

Appendix C

Cultural Resources

Documentation



C-1 Onyx Architects Historic Resource Evaluation Report

Historic Resource Assessment

San Gabriel Nursery

700-800 South San Gabriel Boulevard

Prepared For: City of San Gabriel

Prepared By: Dale W. Brown, AIA | ONYX Architects

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I. INTRODUCTION

This document is an historic resource assessment of the property located at 700-800 South San Gabriel Boulevard in the City of San Gabriel, CA. The list of associated Assessor Parcel Numbers are listed below and are hereinafter referenced as 'subject property':

- 5373-029-001
- 5373-029-002
- 5373-029-003
- 5373-029-004
- 5373-029-005
- 5373-029-006
- 5373-029-007
- 5373-029-008
- 5373-029-009
- 5373-029-010
- 5373-029-011
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- 5373-030-002
- 5373-030-003
- 5373-030-004
- 5373-030-005
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- 5373-030-009
- 5373-030-010
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- 5373-030-015
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- 5373-030-019
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- 5373-030-021
- 5373-030-022
- 5373-030-023
- 5373-030-024
- 5373-030-025
- 5373-030-026
- 5373-030-027
- 5373-030-028

The subject property contains five existing buildings, which is comprised of:

1. A one-story maintenance building constructed approximately in the 1950s (no specific permit associated with the building found)
2. Four greenhouse buildings, one of which was constructed in 1954 with no specific records for the three remaining greenhouses that were constructed before the 1940s.

The current owner has requested an historic resource assessment to determine whether or not the subject property meets eligibility criteria to qualify for listing in the National Register of Historic Places (National Register), in the California Register of Historical Resources (California Register), or as a San Gabriel Historic Resource, for purposes of California Environmental Quality Act (CEQA) and local project review. This report provides such an evaluation, finding the subject property does not meet eligibility criteria for listing in the National or California Registers, or as a San Gabriel Historic Resource. Therefore, the subject property does not appear to qualify as an historical resource under CEQA.

A site visit occurred on January 4, 2018 to photographically document the site. This report is supported by attached exhibits, including maps, aerial photographs, and current photographs. There are limited building permit records available and historic Sanborn map coverage for the subject property from the 1920s and 1930s.

II. CONSULTANT QUALIFICATIONS

Dale W. Brown, AIA

Dale W. Brown meets the criteria listed in the Secretary of the Interior's Professional Qualifications Standards in Historic Architecture with over 30 years of Architectural practice in the State of California as a registered Architect. The project experience he has had includes historic preservation of architectural resources, which includes Historic American Building Survey (HABS) documentation of historic architectural buildings and sites in addition to the general practice of Architecture in the State.

III. METHODOLOGY

Project methodology involved research in a variety of databases and repositories, as described below.

Historic Property Data File: The California State Office of Historic Preservation (OHP) keeps statewide records on historic properties. Records for San Gabriel are indexed in the Los Angeles County Historic Property Data File (HPDF), which does not contain an entry for the subject property, suggesting the property has not been previously evaluated in a survey submitted to OHP.

Sanborn Maps: There were located two historic Sanborn maps from 1925 and 1938 (see Attachment B), which show the site without any buildings in the 1925 map and three existing greenhouse buildings in 1938 and labeled 'Mission Nursery', which was before the nursery was owned and operated by the Yoshimura family.

City of San Gabriel: The City of San Gabriel Building Department files were searched for historic building permit and planning records. The City does have original building permits records for when the site was operated by the Yoshimura family, but no drawings of those records were found. The records indicate the following:

1. That here was an existing single family residential building constructed on the subject property at 839 Gladys Avenue (APN 5373-030-002 + 5373-030-003) in 1944 by E. Manchester under permit no. 4014 and it was later remodeled by Fred Yoshimura in 1952 under permit B5727.
2. In 1954 under permit B179 there was permit issued to construct a greenhouse building
3. In 1956 under permit B1730 Raymond Yoshimura constructed another single family residential building on the subject property at 827 Gladys Avenue (APN 5737-030-009).

Both single family residential buildings no longer exist on the subject property and it appears the greenhouse remains on the subject property. Several permits were found for another offsite address of 632 South San Gabriel Avenue, which is the address of the nursery's commercial retail building and not a part of the proposed project. A table of available building permit data is included in this report (see Appendix A).

County of Los Angeles: The Office of the Los Angeles County Assessor and the Los Angeles County of Department of Public Works were searched for records and permits, the results of which are included in this report. The County of Los Angeles Department of Public Works keeps building permits on microfilm from 1933 onward. A request for the County's permits from 1933 onward was made, but resulted in no permit records being found (see response to records request, Attachment E). However, there are available building description blanks from 1925 and 1934, when the two buildings were constructed at the subject property (see Attachment D). Other records of the Los Angeles County Assessor, including historic map books showing ownership records, were searched. Relevant data is referenced in this report.

Online Databases: Online databases were searched. Databases include: historic United States Census, naturalization, voter and death records, as well as city directories, available on Ancestry.com; and, historic Los Angeles Times articles available on the Los Angeles Public Library's online Proquest database at www.lapl.org. Relevant information is referenced in this report.

IV. REGULATORY SETTING

The following provides an overview of eligibility criteria for listing in the National and California

Registers and locally as a San Gabriel's Historic Preservation and Cultural Resource Ordinance. Also provided is a discussion of the identification of historical resources under the California Environmental Quality Act (CEQA).

National Register of Historic Resources (National Register)

The National Register is an authoritative guide to be used by federal, state, and municipal governments, private groups, and citizens to identify the nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment (Code of Federal Regulations, Title 36, Part 60, Section 60.4). Buildings, districts, objects, structures, and sites may be placed in the National Register. To be eligible for listing in the National Register, a property must generally be over fifty years old and must be significant in American history, architecture, archeology, engineering, or culture. In addition to possessing significance, a property must retain its integrity of location, design, feeling, association, setting, workmanship, and materials. Properties that no longer reflect their historic significance due to damage or alterations are not eligible for listing in the National Register. The National Register is administered by the National Park Service. Nominations are made to the California Office of Historic Preservation and reviewed by the State Historic Resources Commission, and accepted by the Keeper of the National Register. Resources are eligible for the National Register if they:

- A) are associated with events that have made a significant contribution to the broad patterns of our history;
or
- B) are associated with the lives of significant persons in or past; or
- C) embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D) have yielded or may be likely to yield, information important in history or prehistory.”

Once a resource has been determined to satisfy one of the above-referenced criteria, then it must be assessed for “integrity.” Integrity refers to the ability of a property to convey its significance, and the degree to which the property retains the identity, including physical and visual attributes, for which it is significant under the four basic criteria. The National Register recognizes seven aspects or qualities of integrity: location, design, setting, materials, workmanship, feeling, and association. To retain its historic integrity, a property must possess several, and usually most, of these aspects.

Relationship to this report:

The subject property is not listed in the National Register. This evaluation finds that the subject property does not appear eligible for listing in the National Register.

California Register of Historical Resources (California Register)

The California Register was established to serve as an authoritative guide to the state's significant historical and archaeological resources (Public Resources Code §5024.1). State law provides that in order for a property to be considered eligible for listing in the California Register, it must be found by the State Historical Resources Commission to be significant under any of the following four criteria; if the resource:

- 1) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- 2) Is associated with the lives of persons important in our past.
- 3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic values.
- 4) Has yielded, or may be likely to yield, information important in prehistory or history.

In addition to meeting one of the four above criteria, California Register-eligible properties must retain sufficient integrity to convey historic significance. California Register regulations contained in Title 14, Chapter 11.5, §4852 (c), provide that "it is possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register." The California Office of Historic Preservation (OHP) has consistently interpreted this to mean that a property eligible for listing in the California Register must retain "substantial" integrity. Anything listed or determined eligible for listing on the National Register is automatically listed on the California Register.

The California Register also includes properties which: have been formally determined eligible for listing in, or are listed in the National Register of Historic Places (National Register); are registered State Historical Landmark Number 770, and all consecutively numbered landmarks above Number 770; points of historical interest, which have been reviewed and recommended to the State Historical Resources Commission for listing; and city and county-designated landmarks or districts (if criteria for designation are determined by OHP to be consistent with California Register criteria). Public Resources Code §5024.1 states:

(g) A resource identified as significant in an historical resource survey may be listed in the California Register if the survey meets all of the following criteria:

- (1) The survey has been or will be included in the State Historical Resources Inventory.
- (2) The survey and the survey documentation were prepared in accordance with [OHP]... procedures and requirements.
- (3) The resource is evaluated and determined by the office to have a significance rating of category 1-5 on DPR [Department of Parks and Recreation] form 523.
- (4) If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.

Relationship to this report:

The subject property is not listed in the California Register. This evaluation finds that the subject property does not appear eligible for listing in the California Register.

City of San Gabriel Historic Preservation and Cultural Resource Ordinance

The City of San Gabriel maintains a local register of historic landmarks. According to the City's Municipal Code 153.607 'Designation Criteria for Historic Landmarks', "On the advice of the Commission, the City Council may designate a property, site, public art, park, cultural landscape, or natural feature as a historic landmark and add it to the San Gabriel Register if it meets the requirements described in paragraphs A and B:"

A. The property meets one of the following eligibility criteria:

1. It is or was once associated or identified with important events or broad patterns of development that have made a significant contribution to the cultural, architectural, social, historical, economic, and political heritage of the city, region, state, or nation.
2. It is or was once associated with an important person or persons who made a significant contribution to the history, development, and/or culture of the city, region, state, or nation.
3. It embodies the distinctive characteristics of a style, type, period, or method of construction; represents the work of a master, or possesses high artistic or aesthetic values; or it represents one of the last, best remaining examples of an architectural type or style in a neighborhood or the city that was once common but is increasingly rare.
4. It has yielded or has the potential to yield information important to the prehistory or history of the city, region, state, or nation.

B. The property retains integrity from its period of significance, as determined by a qualified architectural historian or historian. A proposed historic landmark need not retain all seven aspects of historic integrity (location, design, setting, materials, workmanship, feeling, and association), but it must retain sufficient integrity to convey the reasons for its cultural, architectural, social, historical, economic, and political significance.

C. Neither the deferred maintenance of a proposed historic landmark nor its dilapidated condition shall, on its own, be equated with a loss of integrity. Integrity shall be judged with reference to the particular characteristics that support the property's eligibility under the appropriate criteria and theme of significance.

Relationship to this report:

The subject property is not listed as a City Historic Landmark. The subject property does not appear to meet the requirements stated in Paragraphs A and B from the City of San Gabriel's Historic Landmark criteria listed above under Municipal Code Section 153.607. This evaluation finds that the subject property does not appear eligible for listing as a City Historic Landmark.

California Environmental Quality Act (CEQA)

The California Environmental Quality Act (CEQA) was enacted in 1970 and offers protection for identified historical resources. In general, for purposes of CEQA and environmental review, an "historical resource" is that which has been determined eligible for listing in the California Register, or one that is designated at the local level. The term "historical resource" includes the following:

1. A resource listed in, or determined to be eligible by the State Historical Resources Commission for listing in the California Register of Historical Resources (Pub Res Code SS5024.1, Title 14 CCR, Section 4850 et seq).
2. A resource included in a local register of historical resources, as defined in Section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements Section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or

culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

3. Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record.

Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register including the following (Pub Res Code SS5024.1, Title 14 CCR, Section 4852):

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in the past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important in prehistory or history.

The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to 5020.1 (k) of the Public Resources Code), or identified in an historical survey (meeting the criteria in Section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code Sections 5020.1 (j) or 5024.1.

Relationship to this report:

For the reasons described in this report, the subject property does not qualify as an historical resource under CEQA.

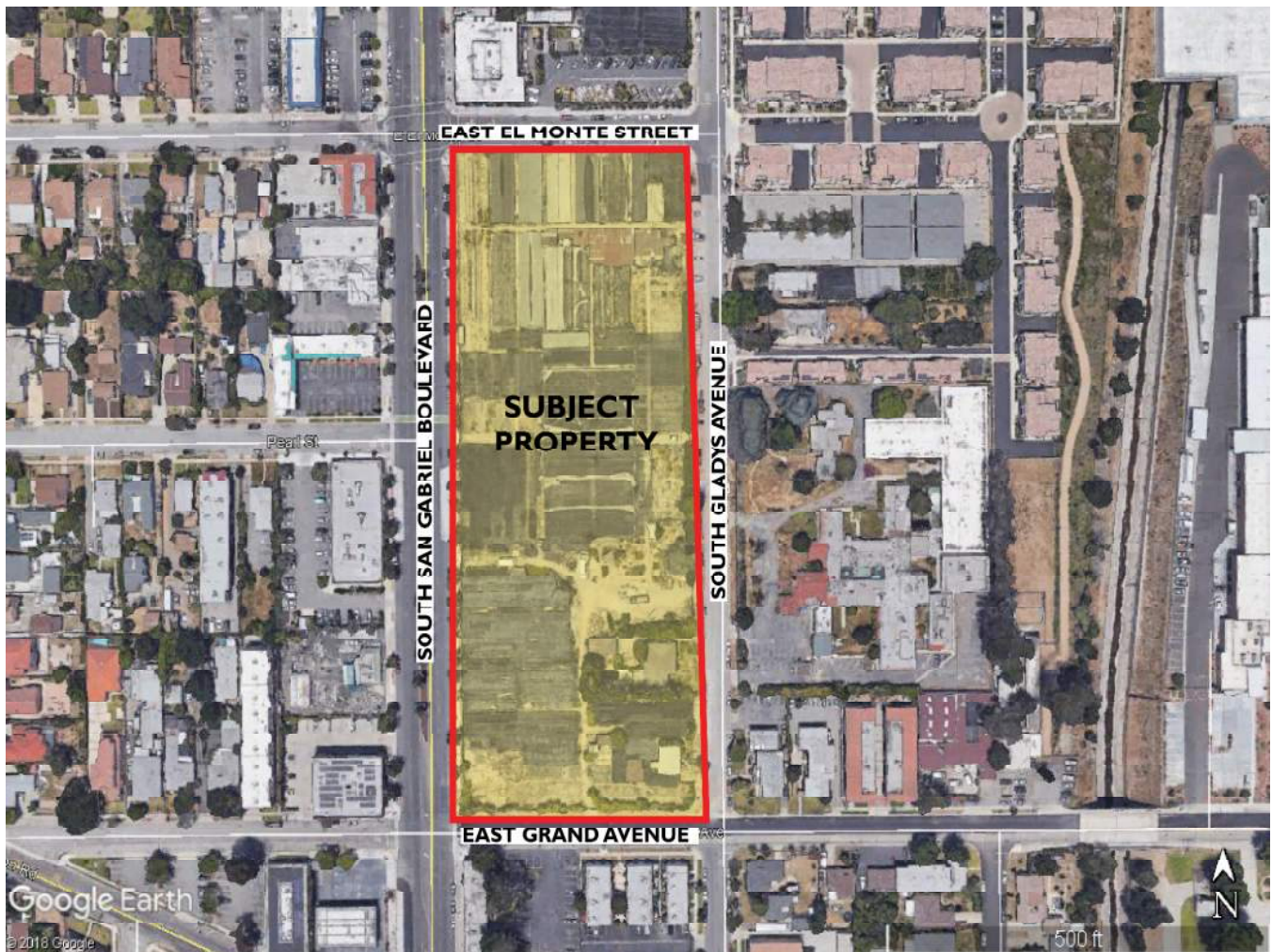
V. DESCRIPTION AND HISTORY

Physical Description

Current maps and aerial photographs of the subject property are included in Attachment A: Current Aerial Maps, while current photographs are included in Attachment C: Current Property Photographs.

