

Menifee North Specific Plan

Amendment 3
Planning Areas
11 • 12 • 13 • 14



January 16, 2020

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MENIFEE NORTH SPECIFIC PLAN No. 260

AMENDMENT No. 3

Planning Areas 11, 12, 13 & 14

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AMENDMENT No. 3 TO MENIFEE NORTH SPECIFIC PLAN No. 260

SUMMARY OF CHANGES

Proposed Amendment No. 3 is required to accommodate modifications to the Land Use Plan for approved MENIFEE NORTH Specific Plan No. 260, Amendments Nos. 1 and 2. Refer to the Existing Specific Plan Land Use Plan and Proposed Specific Plan Amendment No. 3 Land Use Plan for a graphic representation of the changes of use proposed for Planning Areas 11, 12, and 13 and the change in size of Planning Area 14.

Since the original Specific Plan was approved by the County of Riverside, the City of Menifee was incorporated on October 1, 2008. This Amendment No. 3 proposes to amend four Planning areas, 11, 12, 13 and 14, that are within the City of Menifee. Additionally, this amendment is also separating those portions of the Specific Plan inside the City and in unincorporated areas. Refer to Table II for totals within and outside the City of Menifee. These amendments do not affect any portion of the Specific Plan that is still within the County of Riverside jurisdiction. Refer to the maps, Figures III –A and III–B.

The Ethanac Corridor Planning Group (ECPG) was formed by multiple stakeholders within the Harvest Valley/Winchester Area Plan of Riverside County to create a guiding vision for the western gateway and urban node connecting Interstate 215 with the inland City of Hemet.

Based on the evaluation and analysis of the existing conditions within the study area, the ECPG has identified numerous issues that will affect the overall development of the corridor. The ECPG Summary of Issues states the following:

Land Uses:

1. Location and designation of land uses
2. Placement of commercial land uses
3. Excess of industrial and commercial/business park land uses
4. Shortage of high-density residential land uses

The *Ethanac Corridor Planning Group Summary Document* provides recommendations that are intended to give guidance for future Land Use policies within this Specific Plan Area. The ECPG Conclusions and Recommendations states the following:

Land Uses:

A1. Create a diverse community with integrated land uses that will result in a balanced, full service, land use plan for a community where people can live, work, shop, secure services, and recreate.

A2. Locate community or neighborhood commercial centers within the Core Area and regional centers adjacent to Interstate 215, thereby providing opportunities for retail, entertainment, and service uses within proximity to residential and office developments, and high volume travel routes.

II. SUMMARY

A3. Create an overlay for industrial land uses in the future to accommodate growth within the corridor, land use compatibility, and expansion of regional transit facilities.

A4. Create a range of housing opportunities and choices by diversifying the residential housing types within the corridor, including traditional single-family homes, courtyard homes, multi-family attached units, and apartments.

This amendment will create multi family housing opportunities, and eliminate the business park designation in favor of retail and commercial uses. Amendment No.3 requests to make the following changes:

- 1) Redesignate Planning Area 11 from Business Park land uses to Very High Density Residential. PA 11 will also incorporate a portion of the existing Southern California Edison easement that is currently not in a Planning Area. Planning Area 11 increases in size from 23.6 Acres to 29.35 Gross Acres, 24.43 Net Acres (excluding easement).
- 2) Redesignate Planning Area 12 from Business Park To Commercial / Very High Density Residential land uses. Planning Area 12 will be increased in area from 4.7 Acres to 9.2 Acres Gross, 7.66 Net Acres (excluding easement), by reducing the size of Planning Areas 13 and 14, and incorporating a portion of the existing Southern California Edison easement that is currently not in a Planning Area.
- 3) Redesignate Planning Area 13 from Commercial Business Park to Commercial. PA 13 will also incorporate a portion of the existing Southern California Edison easement that is currently not in a Planning Area. Planning Area 13 will increase in size from 14.6 Acres to 15.42 Acres Gross, and 12.76 Net Acres (excluding easement).
- 4) Reduce the size of Planning Area 14 from 11.7 Acres to 9.27 Acres by redistributing areas into Planning Areas 12B and 13B.

As a result, adjustments to planning area boundaries and densities within the Specific Plan area are required. Detailed descriptions of each change that is proposed by MENIFEE NORTH Specific Plan No. 260, Amendment No. 3 are provided on Table I, Table II and Pages III-64 through III-68 of this document. No Planning Areas will remain as Business Park, but there is one Planning Area designated Commercial.

The existing SCE easement is being included within Planning Areas 11, 12 and 13 in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in required landscape and open space areas, retention and detention basins, and for passive recreation uses.

Upon approval of Amendment No.3, total dwelling unit count for MENIFEE NORTH Specific Plan No. 260 shall be from 3,035 to 1,506, based on maximum potential dwelling units in Planning Area 12. (refer to Table II, Land Use Summary).

The above-mentioned changes would require that revisions be made to previously-approved MENIFEE NORTH Specific Plan No. 260, Amendment No. 1 and No. 2. The graphic and text pages that would be revised have been included in this abbreviated document.

II. SUMMARY

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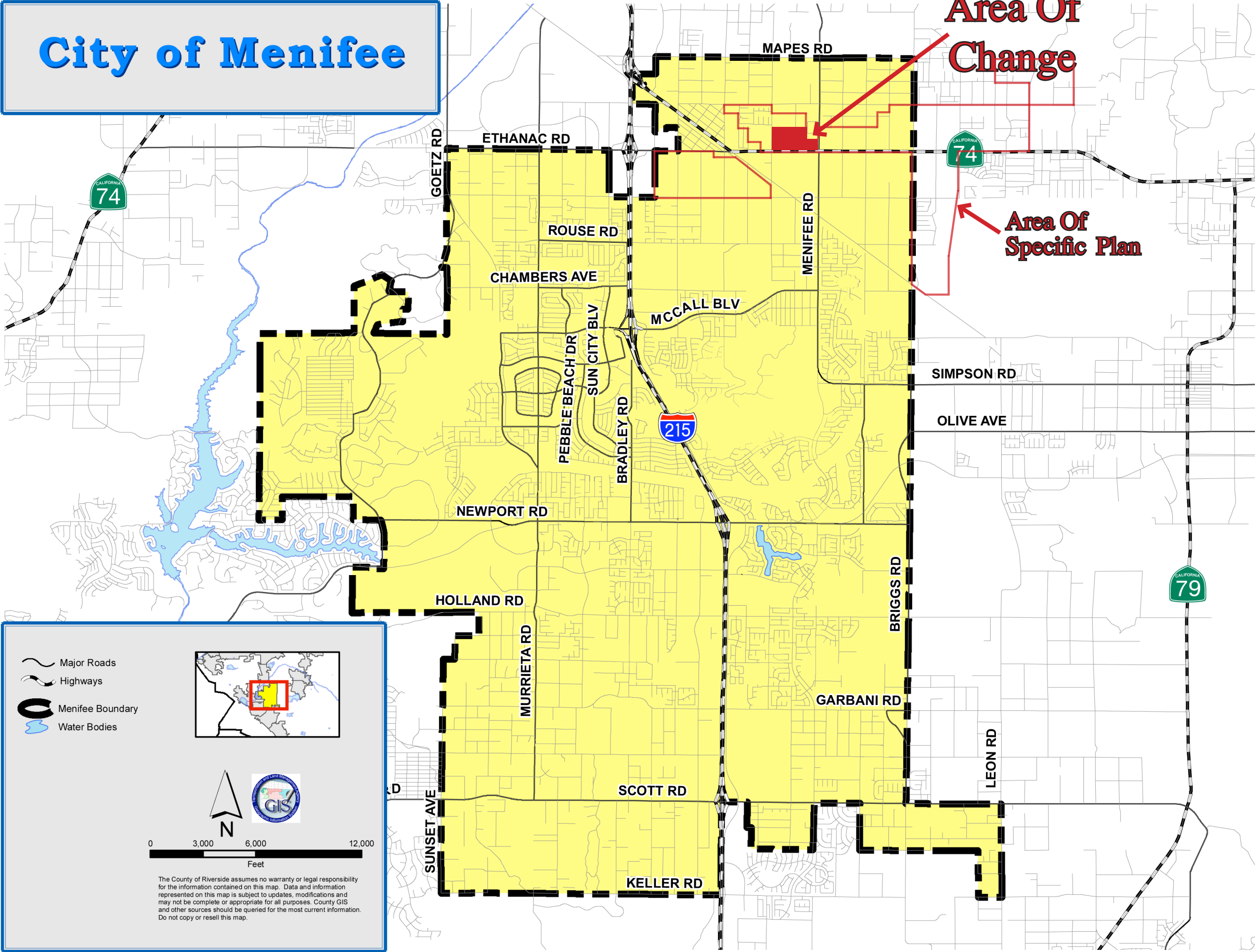


FIGURE III-B
**City of
Menifee
Boundary
Map**

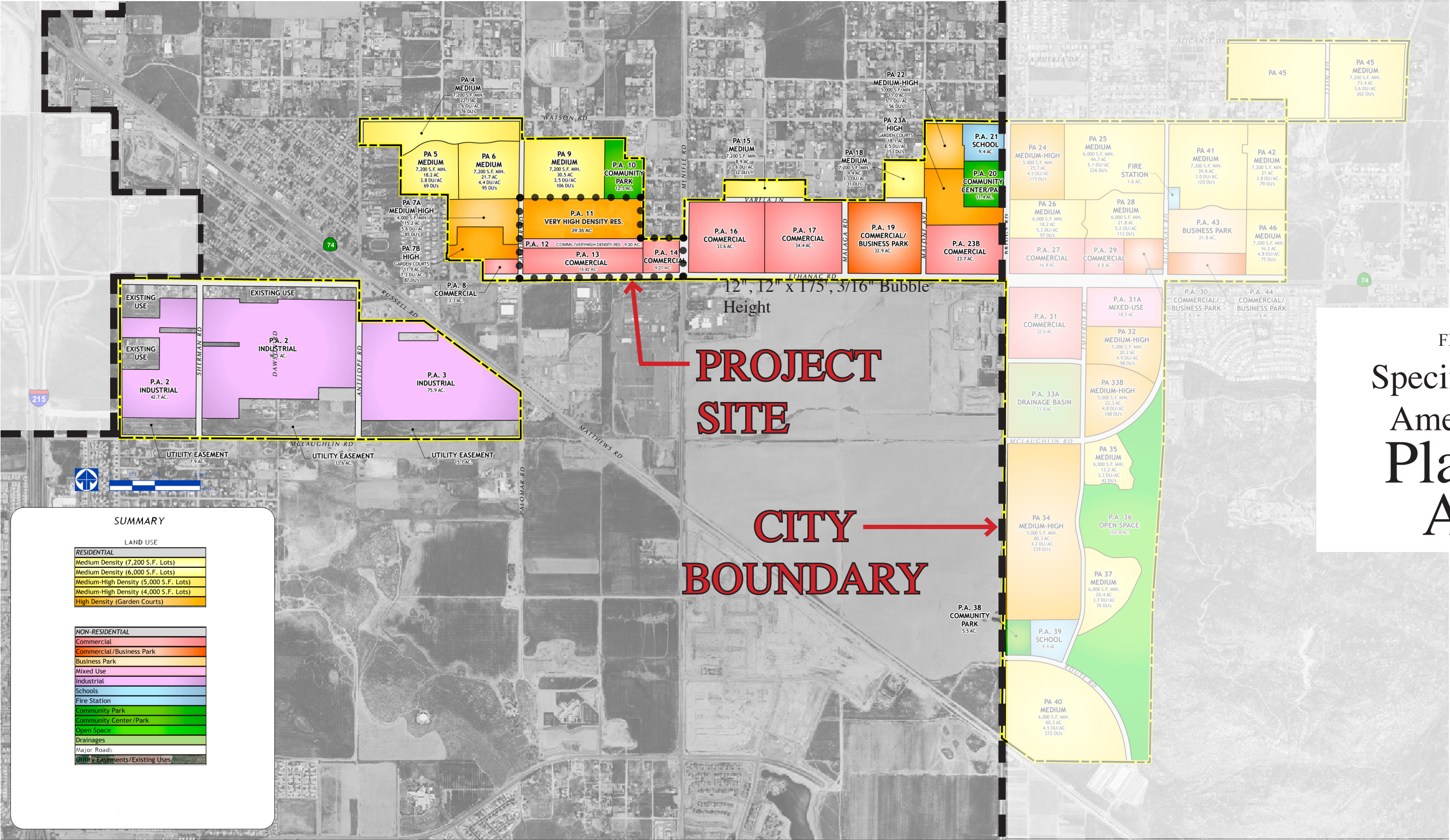
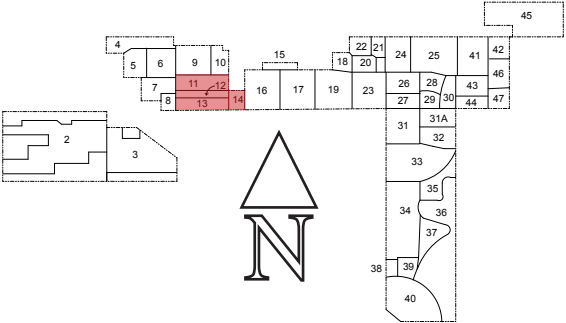


FIGURE III - A
Specific Plan 260
Amendment 3
Planning
Areas



FIGURE III-1
Existing Land Use Plan

- Planning Area 11
- Planning Area 12
- Planning Area 13
- Planning Area 14



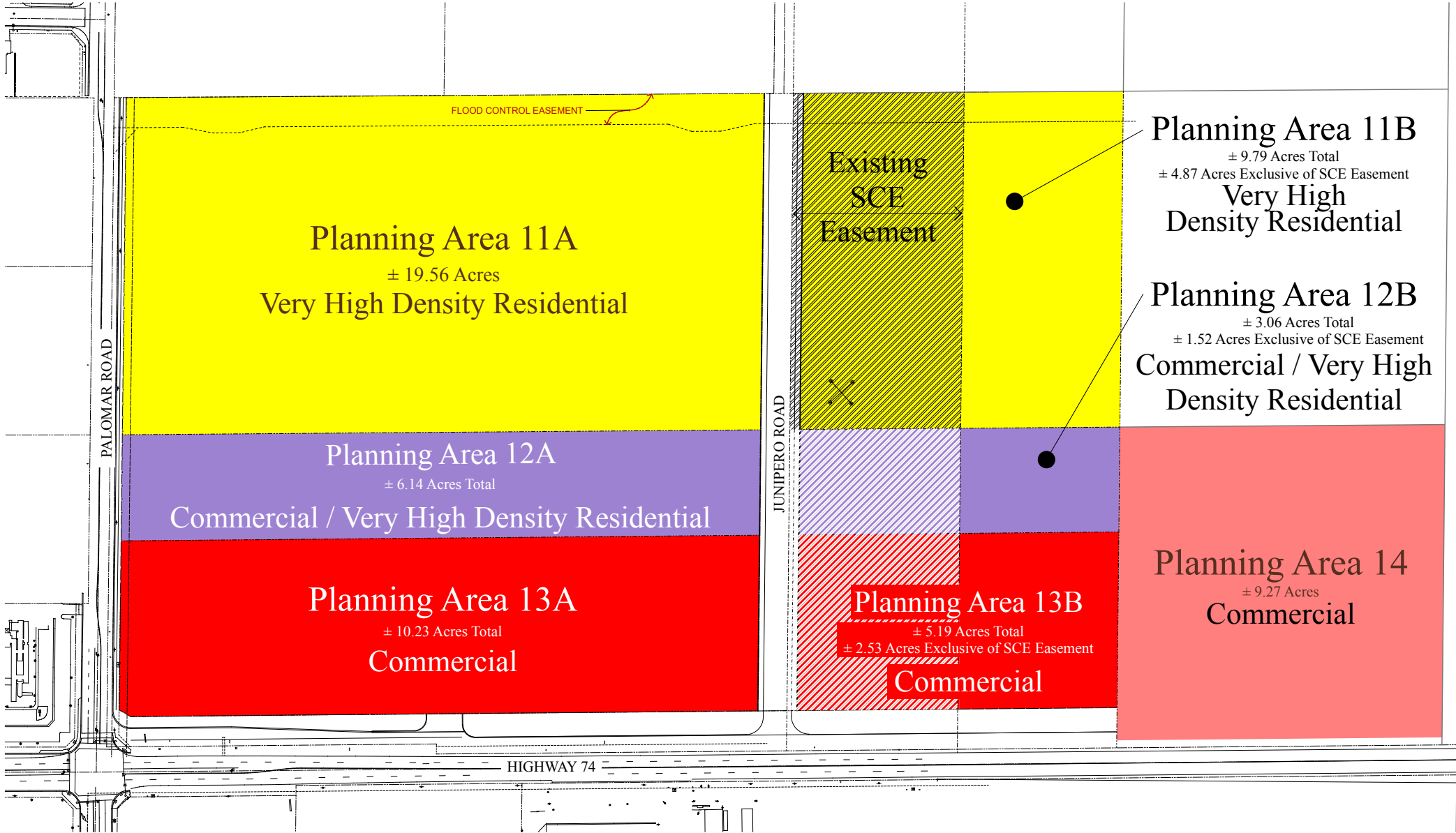
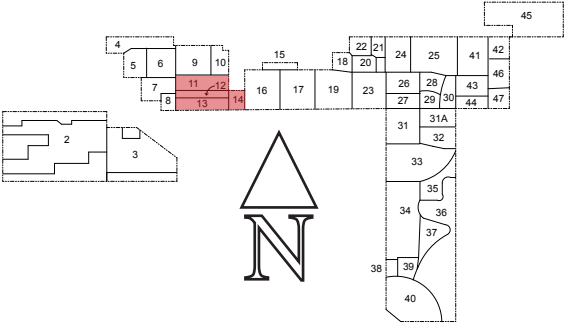


