion B, as discussed under California Register criterion 2, the residence does not appear to be associated with important persons in history. Therefore, it does not appear to be significant under this criterion. Under CNL criterion C, similar to the discussion under California Register criterion 3, it does not embody the distinctive characteristics of a style, type, period, or method of construction and is not a valuable example of the use of indigenous materials or craftsmanship. Therefore, it does not appear to be significant under this criterion. Under CNL criterion D, no evidence was found indicating that it represents the work of a notable builder, designer, or architect. Therefore, it does not appear to be significant under this criterion. Under CNL criterion E, the residence does not have a unique location or singular physical characteristic, nor is it an established and familiar visual feature of a neighborhood community or of the City. Therefore, it does not appear to be significant under this criterion. Under CNL criterion F, although the Ranch style of the residence is typical of the early post-WWII period and in that way does reflect a certain era of settlement, it is one of thousands of similar residences throughout the City and region and is not a significant example of post-WWII settlement in Norco. In addition, it is not part of a larger subdivision or tract and is not representative of a significant community planning effort. Therefore, it does not appear to be significant under this criterion. Under CNL criterion G, similar to California Register criterion 4 above, the residence is not likely to yield important information in history. Therefore, it does not appear to be significant under this criterion.

For the reasons discussed above, this modest Ranch-style residence does not appear to meet the criteria for listing in the California Register or for designation under the local ordinance and, therefore, is not a historical resource as defined by CEQA.

Summary of Significance Evaluations

As discussed above, none of the archaeological features was determined individually significant and none contributes to the significance of a built environment resource. Therefore, none of the archaeological features is a historical resource pursuant to CEQA.

Of the 18 built environment resources that were documented and evaluated, one appears to be eligible for designation as a Landmark under criteria A and B of the City's ordinance. This resource consists of the residence, detached garage, and original egg processing building located at 1658 Mountain Avenue. These are the only remaining historic-period resources associated with both the former Norco Egg Ranch and the Eisens. They are considered a historical resource for the purposes of CEQA.

The remaining 17 properties in the project area were determined not to be significant under either the California Register or City criteria and are not historical resources under CEQA.

Table D summarizes resources evaluated.

Table D: Resources Evaluated

Address	APN	Year Built	CHR Status Code
Archaeological Resources Unrelated to Existing Built Environment			
2421 First Street	126-200-024	1953	6Z
2485 First Street	126-200-022	1960	6Z
Archaeological Resources Associated with Existing Historic-Period Buildings			
1658 Mountain Avenue	126-190-002	Late 1950s-1960s*	6Z
1751 Mountain Avenue	126-210-004	1947	6Z
1577 Pacific Avenue	126-180-005	1915	6Z
1619 Pacific Avenue	126-180-004	1916	6Z
2138 Second Street	126-210-001	1924	6Z
Historic-Period Architectural Resources			
2441 First Street	126-200-025	1958	6Z
2503 First Street	126-200-006	1949	6Z
1492 Mountain Avenue	126-200-015	1955	6Z
1500 Mountain Avenue	126-200-020	Circa 1952	6Z
1658 Mountain Avenue	126-190-002	1956	5S3
1661 Mountain Avenue	126-210-010	Circa 1948	6Z
1751 Mountain Avenue	126-210-004	1947	6Z
1433 Pacific Avenue	126-200-004	1955	6Z
1445 Pacific Avenue	126-200-003	1948	6Z
1451 and 1463 Pacific Avenue	126-200-002	1947	6Z
1475 Pacific Avenue	126-200-019	1947	6Z
1577 Pacific Avenue	126-180-005	1915	6L
1619 Pacific Avenue	126-180-004	1916	6L
1765 Pacific Avenue	126-180-001	1950	6Z
2138 Second Street	126-210-001	1924	6L
2214 Second Street	126-170-011	1927	6Z
2266 Second Street	126-170-010	1956	6Z
2390 Second Street	126-170-009	1958	6Z

*Expanded/modified into the 1990s

IMPACTS ANALYSIS

As previously noted, the proposed project involves the demolition of numerous modern and historic-period buildings and features, including a residence, garage, and egg plant building that were associated with both the Norco Egg Ranch and the Eisens, and are historical resources for the purposes of CEQA. As currently proposed, the project consists of a large distribution center that includes six buildings totaling nearly 1.6 million square feet, as well as related parking, landscaping, and drainage improvements (previously referenced Figure 2). As part of the CEQA process, any potential environmental impacts associated with a project, must be assessed.