Setting

The subject property is located on a commercial street in the City of San Gabriel, California. Bounded by East El Monte Street to the north, South Gladys Avenue to the east, East Grand Avenue to the south.



The street of South San Gabriel Boulevard comprises of various commercial business constructed post World War II and immediately to the north of the subject property is the main retail address of the San Gabriel Nursery & Florist, which the subject property served. The portion of the property that faces South San Gabriel Boulevard consists of existing public sidewalk and fencing and no existing building faces the street. The property's north street frontage contains the existing greenhouses facing East El Monte Street and has existing pedestrian sidewalk along the street. The property's east bounding street, which is South Gladys Avenue, contains no existing buildings facing the street or pedestrian sidewalk. The southern end of the property is bounded by East Grand Avenue and contains no existing buildings facing the street or existing pedestrian

sidewalk. The perimeter of the site is bounded by existing chainlink fencing, which has continuously used to bound the property.

The subject property has been owned and maintained since the mid-1940s by a Japanese family named the Yoshimuras. The patriarch of the Yoshimura family immigrated to the United States from Japan in 1917 with him first arriving in San Francisco and eventually he relocated down to San Gabriel in 1922. To make a living down in the local area he found work as a gardener where he developed his skills to grow and maintain various types of plants. He eventually met his future wife, Mitoko Naito, who was hired by one of the clients he worked for. They eventually married in 1924 and subsequently had four children: Hayao, Raymond, Florene, and Margie. From reviewing records the family owned and maintained their own nursery on a site located at 735 South San Gabriel Boulevard. During World War II the family was relocated to a Japanese internment camp in Arizona and sold their original nursery site at 735 South San Gabriel Boulevard. After the war they acquired the subject property in addition to adjacent land to the north of it. The land to the north of the subject property is 632 South San Gabriel Boulevard, which is not a part of the proposed project, and is the primary location of business. Until recently the family has retained the entire property purchase in the 1940s land and only recently sold the subject property.

The primary use of the subject property through records indicate it used to provide additional planting inventory they could sell at their main retail location, which is located at 632 South San Gabriel Boulevard. Since the time the subject property was originally purchased by the Yoshimuras its capacity has been outsourced in the intervening years to other nursery growing locations in southern California.

Greenhouses

There are four existing greenhouses that are constructed on the site and two of the greenhouses appear to have been originally constructed in the 1930s, but there is no distinctive architectural style maintained with the framing and materials have been replaced over the years to maintain the buildings. There appears to be no recent maintenance of the buildings and only ungraded dirt walkways service the buildings in addition to an existing unpaved driveway on South San Gabriel Boulevard. Only one permit was found from 1954 that referenced the construction of one new greenhouse at the subject property. Due to there being only one permit for them we would assume the remaining greenhouses were constructed post the 1938 date of the record Sanborn map we found.

Maintenance Building

Constructed adjacent to the existing greenhouses is an existing maintenance building, which there are no records of being constructed. With the two Sanborn maps we found we know there was no existing building in 1925. Shown on the 1938 Sanborn map is what we assume to be the Maintenance Building. The building is non-descript in that it is simply a building without existing windows, it has one existing doorway into the building, the walls are stucco, and the existing roof has a single hip and is constructed of metal decking with an attic vent facing South San Gabriel Boulevard.

Single Family Residential Buildings

There were records found for single family residential buildings facing South Gladys Avenue and located at the southeast corner of the subject property. The records indicate the single family residential buildings were constructed post World War II in the mid-1940s to the 1970s for a total of three residential buildings constructed on the subject property. The permits for two of the buildings were submitted to the City under Fred Yoshimiro and Raymond Yashimiro and it is likely that the single family residential buildings early on were occupied by members of the immediate Yoshimiro family, but it should be noted that Fred Yoshimura, the patriarch of the family, did not live on the subject property. From what we could ascertain from previous photos of the buildings they were standard single family residential buildings of the era with no unique defining

architectural elements. Since the time of their construction the remaining residences on the subject property were demolished and removed from the site.

History of Construction and Alterations

Available building permits are listed in Appendix E; other records from the Los Angeles County Office of the Assessor show the history of land owners for the site in Attachment D.

Available records indicate the some of the greenhouses and the maintenance building were constructed post 1925 and before 1938. There is only one record of one additional greenhouse built in the 1950s with a total of four greenhouses existing at the subject property today. City of San Gabriel Building Permit Records indicate there were minor electrical and plumbing permits pulled to maintain the existing buildings and land.

History of Owners

Summary

The subject properties were originally owned by two separate owners in the early 1900s, who were Isaac Newton Van Nuys and Annie Spencer, noted from the records located at the Los Angeles County Office of the Assessor and the records indicate the property was located in unincorporated East San Gabriel. Records indicate that beginning in 1905 the lots owned by Annie Spencer were being sold to Ransom Mitchell and the last the lots she owned were finished being sold in 1908. Records show Isaac Newton Van Nuys began selling his lots to the same Ransom Mitchell in 1906 with his last lot being sold to Ransom Mitchell in 1908. In 1918 we have recorded the last transaction of land being sold to Ransom Mitchell in 1918 from Francesca Shepherd and it references it being sold to 'Ransom Mitchell Nursery'. In 1925 the L.A. County Assessor indicates the lots were beginning to be sold to Imao Naydo with him finishing acquiring all of the subject property in 1929. The final land transaction record found was Imao Naydo selling the property to Raymond and Hayao Yoshimura in 1943. Raymond Yoshimura was Fred Yoshimura's son who was drafted into the United States military during World War II and he likely bought the property in his and his sister's name because their father, Fred Yoshimura, was interned at a Japanese Internment camp located in Arizona during the war with his wife and other children.

History of Tenants

There is limited information available on the history of the tenants at the subject property. Although we were able to find records of who owned the land it was not until we found the Sanborn map from 1938 that we have an actual record of the site being used as a nursery. From briefly interviewing the descendants of the Yoshimura family we were able to ascertain that while their family assumed ownership the site in 1943, it was not until 1945 that their family was allowed to leave the Japanese internment camp at the conclusion of World War II. From that time onward the majority of the site was owned and operated by the Yoshimura family to continue the site's use as a nursery to grow plants that would be sold at their main retail address of 632 South San Gabriel Boulevard, which is not a part of this report.

Historic Context

The following provides relevant historic contexts in which to evaluate potential significance of the subject property.

City of San Gabriel, Early Developmental History

Nestled in the shadow of the San Gabriel Mountains and named for the Mission San Gabriel Arcángel founded there by Father Junipero Serra, the City of San Gabriel was instrumental in the founding of Los Angeles, as well as the state of California. Long a tourist destination with remarkable attractions, today's city blends its unique historical importance and charm with an exciting future.

San Gabriel holds serious historical significance, as Mission San Gabriel Arcángel served as the starting point for the original Spanish settlers' (los Pobladores) nine-mile walk to Los Angeles in 1781 that initiated founding of Los Angeles.

The late 1800s and early 1900s brought expansion and population growth to San Gabriel.

Noted historical structures such as the historical adobes were built, as were the San Gabriel Cemetery and the Church of Our Saviour.

Among the first tourist destinations was Grapevine Arbor, which covered more than 10,000 square feet. Within Grapevine Arbor was Ramona's Home Inn, an inn with fine dining and relaxation options. It was also during the late 19th century that Chinese, Japanese, Filipino and South Asian pioneers first settled in the area. Their arrival added ethnic diversity and culture that remain vibrant parts of San Gabriel today.

In 1911 California poet laureate John Steven McGroarty wrote the legendary "Mission Play," chronicling the founding of the missions and touting the area's rich history. The play was so successful that 2.5 million people saw it over a 20-year run. Given the play's early success, the Mission Playhouse was built, and it remains a cultural center yet today.

Relevant Architectural Style

The greenhouses at the subject property is a typical framed building with no artistic expression of the buildings and does not strongly represent any particular architectural style. Additionally, the maintenance building has no distinct architectural style and is a simple wood framed building with exterior stucco walls to house tools and equipment to protect them from the elements when they were not in use. The only uses of existing buildings at the site were either for growing plants or securing tools and equipment. Thus, the existing buildings can not be said to have an architectural style.

VI. HISTORIC RESOURCE ASSESSMENT

The following evaluates whether or not the subject property meets criteria for listing in the National and California Registers and as a San Gabriel City Landmark.

National and California Registers

The eligibility criteria for National and California Registers generally align and are therefore described together below. Properties eligible for the National and California Registers may be considered eligible at the local, state, or national levels of significance.

Criterion A/1: Is associated with events that have made a significant contribution to the broad patterns of our history and cultural heritage.

The subject property does not appear to be associated with events that have made a significant contribution to the broad patterns of our history and cultural heritage. There are no known events of special importance that have taken place at the subject property, nor does the subject property appear to exemplify any significant pattern of development. The buildings at the subject property were constructed between 1925 and 1954, during a time in which southern California experienced major increase in population and subsequent growth in the nursery retail business. The block on which the property is located has maintained its use as an additional inventory capacity for the main nursery business at 632 South San Gabriel Boulevard. There does not appear to have been anything especially important about development of this particular block, and the lack of development with building through the decades makes it difficult for the block to be expressive of any specific moment in history or important early pattern of development. Given that the majority of properties on the street are from the post-World War II era, there is not a strong sense of time and place reflecting the decade in which the subject property was developed (1930s). The subject property does not convey any specific pattern of urban development on its own, nor does it convey such a pattern within its context on the block. Therefore, the subject property does not appear significant for association with early residential development in San Gabriel and does not appear to meet *Criterion A/1*.

Criterion B/2: Is associated with the lives of persons important in our past.

The subject property does not appear to be associated with persons important in our past. Historic owners and tenants were researched and biographies were developed for this report, but none of these individuals appeared to have made substantial contributions to history. The previous owners of the property were widely known due to their time in the market of nurseries in the area, but there appears to be no historic significance of the Yoshimuras unique to their family. Therefore, the subject property does not appear to be closely associated with any persons important in our past or meet *Criterion B/2*.

Criterion C/3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic values.

The subject property was evaluated for its architecture, but was not found to embody any particular architectural style. While the site was used as inventory for a retail nursery location there was no maintained unique landscape artistic expression at the site. Therefore, the subject property does not appear to meet *Criterion C/3*.

Criterion D/4: Has yielded, or may be likely to yield, information important in prehistory or history.

The subject properties cannot reasonably be expected to yield information important in prehistory or history. Therefore, the subject property does not appear to meet *Criterion D/4*.

City of San Gabriel Historic Preservation and Cultural Resource Ordinance

City of San Gabriel eligibility criteria for listing as a City Landmark are described and the subject property must meet the requirements in paragraph A and B taken from San Gabriel's Municipal Code Section 153.607:

Paragraph A: The property meets one of the following eligibility criteria:

- 1. It is or was once associated or identified with important events or broad patterns of development that have made significant contribution to the cultural, architectural, social, historical, economic, and political heritage of the city, region, state, or nation.*
- 2. It is or was once associated with an important person or persons who made a significant contribution to the history, development, and/or culture of the city, region, state, or nation.*
- 3. It embodies the distinctive characteristics of a style, type, period, or method of construction;; represents the work of a master or possesses high artistic or aesthetic values; or it represents one of the last, best remaining examples of an architectural type or style in a neighborhood or the city that was once common but is increasingly rare.*
- 4. It has yielded or has the potential to yield information important to the prehistory or history of the city, region, state, or nation.*

The subject property was evaluated for any important historical associations, such as with historical events and persons. As previously noted, early owners and tenants were identified and researched, but none appear to have done important work unique to the subject property. Therefore, the subject property does not appear to be significant for association with them. Additionally, the subject property was evaluated within the context of local patterns of urban development, especially the history of early residential development in San Gabriel. As previously noted, the subject property represents a pattern of development that was ubiquitous at the time. The buildings at the subject property are not located within an intact grouping of other early homes, as the majority of homes on the block are from the Post-World War II era. The subject property does not appear to represent any particular pattern of early residential development, nor convey a strong sense of time and place from the 1920s. Therefore, the subject property does not appear to satisfy *Paragraph A*.

Paragraph B: The property retains integrity from its period of significance, as determined by a qualified architectural historian or historian. A proposed historic landmark need not retain all seven aspects of historic integrity (location, design, setting, materials, workmanship, feeling, and association), but it must retain sufficient integrity to convey the reasons for its cultural, architectural, social, historical, economic, and political significance.

As previously noted, the subject property was evaluated for its retention from its period of significance, but was not found to convey and maintain sufficient integrity to convey the reason for it to be considered for Paragraph B's requirements. Therefore, the subject property does not appear to meet *Paragraph B*

VII. CONCLUSION

The subject property does not appear eligible for listing as a San Gabriel City Landmark or Historic Resource per Chapter 153 of the Municipal Code, or in the California or National Registers. The subject property was evaluated for its historical associations with early owners and tenants, architectural style, and representation of a pattern of residential development in the city. The subject property does not appear to have been developed by nor associated with the important work of any important early landowners, tenants, or persons of significance to the history of the city. The subject property was evaluated for its architectural merit. However, neither the buildings or landscape at the subject property well represents any particular style. Finally, the subject property was evaluated as representing an important pattern of early commercial development in the city of San Gabriel. Initially developed in 1920s, during a time when the city of San Gabriel, and southern California overall, were experiencing a population and personal landscaping boom, the subject property is an example of commercial industrial development from the period. However, the subject property does not appear to be an important example and this review did not evaluate the main commercial business located at 632 South San Gabriel Boulevard. Rather than being situated amongst a grouping of other buildings from the same period, it is located on a block of San Gabriel Boulevard with buildings of several different architectural styles, constructed over multiple decades; the majority of buildings on the block are from the post-World War II era. There is no evidence that any important events took place at the subject property. Thus, the subject property does not exemplify any particular moment in the city's developmental history. Therefore, the subject property was not found significant for its association with early residential development in San Gabriel, and does not appear to qualify as an historical resource under CEQA.