FIGURE III-1A

Proposed Land Use Plan

- Planning Area 11
- Planning Area 12
- Planning Area 13
- Planning Area 14

Area	Acreage +/-	Easement Acreage +/-	Balance of Usable Acreage
PA 11A	19.56	0	19.56
PA 11B	9.79	4.92	4.87
PA 12A	6.14	0	6.14
PA 12B	3.06	1.54	1.52
PA13A	10.23	0	10.23
PA13B	5.19	2.66	2.53
PA 14	9.27	N/A	9.27



Bold Entries are Added or Modified with Amendment 3
Strikethru Entries are for Planning Areas outside the City of Menifee

DESIGNATION	PLANNING AREA	ACREAGE WITHIN CITY OF MENIFEE	ACREAGE OUTSIDE CITY OF MENIFEE	TARGET DENSITY WITHIN CITY OF MENIFEE	DWELLING UNITS WITHIN CITY OF MENIFEE
RESIDENTIAL					
Medium – 7,200 SF min.	4	21.8		3.5	76
	5 ⁽¹⁾	18.3		3.7	68
	6 ⁽¹⁾	24.6		3.7	91
	9 ⁽¹⁾	30.4		3.5	106
	15	10.6		3.0	32
	18	10.3		3.0	31
	41		34.3	3.5	
	45		74.8	3.5	
	46		20.9	3.7	
SUBTOTAL – MEDIUM - 7,200 SF MIN.		116.0	130.0	3.5	404
Medium – 6,000 SF min.	25		45.1	4.5	
	32 ⁽¹⁾		21.8	4.5	
	35		19	4.5	
	37		20.6	4.5	
	40		60.4	4.5	
SUBTOTAL – MEDIUM - 6,000 SF MIN.			166.9	4.5	
Medium High – 5,000 SF min.	22	11.3		5.0	56
	24		22	5.0	
	33 ⁽¹⁾⁽²⁾		57.7	4.5	
	34 ⁽¹⁾⁽²⁾		75.2	4.5	
SUBTOTAL – MEDIUM HIGH - 5,000 SF MIN.		11.3	154.9	5.0	56
MEDIUM HIGH – 4,000 SF min.	7A	15.2		5.6	85
HIGH DENSITY – Garden Courts	7B	11.9		7.3	87
	23A	18.1		8.5	153
SUBTOTAL – HIGH DENSITY - Garden Courts		30.0		8.0	240
VERY HIGH DENSITY – 14.1 – 24 DU/AC	11	24.43		24	586
	12 ⁽³⁾	5.63		24	135
SUBTOTAL – VERY HIGH DENSITY - 14.1 – 24 DU / AC		30.06		24	721
SUBTOTAL RESIDENTIAL		202.6	451.8	7.4	1506

⁽¹⁾ The maximum density may be increased to 6.0 du / ac with a 5,000 square foot lot minimum in either of the following two circumstances:

- a. The project is designed for and restricted to senior citizen housing, or
- b. The project is a mobile home park or mobile home subdivision

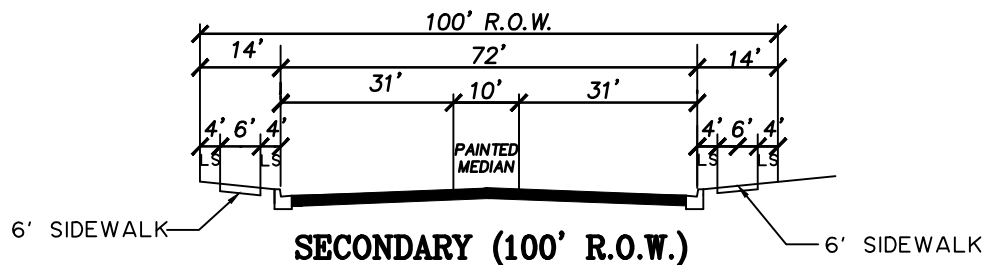
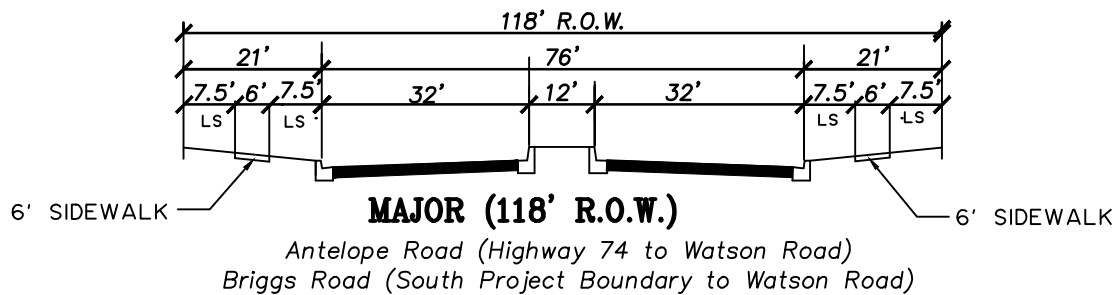
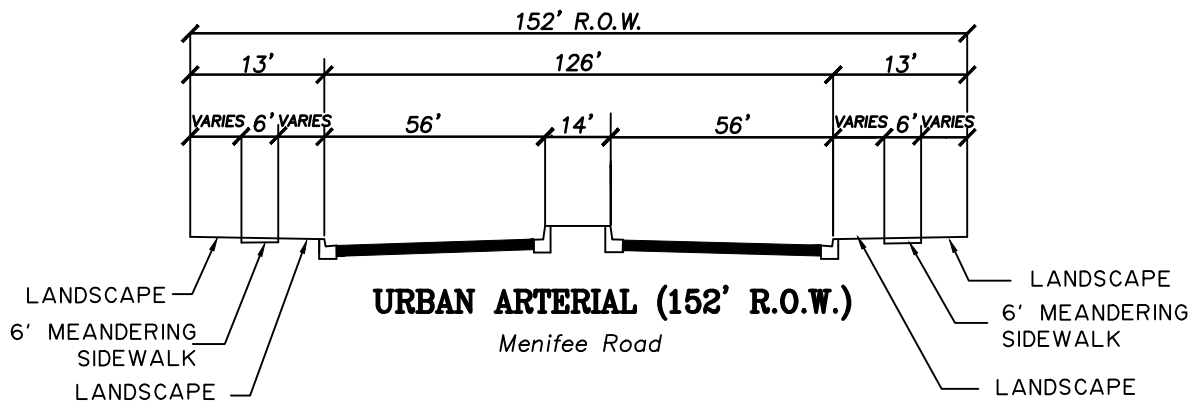
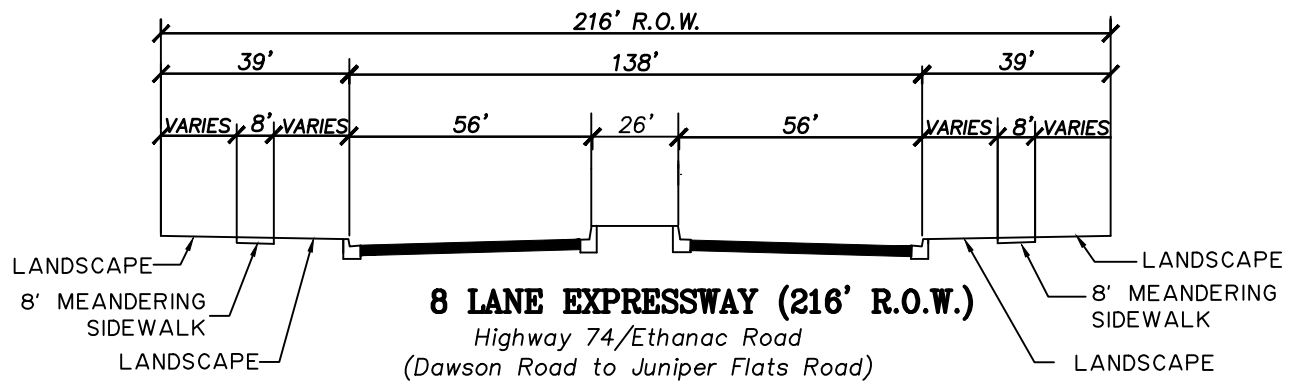
This standard applies to Planning Areas 5, 6, 9, 32, 33 and 34. If this option is elected, the maximum number of dwelling units shown in Table II may be exceeded up to a new maximum which is listed in the Planning Area description for the relevant Planning Area. The overall maximum number of dwelling units for the entire Specific Plan may not exceed 2,815.

⁽²⁾ The density shown for this planning area is 4.5 du / ac even though the minimum lot size is 5,000 square feet. The overall number of units for this planning area is restricted to require that several neighborhoods of differing lot sizes be developed.

⁽³⁾ PA 12A can be either maximum 67% residential or 100% commercial. PA 12B can be either maximum 100% residential or 100% commercial. Density shown here is the maximum allowed (67% of 12A + 100% 12B) not including the area of the SCE Easement.

NON-RESIDENTIAL					
Business Park	11	23.6		–	–
	12	4.7		–	–
	26		21.0	–	–
	28		12.6	–	–
	43		17.6	–	–
SUBTOTAL – BUSINESS PARK		0.0	51.2	–	–
Commercial	8	3.3		–	–
	12⁽⁵⁾	7.66			
	13⁽⁵⁾	12.76			
	14	9.27		–	–
	16	33.6		–	–
	17	34.4		–	–
	23B	23.7		–	–
	27		16.8	–	–
	29		8.8	–	–
	31		32.6	–	–
SUBTOTAL – COMMERCIAL		124.69	58.2	–	–
Mixed Use/Neighborhood Commercial	31A		18.5	–	–
Commercial/Business Park ⁽³⁾	13	14.6		–	–
	19	32.9		–	–
	30		8.2	–	–
	44		10.6	–	–
	47		10.9	–	–
SUBTOTAL – COMMERCIAL/BUSINESS PARK		32.9	48.2	–	–
Industrial	2	96.1		–	–
	3	75.9		–	–
SUBTOTAL – INDUSTRIAL		172		–	–
Schools	21	9.4		–	–
	39		9.9	–	–
	42		10.0	–	–
SUBTOTAL – SCHOOLS		9.4	19.9	–	–
Community Parks/Center	10	12.5		–	–
	20	11.4		–	–
	38 ⁽⁴⁾		5.5 ⁽⁴⁾	–	–
SUBTOTAL – COMMUNITY PARKS/CENTER		23.9	5.5	–	–
Open Space	36		112.0	–	–
Fire Station	–		1.7	–	–
SUBTOTAL NONRESIDENTIAL		362.9	183.0		
PROJECT TOTALS		502.5	748.5		
Drainage Channels	–		15.9	–	–
Utility Easements/Existing Uses	–		111.4	–	–
Major Roadways	–		164.1	–	–

(5) Not including the area of the SCE Easement

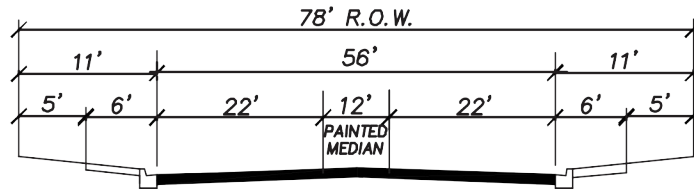


NOT TO SCALE

MENIFEE NORTH

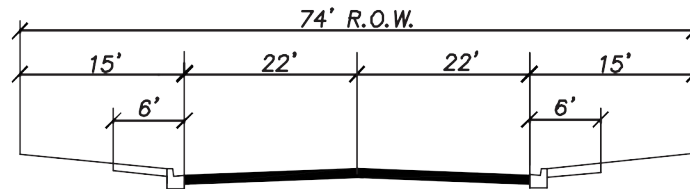
TYPICAL ROADWAY CROSS SECTION
 AMENDMENT NO. 3

Figure III-3



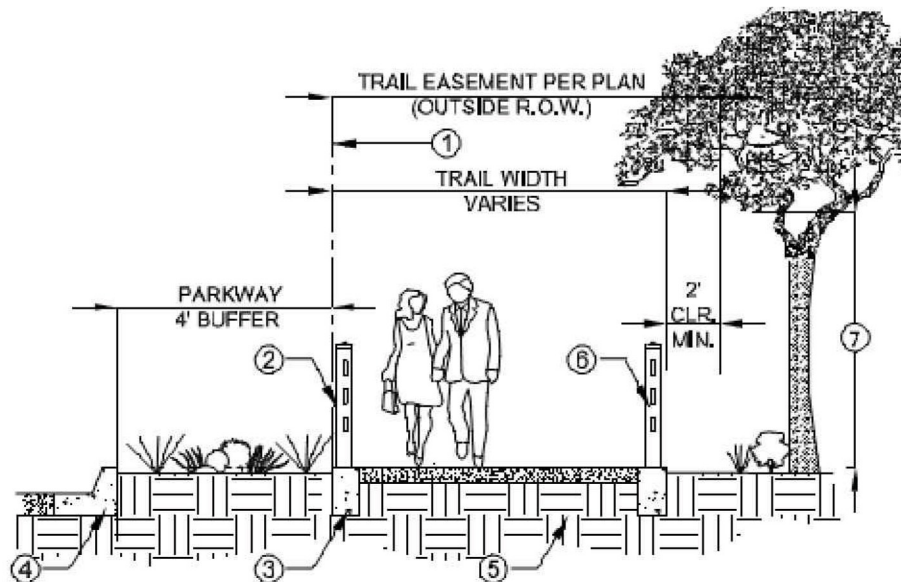
INDUSTRIAL COLLECTOR (78' R.O.W.)

Varela Lane, Pierson Road and McKinley Road
 Sultanas Road (Highway 74 to North Boundary of Planning Area 44)
 Street "B" (Emperor Road to Briggs Road)
 Emperor Road (South Boundary of Planning Area 25 to South Boundary of Planning Area 31)
 Malone Ave. (Highway 74 to Varela Lane)
 Palomar Road (North Highway 74 to Watson Road)



COLLECTOR (74' R.O.W.)

Leon Road and Alicante Road
 McLaughlin Road (Antelope Road to Palomar Road)
 Emperor Road (South of Planning Area 33 to Rouse Road)
 Sultanas Road (North Boundary of Planning Area 44 to Watson Road)
 Junipero Road (North of Highway 74)



TRAIL OPTION

1. RIGHT-OF-WAY
2. P.V.C. RAIL FENCE ALONG STREET SIDE OF TRAIL
3. TRAIL WITH CONCRETE MOW CURB
4. STREET CURB / GUTTER
5. COMPACTED SUBGRADE
6. INSIDE FENCING, IF REQUIRED BY CITY
7. MINIMUM OVERHEAD CLEARANCE PER TRAIL STANDARD

NOT TO SCALE

MENIFEE NORTH

- 4) On-site roads will be constructed as:
 - Expressway (216' ROW)
 - Urban Arterial (152' ROW)
 - Major (118' ROW)
 - Secondary (100' ROW)
 - Industrial Collector (78' ROW)
 - Collector (74' ROW)
 - Local streets (56' ROW)
 - **Palomar Rd. (78' ROW North of Hwy 74) with 88' ROW provided at intersection of Hwy 74 and Palomar road to accommodate turning movements.**
- 4a) The minimum interior local street width may be reduced from the 60-foot standard to no less than 56 feet for the purpose of providing more landscaped area as approved by the Public Works Director/City Engineer.
- 4b) A reduction in the width of a local street may be appropriate to reduce traffic speeds on internal residential streets as determined by a City approved Traffic Impact Analysis. Such reduction in pavement width must be utilized to accomplish other design objectives, e.g., enhancing the buffer treatment of reverse frontage lots, providing for sheltered parking opportunities, or incorporating bus stop turnouts.
- 5) Landscape requirements shall be in accordance with the City Adopted Landscape Design Guidelines as depicted in Section IV, Design Guidelines.
- 6) Major roadway improvements may be be financed through an assessment district or similar financing mechanism.
- 7) The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the City.
- 8) All projects, including subdivisions and plot plans within this Specific Plan, shall be subject to the Mitigation Monitoring Program as described in the Mitigation Monitoring Program (Section II.C) of this Specific Plan.
- 9) Any application for any subdivision within the Specific Plan boundary (including Schedule I Parcel Map) shall cause the design and construction of the Specific Plan master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section.
- 10) All roadways intersecting four lane facilities or greater shall be a minimum of 66 feet of right-of-way and constructed in accordance with City Standards, adopted City General Plan and City Adopted Ordinance 461.
- 11) All typical sections shall be per City Adopted County Ordinance 461, or as approved by the Public Works – Engineering Department.