CEQA establishes that "a project that may cause a substantial adverse change in the significance of a historical resource is a project that may have a significant effect on the environment" (PRC §21084.1). "Substantial adverse change," according to PRC §5020.1(q), "means demolition, destruction, relocation, or alteration such that the significance of a historical resource would be impaired." This study has concluded that the former Eisen residence (1658 Mountain Avenue), along with the detached garage and original egg plant building, meets the statute definition of a "historical resource;" therefore, the demolition of these buildings as proposed by the current project would constitute a significant effect on the environment and must be mitigated.

As previously discussed, the residence, garage, and original egg plant building are significant for their associations with Harry and Hilda Eisen and the Norco Egg Ranch. The Eisens lived in this house when they first moved to Norco and this is where they began building their business into a multi-million dollar company that greatly contributed to Norco and the region. However, the buildings themselves, which are nondescript and similar to hundreds of others throughout the City, do not, on their own, sufficiently convey the Eisens' remarkable personal histories, the scope of their success, or much about the business they had. In addition, the buildings have been screened from public view by fencing and vegetation for a number of years and are not established and familiar visual features in the community. Therefore, in this circumstance, preserving these buildings would not contribute to the public's awareness of the historical significance of the Eisens or the Norco Egg Ranch or enhance the historic character of the area. Although demolition will result in a substantial adverse change to a historical resource, it is possible to mitigate this loss to a level that is less than significant by applying mitigation measures that will increase the public's awareness of the Eisens, the Norco Egg Ranch, and the contributions of both to Norco and the wider community.

The CEQA Guidelines (§15126.4(b)(2)) state that "In some circumstances, documentation of an historical resource, by way of historic narratives, photographs or architectural drawings, as mitigation for the effects of demolition of the resource will not mitigate the effects to a point where clearly no significant effect on the environment would occur." In this case, additional mitigation beyond documentation is warranted in order to adequately convey the historical significance of the resource. As discussed in detail in the Recommendations section below, such mitigation should include documentation of the buildings equivalent to Level III of the Historic American Buildings Survey (HABS); funding and installation of a plaque and an interpretive display; incorporation of murals or other artwork depicting the Eisens, the egg ranch, or other elements of Norco's history; and funding of additional studies or interpretive exhibits.

RECOMMENDATIONS

CEQA establishes that “a project that may cause a substantial adverse change in the significance of a historical resource is a project that may have a significant effect on the environment” (PRC §21084.1). “Substantial adverse change,” according to PRC §5020.1(q), “means demolition, destruction, relocation, or alteration such that the significance of a historical resource would be impaired.”

This study has concluded that the Eisen residence, garage, and original egg plant building (1658 Mountain Avenue, APN 126-190-002, 33-019906) meet the statute definition of a “historical resource;” therefore, the proposed demolition of this resource would constitute a significant effect on the environment. In order to prevent, avoid, or mitigate such impacts to a level that is less than significant, LSA recommends the following to the project proponent and the Lead Agency:

1. The house, garage, and original egg plant building should be documented equivalent to Level III of the Historic American Buildings Survey (HABS) by an architectural historian meeting the Secretary of the Interior’s Professional Qualification Standards. The documentation should include thirty-five-millimeter (35 mm) archival quality black-and-white photographs of all exterior elevations, interior views, character-defining features, and context views; a site plan showing the view of photographs and the building footprint; and any available archival material, including historic photographs, newspaper articles, and architectural drawings. A copy of this report will satisfy the written data requirement. A copy of the HABS documentation should be submitted to the City of Norco Planning Department, the Norco Public Library, and the Norco Historical Society.
2. Fund the installation of a plaque close to the public right-of-way and in the vicinity of the current location of the house, garage, and egg plant building that describes the historical significance of the Eisens and the Norco Egg Ranch.
3. Fund the creation and installation of an interpretive display in the community center or other appropriate public location identified by City staff.
4. Fund the creation of murals or large panels depicting the egg ranch, the Eisens, and/or other elements of Norco’s history that can be placed on the Mountain Avenue side of at least one of the proposed buildings in a manner that is clearly visible and identifiable from the public right-of-way. It is suggested that this be a community art work project using local high school or college students and/or local artists.
5. Include the Eisen name(s) prominently in the development.
6. Fund one of the following:
 - a. The preparation of a historic context focused on chicken/egg ranching in Norco in the post-World War II era. This study should include information about programs established to assist Jewish immigrants after WWII, especially those that focused on agricultural pursuits such as the Jewish Federation, ORT (an acronym of the Russian words *Obshestvo Remeslenofo*

zemledelcheskofo Truda, meaning The Society for Trades and Agricultural Labor), and the Jewish Agricultural Society (JAS). The study should also identify other Jewish chicken/egg ranchers in Norco during the historic-period and catalog their contributions to that field and the community of Norco.

- b. The creation of a larger, traveling exhibit about Harry and Hilda Eisen and their success in Norco and coordinate showings with museums, schools, and other groups.

If buried cultural materials are encountered during earthmoving operations associated with the project, all work in that area should be halted or diverted until a qualified archaeologist can identify and assess the nature of the finds.

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be prehistoric, the Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 48 hours of notification by the NAHC. The MLD may recommend scientific removal and nondestructive analysis of human remains and items associated with Native American burials.

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APPENDIX A

NATIVE AMERICAN SCOPING

NATIVE AMERICAN SCOPING RECORD

Proposed Norco Ranch Commerce Park Project, City Of Norco, Riverside County, California

Date LSA Requested Sacred Lands File Search: July 22, 2011

Date Native American Heritage Commission Replied: July 25, 2011

Results of Sacred Lands File Search: Native American cultural resources were *not* identified within the USGS coordinates specified for the project area; however, the NAHC recommended that 14 tribes/individuals be contacted for information regarding cultural resources that could be affected.

Groups Contacted	Date LSA Sent Letter to Tribes	Date a Response to the Letter was Received by LSA (if Applicable)	Date and Results of LSA Follow-up Telephone Calls and/or emails
Pala Band of Mission Indians Tribal Historic Preservation Office/Shasta Gaughen <i>Luiseno, Cupeño</i>	07-29-11	08-24-11: A letter dated August 18, 2011, was received. The letter stated that the Tribe has no concerns.	08-23-11: A follow-up email was sent to Ms. Gaughen. She responded by email to say that the project is not within the Tribe's area of concern and an official letter had been sent.
Rincon Band of Mission Indians Tiffany Wolfe, Cultural and Environmental <i>Luiseno</i>	07-29-11	No response received.	08-23-11: A follow-up email was sent to Ms. Wolfe. 08-30-11: A second follow-up email was sent to Ms. Wolfe.
Pauma and Yuima Reservation Randall Majel, Chairperson <i>Luiseno</i>	07-29-11	No response received.	08-23-11: A follow-up email was sent to Mr. Majel. 08-30-11: A second follow-up email was sent to Mr. Majel.