VIII. Conditions of Approval

There is no known environmental impact associated with developing the subject property regarding the National, State, or Local Resources for historical resources. Therefore there are no mitigation of environmental impacts required. We recommend the City have the developer of the subject property document the existing site with digital photography throughout the site adhering to the specifications below:

Digital Image Format

1. Camera
 - a. 6 megapixel or greater digital SLR camera is recommended. 2 to 5 megapixel point-and-shoot cameras are acceptable. Camera phones, disposable or single-use digital cameras, or digital cameras with fewer than 2 megapixels of resolution are not accepted.
2. Digital Camera Resolution
 - a. Set the camera to the maximum or largest pixel dimension the camera allows. 6 megapixels or greater (2000 x 3000 pixel image) at 300 dpi is recommended, and minimum 2 megapixels (1200 x 1600 pixel image) at 300 dpi is acceptable.
3. Image File Formatting Setting
 - a. Set the camera for the highest image quality. Tag Image File Format (TIFF) or RAW format is recommended. TIFF is recommended because of its ability to retain full image and superior image quality over JPEG. Do not use the JPEG setting on the camera, if a higher quality setting is available. JPEGs converted to TIFFs, by a computer conversion process, are acceptable. However, JPEGs must not be altered in any way prior to conversion other than renaming them.
4. Color
 - a. All prints must be in black and white. Color prints are not accepted.
5. Size
 - a. Photography must be in 'large-format' (minimum 4" x 5"). Standard sizes are: 4" x 5", 5" x 7", or 8" x 10".
6. Renaming the Digital TIFF Image
 - a. All digital image files must be renamed with the property address using the following standard naming format:

 Street Name_DirectionNumber_Photo Number (example San Gabriel_N100_1.tif)
7. Burning the Images onto an Archival Disc
 - a. CD-R Archival Gold or DVD-R Archival Gold discs are recommended. However, CD-R, DVD-R, or any disc obtained from a commercial processor is acceptable. CD-RW or DVD-RW discs are not acceptable (if packaging says "rewritable" do not use it).
8. Labeling the Disc
 - a. Labels printed directly on the disc by laser printer (non-adhesive) are recommended; however, hand-written labels using CD/DVD safe markers or other markers such as Sharpies are acceptable. Ammonal/solvent base markers or adhesive stickers are not acceptable. The disc label should indicate the address of the property being photographed.

Technical Information

1. Lighting
 - a. Sunlight is usually preferred for exteriors, especially for the front façade. Light overcast days, however, may provide more satisfactory lighting for some structures. A flash may be needed to cast light into porch areas or overhangs. Consider the proper time of day to take the photographs to ensure that the sun is behind the photographer in order to reduce glare.
2. Focusing
 - a. All areas of the photograph must be in sharp focus
3. Quality
 - a. Photographs should clearly depict the appearance of the property and areas of significance as required in the condition of approval.
4. View / Composition
 - a. All photographs shall be composed to give primary consideration to the architectural and / or engineering features of the structure with aesthetic considerations necessary, but secondary. No features that are vital to the structure, such as the top of the chimney and the base of columns, should be cropped or hidden.

The following elements are considered essential:

- a) Elevation of front façade
- b) Perspective view, front and one side
- c) Perspective view, rear and opposing side
- d) Detail view of main entrance
- e) General view from a distance sufficient to show environmental setting, landscaping and possibly adjacent buildings
- f) Additional views or elements required in conditions of approval.

Submission

1. The submission must include a separate sheet of information for each photograph, with the structure's name (if any), address (street with number or written description of the location), date of construction, the name of the photographer and the date the photo was taken. Each individual photograph must be identified by an image number. The image caption should be written in the following order:
 - a. ID number of the photograph (corresponding to the number in the digital file name)
 - b. Subject: (As applicable: south front, first floor, cellar, attic, etc.)
 - c. Specific Location: (As applicable: southwest room, east wall)
 - d. Camera to subject orientation: (View to southwest, view to east)
 - e. Special comments or observations about the photograph
2. In special cases, such as recording a large property, a site map or floor plan that indicates where photography is taken should also be included in the submittals. In this situation, a 'V' shape should be used to describe the direction that the camera is facing.

Copyrights

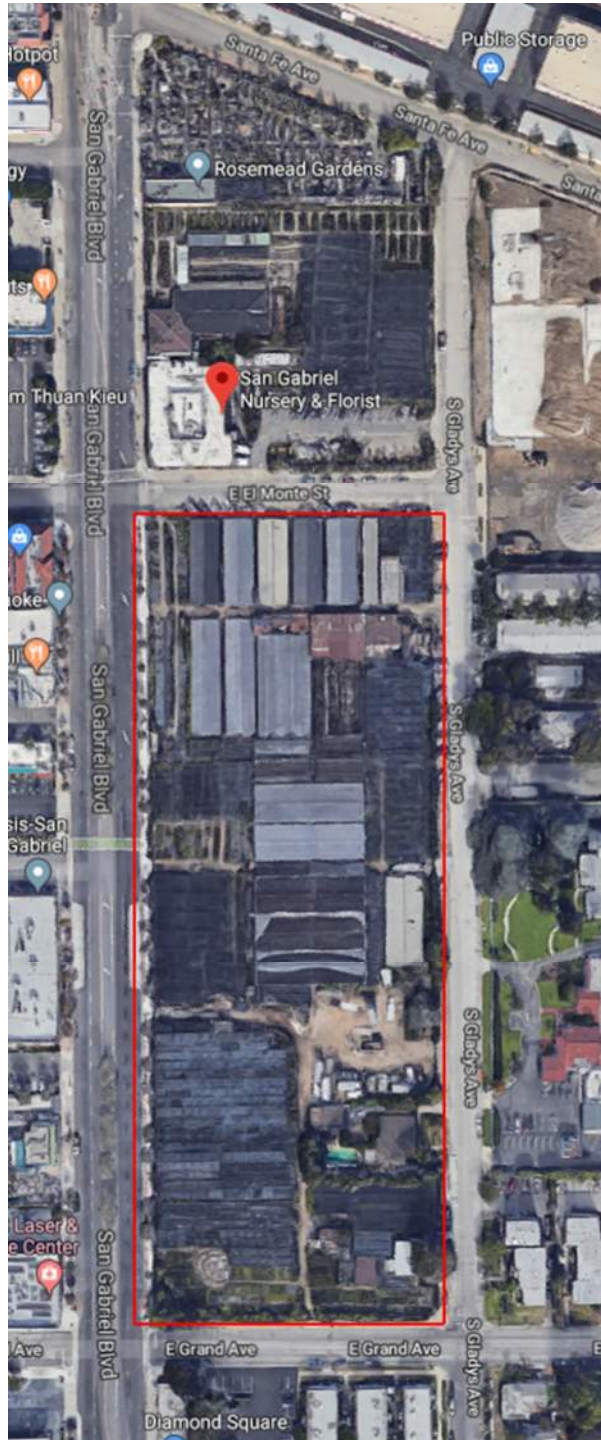
1. No photograph, negative, print, or caption that contains a copyright statement or symbol is accepted. Photographs submitted become the property of the City of San Gabriel.

Submittals

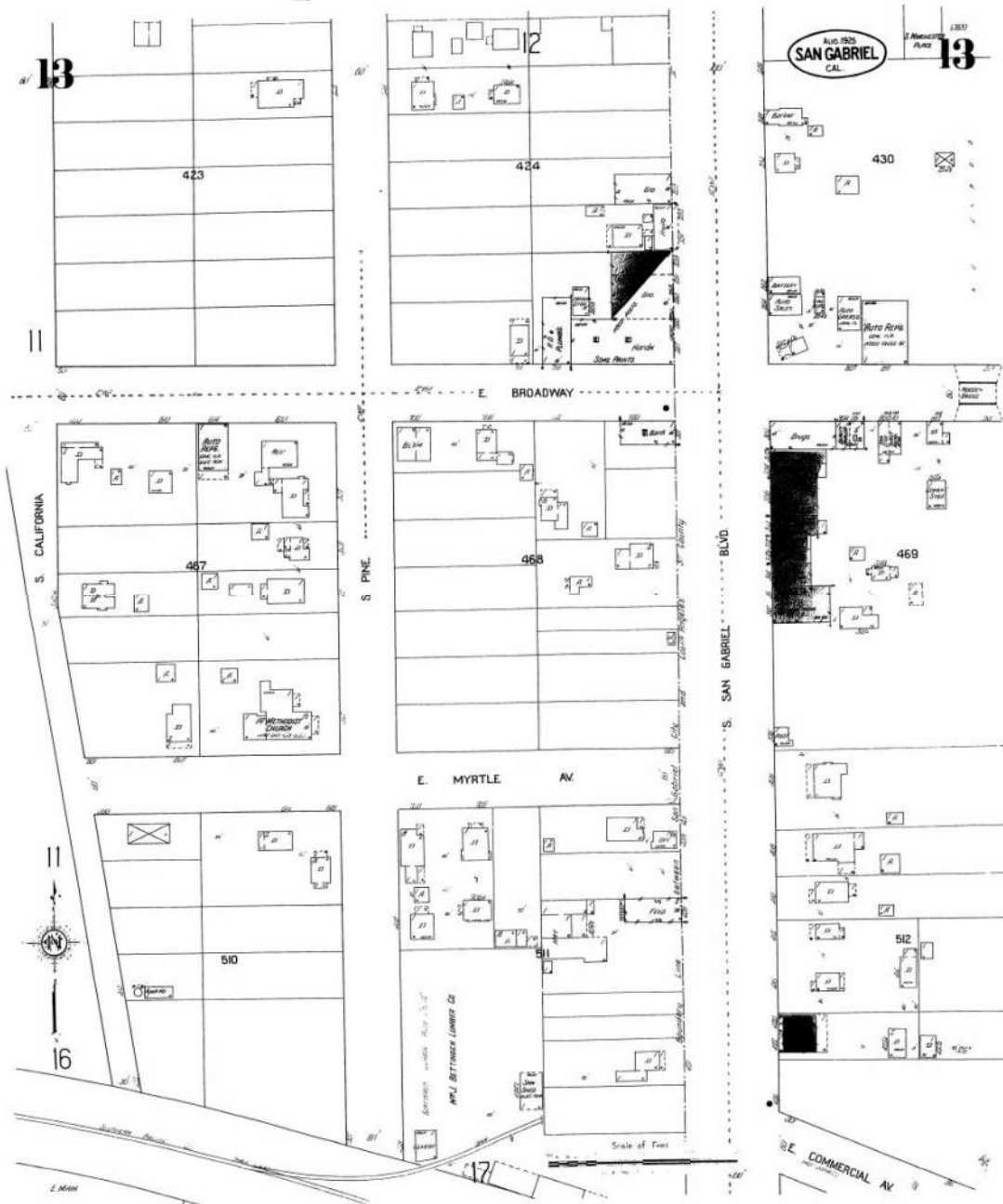
1. A CD or DVD containing all TIFF images must accompany the printed photos and image caption. Disc-only submission is not accepted.
2. The CD or DVD shall be submitted to (City of San Gabriel's designated person) at the City of San Gabriel. They can be contacted via EMAIL and PHONE NUMBER.