Table IIA
CIRCULATION ELEMENT ROADWAYS

ROADWAY NAME	Current Amendment No. 2 Circulation Element Classification	Proposed Amendment No. 3 Circulation Element Classification
Highway 74/Ethanac Road	Expressway 220' ROW	Expressway 220' ROW
Watson Road (Antelope to Menifee, and Malone to Juniper Flat)	Secondary 100' ROW	Secondary 100' ROW
McLaughlin Road (Trumble to east Edge of Planning Area 3)	Secondary 100' ROW	Secondary 100' ROW
Sultanas (McLaughlin) (Briggs to Highway 74)	Secondary 100' ROW	Secondary 100' ROW
Sherman Road (McLaughlin to Ethanac)	Major 118' ROW	Major 118' ROW
Antelope Road (McLaughlin to Highway 74)	Secondary 100' ROW	Secondary 100' ROW
Antelope Road (Highway 74 to Watson)	Major 118' ROW	Major 118' ROW
Matthews Road (Highway 74 to Briggs)	Deleted	Deleted
Palomar Road (McLaughlin to Mathews)	Secondary 110' ROW	Secondary 110' ROW
Palomar Road (Mathews to Highway 74)	Secondary 110' ROW	Secondary 110' ROW
Palomar Road (Highway 74 to Cider Street)	Industrial Collector 78' ROW	Industrial Collector 78' ROW
Menifee Road (Highway 74 to Watson)	Arterial 152' ROW	Arterial 152' ROW
Malaga Road (Highway 74 to N. project boundary Street "A")	Secondary 100' ROW	Secondary 100' ROW
Briggs Road	Major 118' ROW	Major 118' ROW
Juniper Flats Road (Highway 74 to Alicante)	Secondary 100' ROW	Secondary 100' ROW

III. SPECIFIC PLAN

- 2) It is anticipated that major backbone drainage facilities will be maintained by the County Flood Control District. Local drainage devices within street rights-of-way will be maintained by the City of Menifee.
- 3) An erosion, sedimentation and flood control plan should be prepared for all development areas draining into the San Jacinto River and Salt Creek. This plan should include no improvements, and should protect these water courses from erosion and siltation during and after construction. Drainage of urban areas should be controlled prior to reaching either the San Jacinto or Salt Creek courseways through the use of velocity reduction devices at the points where run-off enters the waterways.
- 4) All projects proposing construction activities including: cleaning, grading or excavation that results in the disturbance of at least one acres of total land area, or activity which is part of a larger common plan of development of one acre or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. ~~There is a statewide General Permit applicable to most areas of the state; however, because MENIFEE NORTH is located in the San Jacinto Watershed. The project is subject to a special NPDES permit (No. CAG 618005) per Order No. 01-34 as adopted by the California Regional Water Quality Control Board, Santa Ana Region. On January 19, 2001. The developer or builder shall comply with the requirements of the NPDES construction permit by developing and implementing a Storm Water Pollution Prevention Plan (SWPPP), approved by the Executive Officer of the Regional Water Quality Control Board, that specifies Best Management Practices (BMPs) to minimize pollutants in storm water runoff. During construction, the project would follow the specifications per the site's SWPPP. On January 29, 2010 the Santa Ana Regional Water Quality Control Board (SARWQCB) issued a fourth-term area wide National Pollutant Discharge Elimination System (NPDES) and Municipal Separate Storm Sewer System Permit (MS4 Permit) to the City of Menifee and all Permittees. The Santa Ana MS4 Permit is for the portion of the Santa Ana River watershed located within Riverside County (Order No. R8-2010-0033, NPDES Permit No. CAS618033). The City of Menifee storm water programs are designed to ensure compliance with this permit. All design submittals and construction within Menifee North Specific Plan are required to conform to the permit requirements. All projects are to install Best Management Practices (BMPs) in compliance with the 2010 SARWQCB permit.~~
- 5) The proposed Amendment No. 3 Planning Areas, along with all of the cumulative development projects, will be required to obtain an NPDES permit and to comply with any provisions of that permit, thus reducing their potential for water quality impacts. For post-construction, implementing Project developers would be required to complete a project-specific WQMP containing measures that effectively treat all pollutants of concern and hydrologic conditions of concern, consistent with the approved WQMP developed in compliance with the City's MS4 permit. Project specific site design, source control and treatment control BMPs are included in the project-specific WQMP to protect downstream areas from pollutants after construction. Therefore, Project-related impacts to water quality and hydrology will not be cumulatively considerable.

6) DRAINAGE

The proposed Menifee North Planning Areas 11, 12, 13 and 14 Amendment No. 3 site lies east of Interstate 215, north and of State Highway 74 between Palomar & Menifee Road. Planning Areas 11, 12, & 13 are not located in located within A Floodplain as mapped by the Federal Emergency Management Agency (FEMA Map No. 06065C2060H August 18, 2014). Planning Area 14 only has a portion of the southeast corner of the property located within Zone “A” Floodplain Area (Zone A – “No base elevation determined”). The Amendment No. 3 site lies within the limits of the Romoland/Homeland Area Drainage Plan (ADP) prepared by Riverside County Flood Control District (R.C.F.C.D.) Amendment No. 2 adopted March 2006. Line A-3 of the Homeland ADP is designed to protect the project from off-site flooding during a 100 year storm event.

11. PLANNING AREA 11: VERY HIGH DENSITY RESIDENTIAL

A. Descriptive Summary

Planning Area 11, as depicted in Figure III-14.11, is divided into two parts PA 11A west of Junipero Road, and PA 11B east of Junipero Road. Together Planning Areas 11A and 11B provides for development of approximately 24.43 net acres (586 Units) devoted to Multi Family Housing uses. Development of Planning Area 11A may encroach into Planning Area 12A and development of Planning Area 11B may encroach into Planning Area 12B. At that time, the parcels within Planning Area 12 that are included in the Planning Area 11 development will be subject to all standards of Planning Area 11. Refer to Planning Area 12 on Page III-65 for restrictions on PA 11 encroachments onto PA 12.

B. Development Standards

1. Permitted Uses

Refer to Table V-1 for the list of Permitted Land Uses. Other uses not listed` may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Zoning Code.

2. General Development Standards

Refer to Table V-2 for the list of Development Standards.

Residential density includes only the number of residential units and does not consider the square footage of each unit or any non-residential square footage such as freestanding garage facilities, recreation facilities, management office facilities and maintenance facilities. Residential density is calculated by dividing the sum of the number of units proposed on an individual parcel by the total area of the parcel in gross acres.

3. Landscape Standards

Refer to Table V-2 for the required Landscape Coverage Standards. Landscape shall conform to the City Adopted Landscape Guidelines.

C. Planning Standards

1. Primary access to Planning Area 11 shall be provided from Palomar Road and Junipero Road.

2. A roadway landscape treatment, as illustrated in Figure IV-18, shall be established along Junipero Road and Palomar Road.

3. Please refer to Residential Design Guidelines (Section IV.F), for design-related criteria.

4. Common Open Space Standards

a. Common Area Open Space shall be provided at a rate per square foot of usable open space per

bedroom or studio unit as required in Table V-2.

b. The Open Space shall:

- i. be located on the same lot as the dwelling unit for which it is required.
- ii. be level and improved, that is, have suitable landscaping and hardscaping.
- iii. include no obstructions other than structures and amenities such as swimming pools, fountains, benches, sport courts, playground apparatus, and landscaping.
- iv. be open on at least one side and have a clear vertical height of at least seven (7) feet, with at least 50% of the total required usable open space open to the sky.

c. Amenities and structures shall only cover up to a maximum of 50% of the total required usable open space area. Other structures that do not relate to enhancing the enjoyment of outdoor open space (carports and storage sheds, for example) are not qualified as usable open space.

d. The Common Area shall be directly accessible to all units within a multiple-family residential project. An individual space shall be at least 300 square feet in size, with no dimension less than 15 feet. Common Area may include amenities such as swimming pools, cabanas, tennis courts, sport courts, play fields, roof top gardens, etc.

5. Private Open Space shall be provided per the standards within Table V-2. It may include balconies, decks, porches, patios, or yards.

6. A Southern California Edison easement is located within the property boundary for Planning Area 11B. The existing SCE easement is being included within Planning Areas 11B, 12B and 13B in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in required landscape and open space areas, retention and detention basins, circulation, parking and for passive recreation uses subject to the approval of SCE. The SCE Easement shall not be allowed to be included in density or intensity calculations.

7. Please refer to Section III for the Development Plans and Standards that apply within PA 11.

- III.A.1: Specific Land Use Plan
- III.A.2: Circulation Plan
- III.A.3: Drainage Plan
- III.A.4: Water and Sewer Plans
- III.A.5: Open Space and Recreation Plan
- III.A.6: Grading Plan
- III.A.7: Landscaping Plan
- III.A.8: Public Facilities Phasing Plan
- III.A.9: Phasing Plan

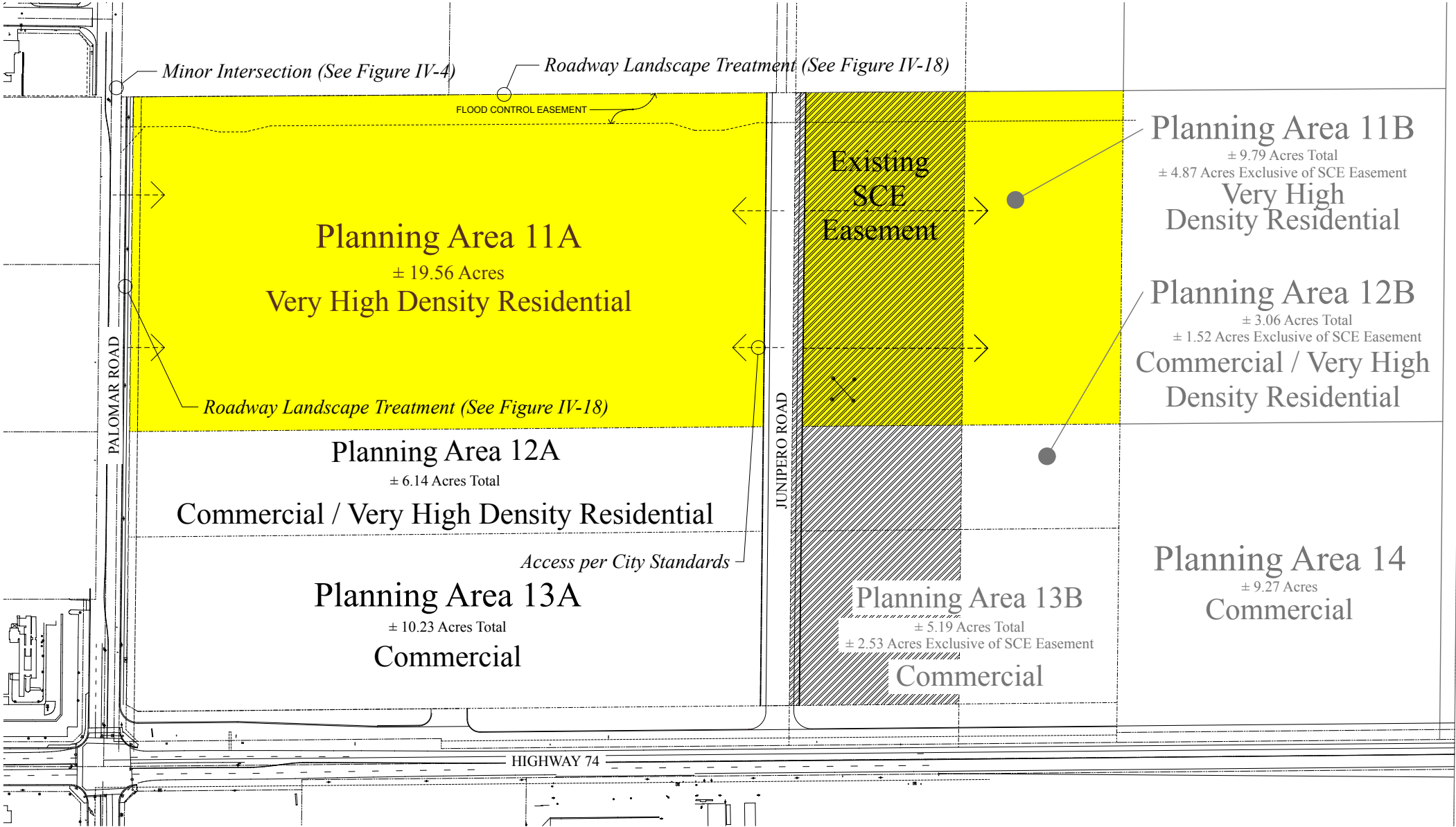


FIGURE III-14.11

Planning Area 11

Area	Acreage +/-	Easement Acreage +/-	Balance of Usable Acreage
PA 11A	19.56	0	19.56
PA 11B	9.79	4.92	4.87
PA 12A	6.14	0	6.14
PA 12B	3.06	1.54	1.52
PA 13A	10.23	0	10.23
PA 13B	5.19	2.66	2.53
PA 14	9.27	N/A	9.27

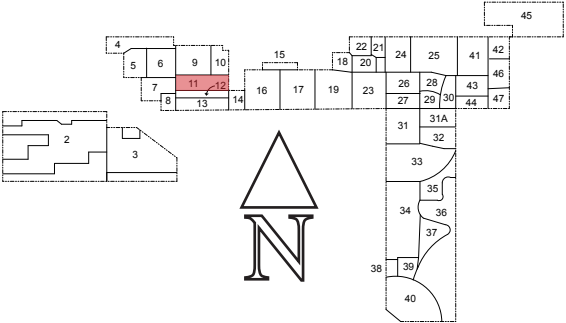


TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (1) (3) • C = Conditional Use Permit • N = Not Permitted				
AUTOMOBILE/ VEHICLE	Automobile repair garages, not including body and fender shops or spray painting	N	N	C
	Automobile sales and rental agencies.	N	C	C
	Boat and other marine sales, rentals and services.	N	C	C
	Car wash, full service, self-service, drive thru	N	N	C
	Gasoline service stations, liquid petroleum, compressed natural gas (CNG) sales with car wash, convenience stores	N	N	C
	Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.	N	N	C
	Liquid petroleum service stations, not including the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons	N	N	C
	Liquid petroleum, CNG service stations, with the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons.	N	N	C
	Mobilehome sales, trailer sales and rentals, recreational vehicle rentals	N	N	C(2)
	Parking lots and parking structures	N	P	P
	Sale, rental, repair, or demonstration of motorcycles, scooters, and motorbikes.	N	C	C
	Tire sales and service, not including recapping	N	N	C(2)
	Travel trailers, mobilehomes and recreational vehicles sales and service.	N	N	C(2)
	Truck sales and service.	N	N	C(2)
	Costume design studios	N	P	P
	Employment agencies	N	P	P
	Interior decorating shops	N	P	P
	Mail order businesses	N	P	P
	Manufacturer's agent	N	P	P
	Offices, including business, law, medical, dental, chiropractic, architectural, engineering, community planning, real estate	N	P	P
	Printers or publishers	N	P	P
	Radio and television broadcasting studios	N	C(2)	C(2)
	Recording studios	N	C	C
	Travel agencies	N	P	P
	Weight Loss clinic	N	P	P
	Auction houses	N	C	C
	Billiard and pool halls	N	C	C

TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (1) (3) • C = Conditional Use Permit • N = Not Permitted				
ENTERTAINMENT/SPORTS	Internet café	N	P	P
	Bowling alleys	N	P	P
	Dance halls	N	C	C
	Health club, gym, exercise facility	N	C	C
	Theaters, not including drive-ins	N	P	P
	Sports and recreational facilities, not including motor driven vehicles and riding academies, but including archery ranges, athletic playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools	N	P(2)	P(2)
FOOD SERVICE	Bars and cocktail lounges	N	P	P
	Restaurant including on-site brewery	N	P	P
	Delicatessens	N	P	P
	Restaurants and other eating establishments including drive thru/drive-in restaurants	N	P	P
INSTITUTIONAL	Adult Day care centers	P	P	P
	Animal hospitals, Animal Day Care facilities	N	C	C
	Child Day Care Center	P	P	P
	Churches, temples and other places of religious worship	N	P	P
	Educational institutions, public libraries, museums and art galleries not operated for compensation or profit.	N	P	P
	Schools, business and professional, including art, barber, beauty, dance drama, music and swimming	N	P	P
	Wedding chapels	N	C	C
RESIDENTIAL	Multiple family dwellings, bungalow courts and apartment houses.	P	P	N
	Home occupations.	P	P	N
	Congregate care residential facilities	C	C	N
	Temporary real estate tract/project sales and leasing offices located within an approved development, to be used only for and during the original sale or leasing of the project, but not to exceed a period of two years in any event.	P	P	N
RETAIL	Antique shops.	N	P	P
	Appliance stores, household.	N	P	P
	Art supply shops and studios.	N	P	P
	Automobile parts and supply stores.	N	P	P
	Bakery shops, including baking only when incidental to retail sales on the premises.	N	P	P
	Banks and financial institutions.	N	P	P
	Barber and beauty shops.	N	P	P

TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (1) (3) • C = Conditional Use Permit • N = Not Permitted				
RETAIL	Bicycle sales, repairs and rentals.	N	P	P
	Book stores and binders.	N	P	P
	Clothing stores.	N	P	P
	Confectionery or candy stores.	N	P	P
	Convenience stores, including the sale of motor vehicle fuel	N	N	C
	Convenience stores, not including the sale of motor vehicle fuel	N	P	P
	Day Spa, NailS, Make-up, Tanning, Waxing, Massage Chain	N	P	P
	Department stores.	N	P	P
	Drug store and pharmacy	N	P	P
	Dry goods stores.	N	P	P
	Electronics Hardware and Software, Electronic Gaming, Audio Visual Sales and Service	N	P	P
	Farmers Market	N	C	C
	Feed and grain sales.	N	N	C
	Florist shops.	N	P	P
	Gift shops.	N	P	P
	Golf Cart sales and service	N	P	P
	Grocery Store, Food markets and frozen food lockers.	N	P	P
	Hardware and Home Improvement stores	N	P(2)	P(2)
	Hobby shops.	N	P	P
	Ice cream shops, frozen yogurt shops..	N	P	P
	Jewelry stores with incidental repairs.	N	P	P
	Leather goods stores.	N	P	P
	Liquor stores pursuant to the provisions of City of Menifee Alcoholic Beverage Sales ordinance.	N	C	C
	Locksmith shops.	N	P	P
	Market, food, wholesale or jobber.	N	P	P
	Meat markets, not including slaughtering.	N	P	P
	Music stores.	N	P	P
	News stores.	N	P	P
	Notions or novelty stores.	N	P	P
	Nurseries and garden supply stores.	N	P(2)	P(2)
	Paint and wall paper stores, not including paint contractors.	N	P	P

**TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13**

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (1) (3) • C = Conditional Use Permit • N = Not Permitted				
RETAIL	Pet shops and pet supply shops.	N	P	P
	Photography shops and studios and photo engraving.	N	P	P
	Plumbing shops, not including plumbing contractors.	N	P	P
	Poultry markets, not including slaughtering or live sales.	N	P	P
	Produce markets.	N	P	P
	Refreshment kiosks.	N	P	P
	Shoe stores and repair shops.	N	P	P
	Shoeshine stands.	N	P	P
	Sporting goods stores.	N	P	P
	Stationery stores.	N	P	P
	Tailor shops.	N	P	P
	Telecommunication, cellular service stores.	N	P	P
	Tobacco shops for take away sale. No water pipes sales.	N	P	P
	Toy shops.	N	P	P
	Watch repair shops.	N	P	P
SERVICE	Business machine, computer sales and rental and incidental repairs.	N	P	P
	Household goods sales and repair, including but not limited to appliances, furniture, carpets, computers, draperies, lamps, electronics, radios, software, and television sets, including repair thereof.	N	P	P
	Nurseries, horticulture	C	C	P
	Bakery goods distributors.	N	P	P
	Blueprint and duplicating services.	N	P	P
	Catering services.	N	P	P
	Ceramic sales and manufacturing for on-site sales, provided the total volume of kiln space does not exceed 16 cubic feet.	N	C	C
	Cleaning and dyeing shops.	N	P	P
	Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit.	N	P	P
	Equipment rental services, including rototillers, power mowers, sanders, power saws, cement and plaster mixers not exceeding ten cubic feet in capacity and other similar equipment	N	N	P(2)
	Ice sales, not including ice plants.	N	P	P
	Laboratories, film, dental, medical, research or testing.	N	P	P
	Laundries and laundromats.	N	P	P

TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (1) (3) • C = Conditional Use Permit • N = Not Permitted				
SERVICE	Wholesale businesses with samples on the premises, but not to include storage.	N	P	P
	Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products. (Only allowed as a continuatuion of an existing use.)	P	N	C
TOURIST COMMERCIAL	Stations, bus, railroad and taxi.	N	P	P
	Hotels, resort hotels and motels.	N	P	P
	Tourist information centers.	N	P	P
ACCESSORY USES	<p>An accessory use to a permitted use is allowed provided the accessory use is incidental to, and does not alter the character of, the principal permitted use, including, but not limited to:</p> <p>1) Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and provided any such activity does not exceed any of the following restrictions:</p> <p>a. The maximum gross floor area of the building permitted to be devoted to such accessory use shall be 25 percent.</p> <p>b. The maximum total horsepower of all electric motors used in connection with such accessory use shall be five horsepower.</p> <p>2) The accessory use shall be so conducted that noise, vibration, dust, odor, and all other objectionable factors shall be reduced to the extent that there will be no annoyance to persons outside the premises. Such accessory use shall be located not nearer than 50 feet to any residential zone.</p> <p>3) Accessory uses shall be conducted wholly within a completely enclosed building.</p>			
NOTES	<p>1.) Requires Plot Plan Approval per City of Menifee Zoning Code</p> <p>2.) Permitted, together with screened outside storage and display of materials appurtenant to such use</p> <p>3.) Screened Outdoor Storage is limited to 200 SF</p>			

TABLE V-2
Building Standards and Setbacks
Planning Area 11

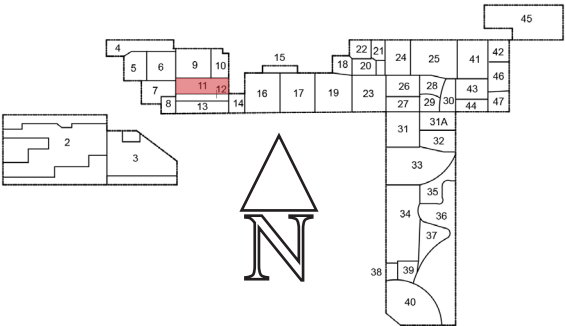
DEVELOPMENT STANDARD	PLANNING AREA 11 REQUIREMENT
Maximum Building Height	3 Stories / 45 Feet
Building Setbacks	
Front Yard – (Palomar Road, Junipero Road)	25 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Table IIA.
Side Yard and Interior Setbacks	Minimum distance between buildings shall be as required in the California Building Code, latest edition, minimum 5 feet
Rear Yard	10 Feet
Building Setbacks from Surface Parking and Driving Aisles	10 Feet
Garage Setbacks from Surface Parking and Driving Aisles	3 Feet
Required Parking	Parking shall be provided as required by City Standards
Maximum Density	24 DU/Acre
Landscape Coverage	12% – Landscape Coverage will include all areas within the subject parcel
Minimum Private Storage	72 Cubic Feet per Bedroom with a maximum of 160 Square Feet
Common Area Open Space	125 Square Feet of Open Space per Bedroom/Studio Unit
Private Open Space / Dwelling (Deck or Patio)	120 square feet with no dimension less than 10 feet if located at ground level, or at least 50 square feet with no dimension less than 6 feet if located above ground level



FIGURE III-14.11A

Planning Area 11

This is a conceptual layout of a High Density multi family project incorporating the elements within the Building Standards and Design Guidelines. The actual project plan will be different than this solution, but this gives a clear example of a solution that does conform to the Specific Plan.



12. PLANNING AREA 12: COMMERCIAL / VERY HIGH DENSITY RESIDENTIAL BUSINESS PARK

A. Descriptive Summary

Planning Area 12, as depicted in Figure III-14.12, is divided into two parts PA 12A west of Junipero Road, and PA 12B east of Junipero Road. Together Planning Areas 12A and 12B provides for development of approximately 7.66 net acres devoted to **Commercial** uses or **Very High Density Residential** uses, designed to be integrated with corresponding land uses within the adjacent PA 11A/PA 11B and PA 13A and PA 13B. The uses and development standards for general retail/commercial uses will be the same as those in neighboring Planning Area 13. The uses and development standards for multi-family uses will be the same as those in neighboring Planning Area 11. The purpose of these Planning Areas 12A and 12B is to provide flexibility between the commercial planning areas to the south, and the residential planning areas to the north.

The ultimate use configuration of this Planning Area will be determined by development applications in the neighboring Planning Areas. The first application submitted for either Planning Area 11A/11B or 13A/13B may encroach into Planning Area 12A/12B respectively. Planning Area 12A can be developed as up to 100% Commercial (with PA 13A) or up to a maximum of 67% High Density Residential (with PA 11A) and 33% commercial (with PA 13A). These percentages are based on square footage only and may be of any configuration as long as the land uses are contiguous with the PA 11A and PA 13A areas. PA 12 B may be adjusted to a maximum 100% of either High Density Residential (with PA 11B) or Commercial (with PA 13B).

Once a development application is approved in either neighboring Planning Area (11A or 11B or 13A or 13B), the Land Use designation will then be determined for the remainder of Planning Area 12A or 12B respectively. If the maximum 67% of Planning Area 12A and all of Area 12B are developed as High Density Residential (24 DU/Ac max) the total number of units would be 135.

B. Development Standards

1. Permitted Uses

Refer to Table V-1 for the list of Allowable Uses. Any use that is not specifically listed within Table V-1 may be considered a permitted or conditionally permitted use provided that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process, which governs the category in which it falls.

2. General Development Standards.

Refer to Table V-3 for the list of Development Standards.

3. Landscape Standards

Refer to Table V-3 for the required Landscape Coverage Standards. Landscape shall conform to the City Adopted Landscape Guidelines.

C. Planning Standards

1. Primary access to Planning Area 12 shall be provided from Junipero Road and shall be coordinated with adjacent development driveway and intersection spacing and possible signalization and as determined by a City Approved Traffic Impact Analysis.
2. Roadway landscape treatments, as illustrated in Figure IV-18, are planned along Palomar Road and Junipero Road, respectively.
3. For any commercial uses, all roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.
4. A Southern California Edison easement is located within the property boundary for Planning Area 12B. The existing SCE easement is being included within Planning Areas 11B, 12B and 13B in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in required landscape and open space areas, retention and detention basins, circulation, and for passive recreation uses subject to approval of SCE. The SCE Easement shall not be allowed to be included in density or intensity calculations.
5. In conjunction with the first implementing project plan submitted for this planning area, a conceptual site plan for the entire planning area (12A or 12B) shall be provided to the City of Menifee Planning Department for informational purposes. This site plan shall show how the submitted project plan integrates with the remainder of the planning area, how the uses within the Planning Area may be configured to ensure proper design and layout of the circulation, parking, and street access.
6. Please refer to Residential Design guidelines (Section IV.F) and Commercial Design Guidelines (Section IV.G) for design-related criteria.
7. Common Open Space Standards for Residential Developments
 - a. Common Area Open Space shall be provided at a rate per square feet of usable open space per bedroom or studio unit as required in Table V-3.
 - b. The Open Space shall:
 - i. be located on the same lot as the dwelling unit for which it is required.
 - ii. be level and improved, that is, have suitable landscaping and hardscaping.
 - iii. include no obstructions other than structures and amenities such as swimming pools, fountains, benches, sport courts, playground apparatus, and landscaping.
 - iv. be open on at least one side and have a clear vertical height of at least seven (7) feet, with at

least 50% of the total required usable open space open to the sky.

c. Amenities and structures shall only cover up to a maximum of 50% of the total required usable open space area. Other structures that do not relate to enhancing the enjoyment of outdoor open space (carports and storage sheds, for example) are not qualified as usable open space.

d. The Common Area shall be directly accessible to all units within a multiple-family residential project. An individual space shall be at least 300 square feet in size, with no dimension less than 15 feet. Common Area may include amenities such as swimming pools, cabanas, tennis courts, sport courts, play fields, roof top gardens, etc.

8. Private Open Space for Residential Developments shall be provided per the standards within Table V-3. It may include balconies, decks, porches, patios, or yards. 9. Please refer to Section III for the Development Plans and Standards that apply site-wide:

- III.A.1: Specific Land Use Plan
- III.A.2: Circulation Plan
- III.A.3: Drainage Plan
- III.A.4: Water and Sewer Plans
- III.A.5: Open Space and Recreation Plan
- III.A.6: Grading Plan
- III.A.7: Landscaping Plan
- III.A.8: Public Facilities Phasing Plan
- III.A.9: Phasing Plan

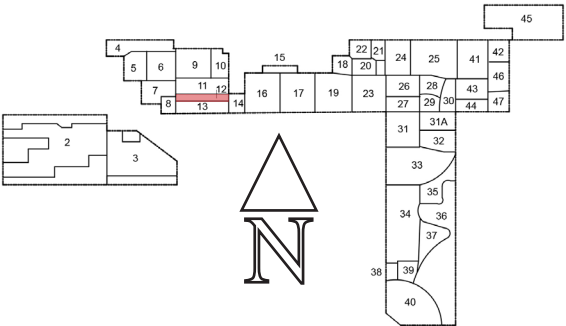
FIGURE III-14.12

Planning Area 12

Note that it is intended that the boundaries of Planning Area 12 will be modified with the development of Planning Areas 11 and 13.

For Planning Areas 12A and 12B it is intended that upon the development of Planning Area 13A/13B and the inclusion of parcels from Planning Area 12A/12B respectively into Planning Area 13A/13B that the balance of Planning Area 12A/12B will meld into Planning Area 11A/11B respectively and cease to be a separate Planning Area.