Groups Contacted	Date LSA Sent Letter to Tribes	Date a Response to the Letter was Received by LSA (if Applicable)	Date and Results of LSA Follow-up Telephone Calls and/or emails
Santa Rosa Band of Mission Indians Mayme Estrada, Chairwoman <i>Cahuilla</i>	07-29-11	No response received.	08-23-11: A follow-up email was sent to Ms. Estrada, and also to Steven Estrada in Cultural Resources. 08-30-11: A second follow-up email was sent to Ms. Estrada and Steven Estrada. 09-12-11: An email response was received from Gabriella Rubalcava, Tribal Council. Ms. Rubalcava stated that the Band has no specific concerns at this time and will defer further consultation and monitoring efforts to the Soboba Band of Luiseño Indians.
Pechanga Band of Mission Indians Paul Macarro, Cultural Resource Center <i>Luiseño</i>	07-29-11	08-05-11: The letter was returned unopened as "Refused."	08-23-11: A follow-up email was sent to Mr. Macarro. 08-30-11: A second follow-up was sent to Mr. Macarro.
Morongo Band of Mission Indians Michael Contreras, Cultural Heritage Program <i>Cahuilla, Serrano</i>	07-29-11	No response received.	08-23-11: A follow-up email was sent to Mr. Contreras. 08-30-11: A second follow-up email was sent to Mr. Contreras.
Ramona Band of Cahuilla Mission Indians Joseph Hamilton, Chairman <i>Cahuilla</i>	07-29-11	No response received.	08-23-11: A follow-up email was sent to Mr. Hamilton and also to John Gomez in Cultural Resources. 8-30-11: A second follow-up email was sent to Mr. Hamilton and Mr. Gomez.

Groups Contacted	Date LSA Sent Letter to Tribes	Date a Response to the Letter was Received by LSA (if Applicable)	Date and Results of LSA Follow-up Telephone Calls and/or emails
Pauma Valley Band of Luiseño Indians Bennae Calac, Tribal Council Member <i>Luiseño</i>	07-29-11	No response received.	08-23-11: A follow-up email was sent to Ms. Calac. 08-30-11: A second follow-up email was sent to Ms. Calac.
Pechanga Band of Mission Indians Mark Macarro, Chairperson <i>Luiseño</i>	07-29-11	No response received.	Please see Anna Hoover, below. She is the spokesperson for cultural resources.
Pechanga Cultural Resources Department Anna Hoover, Cultural Analyst <i>Luiseño</i>	07-29-11	No response received.	08-23-11: A follow-up email was sent to Ms. Hoover. 08-30-11: A second follow-up email was sent to Ms. Hoover.
Willie J. Pink <i>Luiseño</i>	08-23-11 (via email)	No response received.	08-30-11: A follow-up email was sent to Mr. Pink. 08-31-11: A second follow-up email was sent to Mr. Pink.

Groups Contacted	Date LSA Sent Letter to Tribes	Date a Response to the Letter was Received by LSA (if Applicable)	Date and Results of LSA Follow-up Telephone Calls and/or emails
Soboba Band of Luiseño Indians Joseph Ontiveros, Cultural Resource Department <i>Luiseño</i>	07-29-11	08-30-11: A letter dated August 2, 2011, was received from Joseph Ontiveros by email. Mr. Ontiveros stated that the project falls within the boundaries of the Tribe's Traditional Use Area and the location is regarded as highly sensitive to the people of Soboba. The Tribe requested consultation with the project developer and notification of the project status; that the Soboba continue to act as a consulting tribal entity for the project; monitoring by a Native American Monitor from the Soboba Band of Luiseño Indians Cultural Resources Department; and that the proper procedures be taken and the requests of the Tribe, as delineated in the letter attachment, be honored.	08-23-11: A follow-up email was sent to Mr. Ontiveros. 08-23-11: A second follow-up email was sent to Mr. Ontiveros. Laura Shaker responded with a letter attachment, a hard copy of which was also mailed.
La Jolla Band of Mission Indians Rob Roy, Environmental Director <i>Luiseño</i>	07-29-11	No response received.	Mr. Roy has stated that if the Tribe does not respond it means they have no concerns.
Cahuilla Band of Indians Luther Salgado, Sr., Chairperson <i>Cahuilla</i>	07-29-11	No response received.	08-23-11: An email was sent to Mr. Salgado and also to Yvonne Markel, Environmental Officer. 08-26-11: Ms Markel responded by email to say that the Tribe currently had no knowledge of cultural resources within the project area. However, the project is within its Traditional Use Area and, as a courtesy, it would like to be kept informed as the project progresses. The Tribe also requested documentation regarding cultural resources and recommended that Approved Cultural Monitors be present on site during project activities. The Tribe can identify appropriately trained individuals.

APPENDIX B

DPR SITE RECORDS

END