IX. APPENDIX

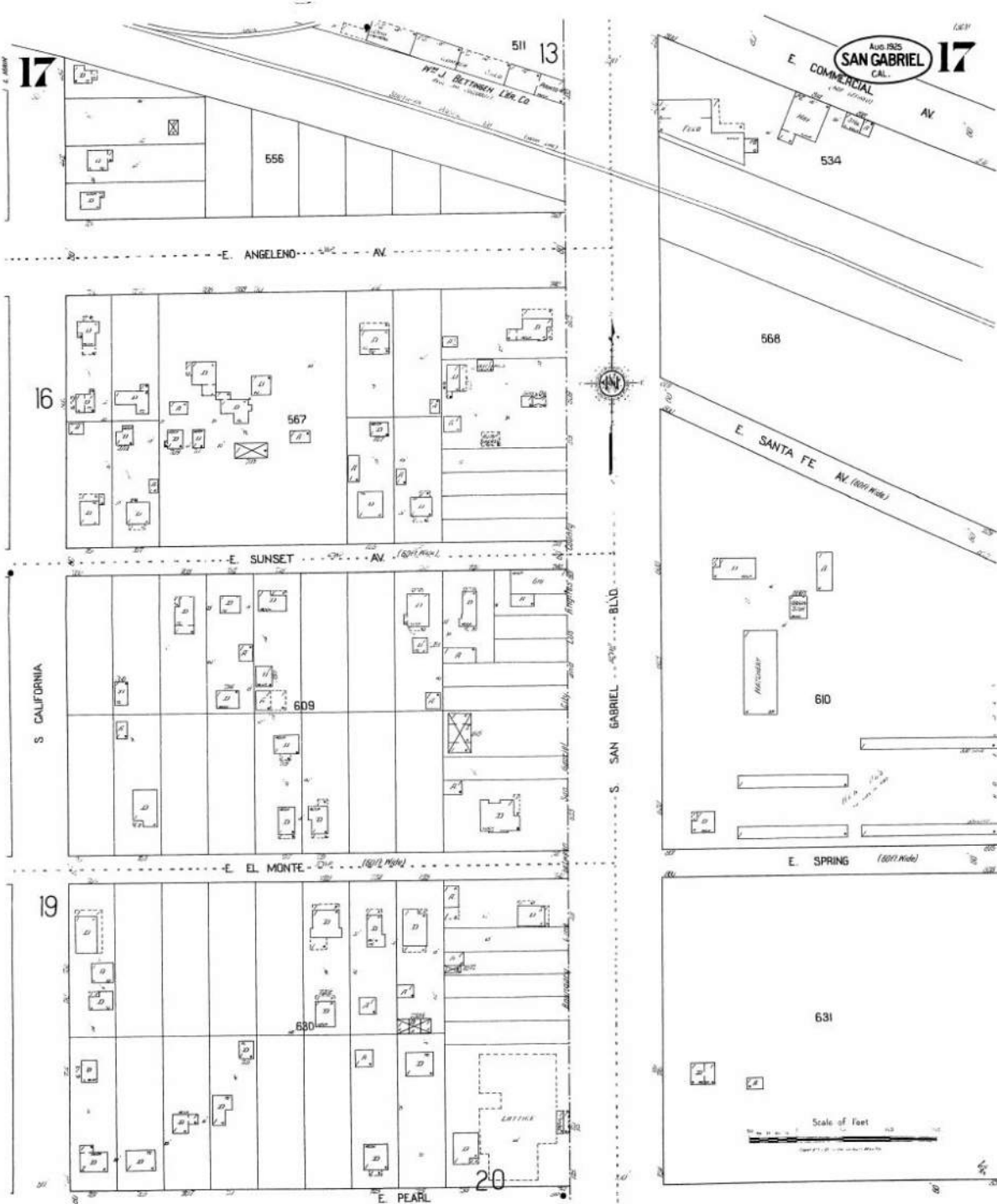
Attachment A: Current Aerial Map



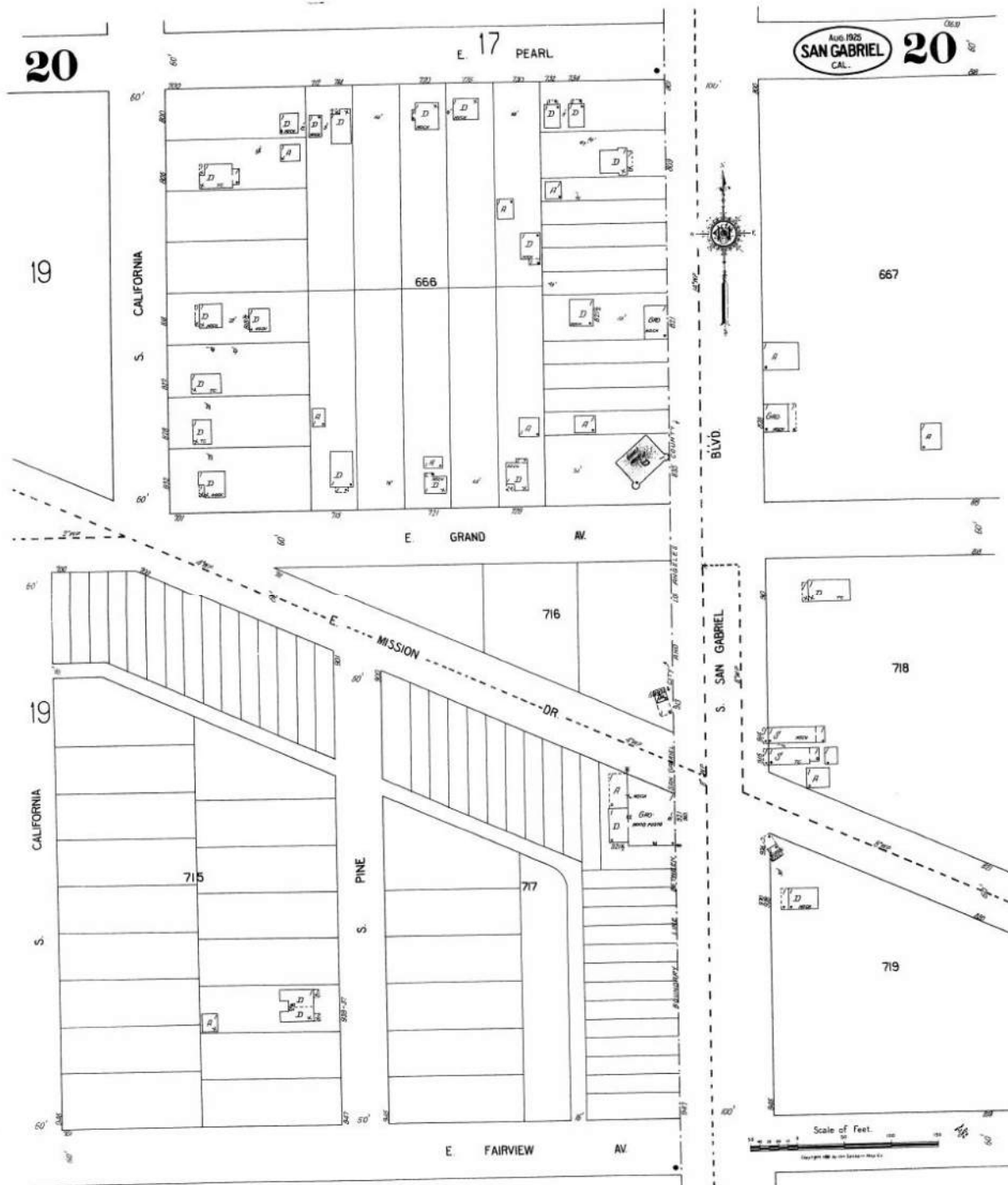
Attachment B: Sanborn Maps



Sanborn Map | San Gabriel | 1925 | Sheet 13

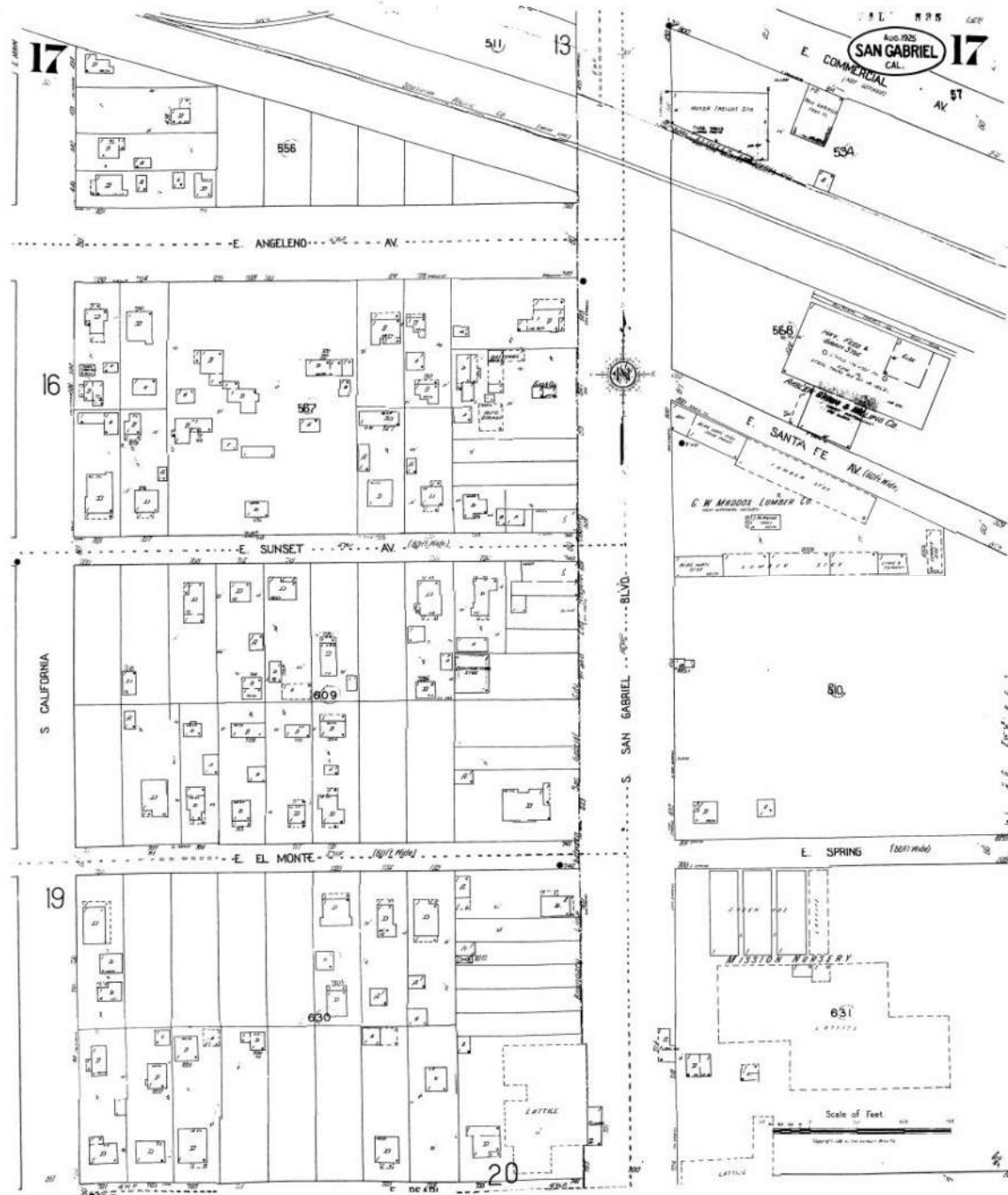


Sanborn Map | San Gabriel | 1925 | Sheet 17

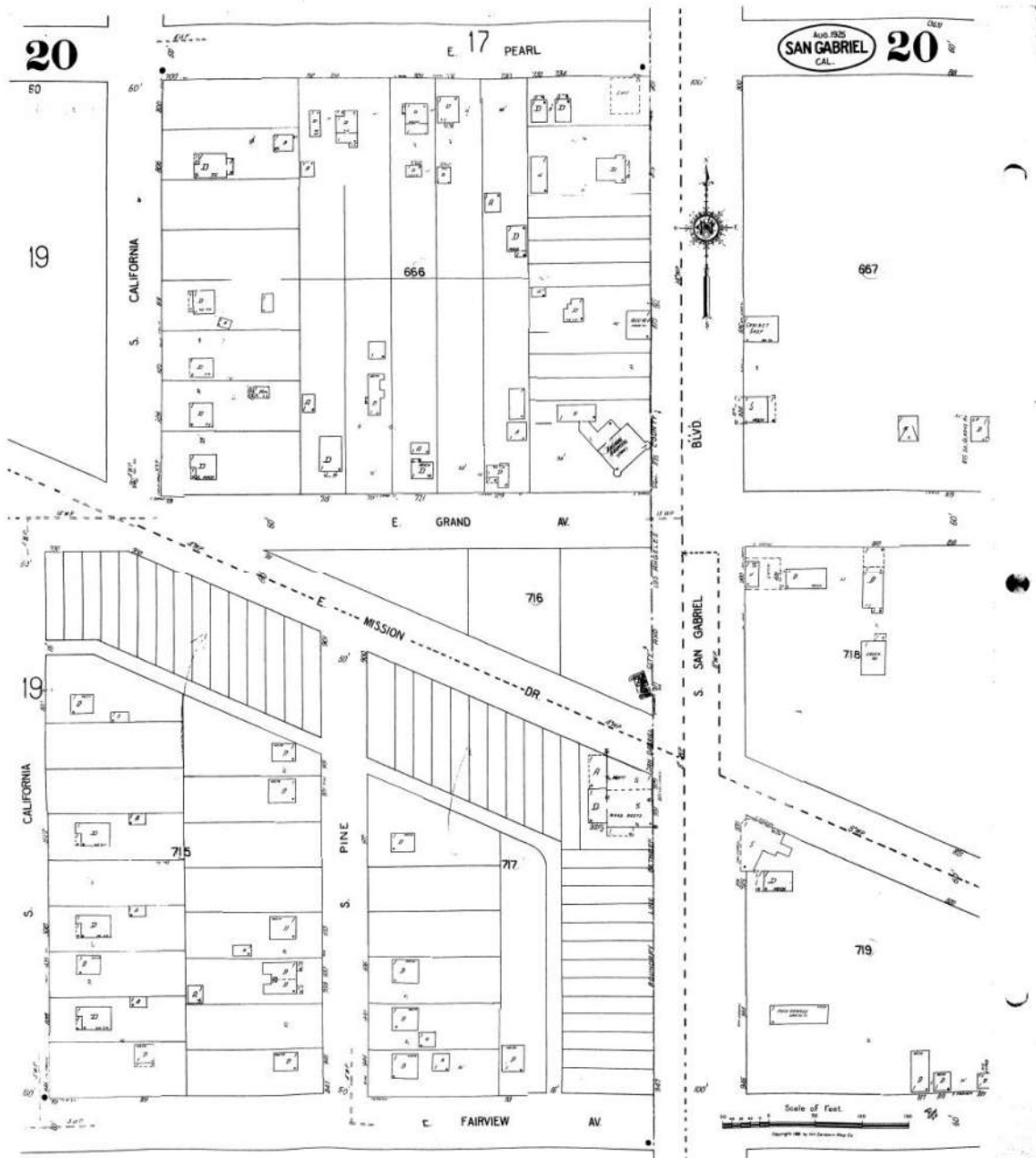


Sanborn Map | San Gabriel | 1925 | Sheet 20

Sanborn Map | San Gabriel | 1938 | Sheet 1 - Index



Sanborn Map | San Gabriel | 1938 | Sheet 17



Sanborn Map | San Gabriel | 1925 | Sheet 20

Attachment C: Current Property Photographs

























































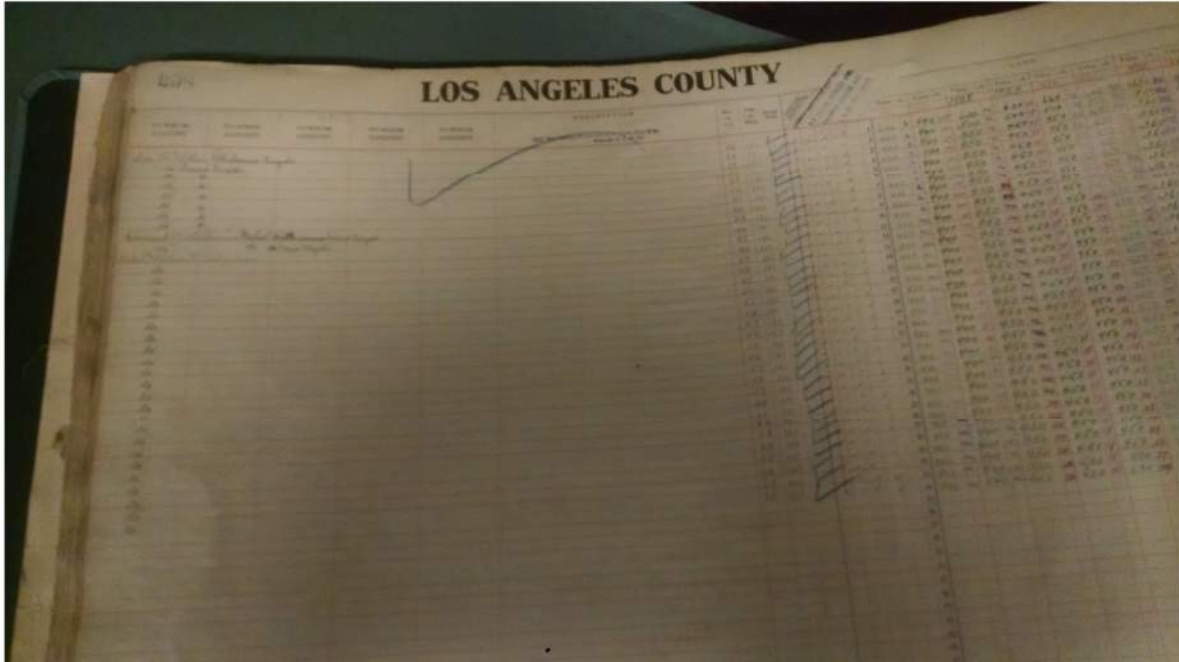
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1919-1926 LA County Assessor Map Book No. 301 | Page 6March 2018 | Page 57