Area	Acreage +/-	Easement Acreage +/-	Balance of Usable Acreage
PA 11A	19.56	0	19.56
PA 11B	9.79	4.92	4.87
PA 12A	6.14	0	6.14
PA 12B	3.06	1.54	1.52
PA13A	10.23	0	10.23
PA13B	5.19	2.66	2.53
PA 14	9.27	N/A	9.27



**TABLE V-3
Building Standards and Setbacks
Planning Area 12**

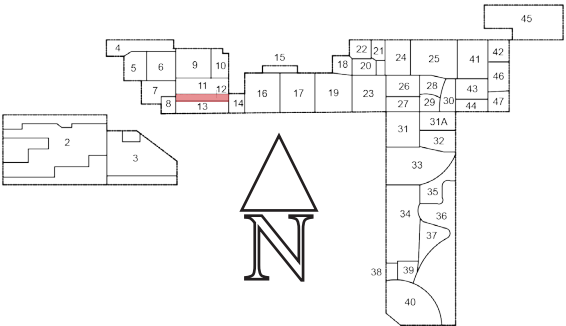
DEVELOPMENT STANDARD	PLANNING AREA 12 COMMERCIAL REQUIREMENTS	PLANNING AREA 12 RESIDENTIAL REQUIREMENTS
Maximum Building or Structure Height	50 Feet	3 Stories / 45 Feet
Building Setbacks		
Front Yard – (Palomar Road, Junipero Road)	20 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Table IIA.	25 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Table IIA.
To Adjacent Planning Area	The setback shall be measured from the PA line. Buildings shall be set back a minimum of 20 feet from the PA line. For any portion of a building which exceeds 35 feet in height that portion of the building shall be set back an additional one foot for each foot by which the height exceeds 35 feet.	10 Feet
Side (Palomar Road and Junipero Road) and Interior Setbacks	Side setbacks (Palomar Road and Junipero Road) shall be a minimum of 25 feet for a building 35 feet or less in height. Each side setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Figure III-2A. Any portion of a building which exceeds 35 feet in height shall be set back an additional one foot for each foot by which the height exceeds 35 feet	10 Feet
Distance Between Buildings	Minimum distance between buildings shall be as required in the California Building Code, latest edition.	Minimum distance between buildings shall be as required in the California Building Code, latest edition, 5 feet minimum
Building Setbacks from Surface Parking and Drive Aisles	5 Feet	10 Feet
Garage Setbacks from Surface Parking and Drive Aisles	–	3 Feet
Minimum Lot Area	There is no Minimum Lot Area Required	–
Lot Coverage	–	In no case shall more than 60 per cent of any lot be covered by buildings, not including freestanding garage buildings and carports
Landscape Coverage	12% – Landscape Coverage will include all areas within the subject parcel	12% – Landscape Coverage will include all areas within the subject parcel
Required Parking	Parking shall be provided as required by City Standards or per the requirements of a City approved Shared Parking Analysis	Parking shall be provided as required by City Standards
Minimum Private Storage	–	72 Cubic Feet per Bedroom with a maximum of 160 Square Feet
Maximum Intensity/Density	0.35 Floor Area Ratio	24 DU/ Gross Acre
Common Area Open Space	–	125 Square Feet of Open Space per Bedroom/Studio Unit
Private Open Space / Dwelling (Deck or Patio)	–	120 square feet with no dimension less than 10 feet if located at ground level, or at least 50 square feet with no dimension less than 6 feet if located above ground level

Planning Area 12A shown below as a portion of commercial development consistent with the Planning Area 13A Building Standards and Design Guidelines. This image depicts the pedestrian connection between the Planning Areas as well as the landscape buffer as noted in the Development Standards. The actual project plan will be different than this solution, but this gives a clear example of a solution that does conform to the Specific Plan.



Planning Area 12B shown above with the High Density Residential use and proposed passive development of the SCE easement. This is a conceptual plan showing that a quality project is possible within the Building Standards and High Density Residential Design Guidelines for this Planning Area. This plan is depicting a maximum residential scheme for Planning Area 12B.

FIGURE III-14.12A
**Planning Area
12**



13. PLANNING AREA 13: COMMERCIAL

A. Descriptive Summary

Planning Area 13, as depicted in Figure III-14.13, is divided into two parts PA 13A west of Junipero Road, and PA 13B east of Junipero Road. Together Planning Areas 13A and 13B provides for development of approximately 12.76 net acres devoted to **Commercial** uses. Development of Planning Area 13A may encroach into Planning Area 12A and development of Planning Area 13B may encroach into Planning Area 12B. At that time, the parcels within Planning Area 12 that are included in the Planning Area 13 development will be subject to all standards of Planning Area 13. Refer to Planning Area 12 on Page III-65 for restrictions on PA 13 encroachments onto PA 12.

B. Development Standards

1. Permitted Uses

Refer to Table V-1 for the list of Allowable Uses. Any use that is not specifically listed within Table V-1 may be considered a permitted or conditionally permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process, which governs the category in which it falls.

2. General Development Standards.

Refer to Table V-4 for the list of Development Standards.

3. Landscape Standards

Refer to Table V-4 for the required Landscape Coverage Standards. Landscape shall conform to the City Adopted Landscape Guidelines.

C. Planning Standards

1. Primary access to Planning Area 13 shall be provided from Highway 74 (as approved by CalTrans), Palomar Road and Junipero Road. Access to Highway 74 east of Junipero Road shall be coordinated with development and access within Planning Area 14 where possible. All proposed driveways, access or improvements off of Highway 74 requires review and approval by CalTrans.

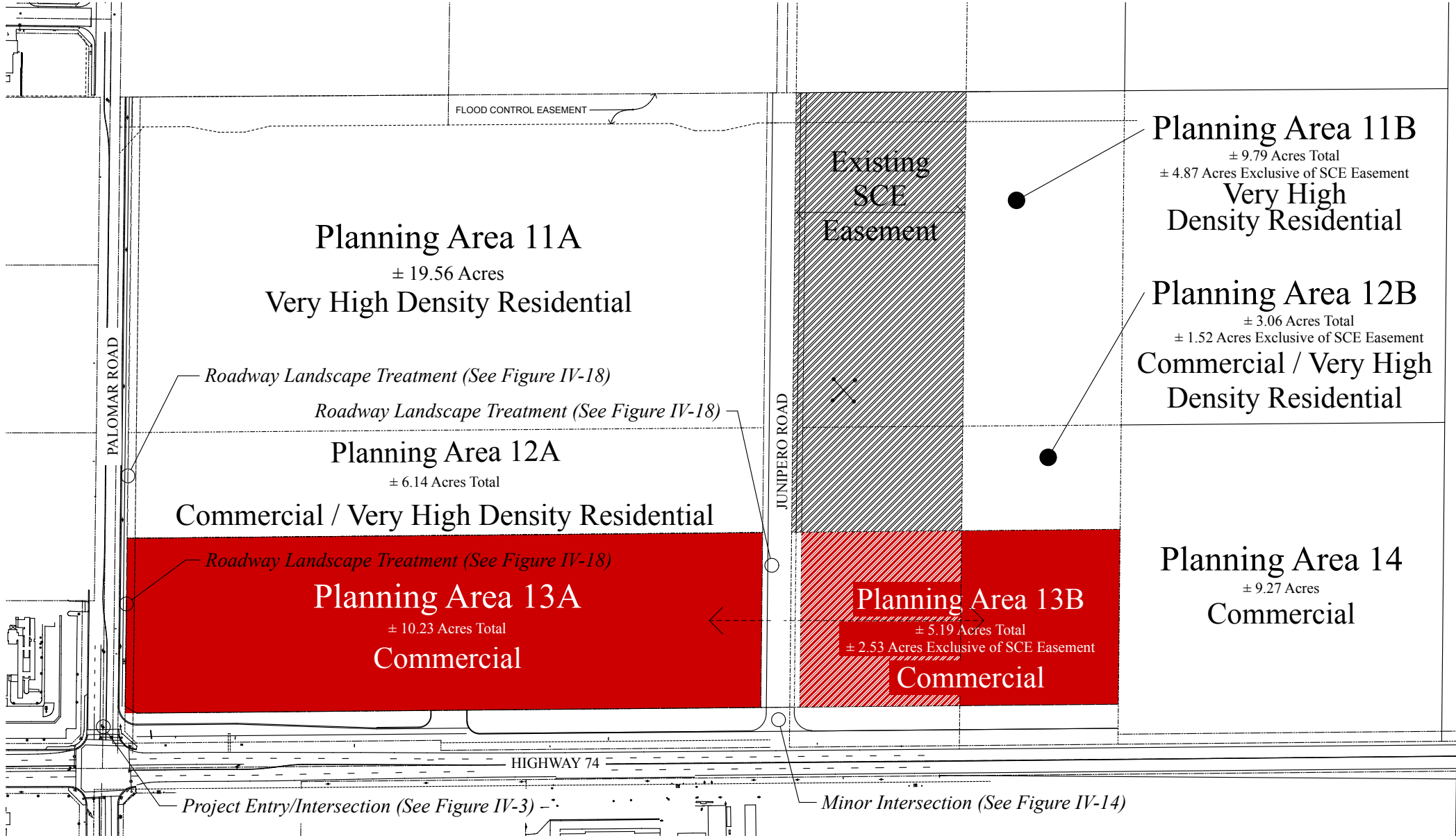
2. A project entry/intersection statement shall be developed at the intersection of Highway 74 and Palomar Road, as shown on Figure IV-3.

3. A minor intersection statement shall be developed at the intersection of Highway 74 and Junipero Road, as shown on Figure IV-4.

4. Roadway landscape treatments, as illustrated in Figures IV-15 and 18, are planned along Highway 74, Palomar Road and Junipero Road, respectively.
5. All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.
6. A Southern California Edison easement is located within the property boundary for Planning Area 13B. The existing SCE easement is being included within Planning Areas 11B, 12B and 13B in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in required landscape and open space areas, retention and detention basins, circulation, parking and for passive recreation uses subject to the approval of SCE. The SCE Easement shall not be allowed to be included in density or intensity calculations.
7. In conjunction with the first implementing project plan submitted for the planning area (PA 13A or PA 13B), a conceptual site plan for the entire planning area (including 12A or 12B) shall be provided to the City of Menifee Planning Department for informational purposes. This site plan shall show how the submitted project plan integrates with the remainder of the planning area 12A/12B, how the uses within the Planning Area may be configured to ensure proper design and layout of the circulation, parking, and street access.
8. Please refer to Commercial Design Guidelines (Section IV.G) for design-related criteria.
9. Please refer to Section III for the Development Plans and Standards that apply site-wide.
 - III.A.1: Specific Land Use Plan
 - III.A.2: Circulation Plan
 - III.A.3: Drainage Plan
 - III.A.4: Water and Sewer Plans
 - III.A.5: Open Space and Recreation Plan
 - III.A.6: Grading Plan
 - III.A.7: Landscaping Plan
 - III.A.8: Public Facilities Phasing Plan
 - III.A.9: Phasing Plan

FIGURE III-14.13

Planning Area 13



Area	Acreage +/-	Easement Acreage +/-	Balance of Usable Acreage
PA 11A	19.56	0	19.56
PA 11B	9.79	4.92	4.87
PA 12A	6.14	0	6.14
PA 12B	3.06	1.54	1.52
PA13A	10.23	0	10.23
PA13B	5.19	2.66	2.53
PA 14	9.27	N/A	9.27

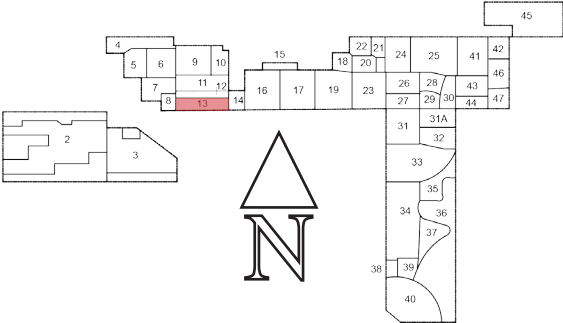


TABLE V-4
Building Standards and Setbacks
Planning Area 13

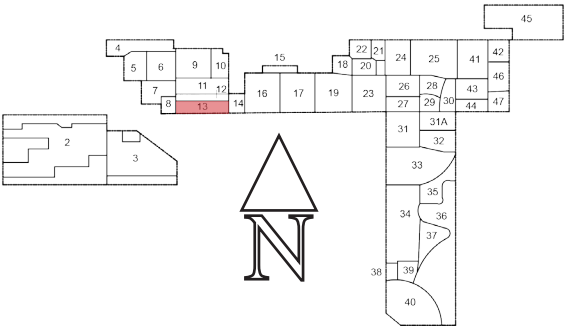
DEVELOPMENT STANDARD	PLANNING AREA 13 REQUIREMENT
Maximum Building or Structure Height	50 Feet
Building Setbacks	
Front Yard (Highway 74)	There are no front yard requirements for buildings which do not exceed 35 feet in height. Any portion of a building which exceeds 35 feet in height shall be set back from the front lot lines not less than one foot for each foot by which the height exceeds 35 feet. The front setback shall be measured from the existing street line (ROW).
To Adjacent Residential Planning Area (PA)	The setback shall be measured from the PA line. Buildings shall be set back a minimum of 20 feet from the PA line. For any portion of a building which exceeds 35 feet in height that portion of the building shall be set back an additional one foot for each foot by which the height exceeds 35 feet.
Side (Palomar Road and Junipero Road)	Side setbacks (Palomar Road and Junipero Road) shall be a minimum of 25 feet for a building 35 feet or less in height. Each side setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Figure III-2A. Any portion of a building which exceeds 35 feet in height shall be set back an additional two feet for each foot by which the height exceeds 35 feet.
Distance Between Buildings	Minimum distance between buildings shall be as required in the California Building Code, latest edition.
Building Setbacks from Surface Parking	5 Feet
Minimum Lot Area	There is no Minimum Lot Area Required
Landscape Coverage	12% – Landscape Coverage will include all areas within the subject parcel .
Required Parking	Parking shall be provided as required by City Standards or per the requirements of a City approved Shared Parking Analysis
Maximum Intensity	0.35 Floor Area Ratio



FIGURE III-14.13A

Planning Area 13

This is a conceptual layout of a Retail Center between Palomar and Junipero fronting on Highway 74 incorporating the elements within the Development Standards, the Building Standards and the Design Guidelines. The actual project plan will be different than this solution, but this gives a clear example of a solution that does conform to the Specific Plan. The plan as shown incorporates all of Planning Area 12 into the commercial designation consistent with the requirements of Planning Area 13.



14. PLANNING AREA 14: COMMERCIAL

A. Descriptive Summary

Planning Area 14, as depicted in Figure III-14.14, provides for development of 9.27 acres devoted to Commercial uses.

B. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

C. Planning Standards

1) Primary access to Planning Area 14 shall be provided from Highway 74 (as approved by CalTrans) and Menifee Road. Any potential primary access on Highway 74 shall be coordinated with development and access within Planning Area 13.

2) A community entry/intersection statement shall be developed at the intersection of Highway 74 and Menifee Road, as shown on Figure IV-2.

3) A special landscape treatment, as depicted on Figure IV-12, shall be established between the commercial uses in Planning Area 14 and the adjacent residential uses to the north.

4) Roadway landscape treatments, as illustrated in Figures IV-15 and 16, shall be established along Highway 74 and Menifee Road, respectively.

~~5) A Southern California Edison easement forms the western boundary of Planning Area 14. All development applications filed for this planning area must conform with all applicable SCE easement restrictions.~~

5) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the ~~Riverside County~~ City of Menifee Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.

6) Please refer to Section IV, Design Guidelines, for design-related criteria.

7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- III.A.1: Specific Land Use Plan
- III.A.2: Circulation Plan
- III.A.3: Drainage Plan
- III.A.4: Water and Sewer Plans
- III.A.5: Open Space and Recreation Plan
- III.A.6: Grading Plan
- III.A.7: Landscaping Plan
- III.A.8: Public Facilities Phasing Plan
- III.A.9: Phasing Plan

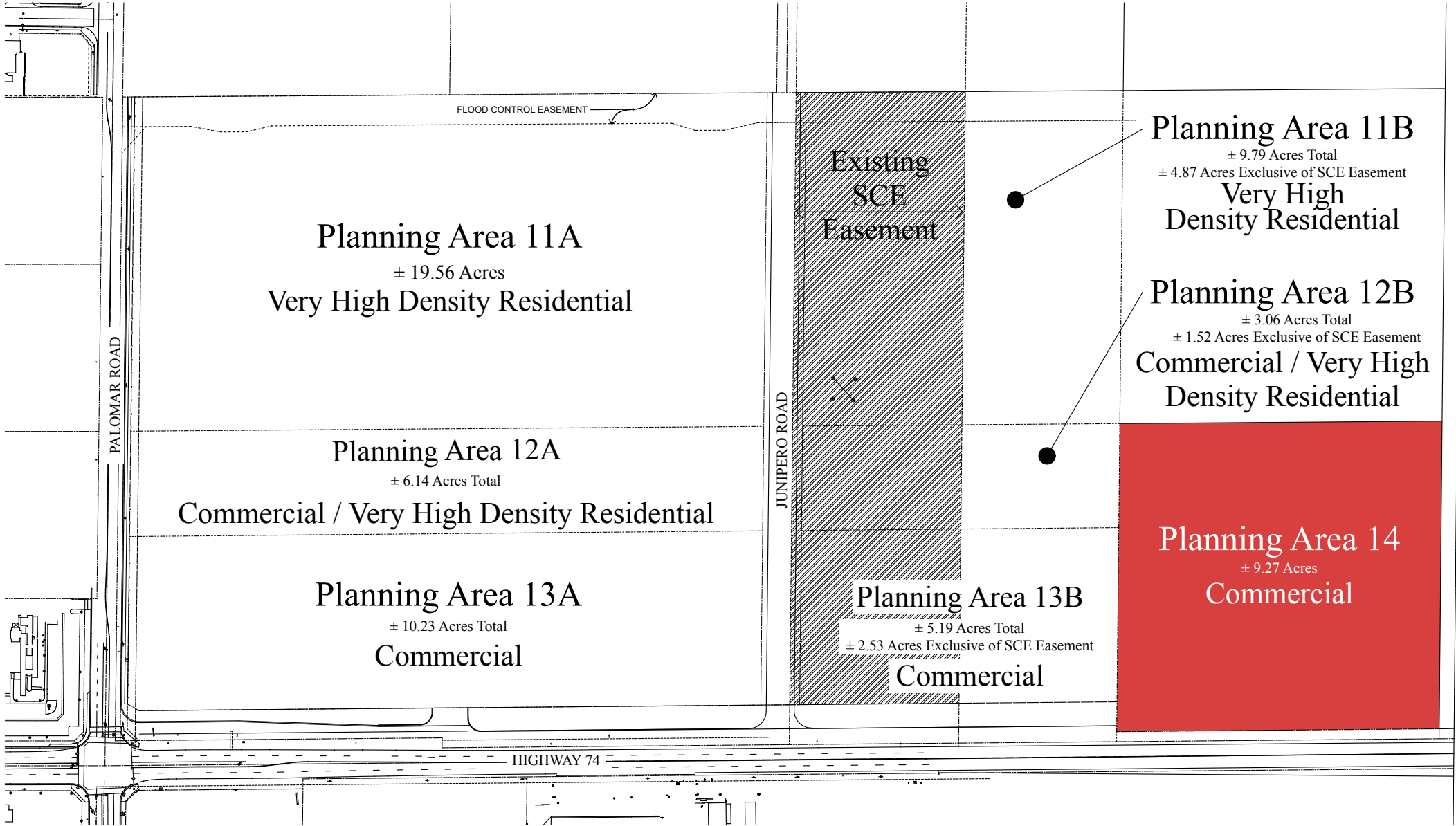
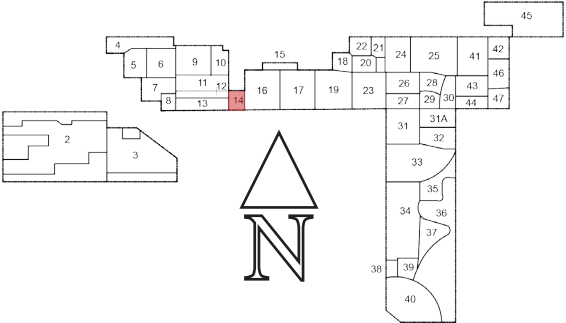