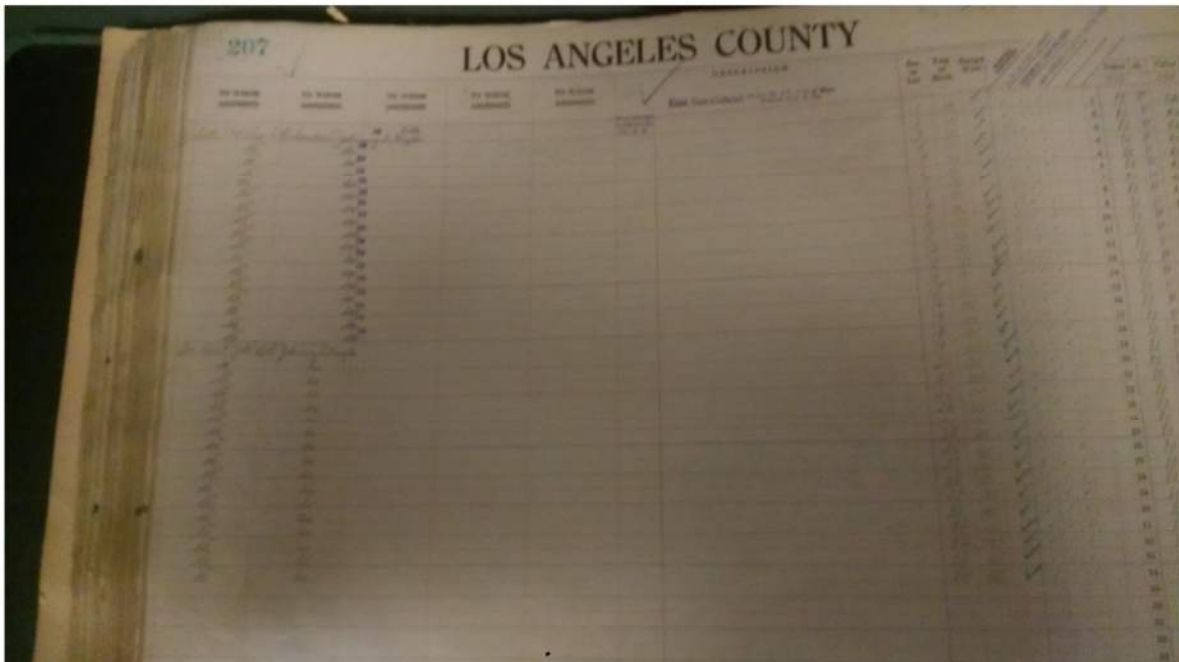
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100	James L. Johnson	1990	1990

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1926-1933 LA County Assessor Map Book No. 301 | Page 4



1933-1940 LA County Assessor Map Book No. 301 | Page 2



1943-1950 LA County Assessor Map Book No. 795 | Page 8March 2018 | Page 60

1948-1952 LA County Assessor Map Book No. 727 Part 2 | Page 6March 2018 | Page 61

1948-1952 LA County Assessor Map Book No. 727 Part 2 | Page 8March 2018 | Page 62

1953-1957 LA County Assessor Map Book No. 727 Part 2 | Page 5March 2018 | Page 64

LOS ANGELES COUNTY

PAGE 245 MAP BOOK 727

SECTION	TAXPAYER	LAND	IMPROVEMENT		TOTAL
			LAND	IMPROVEMENT	
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LOS ANGELES COUNTY

MAP BOOK 727 PAGE 246

SECTION	TAXPAYER	LAND	IMPROVEMENT		TOTAL
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1958 LA County Assessor Map Book No. 5373 | Page 3March 2018 | Page 66

LOS ANGELES COUNTY ASSESSOR

Map Book 5373 Page 004

THE FIRST EIGHTH VALUE CARRIED FORWARD TO THE NEXT UNIT, A CHANGE IS MADE BY AN ENTRY IN THE COLUMN OF THE UNIT AFFECTED.

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DESCRIPTION	1957	1958	1959	1960	1961	1962	1963	1964	1965	1966	1967	1968	1969	1970	1971	1972	1973	1974	1975	1976	1977	1978	1979	1980	1981	1982	1983	1984	1985	1986	1987	1988	1989	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	295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1958 LA County Assessor Map Book No. 5373 | Page 7

1958 LA County Assessor Map Book No. 5373 | Page 8March 2018 | Page 68

Attachment E: San Gabriel City Building Permit Records

<i>Date</i>	<i>Permit No.</i>	<i>Work</i>	<i>Owner</i>	<i>Architect, Engineer, or Contractor</i>	<i>Valuation</i>
April 11, 1961	7541	Plumbing—Sewer Permit	Mrs. Jackson	Dale Tracey	Not given
August 7, 1969	05796	Sewer Permit	Jacqueline M. Bagnuolo	G.E.M. Plumbing	Not given
November 25, 1969	05956	Electrical Permit	Bagnuolo	G.G. Hester and Son, electrician	Not given
November 4, 1977	10986	Reroof	Bagnuolo	Lytle Roofing	\$568.00
June 28, 1985	18512	Electrical Permit	Bagnuolo	Michael Sizer, electrician	Not given
July 2, 1985	18526	Alter dwelling and unit over garage (new porch 7'x32'; aluminum windows; restucco)	Bagnuolo	Musser Construction	\$10,000.00
July 2, 1985	18525	Replace stairs; restucco; replace windows.	Bagnuolo	Musser Construction	\$7,000.00
July 9, 1985	18547	Electrical Permit	Bagnuolo	Sizer, electrician	Not given
May 30, 1986	19300	Add 160' fence, 6' tall	Bagnuolo	Evelyn J. Schneider	\$1,600.00
April 12, 1988	21460	Repair chimney	Bagnuolo	David Construction	\$1,000.00
June 2, 1988	21615	Reroof single-family dwelling with gerard metal tile roof.	Bagnuolo	Belvedere Roofing, Inc.	\$9,900.00
September 23, 1991	26004	Remodel bathroom in front of house w/new shower, sliding doors. Inspection note: Only one house allowed on lot.	Bagnuolo	Stephen F. Capasso II, contractor	\$384.00
September 23, 1991	26005	Electrical permit bathroom remodel.	Bagnuolo	Stephen F. Capasso II, contractor	Not given
September 25, 1991	26096	Plumbing permit for bathroom remodel.	Bagnuolo	Euingev Plumbing	Not given
August 27, 1992	27476	Mechanical permit for pool and spa	Bagnuolo	Swan Pools	Not given
August 27, 1992	27477	Plumbing permit for pool and spa	Bagnuolo	Swan Pools	Not given
August 27, 1992	27478	Mechanical permit for pool and spa	Bagnuolo	Swan Pools	Not given
August 27, 1992	27479	Add 288 square-foot pool with spa; fence and gates.	Bagnuolo	Miles, architect; Swan Pools, contractor	\$9,500.00
June 16, 1998	03239 7	Add 216 square-foot addition to single-family residence (study); bathroom; remodel laundry room; foundation anchorage.	Bagnuolo	R.J. Burke Contractor, Inc.	\$17,200.00
June 16, 1998	03239 8	Plumbing permit for room addition.	Bagnuolo	R.J. Burke Contractor, Inc.	Not given
June 16, 1998	03239 9	Electrical permit for room addition	Bagnuolo	R.J. Burke Contractor, Inc.	Not given
July 16, 2013	N/A	Legal status letter from City of Sierra Madre to Bagnuolo acknowledging rear garage and apartment building as "legal non-conforming" unit.	Bagnuolo	N/A	N/A

[illegible]

Permit No. 7014

Date Issued 10/14/44 192...

DEPARTMENT OF BUILDINGS

San Gabriel, Cal., October 14, '94 1994

(SIGN HERE) _____
Applicant

Building to be erected on Lot No. 344 Block 101 Tract 2 Saw Gr Mill

District No. 839 & Code 6015 Sub-Station 839

No. 1 Street

1. PURPOSE OF BUILDING _____ Number of Rooms _____
 2. OWNER Mr. J. H. Smith Address _____
 3. Architect _____ Address _____
 4. Contractor J. H. & Son Address _____
to be used as a residence

5. ENTIRE COST OF PROPOSED BUILDING, \$ 4500
 6. Size of lot ft. in. x ft. in. Size of building ft. in. x ft. in.
 7. Will building be erected on front or rear of lot? State if there is another building on lot
 8. NUMBER OF STORIES IN HEIGHT Height to highest point of roof
 9. Height of first floor joist above curb level, or surface of ground
 10. Character of ground, rock, clay, sand, filled, etc.
 11. Of what material will FOUNDATION and cellar walls be built?
 12. GIVE depth of FOUNDATION below surface of ground
 13. GIVE dimensions of FOUNDATION and cellar wall FOOTINGS
 14. GIVE width of FOUNDATION and cellar walls at top
 15. NUMBER and KIND of chimneys Number of flues
 16. Number of inlets to each flue Interior size of flues x
 17. Of what material will upper walls be constructed?
 18. How close to nearest property line will building be set?
 19. Give sizes of following materials: MUDSILLS x Girders and stringers x
 20. EXTERIOR STUDS x BEARING STUDS x Interior studs x
- (over)

APPLICATION FOR PERMIT
PLUMBING
CITY OF SAN GABRIEL, CALIF.

Permit No. 4363

Date 6-27-1946

Application is hereby made to the Building and Plumbing Inspector of the City of San Gabriel for the approval of the Plans and Specifications herewith submitted for the Plumbing and Drainage of building herein described. This Application is made under and subject to all the Rules, Regulations and Ordinances of said City of San Gabriel, in regard to the work for which said permit is asked.

Owner H. Yamamura Plumber Wade Aguilera
Location 217 S. Gladys By _____

FIXTURES: WHAT KIND AND WHERE LOCATED

Water Closet (How Many) <u>1</u>	Wash Basins (How Many) <u>1</u>
Bath Tubs " " <u>1</u>	Sink " " <u>1</u>
Wash Tubs " " <u>1</u>	Shower " " <u>1</u>
Sitz Tubs " " <u>1</u>	Water Heater " " <u>1</u>
Slop Hoppers " " <u>1</u>	Cesspools " " <u>1</u>
Urinals " " <u>1</u>	Gas Furnace " " <u>1</u>
House: Sewer " " <u>1</u>	Fuel, Light and Gas Piping <u>1</u>

A descriptive sketch of proposed work shall be drawn on back of this application. If it cannot be done, describe the same.

PERMIT FOR CONNECTION TO MAIN TRUNK SEWER
LOS ANGELES COUNTY SANITATION DISTRICTS

Office of Chief Engineer and General Manager

No 3318

Los Angeles, Calif., 8 July, 1946

PERMISSION IS HEREBY GIVEN TO HOYAO YOSHIMURA (Owner)
to make sewer connection to the SAN GABRIEL SEWER - GLADYS AVE Trunk Sewer

in San. Dist. No. 15 between GLADYS & EL MONTE

located at 217 So. GLADYS AVE., SAN GABRIEL

Lot 14, Block -, Tract 101

Location { T. SEE SAN GABRIEL SEWER AUTHORIZATION #3412
Y. SEE SAN GABRIEL SEWER AUTHORIZATION #3412
Saddle

Connection to structures shall be made per plan No. G-a-155 and saddles shall be per plan No. G-a-157.

ALL CONNECTIONS MUST BE
INSPECTED BY THE SANITATION
DISTRICT OFFICE BEFORE
BEING BACKFILLED

A. M. RAWN,
A. E. WARREN, Chief Engineer and General Manager.

By P. G. Whitely

FORM NO. 47 5-40 25 BOOKS

CITY OF SAN GABRIEL BUILDING DEPARTMENT				BUILDING APPLICATION FOR PERMIT		
PERMIT NO. 6504	PLAN NO.	P. E. NO.	GROUP	TYPE	USE ZONE	
DATE ISSUED April 29, 1948	READY FOR INSPECTION		FIRE ZONE	SET BACK FOR ST. WIDENING	SET BACK FOR USE ZONE	
JOB ADDRESS 823 So. Gladys LOT 12 BLOCK 108 TRACT E.O.G. SIZE OF LOT OWNER NAME H. Yoshimura ADDRESS 823 So. Gladys CITY SG PHONE CONTRACTOR NAME ADDRESS CITY STATE LICENSE NO. PHONE ARCHITECT NAME ADDRESS CITY STATE LICENSE NO. PHONE NEW NO. OF FAMILIES ALTERATION NO. OF ROOMS ADDITION SIZE OF BLDG. REPAIR STORIES MOVE WALL COVERING DEMOLISH ROOF COVERING I HEREBY CERTIFY THAT ALL WORK WILL BE BUILT TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS APPLICABLE THERE TO. THAT I HAVE CAREFULLY EXAMINED THE ABOVE APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. SIGNATURE OF OWNER OR AUTHORIZED AGENT <i>[Signature]</i>			DESCRIPTION OF WORK USE OF BUILDING 10x14 bath room addition to existing Dwelling APPROVALS FOUNDATION AND MAT'L. 6-1-48 CHIMNEY ROUGH FRAME 6-24-48 FINAL 7-9-48			
VALUATION \$ 500.00			PERMIT FEE \$ 1.00			