FIGURE III-14.14

Planning Area 14

Area	Acreage +/-	Easement Acreage +/-	Balance of Usable Acreage
PA 11A	19.56	0	19.56
PA 11B	9.79	4.92	4.87
PA 12A	6.14	0	6.14
PA 12B	3.06	1.54	1.52
PA13A	10.23	0	10.23
PA13B	5.19	2.66	2.53
PA 14	9.27	N/A	9.27



F. PLANNING AREAS 11 AND 12 (VERY HIGH DENSITY RESIDENTIAL) Architectural Design Objectives and Guidelines

The multi-family residential developments in Planning Areas 11 and 12 are designed to be neighborhood style communities that offer well designed living units with on-site amenities such as multi purpose rooms, pool and spa areas, open spaces and well defined parking areas offering a mix of covered and uncovered parking spaces.

This section contains Design Objectives and Guidelines that augment the building standards within the Planning Areas. The Objectives are not just the typical goals and minimum expectations for development, but a method to meet and balance the needs of both the City and the developer having an end result in promoting high quality design with flexibility on how to implement the design. However, flexibility shall not mean going to the lowest common denominator that dilutes quality and character.

The Design Objectives present the basis for compliance and the Design Guidelines provide options and examples of how to meet the Objectives. The Design Guideline images used to illustrate the Objectives should be reviewed in reference to the specific topic with which the image is associated and not with all of the guidelines in the document. The intent is for the user to focus on the portions of each photo highlighted with the caption and associated text. While an image may only illustrate a portion of the guideline with which it is associated, the intent of the entire guideline should be met. Although the Design Guidelines include some typical means for successful design, they are not intended to preclude alternative strategies that meet the overall intent and purpose related to a particular concept or feature. Applying the Design Guidelines will allow the design review process to emphasize not just meeting the minimum standards of zoning, but to create high quality places and spaces.

Objectives and Guidelines which include the word ‘should’ are intended to be applied as stated. Alternative measures may be considered if they meet or exceed the intent of the guideline. If the Objective or Guideline contains the words ‘shall’ or ‘will’, they are mandatory and must be included in the project’s design. Objectives and Guidelines using the words ‘encouraged’ or ‘discouraged’ are desirable but not mandatory.

F1 – General Objectives, Colors and Materials

F1a. The living units will be a blend of one, two and three story buildings offering a mix of bedroom/bathroom count and varying square footage. Units will have a private outdoor space such as a patio or deck.

F1b. Strategic orientation and configuration of buildings and shading elements shall be used to passively heat and cool spaces. Careful placement of the shade structures will allow for the creation of shade within the open courtyards and not interfere with the open sky placement of the trees.

F1c. Quality materials and imaginative design shall establish the theme of the architecture for each project. The character of the buildings shall be residential and not urban.

F1d. Four-sided architecture shall be provided for all buildings. Designs shall demonstrate a consistent use of colors, materials, and detailing throughout all elevations of the building.

F1e. Buildings can have a mix of sloping and flat roofs. Sloping roofs should be concrete or clay tile.

F1f. Horizontal and vertical building offsets and articulations shall be used to create visual relief and promote the residential scale of the project.

F1g. The residential buildings should be designed with a variety of elements which will help keep a pedestrian scale to the buildings. Building ends and corners should include elements that soften and lower the building, such as stairs and decks.

F1h. Wall materials, base materials, and accent materials for both buildings and site elements will be a combination of: stucco, textured masonry, wood or composite siding, with accents of stone, tile, and metals.

F1i. The use of bold plaster masses with articulated openings, accented entryways, and deeper overhangs is encouraged.

F1j. As one of the unifying materials, plaster will be used on building walls and site walls. It can be both the dominant wall material and an accent material. While a variety of textures may be used on the project, they will not be mixed on a single layer of a building facade.

F1k. Architectural detailing, plaster, siding, and deep colors shall be included at key places on the buildings and site features.

F1l. Walls with masonry, stone or tile accents shall be proposed for some of the building finishes. Combinations of textures and colors will be used. Typical locations for these materials will be entries and bases of the buildings.

F1m. Accent elements such as trellis and shade structures, eyebrows and awnings should be painted steel and other durable material for longevity and ease of maintenance.

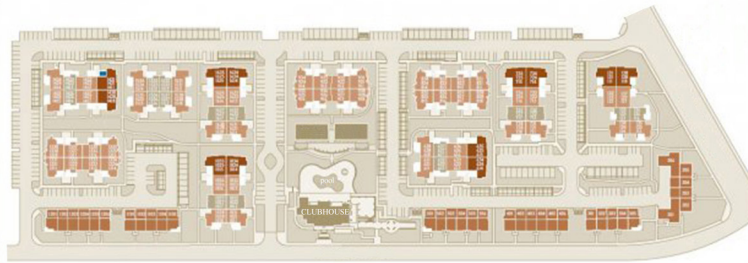
F1n. The colors shall be blended, and should offer subtle definition of neighborhood areas. Choose colors consistent with the chosen design theme. Avoid “trendy” colors which become quickly outdated. Low-key and earthy colors work best for primary colors; use of more vibrant colors should be limited to accents.

F1o. Care should be taken to not utilize too many materials or colors on the same building

F1p. Plaster walls and details should be integral color or painted with deeper tones to minimize the reflective glare and provide a more luxurious ambience

F2 – Main Project Entry

F2a. Site planning shall be designed to offer a strong entry statement, leading to clear and direct internal circulation.



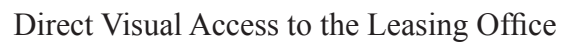
F2b There should be strong project identification with thematic architectural elements, project signage and distinctive landscape.



F2c. A project map shall be integrated into the signage and directories adjacent to the vehicle entry point.



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F3 – Entry Security

F3a. Site security is important and needs to be an integral part of the site design.

F3b. Perimeter fencing shall be decorative and located to allow visitors to access the leasing office before passing through vehicle or pedestrian security gates.



Prominent Leasing Office Entry

F3c. Resident parking areas should be behind a gated vehicular access. Landlords are encouraged to provide access control that is easily modified for adding and removing entry credentials

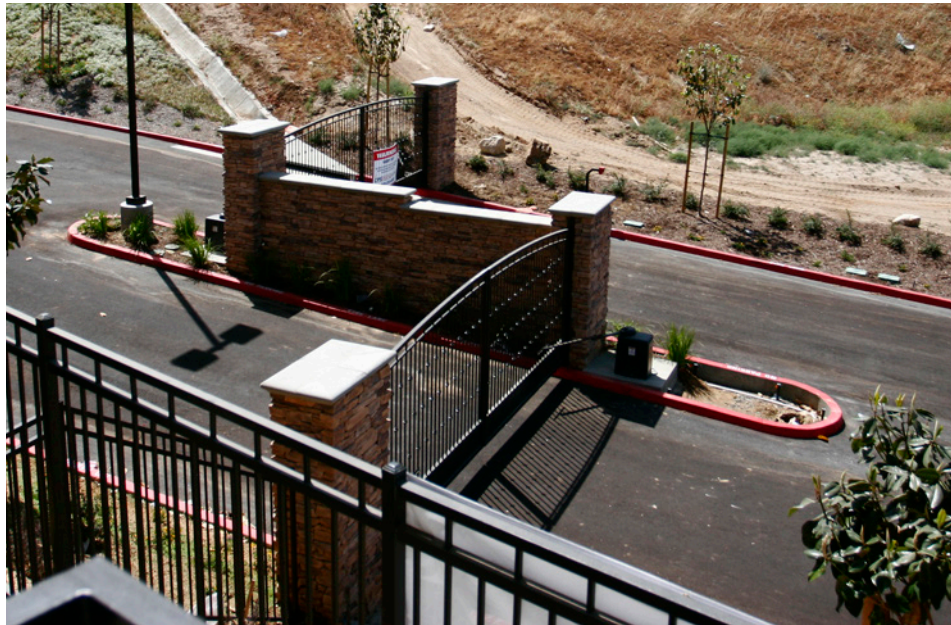


Gated Vehicular Access

F3d. Some guest parking should be provided prior to passing thru secured gates.



F3e. Secondary resident only entries shall have the same security and aesthetic enhancements as the primary Gated Vehicular Access.



Secondary Entry

F3f. Main Entry design should include a courtesy turnaround prior to the secured gate.



F4 – Leasing Office and Clubhouses

F4a. Leasing offices and clubhouses shall be located so that they can be easily accessed by visitors as well as incorporated into the site plan as a view amenity.



The Leasing Office with direct visual access to the visitor.

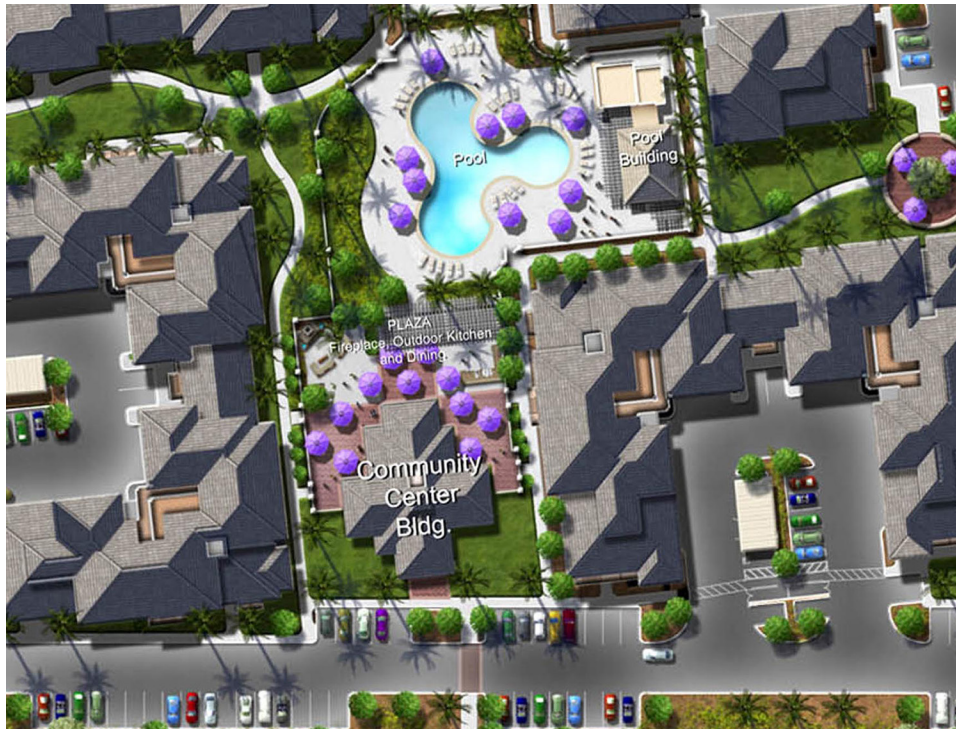
F4b. The architectural design of the Leasing Office entry should be a prominent element on the facade.



F4c. The visitor should be able to access to The Leasing Office outside of the Security Fencing.



F4d. The common facilities should have a central location so that the management services are available easily to residents as well as outside visitors.



F4e. If the clubhouse and leasing offices are adjoining, the design should carefully separate the two uses to discourage non-residents from accessing the amenities.



F4e. The clubhouse design should be stylish, and functional providing gathering places for the residents and their guests.



Comfortable Gathering Places



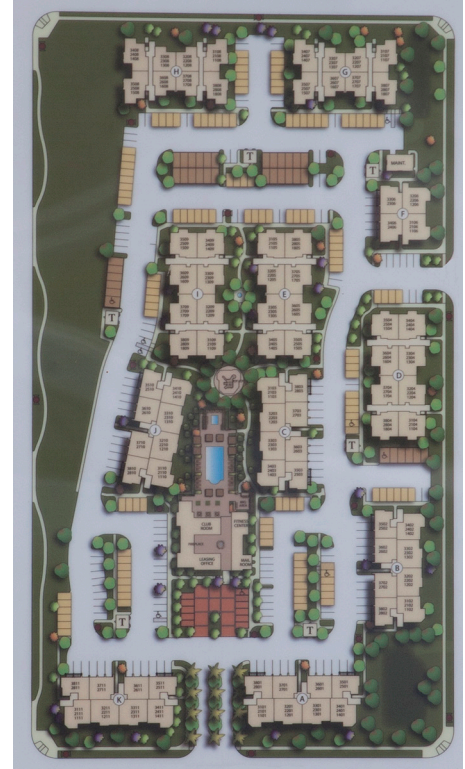
Stylish Decor

F5 – Circulation and Parking

F5a. The multi-family residential developments in Planning Areas 11 and 12 shall provide well defined parking areas offering a mix of covered and uncovered parking spaces.



F5b. Site planning shall be designed to offer a strong entry statement, clear and direct internal circulation and grouping of units and parking in an effort to avoid large expanses of open parking



F5c. Parking lots shall be fully landscaped utilizing a combination of shrubs to screen cars and trees to shade the pavement and vehicles. Plant placement should not inhibit the opening of vehicle doors.



F5d. Coordinate location of lighting fixtures to allow for good illumination at night for safety of both vehicles and pedestrians. Light fixtures shall be decorative and placed clear of trees.

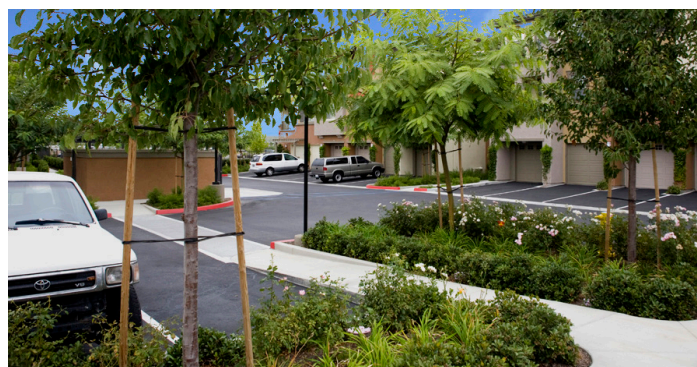


F5e. Decorative signage is encouraged for the labeling of visitor parking and any reserved spaces.



F5f. Trash enclosures should be designed as an integral part of garage buildings to avoid random detached structures within parking areas.

F5g. Defined pedestrian pathways should be planned into the parking lot design to allow for safe and easy passage from parking spaces to unit entry points.



F6 – Covered Parking – General

F6a. Garages may be a part of the residential building (tuck under parking), or in free standing locations within the parking areas.



F6b. Freestanding garage buildings shall be designed in the same architectural style and features as the residential buildings.



F6c. Covered parking spaces should be equitably distributed throughout the project. Both garages and carports should be available.



Flat roofs of carports must have solar panels installed. All other carports shall have sloping roofs in a material that matches the roof of the residences.

F7 – Residential Buildings – Garages & Carports

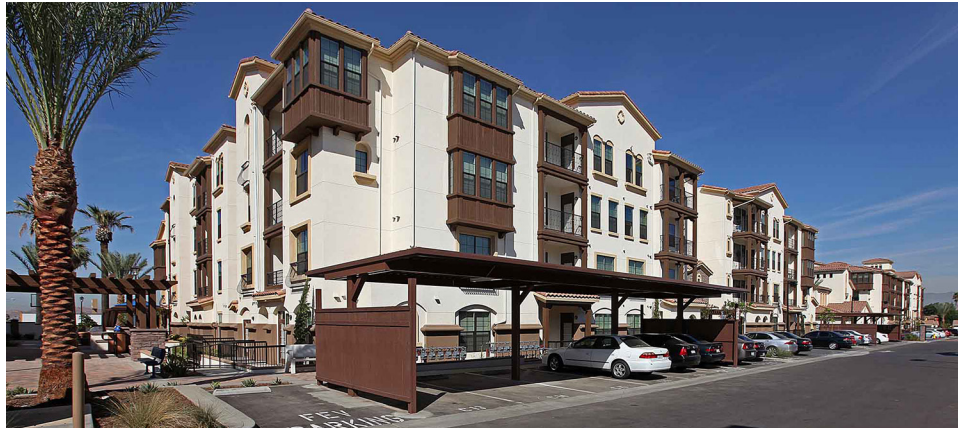
F7a. Garages designed as part of the residential building should be integrated into the overall design with the site planning providing for easy access and adequate turning spaces.



F7b. Horizontal offsets should be used to break down the height of the buildings.



F7c. Carports in front of a residential building should have a minimalist design as to not detract from the building beyond



F7d. Where space permits, planter areas incorporated adjacent to the garage doors to allow for vertical plantings or accent vine plantings are encouraged.



F7e. The design of some attached garages with direct access to the unit is encouraged.



F7f. Carport vertical supports shall be placed to not interfere with the opening of vehicle doors. Below is an example of the post in the wrong location.



F8 – Residential Buildings – Scale

F8a. The character of the buildings shall be residential and not urban.



F8b. Horizontal and vertical building offsets shall be used to create visual relief and promote the residential scale of the project. Site elements such as patio walls as well as building walls can help achieve this.



F8c. The residential buildings should be designed with a variety of elements which will help keep a pedestrian scale to the buildings.



F8d. Building ends and corners may include elements that soften and lower the building, such as stairs and decks.



F8e. The use of bold plaster masses with articulated openings, accented entryways, and deeper overhangs will all help control the perceived scale of the building.



F8f. Color changes are encouraged to help manage the scale of a building. Random locations of color changes shall be avoided.



F9 – Residential Buildings – Fenestration

Fenestration – the arrangement, proportioning, and design of windows and doors in a building.

F9a. Details on windows and doors such as trim or canopies should be included on visible facades. The detailing should be consistent per building, and thematic per project.



F9b. Fenestration shall be simple and organized. The use of numerous types and styles of openings which causes visual clutter, shall be avoided.



Too many types and styles of openings on a single wall.

F9c. Vertical circulation should be identified visually by vertically scaled openings.



F9d. Visual interest can be created by using strong horizontal or vertical openings



F9f. If arches are used, only a single style should be incorporated. If flat arches are the chosen style, widths should be consistent to avoid too many varying shapes.



F9g. The creation of shade on building facades can be achieved through combinations of recessed opening, deep overhangs, and applied accent features such as awning and eyebrows.



F10 – Residential Buildings – Greenbelts

F10a. The site plan design should include greenbelts throughout the project. These greenbelts buffer the pedestrians from vehicle traffic and noise and provide scenic links between project elements, such as courtyards and recreation areas.



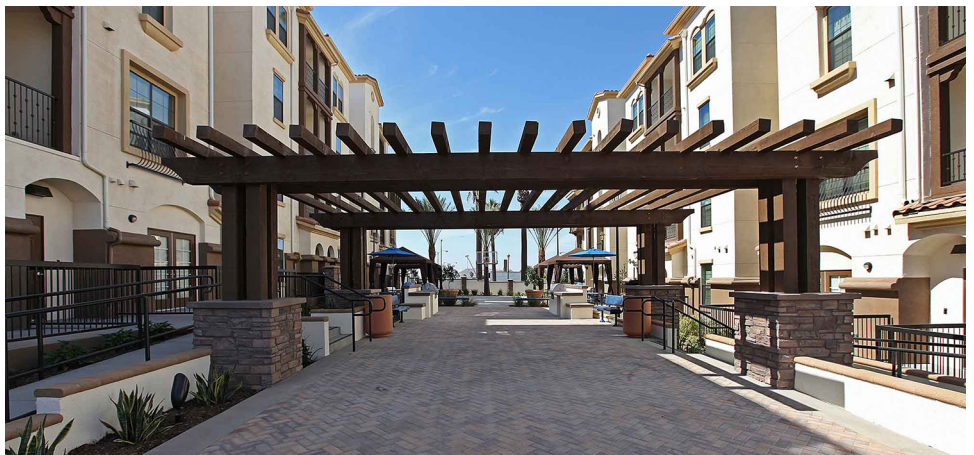
F10b. The entry to the individual units should be oriented towards green belts whenever possible. This encourages the neighborhood style of living



F10c. Perimeter units should have an increased landscape buffer between the front door and the parking lot or vehicular way.



F10d. Courts can be landscape, hardscape or a combination. They should be linked together to create a pedestrian base circulation system through the project that is separated from the vehicles.



F11 – Clubhouse Amenities

F11a. Amenities such as a clubhouse, firepit/fireplace, pool, spa, work-out facilities, half court basketball court, passive exercise courses, or other similar uses shall be provided as determined on a needs assessment. The needs assessment will use the following criteria:

- Size and shape of recreation areas
- Location and placement of buildings
- Diversity of amenities needed based upon anticipated resident demographic and economic mix
- Number of units, lot size and size mixture of units.

F11b. Clubhouses may include additional amenities such as clubhouse kitchen, private dining rooms, common living rooms, patio areas with fire pits, outdoor fireplaces, bar-b-que areas and tot lots.



Shaded Outdoor Living Room



Common Living Room



Firepits



Outdoor BBQ and Dining Area



Clubhouse Kitchen

F12 – Exercise Amenities

F12a. Amenities that encourage an active lifestyle, such as exercise rooms, sport courts, tot lots, and pools large enough for swimming laps are encouraged.



Sports Activity Areas



Tot Lot



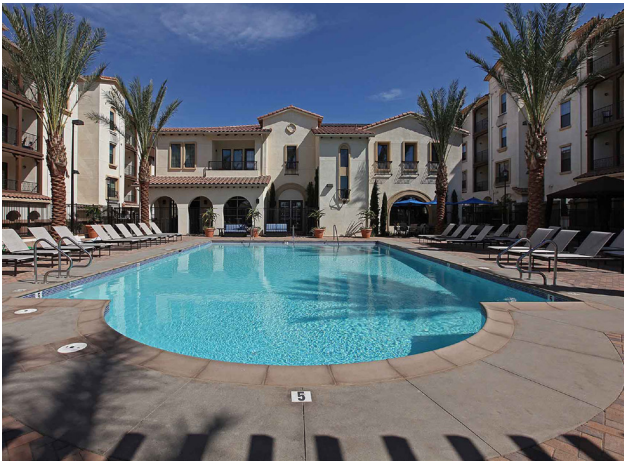
Jr. Olympic sized pool



Lounge with Games



Game Room



Pool Seating

F12b. Based on the site plan, the Sports Activity Areas can be located together or distributed throughout the site.



F12c. Workout Equipment rooms should be of adequate size to provide a nice mix of equipment that encourages residents to utilize the facility.



F13 – Pools and Spas

F13a. Pools and spas are encouraged to be the main exterior amenity. Proper planning and design can make a resort like visual amenity instead of of just a pool area.



F13b. Pools and pool decks shall be of adequate size based upon the project density and total number of pools.



Numerous Smaller Pools

F13c. Pool decks shall provide shaded seating areas, areas for sunning and a variety of seating types.



Variety of Seating

F13d. It is encouraged to design pools that function for both exercise style swimming and water play.



F13e. Centrally located pools shall be designed as a visual focal point.



F13f. Bathrooms and outdoor showers should be provided at main pool facilities.



G. PLANNING AREAS 13 and 12 (COMMERCIAL)

Architectural Design Objectives and Guidelines

The retail commercial centers within Planning Areas 12 and 13 shall be designed to be flexible, able to accommodate tenants from a supermarket to small local tenants, restaurants, and service uses such as daycare and gas stations.

This section contains Design Objectives and Guidelines that augment the building standards within the Planning Areas. The Objectives are not just the typical goals and minimum expectations for development, but a method to meet and balance the needs of both the City and the developer having an end result in promoting high quality design with flexibility on how to implement the design. However, flexibility shall not mean going to the lowest common denominator that dilutes quality and character.

The Design Objectives present the basis for compliance and the Design Guidelines provide options and examples of how to meet the Objectives. The Design Guideline images used to illustrate the Objectives should be reviewed in reference to the specific topic with which the image is associated and not with all of the guidelines in the document. The intent is for the user to focus on the portions of each photo highlighted with the caption and associated text. While an image may only illustrate a portion of the guideline with which it is associated, the intent of the entire guideline should be met. Although the Design Guidelines include some typical means for successful design, they are not intended to preclude alternative strategies that meet the overall intent and purpose related to a particular concept or feature. Applying the Design Guidelines will allow the design review process to emphasize not just meeting the minimum standards of zoning, but to create high quality places and spaces.

Objectives and Guidelines which include the word ‘should’ are intended to be applied as stated. Alternative measures may be considered if they meet or exceed the intent of the guideline. If the Objective or Guideline contains the words ‘shall’ or ‘will’, they are mandatory and must be included in the project’s design. Objectives and Guidelines using the words ‘encouraged’ or ‘discouraged’ are desirable but not mandatory.

G1 – General Objectives

G1a. The buildings shall maintain a theme carried out by quality materials and imaginative design consistent with these Design Guidelines

G1b. Building design shall be simple buildings with few or no sloping roofs. These guidelines offer solutions that include overhangs, colonnades and added eyebrow type overhangs to the visible facades while allowing for typical flat roofs on the buildings.

G1c. Four-sided architecture shall be provided for all buildings. Designs shall demonstrate a consistent use of colors, materials, and detailing throughout all elevations of the building. The rear elevations of the main in-line shop buildings shall have the same finish materials as the rest of the building.

G1d. Signage locations shall be integrated into the building design and the site elements offering visible signage for all tenants regardless of location. Signage design shall be creative and artistic, promoting the festive atmosphere of a retail center. A sign program is required.

G1e. Site and building elements can have common detailing to articulate a path of travel and unify the design.

G1f. Thematic elements per the Ethanac Corridor Planning Group may be incorporated in the landscape and hardscape elements.

G1g. Main parking lots shall be located in front of the retail buildings so that the parking is visible to the visitor upon entry onto the site, and to minimize car and pedestrian noise on adjacent residential units.

G1h. Pad buildings should be located close to the front property line, spaced from each other to provide view cones into the major tenants. This location allows entering vehicles to not have to make a turning maneuver until after passing the pad building, helping to alleviate traffic flow into and off of the site. This layout will provide proper stacking distance for exiting vehicles.

G1i. Major retail buildings and inline tenant buildings shall be oriented towards the highway south of the site. Proper driveways, delivery areas and employee parking shall be provided at the rear of the buildings. Truck delivery areas shall be located to minimize maneuvering and the associated noise adjacent to the residential properties behind the retail center.

G1j. Onsite vehicle circulation shall include major cross aisles (east-west) located just in front of the major retail buildings and the inline tenants. Any driveways from the highway shall have a direct connection to the cross aisle. Where possible, the cross aisle shall be curved enough to help maintain slow on site speeds, and not curved enough to hamper safe viewing of pedestrians or other maneuvering vehicles. Major intersections shall have enhanced paving and clearly marked cross walks for pedestrian circulation.

G1k. On site traffic shall be controlled by stop signs at major intersections. The on site vehicle circulation signage shall be designed as a part of the Sign Program for the site. The design package shall include wayfinding signage, signage at all accessible parking spaces, vehicle control signage, and code required signage at each entry. The criteria shall describe the supporting posts, the sign, color and finish of the front sides and rear of the signs, and proper lighting where required.

G2 – Building Massing

G2a. The silhouette of the buildings should be varied, with interplay between flat and curved elements.



Curves create a Soft Silhouette

G2b. The use of bold plaster masses with deep punched openings, accented entryways, and sun control elements is encouraged to control the perceived mass of the buildings.



Deep Set Openings

G2c. Horizontal and vertical building offsets, and curved wall and roof elements to create articulated breaks, visual relief and promote pedestrian circulation shall be included in the design.



Vertical and Horizontal Planes

G2d. Variation in roof lines shall be used to add interest, and reduce the massive scale of the large commercial buildings. Parapet walls, green screens, and roof screens shall be treated as an integral part of the structural design.



GreenWall Panels

G2e. Light and dark building elements can be combined to break down the overall mass of the building.



G2f. Sloping roofs are discouraged, and should be used as small accent roofs only. Sloping roofs shall be metal, such as standing seam roofs.



G3 – Vertical Elements

G3a. The base buildings should be simple buildings punctuated with vertical elements such as entry towers and sign pedestals.



Entry Towers



Interplay of Solid Forms

G3b. All roof mounted mechanical equipment shall be screened with building elements such as parapet walls, or within recessed roof wells.



Facade materials blended for walls and roof screens

G3c. Rhythmic elements that wrap back onto the structure give added depth to the facades.



G3d, All buildings should blend stepped vertical parapets and layered building elements to achieve interest through color changes and shadows.



G4 – Facade Colors

G4a. Subtle color changes on the staggered building faces increase the virtual depth of the elevations. While variation in color and texture is encouraged, care should be taken to not incorporate too many materials, colors or details on a single wall or building. Diversity should be achieved in scale with the base building.



G4b. The colors shall be blended, typically with deep tones.



Layering Enhanced by Color

G5 – Interlocking Building Elements

G5a. Large pieces of the building should be interlocked. Interlocking creates strong geometric forms adding to the depth and variety of the façade.



Center Accent



G5b. Articulation of the base, middle and top of the buildings will create visual interest and is encouraged.



G6 – Layering

G6a. Layering the building elements gives individuality to tenants and adds to the visual interest of the overall building. Soft curves in walls or roofs can add to the interest in the building mass. Layering as a way to create sign placement locations should be studied.



Curved Interlocking Forms

G6b. The use of sign panels, or transporent panels such as green wall, is encouraged to add depth while linking different elements together.



G6c. Variation in roof lines shall be used to add interest, and reduce the massive scale of large commercial buildings. Parapet walls and roof screens shall be treated as an integral part of the structural design.



G7 – Building Entries

G7a. The design solution shall provide a strong architectural element that allows easy visibility as well as an ample sign band for each tenant to have separate identity within the center.



Three Dimensional Stepping



Material Accents

G7b. Building entries shall be protected from the elements and articulated by the use of canopies, recesses or arcades.



Subtle Elegance



Glass Awning for Accent



Deep Recessed Entry

G8 – Entry Elements

G8a. The option of vertical glass entries should be considered, giving presence to the main entry. An intermediate metal canopy can provide weather cover for the doors and in some cases a colorful sign band.



Strong Graphics and Bold Colors



Understated with Elegant Materials



Signage/Entry Element Combination

G8b. The entry to the buildings should be punctuated by the use of canopies and structured eyebrows. Entry canopies should be bold in design, readily identifying the entry way. They can be additive to the building or an integral part of the architecture.



Vertical Elements with Strong, Structured Horizontal Accent

G9 – Entry Overhangs

G9a. Overhangs at the entry create a pronounced opening for the entry as well as providing large shaded areas for the pedestrians. Weather and solar protection at the entry points should be included in the design.



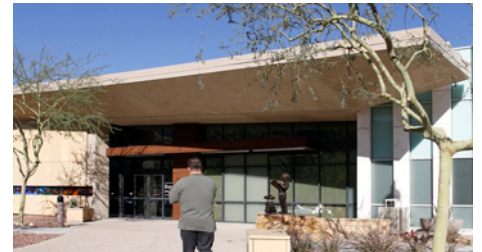
Large Overhangs to Create Accent Shadows



Interlocking Color Panels



Overlapping Adjacent Elements
With Strong Horizontal Overhang



Three Dimensional Forms



Metal Accents

G10 – Pad Buildings

G10a. Pad buildings require four-sided architecture. Site planning should express the buildings entry. Style may reflect the tenants standard branding and imaging, however there should be a tie into the center architecture through materials and colors.