CITY OF SAN GABRIEL BUILDING DEPARTMENT		PLUMBING APPLICATION FOR PERMIT	
BUILDING PERMIT 5727	STREET PERMIT	CORRECTIONS	
DATE ISSUED	READY FOR 1ST INSPECTION		
JOB ADDRESS			
LOT BLOCK TRACT			
NAME Fred Yoshimura			
ADDRESS 805 S. Broadway			
CITY San Gabriel PHONE (424) 478			
PLUMBER NAME D. Stone			
ADDRESS 2472 E. 9th			
CITY Montebello PHONE (626) 871			
DESCRIPTION OF WORK			
No.	Fee	No.	Fee
Bath Tub		Wall Hanger	
Shower 1		Urinal	
Lavatory 1		Floor Drain	
Water Closet 1		Floor Sink	
Kitchen Sink 1		Stop Sink	
Wash Tray 1		Refrigerator	
Water Heater 1		Drink Fountain	
Gas Outlets 8		Sprinkler Systems	
Furnace B-T-U		Water Softener	
Electric Washer		House Sewer	
Water		Swimming Pool	
PERMIT FEE			
I hereby agree to install all of the above work according to San Gabriel Ordinances.			
Master Plumber or Gasfitter			
Rough Plumbing		2/2/48	MT
Gas Vents			
Sewer			
Final		2/9/48	MT
Gas O.K.		2/9/48	MT

Phan-ol San Co

[illegible]

CITY OF SAN GABRIEL BUILDING DEPARTMENT		ELECTRIC APPLICATION FOR PERMIT		SERVICE 3 #8 SER. COND. 9/4 SER. SWITCH <u>Master</u> No. CIR.	
ELECTRICAL PERMIT 9188 DATE ISSUED 1-7-52 READY FOR INSPECTION <u>Yes</u>		LOCATION			
JOB ADDRESS 817-S-Blodys		LIGHTS			
OWNER NAME T. Iwanamiya		PLUGS			
ADDRESS		SWITCH			
CITY PHONE		FIXTURES			
ELECTRICIAN NAME <u>Barons Electric Co</u>		FRONT PORCH			
ADDRESS 5013-N-San Gabriel		ENTRY HALL			
CITY <u>Basement</u> PHONE <u>61814</u>		LIVING ROOM			
DESCRIPTION OF WORK		CLOCK OUTLET			
NO.		DINING ROOM			
PERMIT - FEE 1 0 0		BREAKFAST ROOM			
OUTLETS 7		KITCHEN			
RANGE		SERVICE PORCH			
WATER HEATER		REAR PORCH			
ELECTRIC HEATER		PASS HALL			
FIXTURES 2		BEDROOM 1			
NEON SIGN		BEDROOM 2			
SERVICE EQUIPT.		BEDROOM 3			
MOTORS H.P.		DEN			
TOTAL FEE		CLOSETS			
I HEREBY AGREE TO INSTALL ALL OF THE ABOVE WORK ACCORDING TO SAN GABRIEL ORDINANCES		BATHROOM 1			
Robert Barons MASTER ELECTRICIAN		BATHROOM 2			
APPROVALS		SHOWER			
CONDUIT OK		PATIO			
WIRING OK		GARAGE			
FIXTURES OK 1-7-52 m.f.		BASEMENT			
OK FOR SERVICE 1-7-52 <u>Planned</u>		TRANSFORMER			

CITY OF SAN GABRIEL BUILDING DEPARTMENT		BUILDING APPLICATION FOR PERMIT	
PERMIT NO. 9329	PLAN NO.	R. C. NO.	GROUP 1
DATE ISSUED 6/11/52	READY FOR INSPECTION	FIRE ZONE #3	TYPE 2
JOB ADDRESS #839 So. Blodys	USE OF BUILDING	SET BACK FOR ST. WIDENING	USE ZONE R-3
LOT 3-4 BLOCK 101 TRACT 607.5G	DESCRIPTION OF WORK	SET BACK FOR USE ZONE	
OWNER NAME Ray Yoshimura	NOTICE		
ADDRESS above	This permit is issued subject to any Federal Restrictions		
CITY PHONE	Dept. of Building		
CONTRACTOR NAME Same	CITY OF SAN GABRIEL		
ADDRESS	6-11-1952		
CITY	G. C. G.		
STATE	Building Inspector		
LICENSE NO.			
ARCHITECT NAME	APPROV.		
ADDRESS	DEPT. OF BUILDING		
CITY	CITY OF SAN GABRIEL		
STATE	3-4		
LICENSE NO.	FILE 101 TRACT 607.5G		
NEW	ADDRESS #839 So. Blodys		
ALTERATION	OWNER Ray Yoshimura		
ADDITION	CONTRACTOR		
REPAIR	VALUE 1500 -		
MOVE	REMARKS New windows & more partitions		
REMODEL	EXISTING. Dwelling		
I HEREBY CERTIFY THAT ALL WORK WILL BE BUILT TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS APPLICABLE THEREOF; THAT I HAVE CAREFULLY EXAMINED THE ABOVE APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT.		APPROVALS	
SIGNATURE OF OWNER OR AUTHORIZED AGENT <u>Raymond K. G. G.</u>		FOUNDATION AND MAT'L.	
VALUATION \$		CHIMNEY	
PERMIT FEE \$		ROUGH FRAME	
		FINAL 9/20/52	

CITY OF SAN GABRIEL BUILDING DEPARTMENT				BUILDING APPLICATION FOR PERMIT		
PERMIT NO. 7476	PLAN NO.	R. E. NO.	GROUP I	TYPE V	USE ZONE R-3	
DATE ISSUED 8-13-52	READY FOR INSPECTION		FIRE ZONE 3	SET BACK FOR ST. WIDENING	SET BACK FOR USE ZONE	
JOB ADDRESS 839. So Gladys			DESCRIPTION OF WORK			
LOT 3-4 BLOCK 101 TRACT F. San Gab.			USE OF BUILDING Re-modeling S.E. corner of exist. dwelling and adding screen porch.			
SIZE OF LOT 50 X 150			NOTICE This permit is issued subject to any Federal Restrictions Dept. of Building CITY OF SAN GABRIEL Aug 13, 1952 A.B. W.C. Building Inspector			
OWNER	NAME Raymond Yoshimura					
	ADDRESS 132 So San Gabriel Blvd					
CONTRACTOR	NAME Raymond Yoshimura					
	ADDRESS 132 So San Gabriel Blvd					
ARCHITECT OR ENGINEER	NAME					
	ADDRESS					
CITY San Gabriel						
STATE LOS ANGELES						
PHONE						
NEW	NO. OF FAMILIES					
ALTERATION <input checked="" type="checkbox"/>	NO. OF ROOMS 2					
ADDITION	SIZE OF BLDG.					
REPAIR	STORIES					
MOVE	WALL COVERING					
REMODEL						
I HEREBY CERTIFY THAT ALL WORK WILL BE BUILT TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS APPLICABLE THEREOF; THAT I HAVE CAREFULLY EXAMINED THE ABOVE APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT.						
SIGNATURE OF OWNER OR AUTHORIZED AGENT Raymond Yoshimura			APPROVALS BUILDING INSPECTION			
VALUATION \$ 500.00			PERMIT 300			
FOUNDATION AND MAT'L.						
CHIMNEY						
ROUGH FRAME						
FINAL			9-24-52			

CITY OF SAN GABRIEL BUILDING DEPARTMENT		ELECTRIC APPLICATION FOR PERMIT		SERVICE _____ SER. SWITCH _____	
ELECTRICAL PERMIT 7603		READY FOR INSPECTION new			
DATE ISSUED 9/2/52					
JOB ADDRESS 839-S Gladys					
OWNER	NAME Raymond Yoshimura				
	ADDRESS				
	CITY				
ELECTRICIAN	NAME Berens Elect Co				
	ADDRESS 5043-N-Evel				
	CITY Pasadena	PHONE AT-6-1814			
DESCRIPTION OF WORK					
NO.	PERMIT - FEE		100		
14	OUTLETS 14		70		
	RANGE				
	WATER HEATER				
	ELECTRIC HEATER				
3	FIXTURES		15		
	NEON SIGN				
	DISPOSAL				
	SERVICE EQUIP.				
1	MOTORS H.P. 1/6 Fan		25		
	MOTORS H.P.				
	MOTORS H.P.				
		TOTAL FEE		210	
I HEREBY AGREE TO INSTALL ALL OF THE ABOVE WORK ACCORDING TO SAN GABRIEL ORDINANCES					
Robert Berens MASTER ELECTRICIAN					
APPROVALS					
CONDUIT OK					
WIRING OK					
FIXTURES OK		10-27-52		MT	
OK FOR SERVICE					
SG 168					

LOCATION	LIGHTS				PLUGS		
	1	2	3	4	1	2	3
FRONT PORCH	2						
ENTRY HALL							
LIVING ROOM	1				3		
CLOCK OUTLET							
DINING ROOM							
BREAKFAST ROOM							
KITCHEN							
SERVICE PORCH							
REAR PORCH							
PASS. HALL							
BEDROOM 1	1				3		
BEDROOM 2							
BEDROOM 3							
DEN							
CLOSETS							
BATHROOM 1							
BATHROOM 2							
SHOWER							
PATIO							
GARAGE							
BASEMENT							
TRANSFORMER							
Van Fan					1		

CITY OF SAN GABRIEL BUILDING DEPARTMENT			BUILDING APPLICATION FOR PERMIT		
PERMIT NO. B179	PLAN NO.	P. C. NO.	GROUP	TYPE	USE ZONE
DATE ISSUED 2-23-54	READY FOR INSPECTION		FIRE ZONE	SET BACK FOR ST. WIDENING	SET BACK FOR USE ZONE
JOB ADDRESS 710 & 722 So. San Gab Blvd. SE. COR. N. 1 st & E. 9 th ST. LOT 16 BLOCK 10 TRACT 1405			DESCRIPTION OF WORK Greenhouse See Council Minutes Feb. 16, 1954.		
SIZE OF LOT 260 x 150 OWNER NAME SAN GABRIEL NURSERY ADDRESS 632 So. SAN GABRIEL BLVD CITY SAN GABRIEL PHONE AT 6-3992 CONTRACTOR NAME Lumsberry & Harris ADDRESS 7122 San Fernando Rd CITY LA 65 STATE LICENSE NO. 25399 PHONE CL 2-2511 ARCHITECT OR ENGINEER NAME _____ ADDRESS _____ CITY _____ STATE LICENSE NO. _____ PHONE _____ NEW <input checked="" type="checkbox"/> NO. OF FAMILIES _____ ALTERATION NO. OF ROOMS _____ ADDITION SIZE OF BLDG. _____ REPAIR STORIES _____ MOVE WALL COVERING _____ DEMOLISH ROOF COVERING _____ I HEREBY CERTIFY THAT ALL WORK WILL BE BUILT TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS APPLICABLE THEREOF; THAT I HAVE CAREFULLY EXAMINED THE ABOVE APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. SIGNATURE OF OWNER OR AUTHORIZED AGENT Lumsberry & Harris H. H. Miller VALUATION \$ 7240.00 PERMIT FEE \$ _____			APPROVED DEPT. OF BUILDING CITY OF SAN GABRIEL 79-40-500 TRACT SAN GAB LOT 16 BLOCK 10 SAN GABRIEL BLVD ADDRESS 632 So. SAN GABRIEL BLVD OWNER SAN GAB. NURSERY CONTRACTOR LUMSBERRY & HARRIS VALUE 7240.00 PERMIT FEE 20 REMARKS Building 17' x 12' GREENHOUSE 20' x 12' 2-19-54 BUILDING INSP. H APPROVALS FOUNDATION AND MAT'L. _____ CHIMNEY _____ ROUGH FRAME _____ FINAL 1-3-53 af		

BUILDING DEPARTMENT			APPLICATION FOR PERMIT		
PERMIT NO. B1730	PLAN NO.	P. C. NO.	GROUP	TYPE	USE ZONE
DATE ISSUED 10-17-56	READY FOR INSPECTION		FIRE ZONE 3	SET BACK FOR ST. WIDENING	SET BACK FOR USE ZONE R-3
JOB ADDRESS 827 So. Gladys St LOT 5-8-7 BLOCK 101 TRACT E. B. B. B.			DESCRIPTION OF WORK USE OF BUILDING 3-Ed Row Single Family Dwelling with Detached garage		
SIZE OF LOT OWNER NAME Raymond Yoshimura ADDRESS 632 So. Gladys St CITY San Gabriel PHONE _____ CONTRACTOR NAME Miller & Sons Inc. ADDRESS 10204 E. 10th St CITY Tempe City STATE LICENSE NO. 141620 PHONE DO 61301 ARCHITECT OR ENGINEER NAME _____ ADDRESS _____ CITY _____ STATE LICENSE NO. _____ PHONE _____ NEW <input checked="" type="checkbox"/> NO. OF FAMILIES 1 ALTERATION NO. OF ROOMS 5 ADDITION SIZE OF BLDG. 1631 REPAIR STORIES 1 MOVE WALL COVERING to stone DEMOLISH ROOF COVERING clean I HEREBY CERTIFY THAT ALL WORK WILL BE BUILT TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS APPLICABLE THEREOF; THAT I HAVE CAREFULLY EXAMINED THE ABOVE APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. SIGNATURE OF OWNER OR AUTHORIZED AGENT H. Miller H. Miller VALUATION \$ 16,000.00 PERMIT FEE \$ 30.00			APPROVED DEPT. OF BUILDING CITY OF SAN GABRIEL LOT 2-5-2 BLK 101 TRACT E. B. B. B. ADDRESS 827 So. Gladys St OWNER Raymond Yoshimura CONTRACTOR Miller & Sons Inc. VALUE 16000.00 PERMIT FEE 30.00 REMARKS Building 17' x 50' 10-17-56 BUILDING INSP. H APPROVALS FOUNDATION AND MAT'L. 10-29-56 CHIMNEY 10-3-56 ROUGH FRAME 11-28-56 FINAL 3-8-59 af		