Corner tower for entry accent



Four sided design



Building details similar to in-line buildings



Corporate identity with tie to colors and materials used in the center. Instead of the corporate white and blue metal canopy, the stucco and soft colors of the center were utilized.



Architectural and Color Accents



Blend of Textures and Colors

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN No. 260 Amendment 3

G10b. Service areas, trash enclosures and any exterior storage should be architecturally compatible with the

G11 – Sun Control

G11a. Awnings, overhangs, colonnades, and recessed entries all serve to control the sun. This site will have buildings facing predominantly south, so mid-day to later afternoon sun control will be required. A consistent vocabulary of elements should be used, but varied to provide individual tenant identity.

G11b. Combinations of wood and metal should be used for trellis members and eyebrows. Fabric and metal are encouraged for awnings. For all, consistent maintenance is required to keep the center looking fresh.

G11c. Strategic orientation and configuration of buildings and shading elements shall be used to passively heat and cool spaces. Careful placement of a shade structure will allow for the creation of shade within the open courtyard and not interfere with the open sky placement of the trees. The site plan should address this energy saving aspect of the design.



Steel Eyebrow



Steel Trellis



Combination of Metal and Wood



Contemporary Metal Sunshade



Accent Shade Structures

G12 – Trellis Structures

G12a. Trellis overhangs should provide shade and shadow. The shade should be located to benefit the pedestrians while the shadow should be used to enhance and accent architectural features of the building.



Decorative Wood Trellis



Metal Shade Elements Supporting Lighting



Shallow Trellis Members as an Accent on An Otherwise Blank Wall



Metal Trellis

G13 – Overhangs

G13a. Eyebrow overhangs can add a level of detail to the building as well as color. A limited vocabulary of styles and materials should be used throughout the center.



Deep Overhangs Create Accent Shading



Bold Mix of Vertical and Curves



Curved Forms



Accent Shade Canopy



Architectural Overhang



Metal Awning Brings Color

G14 – Dramatic Overhangs and Colonnades

G14a. At major tenants, deep, dramatic overhangs should be utilized to accent entries and shade large portions of the façade.



Monumental Columns and Overhang

G14b. Colonnades provide linear shade to the building as well as a covered walkway for pedestrians. Placement of colonnades for pedestrian links throughout the center should be included in the site plan.



Simple Colonnade



Linear Solid Overhangs



Visually Light Structure



Solid Overhangs



Bold Contemporary Forms

G15 – Sun Control Structures and Awnings

G15a. Independent structures within the parking lots or at building corners can offer way finding cues as well as vertical visual interest. Careful placement of these elements is encouraged to identify main nodes.

G15b. Traditional window awnings can be in fabric or metal. The shape, color and style should match the thematic style of the center.

G15c. The creation of shade along the walkways as well as along the building facades will be accomplished with combinations of:

- Recessed openings
- Awnings
- Trellis structures
- Free standing shade structures
- Deep overhangs
- Eyebrows
- Landscape



Corner Accent Shade Structure



Steel and Glass Shading



Curved Metal Arbor



Accent Awnings



Inset Awnings with Signage



Architectural Elements

G16 – Architectural Metals

G16a. Metal as an accent material should be one of the primary architectural materials. It offers durability and has numerous uses. Metal siding, typically galvanized finish, is a strong counterpoint to smooth plaster walls. Additionally metal detailing in sign bands, green screens and screening shades adds color and detail to the building.

G16b. Metal should be utilized not only as a siding material, but a detail material for eyebrows and awnings, and as the structural members for trellis and shade structures.

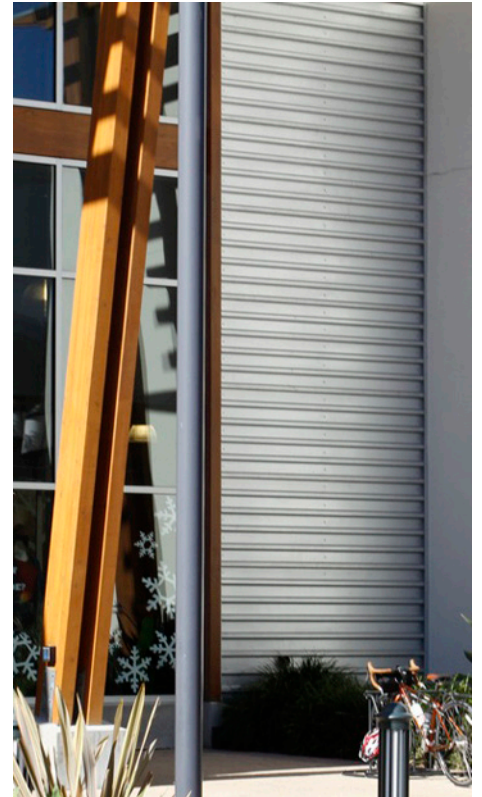
G16c. Accent elements such as shade structures will be painted steel and other metals.



Decorative sign band



Horizontal metal siding



Full height accent panels



Metal siding with accent screen panels



Vertical metal siding

IV. DESIGN GUIDELINES

G17 – Wall Surfaces

G17a. As one of the unifying materials, plaster (stucco) will be used on building walls and site walls. It can be both the dominant wall material and an accent material. While a variety of textures may be used on the project, they will not be mixed on a single layer of a building facade. Metal, brick and screening should be integrated into the design.

G17b. Plaster walls and details will be integral color or painted with deeper tones to minimize the reflective glare and provide a more luxurious ambience



Interlocking horizontal metal panels



Accent shade screens



Canted and curved wall with vertical metal siding



Greenscreen against a tilt up concrete wall



Horizontal banding in plaster



Brick and Metal Siding with screen accents

G18 – Building Colors

G18a. A variety of colors emphasizes the different building elements and their layers. The project should employ a thoughtful use of color, assisting in tenant branding, a festive atmosphere and visual interest.



Metal and glass accents



Subtle colors enhance the pop out surfaces



Each surface colorized to add depth



Continuity of the fascia color



Combination of plaster colors



Bold color accents

G19 – Wall Materials

G19a. Different wall materials should be selected, allowing for variance in textures and colors.

G19b. The materials proposed should offer a contrast from smooth to textured. Wall materials, base materials, and accent materials for both buildings and site elements should be a combination of: smooth and textured concrete, textured masonry, plaster, metal and composite siding, with accents of stone, tile, and metals.



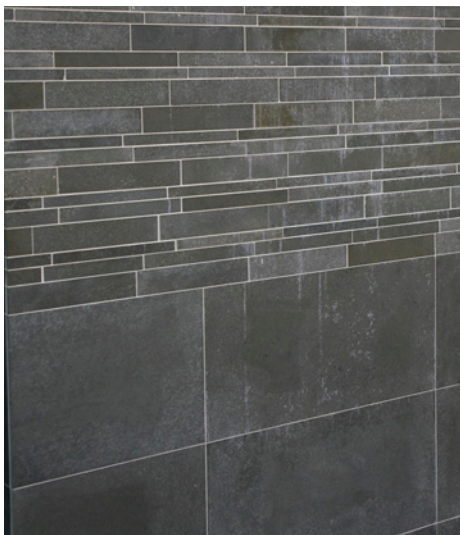
Horizontal raked finish stucco



Painted tilt up concrete panels



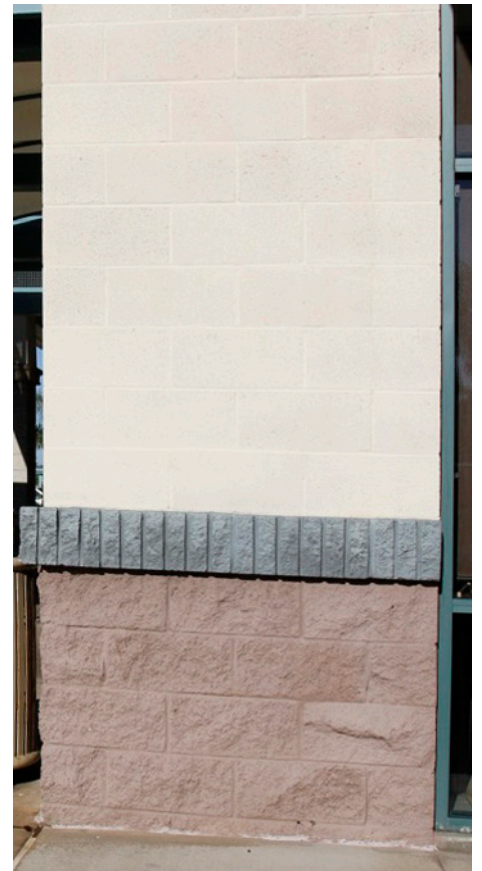
Horizontal siding with stucco



Porcelain tile



Exposed integral color concrete



Precision block, fluted block and split faced block column

G20 – Base and Accent Materials

G20a. Natural materials and finishes for accent walls and base materials are encouraged.

G20b. Walls with masonry, natural stone and tile accents should be proposed for some of the building finishes. Combinations of textures and colors should be used. Typical locations for these materials will be entries to buildings, bases and walls of major building elements.

G20c. Architectural detailing utilizing plaster, metal siding, and strong colors shall be included at key places on the buildings and site features.



Stone accent wall



Cantera stone base



Brick walls with standing seam metal roof



Slate tile accent at base



Shot blasted precision concrete block

G21 – Site Furniture

G21a. Outdoor seating areas shall be provided at various locations on the site. Typical locations would be adjacent to major tenants and at corners between two buildings. The spaces should be designed with safety in mind allowing open viewing and be lighted.

G21b. Benches, planters and trash receptacles should be architectural grade and compatible with the colors and style of the architecture and hardscape. The same style furniture should be consistently used throughout the common areas of the site. Private areas such as dining patios may vary from the standard.



Benches, planters and trash receptacles should be architectural grade and compatible with the colors and style of the architecture and hardscape.



Color Bowl Accents



Hanging Plants



Decorative Pots



Coordinated Site Furnishings

G22 – Landscape

G22a. The landscape design shall be a bold design utilizing plant materials to define the spaces, connect the spaces, and enclose the edges. Required street tree patterns along Highway 74 will be continued and enhanced. Setbacks and edges will have a consistent design palette that includes trees, shrubs, contoured berms, and monumentation for both the entire project and the tenants. Landscape shall conform to the City Adopted Landscape Guidelines.

G22b. Within the Retail Center, the design will encourage pedestrian activity and include shade protection from both structures and landscape.



Integrated Hardscape Elements



Large, Lacy Shade Trees

G22c. Wayfinding will be aided by the use of accent plantings at entry points and thematic plantings along routes. Hardscape elements such as curbs, low walls, seat walls, planters and pilasters will compliment the softscape. These elements will incorporate the building materials, provide seating, and create a foreground for the buildings in some locations.

G22d. Landscaped and lighted passageways through the parking areas will connect to the streetside pad buildings. Pathways will be marked with bold rows of trees, visually linking the street and pad buildings with the main courts and plazas.

G22e. Wayfinding from plaza to plaza will also be enhanced with a landscape edge.

G22f. Edges will include thematic street plantings, shrubs, berms and low walls to screen parking areas, and accent plantings at the major points of access, both vehicle and pedestrian per details within the Specific Plan.

G22g. Transition from landscape to hardscape will be defined with curbs, low walls and pilasters. The landscape will have numerous vertical layers, offering variety in texture and color.



Accent Shadows on the Buildings



Combination of Bold Textures

G23 – Parking Lot Landscape

G23a. The linear promenades through the parking lots will have vertical elements to give prominence and easy visibility while offering a shaded pathway through the use of both structured shade devices and trees.

G23b. Vehicle circulation routes on site shall provide clear and direct paths of travel. Thematic landscape may be used to accent the main circulation aisles.

G23c. Major entries shall include enhanced landscaping at the sides and within any medians.

G23d. The planting within the parking lot will provide shade and offer a canopy that will soften the view over the cars without blocking the signs or views into the buildings.

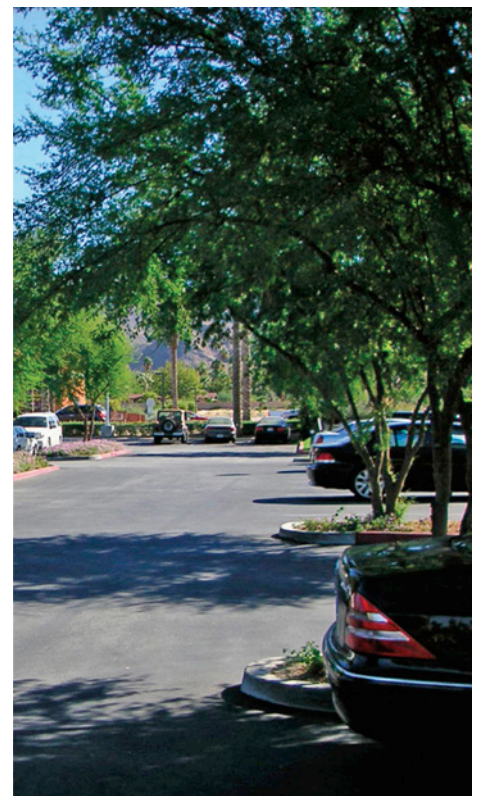
G23e. Landscape islands will have shrubs and groundcover that is appropriate for the environment, and will enhance the edges of the main driveways.



Trees Surrounding the Signage



End Island Accent Plantings



Shading the Cars and Pavement

G24 – Hardscape

G24a. Hardscape along the storefronts shall be a combination of quality paving, benches, architectural pottery and landscaping. ADA path of travel shall be maintained throughout the site.

G24b. The pedestrian spaces should be enhanced by well designed pavement. The colors, textures and materials of the hardscape will convey direction and quality. The palette may include pavers, colored concrete, natural stone and tile.

G24c. Provide convenient pedestrian circulation between buildings, remote building pads and parking areas.

G24d. Pedestrian circulation and wayfinding shall utilize a strong palette of hardscape and landscape elements and materials.

G24e. Paving details will reflect the use of curves to compliment the architecture. The subtle use of texture as well as the bold use of shape will offer paving variety.

G24f. Architectural pottery should be used to accent building entries, define spaces, separate seating areas, and add color through both the pot and the plantings.



Pavers Provide Texture and Color



Deeper Colors Reflect Less Light



Color, Texture and Pattern

G25 – Lighting

G25a. Lighting fixtures should be decorative, in a style compatible with the architecture. Where applicable, the same family of fixtures should be used for pole and post top locations as well as wall mounting.

G23b. The lighting guidelines listed below are consistent with the City of Menifee and the Mt. Palomar Ordinance. When incorporated into the development they will eliminate sources of light pollution and aesthetic disturbance within the City.

G25c. Exterior lighting will be located and fully shielded so as to direct light away from adjoining lots, buildings, and streets (public or private).

G25d. Any architectural, landscape, or accent lighting (lighting used for decorative effects) will be turned off from one hour after closing until sunrise in order to protect Palomar Observatory from light pollution. This requirement shall exclude outdoor lighting used for illuminating walkways, or other outdoor security lighting as permitted.

G25e. Architectural lighting will include wall mounted decorative fixtures, ground mounted fixtures and in conjunction with architectural details neon and LED lighting may be used. Glare free type opaque fixtures for general task lighting shall be provided. Path lighting shall be accomplished with concealed source post-top fixtures, bollard fixtures and surface mounted building fixtures.

G25f. Parking lot lighting shall be accomplished with pole lighting with a maximum height of 25' or lower depending on a photometric study. Fixtures shall be decorative in a style matching the buildings. Parking lot light fixture locations shall be coordinated with the tree planting plan to avoid conflicts.



Pedestrian Scaled Lighting



Wall Mounted Accent Lights



Pathway Poletops



Wall Mounted and Pole Top Version of Same Fixture for Continuity



Decorative Wall Sconce

IV. DESIGN GUIDELINES

G26 – Service Areas (Trash Enclosures / Loading Facilities)

G26a. All trash and recycle bins shall be in permanent enclosures as approved by the City. The architectural design of the enclosure, the gates, and the cover if required shall be consistent with the thematic style of the overall center.

G26b. The location of trash enclosures shall provide convenient access for each tenant and be located in discrete areas while still maintaining clear truck access. Loading and trash facilities shall be located and concealed from public view by a combination of walls and landscape.

G26c. Within pedestrian areas all trash receptacles selected shall be in conformity with existing color schemes, materials and site furniture styles.