CITY OF SAN GABRIEL BUILDING DEPARTMENT			PLUMBING AND HEATING APPLICATION FOR PERMIT																																					
PLUMBING	PERMIT NO.	DATE ISSUED																																						
HEATING	1248	11-16-56																																						
READY FOR INSPECTION		YES	NO																																					
SS 827 So. Gladys BLOCK TRACT NAME Yoshimura ADDRESS CITY PHONE NAME LeRoy F. Tanbet ADDRESS Box 152 CITY Temple City PHONE AT 64833																																								
PERMIT FEE		\$1.00	Combination Furnace and Air Conditioning Unit Minimum Requirements: 11-26-56																																					
<table border="1"> <thead> <tr> <th>No.</th> <th></th> <th></th> </tr> </thead> <tbody> <tr> <td>Bath Tub</td> <td>12</td> <td>Drinking Fountain</td> </tr> <tr> <td>Shower</td> <td>12</td> <td>Water Softener</td> </tr> <tr> <td>Lavatory</td> <td>22</td> <td>Sprinkler System</td> </tr> <tr> <td>Water Closet</td> <td>1</td> <td>Water Heater</td> </tr> <tr> <td>Kitchen Sink</td> <td>12</td> <td>Furnace B-T-U</td> </tr> <tr> <td>Wash Tray</td> <td>12</td> <td>Wall Heater B-T-U</td> </tr> <tr> <td>Disposal</td> <td>4</td> <td>Gas Outlets</td> </tr> <tr> <td>Electric Washer</td> <td></td> <td>Cesspool</td> </tr> <tr> <td>Dish Washer</td> <td>12</td> <td>House Sewer</td> </tr> <tr> <td>Floor Sink</td> <td></td> <td>Water</td> </tr> <tr> <td>Urinal</td> <td></td> <td>Swimming Pool</td> </tr> </tbody> </table>					No.			Bath Tub	12	Drinking Fountain	Shower	12	Water Softener	Lavatory	22	Sprinkler System	Water Closet	1	Water Heater	Kitchen Sink	12	Furnace B-T-U	Wash Tray	12	Wall Heater B-T-U	Disposal	4	Gas Outlets	Electric Washer		Cesspool	Dish Washer	12	House Sewer	Floor Sink		Water	Urinal		Swimming Pool
No.																																								
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Shower	12	Water Softener																																						
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Disposal	4	Gas Outlets																																						
Electric Washer		Cesspool																																						
Dish Washer	12	House Sewer																																						
Floor Sink		Water																																						
Urinal		Swimming Pool																																						
TOTAL PERMIT FEE		\$12.00	APPROVALS DATE 11-16-56 INSPECTION Rough Plumbing 11-26-56 Rough Furnace Gas Vents Sewer 2-26-57 Final Inspection 3-8-57																																					
I hereby agree to install all of the above work according to San Gabriel Ordinances. LeRoy F. Tanbet Master Plumber or Gasfitter																																								

CITY OF SAN GABRIEL BUILDING DEPARTMENT			PLUMBING AND HEATING APPLICATION FOR PERMIT																																					
PLUMBING	PERMIT NO.	DATE ISSUED																																						
HEATING	1270 P	11-16-56																																						
READY FOR INSPECTION		YES	NO																																					
SS 827 So. Gladys BLOCK TRACT NAME Muller, Mary Ann ADDRESS 10804 E. Line Ave CITY Temple City PHONE 64833 NAME LeRoy F. Tanbet ADDRESS Box 152 CITY Temple City PHONE AT 64833																																								
PERMIT FEE		\$1.00	Combination Furnace and Air Conditioning Unit Minimum Requirements: 11-26-56																																					
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Dish Washer		House Sewer																																						
Floor Sink		Water																																						
Urinal		Swimming Pool																																						
TOTAL PERMIT FEE		\$2.75	APPROVALS DATE 11-16-56 INSPECTION Rough Plumbing Rough Furnace Gas Vents 11-26-56 Sewer Final Inspection 11-26-56																																					
I hereby agree to install all of the above work according to San Gabriel Ordinances. LeRoy F. Tanbet Master Plumber or Gasfitter																																								

[illegible]

CITY OF SAN GABRIEL BUILDING DEPARTMENT			PLUMBING AND HEATING APPLICATION FOR PERMIT	
AMOUNT PAID	PERMIT NO.	DATE ISSUED		
	15478	8-29-87		
ADDRESS	YES		NO	
REASON FOR INSPECTION				
<p>827 So G Lady's</p> <p>R# BLOCK 101 TRACT E.S.G.</p> <p>SMS Raymond Yarbema</p> <p>SCREEN 827 So G Lady's</p> <p>TY San Gabriel PHONE AT 18850</p> <p>NAGE SAN GABRIEL MURKERY</p> <p>XORRES 632 So San Gabriel</p> <p>TY San Gabriel PHONE AT 637P2</p>				
REMARKS - SEE			E.V. PLAN	
Combination Furnace and Air Conditioning Units				
No.				
Tub	Drinking Fountain			
over	Water Softener			
entry	Shower System			
er Closet	Water Heater			
hen Sink	Furnace B-T-U			
sh Trough	Wall Heater B-T-U			
gessel	Gas Outlets			
otic Washer	Cesspool			
& Wrester	House Sewer			
er Sink	Water			
inal	Swimming Pool			
\$	\$ 600			
TOTAL PERMIT FEE \$ 600				
I hereby authorize to install all of the above work according to San Gabriel Ordinance,				
San Gabriel Murkery				
Rough Plumbing				
Rough Plumber Gas Vents				
Sewer				
Final Inspection 6-13-87				
APPROVALS			DATE	
			INSPCT	

CITY OF SAN GABRIEL BUILDING DEPARTMENT		ELECTRIC APPLICATION FOR PERMIT		SERV. 3#4/0 SER. COND. 2 1/2 SER. 200-A NO. CIR. 9	
ELECTRICAL PERMIT		READY FOR INSPECTION			
DATE ISSUED 6/25/58					
JOB ADDRESS 710-55 San Gabriel Blvd					
OWNER	NAME San Gabriel Nursery				
	ADDRESS				
	CITY				
	PHONE				
ELECTRICIAN	NAME Berens Elect. Co				
	ADDRESS 5043 - 2nd St				
	CITY Pasadena				
	PHONE 61814				
DESCRIPTION OF WORK					
NO.	PERMIT - FEE 200				
	OUTLETS				
	RANGE				
	WATER HEATER				
	ELECTRIC HEATER				
9	FIXTURES 1200-2000 1st floor 450				
	DISPOSAL				
1	SERVICE EQUIPT. 200				
	MOTORS H.P.				
	MOTORS H.P.				
	TOTAL FEE 81.50				
I HEREBY AGREE TO INSTALL ALL OF THE ABOVE WORK ACCORDING TO SAN GABRIEL ORDINANCES					
Signature: [Signature]					
MASTER ELECTRICIAN					
APPROVALS					
CONDUIT OK					
WIRING OK					
FIXTURES OK					
OK FOR SERVICE 6/25/58 Phoned.					

LOCATION	LIGHTS				PLUGS						SWITCH	FIXTURES	
	1	2	3	4	1	2	3	4	5	6		CLG.	BRK.
FRONT PORCH													
ENTRY HALL													
LIVING ROOM													
CLOCK OUTLET													
DINING ROOM													
BREAKFAST ROOM													
KITCHEN													
SERVICE PORCH													
REAR PORCH													
PASS. HALL													
BEDROOM 1													
BEDROOM 2													
BEDROOM 3													
BATH													
CLOSETS													
BATHROOM 1													
BATHROOM 2													
SHOWER													
PATIO													
GARAGE													
BASEMENT													
TRANSFORMER													

9 - 1st floor =

CITY OF SAN GABRIEL DEPARTMENT OF PUBLIC WORKS BUILDING DIVISION		BUILDING APPLICATION FOR PERMIT		
PLAN CHECK NO.	PERMIT NO. 101154	GROUP	TYPE	USE ZONE
DATE FILED	DATE ISSUED 7/16/55	FIRE ZONE	SET BACK FOR ST. WIDENING	SET BACK FOR USE ZONE
APPLICANTS USE		DEPARTMENT USE		
JOB ADDRESS 822 S. Gladys Ave	JOB ADDRESS 822 S. Gladys Ave			
LOT BLOCK TRACT	LOT BLOCK TRACT			
SIZE OF LOT APPROX 50x100	SIZE OF LOT			
OWNER NAME San Gabriel Nursery	DESCRIPTION OF WORK			
ADDRESS	Demolish 2			
CITY San Gabriel PHONE	Residences Only			
NAME Harold E. Simpson Co	on Cesspools			
ADDRESS 208 E. Live Oak Ave				
CITY Lewin, Ga. Cal 91705				
STATE LICENSE NO. 282872 PHONE 445-4220				
NAME				
ADDRESS				
CITY				
STATE LICENSE NO.				
CONSTRUCTION LENDER		NEW	NO. OF FAMILIES	
NAME		ALTERATION	NO. OF ROOMS	
BRANCH		ADDITION	SIZE OF BLDG.	
ADDRESS		REPAIR	STORIES	
		MOVE	WALL COVERING	
UNKNOWN		DEMOLISH	ROOF COVERING	
I HEREBY CERTIFY THAT ALL WORK WILL BE BUILT TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS APPLICABLE THEREOF; THAT I HAVE CAREFULLY EXAMINED THE ABOVE APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT.		APPROVALS		
SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature]		FOR PERMIT	DATE 7/16/55	INITIALS
VALUATION \$ 200.00		FOUNDATION AND HAT'L.		
PLAN CHECK FEE \$ 5.00		ROUGH FRAME		
PERMIT FEE \$ 8.00		LATH		
		FINAL		

CITY OF SAN GABRIEL
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION

PLUMBING - HEATING AIR C. 4-171
 APPLICATION FOR PERMIT

PERMIT NUMBER	DATE ISSUED	READY
P1767	1/24/75	YES NO
JOB ADDRESS:		
821-25 S Glady's Ave		
OWNER	NAME San Gabriel Nursery	
OWNER	ADDRESS	
OWNER	CITY	PHONE
OWNER	NAME Harold E. Simpson	
OWNER	ADDRESS 700 E. Live Oak Ave	
OWNER	CITY	PHONE 845-4220
OWNER	CALIFORNIA STATE	CITY OF SAN GABRIEL
LIC. NO. 282892	LIC. NO.	

PLUMBING			
NO.	ITEM	EACH	FEE
	PERMIT		300
	BATHTUB		
	SHOWER		
	LAVATORY		
	WATER CLOSET		
	KITCHEN SINK		
	WASH TRAY		
	WATER		
	CLOTHES WASHER		
	DISH WASHER		
	FLOOR SINK		
	URINAL		
	WATER SOFTENER		
	WATER HEATER		
	GAS SYSTEM		
	SEWER CAP		300
	WATER SYSTEM		
	SWIMMING POOL		
TOTAL FEE			600

HEATING			
NO.	ITEM	EACH	FEE
	PERMIT		
	FLOOR FURNACE		
	WALL FURNACE		
	FORCED AIR FURNACE		
	GRAVITY FURNACE		
	RADIANT SYSTEM		
	SWIM POOL HEATER		
	GAS LAMP		
	GAS CLOTHES DRYER		
	GAS DISHWASHER		
TOTAL FEE			

AIR CONDITIONING			
NO.	ITEM	EACH	FEE
	PERMIT		
	HEAT PUMP OR A.C. - 3 TONS OR LESS		
	ALTERATION OR REPLACEMENT		
	HEAT PUMP OR A.C. SYSTEM OVER 3 TONS - BASED ON VALUATION		
TOTAL FEE			

I HEREBY CERTIFY THAT ALL WORK WILL BE INSTALLED TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS.

SIGNATURE OF APPLICANT

HEAT OR A.C.
HEATING - RO
VENTS
AIR COND TION
FINAL
PLUMBING
PLUMBING - UI
PLUMBING - TI
SEWER
SEWER CAP
GAS - ROUGH
GAS - FINAL
FINAL
UTILITY APPR

CITY OF SAN GABRIEL DEPARTMENT OF PUBLIC WORKS BUILDING DIVISION				BUILDING APPLICATION FOR PERMIT		
PLAN CHECK NO.	PERMIT NO.	GROUP	TYPE	USE ZONE		
DATE FILED	DATE ISSUED	FIRE ZONE	SET BACK FOR ST. WIDENING	SET BACK FOR USE ZONE		
11294	10-7-75					
APPLICANTS USE				DEPARTMENT USE		
JOB ADDRESS 827 S. GLADYS				JOB ADDRESS		
LOW 8-9 BLOCK 101 TRACT East San Gabriel				BLOCK TRACT		
SIZE OF LOT				SIZE OF LOT		
OWNER NAME Raymond Yoshimura				DESCRIPTION OF WORK		
ADDRESS 827 S. GLADYS				SWIMMING POOL		
CITY SAN GABRIEL				Final		
NAME Ross Pauls				INSPECTION REQUESTED		
ADDRESS 1978 Baywood Ave				SIGNED OFF (6/27/76)		
CITY Redland Hqs. Phone 280-7640				M.E.		
STATE LICENSE NO. 302487						
NAME BERNARD ADAMS						
ADDRESS 12763 Brookhurst						
CITY GARDEN GROVE Calif						
STATE LICENSE NO. 10188						
CONSTRUCTION LEADER						
NAME NONE						
BRANCH						
ADDRESS						
UNKNOWN						
I HEREBY CERTIFY THAT ALL WORK WILL BE BUILT TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS APPLICABLE THERETO; THAT I HAVE CAREFULLY EXAMINED THE ABOVE APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT.						
SIGNATURE OF OWNER OR AUTHORIZED AGENT William H. Adams						
VALUATION	PLAN CHECK FEE	PERMIT FEE				
\$5,400.00	\$16.25	\$32.50				
NEW				NO. OF FAMILIES		
ALTERATION				NO. OF ROOMS		
ADDITION				SIZE OF BLDG.		
REPAIR				STORIES		
MOVE				WALL COVERING		
DEMOLISH				ROOF COVERING		
APPROVALS						
FOR PERMIT		DATE	INITIALS			
		10-2-75	CA			
FOUNDATION AND MATH.		10-17-75	CA			
ROUGH FRAME						
LATH						
FINAL						

CITY OF SAN GABRIEL DEPARTMENT OF PUBLIC WORKS BUILDING AND SAFETY DIVISION			
PERMIT NUMBER	DATE ISSUED	READY	
7832	10-2-75	YES	NO
JOB ADDRESS			
827 S. GLADYS			
OWNER NAME Raymond Yoshimura			
ADDRESS 827 S. GLADYS			
CITY SAN GABRIEL			
NAME Ross Pauls			
ADDRESS 1978 Baywood Ave			
CITY Redland Hqs. Phone 280-7640			
CALIFORNIA STATE CITY OF SAN GABRIEL			
LIC. NO. 302487	LIC. NO.		

PLUMBING			
NO.	ITEM	EACH	FEES
1	CLOSET		3.00
	BATHTUB		
	SHOWER		
	LAVATORY		
	WATER CLOSET		
	KITCHEN SINK		
	WASH TRAY		
	DISPOSAL		
	CLOTHES WASHER		
	DISH WASHER		
	FLOOR SINK		
	URINAL		
	WATER SOFTENER		
	WATER HEATER		
1	GAS SYSTEM		1.25
	SEWER CAP		
1	WATER SYSTEM		1.25
	SWIMMING POOL		1.25
1	T.Tmp		1.25
TOTAL FEE			7.00

PLUMBING - HEATING			
NO.	ITEM	EACH	FEES
	PERMIT		
	FLOOR FURNACE		
	WALL FURNACE		
	FORCED AIR FURNACE		
	GRAVITY FURNACE		
	RADIANT SYSTEM		
1	SWIM POOL HEATER		7.00
	GAS LAMP		
	GAS CLOTHES DRYER		
	GAS DISHWASHER		
TOTAL FEE			7.00

AIR CONDITIONING			
NO.	ITEM	EACH	FEES
	PERMIT		
	HEAT PUMP OR A.C. - 3 TONS OR LESS		
	ALTERATION OR REPLACEMENT		
	HEAT PUMP OR A.C. SYSTEM OVER 3 TONS - BASED ON VALUATION		
TOTAL FEE			

CORRECTIONS			
APPROVALS			
HEAT OR A.C.	DATE	INSP.	
HEATING - ROUGH			
VENTS			
AIR COND. TIONER			
FINAL			
PLUMBING			
PLUMBING - UNDER	DATE	INSP.	
PLUMBING - TOP OUT			
SEWER			
SEWER CAP			
GAS - ROUGH TEST	12-14-75	CA	
GAS - FINAL			
FINAL			
UTILITY APPROVAL			

I HEREBY CERTIFY THAT ALL WORK WILL BE INSTALLED TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS.

Signature of Applicant: William H. Adams

CITY OF SAN GABRIEL
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION

ELECTRIC
APPLICATION FOR PERMIT

WIRE SIZE NO. _____ CONDUIT SIZE _____
DISCONNECT _____ NO. CIRCUITS _____

PERMIT NUMBER 878/4 DATE ISSUED 11/13/75 READY ☒ YES ☐ NO

JOB ADDRESS 827 S. Gladys

OWNER NAME Raymond Yoshimura
ADDRESS as job
CITY _____

CONTRACTOR NAME Cobine Electric Co.
ADDRESS 1607 Chestnut St.
CITY Alhambra

CALIFORNIA STATE LIC. NO. 229847 C-10 CITY OF SAN GABRIEL LIC. NO. 10969

NO.	ITEM	EACH	FEE
1	PERMIT		3.00
1	SERVICE <u>125 amp</u>		3.00
87	OUTLETS		1.00
3	FIXTURES		75
3	HEATERS		
3	MOTORS		9.00
	RANGE		
	SIGN		
	POWER POLE		
4	switch		
1	3/4 H motor		1.00
2	Dimmer Switch		2.00
	TOTAL FEE		19.75

I HEREBY CERTIFY THAT ALL WORK WILL BE INSTALLED TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS.

R. Cobine
SIGNATURE OF APPLICANT

APPROVALS	DATE	INSPECTOR
CONDUIT		
WIRING	<u>11-4-75</u>	<u>CEJ</u>
SERVICE	<u>11-14-75</u>	<u>CEJ</u>
FIXTURES		
UTILITY NOTIFIED	<u>11/21/75</u>	<u>M.E.</u>

LOCATION	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	Switch	Fixture
KITCHEN																						
SER. PORCH																						
BREAK. ROOM																						
DINING ROOM																						
RANGE OUTLET																						
RANGE - TOP																						
RANGE - OVEN																						
FAN																						
DISPOSAL																						
WASHER																						
DRYER																						
FRONT PORCH																						
REAR PORCH																						
ENTRY HALL																						
LIVING ROOM																						
HALL																						
BEDROOM #1																						
BEDROOM #2																						
BEDROOM #3																						
DESK																						
CLOSET																						
BATHROOM #1																						
HEATER																						
BATHROOM #2																						
HEATER																						
GARAGE																						
PATIO																						
FURNACE																						
SWIM. POOL																						
BASEMENT																						
TRANSFORMER																						
NO. OF OUTLETS EACH CIRCUIT																						

CITY OF SAN GABRIEL
DEPARTMENT OF PUBLIC WORKS
BUILDING DIVISION

BUILDING
APPLICATION FOR PERMIT

PLAN CHECK NO. _____ PERMIT NO. B-10800
DATE FILED _____ DATE ISSUED 9-9-74

JOB ADDRESS 632 San Gabriel Blvd

LOT _____ BLOCK _____ TRACT _____

SIZE OF LOT _____

OWNER NAME San Gabriel Nursery
ADDRESS 632 So. San Gabriel Blvd
CITY San Gabriel PHONE _____

CONTRACTOR NAME Arnie Peto Construction
ADDRESS 11609 W. Valley Blvd
CITY Alhambra, Calif.
STATE LICENSE NO. 121447 PHONE 2843127

ARCHITECT OR ENGINEER NAME _____ ADDRESS _____ CITY _____ STATE LICENSE NO. _____ PHONE _____

CONSTRUCTION LENDER NAME _____ BRANCH _____ ADDRESS _____ UNKNOWN _____

DESCRIPTION OF WORK
Block wtd. Retaining
Permit -

NEW ☒ NO. OF FAMILIES _____
ALTERATION ☒ NO. OF ROOMS _____
ADDITION ☒ SIZE OF BLDG. _____
REPAIR ☒ STORIES _____
MOVE ☒ WALL COVERING _____
DEMOLISH ☒ ROOF COVERING _____

I HEREBY CERTIFY THAT ALL WORK WILL BE BUILT TO CONFORM TO SAN GABRIEL ORDINANCES AND CALIFORNIA STATE LAWS APPLICABLE THERETO; THAT I HAVE CAREFULLY EXAMINED THE ABOVE APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT.

SIGNATURE OF OWNER OR AUTHORIZED AGENT [Signature]

VALUATION	PLAN CHECK FEE	PERMIT FEE
\$ <u>10.00</u>	\$ _____	\$ <u>10.00</u>

APPROVALS

	DATE	INITIALS
FOR PERMIT	<u>9-9-74</u>	<u>[Initials]</u>
FOUNDATION AND MAT'L.	<u>9-20-74</u>	<u>[Initials]</u>
ROUGH FRAME		
LATH		
FINAL	<u>9-23-74</u>	<u>[Initials]</u>

BUILDING
APPLICATION FOR PERMIT

PLAN CHECK NO.	DATE FILED	PERMIT NO.	DATE ISSUED
		<u>B-15321</u>	<u>9-1-83</u>

Applicant's Mailing Address P. O. Box J
San Gabriel, Ca. 91778

Address of Building 827 S. Gladys
San Gabriel

Owner's Name Raymond Yoshimura

Telephone No. _____

Contractor's Name Virgin Roof Co.
P. O. Box J
San Gabriel, Ca. 91778

Contractor's Mailing Address _____
Lic. No. 160650

Architect or Engineer _____
Architect's or Engineer's Address _____
Lic. No. _____

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class C39 Lic. Number 160650
Date 8/31/83 Contractor Virgin Roof Co.

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does such work himself or through his employees; provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. _____, B.&P.C. for this reason _____

Date _____ Owner _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. WP84-44676 Company Fremont Indemnity

☐ Certified copy is hereby furnished.

☒ Certified copy is filed with the City of San Gabriel Building Department.

Date 8/31/83 Applicant Virgin Roof Co.

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Virginia D. 1078 8-31-83
Signature of Applicant or Agent Date

BUILDING
APPLICATION FOR PERMIT

GROUP	TYPE	USE ZONE
<u>B-15321</u>	<u>9-1-83</u>	

JOB ADDRESS 827 S. Gladys

DEPARTMENT USE _____

LOT _____ BLOCK _____ TRACT _____

SIZE OF LOT _____

DESCRIPTION OF WORK

Re-roof house and garage with #1 Red Cedar Medium Shakes.
Valuation: \$5175.00
Permit Fee: \$77.50

NEW	NO. OF FAMILIES
ALTERATION	NO. OF ROOMS
ADDITION	SIZE OF BLDG.
REPAIR	STORIES
MOVE	WALL COVERING
DEMOLISH	ROOF COVERING

APPROVALS

DATE	INITIALS
<u>9-1-83</u>	<u>me</u>

FOR PERMIT _____

FOUNDATION AND MAT'L. _____

SHEATHING/FLOOR _____

SHEATHING/ROOF _____

ROUGH FRAME _____

INSULATION _____

LATH/EXTERIOR _____

LATH/DRY WALL/INT. _____

SCRATCH COAT _____

BROWN _____

FINAL _____

BUILDING
APPLICATION FOR PERMIT

PLAN CHECK NO.	DATE FILED	PERMIT NO.	DATE ISSUED
		<u>B-15825</u>	<u>9/26/84</u>

Applicant's Mailing Address 102 S. San Marino

Address of Building 835 Gladys

Owner's Name Whana Co
Telephone No. 287-9681

Contractor's Name DEVIN ROOF
Contractor's Mailing Address 102 S. San Marino
Pasadena Ca
Lic. No. 448186

Architect or Engineer _____
Architect's or Engineer's Address _____
Lic. No. _____

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class C39 Lic. Number 448186
Date 9/85 Contractor ROOFING

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon and who does such work himself or through his employees; provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. _____, B.&P.C. for this reason _____

Date _____ Owner _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. _____ Company _____

☐ Certified copy is hereby furnished.

☒ Certified copy is filed with the City of San Gabriel Building Department.

Date 9-26-84 Applicant Devin Roof

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Devin Roof 9-26-84
Signature of Applicant or Agent Date

BUILDING
APPLICATION FOR PERMIT

GROUP	TYPE	USE ZONE
<u>B-15825</u>		

JOB ADDRESS 835 Gladys

DEPARTMENT USE _____

LOT _____ BLOCK _____ TRACT _____

SIZE OF LOT _____

DESCRIPTION OF WORK

Re-roof

NEW	NO. OF FAMILIES
ALTERATION	NO. OF ROOMS
ADDITION	SIZE OF BLDG.
REPAIR	STORIES
MOVE	WALL COVERING
DEMOLISH	ROOF COVERING

APPROVALS

DATE	INITIALS
<u>9/26/84</u>	<u>me</u>

FOR PERMIT _____

FOUNDATION AND MAT'L. _____

SHEATHING/FLOOR _____

SHEATHING/ROOF _____

ROUGH FRAME _____

INSULATION _____

LATH/EXTERIOR _____

LATH/DRY WALL/INT. _____

SCRATCH COAT _____

BROWN _____

FINAL _____

2009 May 08 2:05PM HP LASERJET FAX

P. 1



632 S. San Gabriel

◆ City With A Mission ◆ Founded 1771 ◆
Steven A. Preston, Deputy City Manager ◆ 626-308-2810

April 30 2009

Ms. Mary Swanton
Chief Financial Officer
San Gabriel Nursery & Florist
632 S. San Gabriel Blvd.
San Gabriel, CA 91776

SUBJECT: SAN GABRIEL BLVD. SIDEWALK CONSTRUCTION PROJECT BETWEEN EL MONTE STREET AND GRAND AVENUE
EAST SAN GABRIEL COMMERCIAL DEVELOPMENT PROJECT AREA

Dear Ms. Swanton,

This letter reflects our mutual understanding regarding the proposed sidewalk construction project adjacent to your property on San Gabriel Boulevard between El Monte Street and Grand Avenue. The City expects to select a contractor and award a construction contract this spring and start construction in June pending final authorization to advertise from Caltrans and the Federal Highway Administration. One of the goals of the project is retain the mature Juniper trees at the San Gabriel Nursery & Florist (the "Nursery").

Project Description

The City will construct a five foot wide concrete sidewalk along the curb, repair existing used driveways, close unused existing Nursery driveways, and install decomposed granite (DG) from the sidewalk to the property line at the fence. We can agree exactly which driveways can be closed prior to the start of construction. Every effort will be made when installing the DG to not damage the Juniper tree roots. It is anticipated that the DG will be lightly rolled in place. The construction of the sidewalk will consist of grading a five-foot wide area by four inches deep from the curb line toward the property line. This will raise the back for the sidewalk approximately 1.2 inches above the elevation of the existing curb. Hopefully this will not alter the irrigation or grade to any extent in order to maintain the existing condition of the tree root system. Both the Juniper trees and the bougainvilleas will be retained. The City shall use its best efforts to avoid any damage to the Juniper trees during construction by not cutting or filling within a minimum of three feet of the trees. In the event that one or more trees are harmed, the City shall not be responsible for reimbursement of any costs or replacement of lost trees to the Nursery. The existing perimeter fence shall not be impacted by the project. Any damage caused by the City's contractor to the perimeter fence shall be repaired or replaced at the contractor's cost.

Nursery Responsibilities

The Nursery agrees to trim the Juniper trees and bougainvilleas prior to the start of construction and annually thereafter. The Nursery shall remove all other trees which are not Juniper prior to the start

City Hall: 425 South Mission Drive, San Gabriel, California ◆ Mail: P.O. Box 130, San Gabriel, California 91778-0130
◆ 626-308-2800 ◆ FAX 626-658-2830

03 08 2:05PM HP LASERJET FAX

P. 2

Ms. Mary Swanton
Page 2

of construction. In addition, the Nursery shall remove the existing wood box containers at the base of the Juniper Trees. The wood boxes are in poor condition and no longer serve to contain the tree roots. The Nursery shall be responsible for any future sidewalk damage caused by tree roots growing under and lifting the sidewalk to the point of creating a trip and fall hazard.

Thank you for cooperation. We look forward to working with you to improve the environment in front of the Nursery for pedestrians along San Gabriel Boulevard. Should you have any questions or need additional information, please contact Robin Scherr, Housing & Economic Development Specialist at (626) 308-2806 ext. 5123.

Please acknowledgement your agreement to participate in this project as set forth above by signing and dating the letter.

Sincerely yours,


Steven Preston, FAICP Date
Deputy City Manager


Mary Swanton, CFO Date
San Gabriel Nursery & Florist

cc: Bruce Matern, City Engineer
Jennifer Davis, Robin Scherr, Economic Development

F:\Community Development\Economic Development\San Gabriel Nursery & Florist\4-09 Letter of Agreement re Sidewalk Construction.docx

C-2 Archaeological Resources Assessment

The Archaeological Resources Assessment is a confidential document that is on file at the City of San Gabriel Planning Division for review by those individuals qualified to review the report (e.g., lead agency staff, cultural resources consultants, tribal representatives, etc.).