

Rockport Ranch

Specific Plan

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Introduction

Rockport Ranch Specific Plan

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Introduction

Rockport Ranch Specific Plan

1.0 Introduction

Welcome to the Rockport Ranch Specific Plan. The text within this document was carefully constructed at the request of the City of Menifee and its intent is to provide the standards and regulations for the development of an attractive new residential community. The Rockport Ranch Specific Plan will also establish rules for the implementation and administration of development within the Rockport Ranch Specific Plan area. Rockport Ranch will add a robust residential development and recreational open space that embodies the character and values of the community and the City of Menifee.

1.1 Overview of the Specific Plan

The Rockport Ranch Specific Plan (Specific Plan) provides the City of Menifee a comprehensive planning tool to help guide the orderly development of a new planned residential community in the eastern portion of the City of Menifee (**Figures 1-1 and 1-2**). The following information contained within this document, in conjunction with the City of Menifee's General Plan, will establish the development parameters allowed within the Plan area to include:

- Proposed land uses and their accompanying regulations and design standards (Chapter 2);
- A circulation plan to accommodate the free movement of vehicles, bicycles, and pedestrians through the Plan area and connection to existing infrastructure (Chapter 3);
- An overview of, and guidelines for, infrastructure facilities improvements including financing and phasing to support the development of the Plan area (Chapters 5, 6, and 7); and
- Mechanisms to implement development within the Specific Plan Area and the administrative processes required to approve development projects within the Plan area (Chapter 7).

Nestled on the site of a former dairy operation, the 79.68-acre Rockport Ranch Specific Plan Area was designed with a high level of sensitivity toward creating a residential community with a connection to the site's history while offering a high quality of life for future residents. To realize this vision, a variety of single-family and smaller single-family courtyard residential units have been balanced with ample park space and recreational opportunities, creating a sense of place within the community. The Plan Area emphasizes varied lot sizes, varied home sizes and styles, and single-family as well as smaller courtyard units to create a diversity of residential homeownership opportunities which appeal to homeowners over a broad range of income levels. Landscaped open spaces and recreational opportunities such as a pond area, children's play areas, meandering walking and biking trails, a pool area, and much more will all become focal points within

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the Specific Plan Area to help create a sense of community for a variety of lifestyle needs. Combined, these aspects of the Specific Plan will help create a comprehensive and inclusive neighborhood for residents to enjoy. The Rockport Ranch Specific Plan will add a new master planned residential community to complement the existing developments while also contributing valuable housing to the rapidly growing City of Menifee. Future development will be contingent upon the execution of the standards set forth within this document.

1.2 Planning Objectives

A Specific Plan allows the developer to form a comprehensive plan to develop the land uses and public facilities of the Specific Plan area while maintaining a degree of design flexibility to respond to future conditions. The Specific Plan must be consistent with the policies and development goals defined within the City of Menifee's General Plan. The following objectives have been established to guide the development of the Rockport Specific Plan within the parameters defined within the City of Menifee's General Plan:

- Provide a variety of housing opportunities through a range of unit types, sizes, and number of different bedroom counts, including 3, 4, 5, and 6-bedroom units, as well as a range of affordability to accommodate a full spectrum of family demographics and the growing housing needs of the region;
- Create a development which maximizes recreational open space within the Plan Area;
- Provide development standards to regulate the nature and appearance of all construction within the Rockport Ranch Specific Plan area through integration of land form use, architectural design, unified landscape theme, and recreation areas;
- Design a safe and efficient circulation system that adequately supports the appropriate level of traffic in and around the Plan area, including vehicular, bicycle, pedestrian, and equestrian modes of travel;
- Develop a financing plan that provides for the efficient and timely provision of infrastructure and public services prior to and as development occurs;
- Implement a maintenance program which will ensure all common areas are maintained to standards set forth in the City's General Plan; and
- Finance and/or contribute to all appropriate community and city-wide infrastructure.

1.3 Specific Plan Purpose and Scope

The Rockport Ranch Specific Plan is a comprehensive planning document that establishes development guidelines for the proposed residential community. The document will serve as the primary land use, policy, and regulatory document for the Plan area by providing an efficient development planning review process. The planning and review process emphasizes the direct and comprehensive correlation between land uses, public services, and infrastructure necessary to support those land uses. When implemented,

these elements of the Specific Plan will form a cohesive and rational development able to adapt to the opportunities and constraints of the area.

The Specific Plan serves as both a policy document and a regulatory document for the systematic implementation of the policies and goals of the public agency's General Plan. As a policy document, the Rockport Ranch Specific Plan embodies the broad policy directives of the General Plan and applies those policies and goals to the establishment of specific objectives for the planning area. As a regulatory document, the Rockport Ranch Specific Plan provides direction for the assignment of land uses and associated development, as well as the design and infrastructure capacity standards which must be met to facilitate the successful implementation of the Specific Plan. By incorporating the allowed land uses, development criteria, design standards, and infrastructure needs, The Specific Plan enables planners to create specific standards applicable to the Plan area. The Rockport Ranch Specific Plan requires all subsequent development design and development documents, infrastructure, and financing plans to be consistent with the policies and regulations contained herein.

1.4 Specific Plan Authority

California Government Code Section 65450, in conjunction with Article II, Section 2.8 of the County of Riverside Zoning Ordinance (Ord. 348), as adopted by the City of Menifee upon incorporation, gives the City's legislative body the authority to order the preparation of a Specific Plan for the systematic implementation of the General Plan for portions of, or an entire area covered by the General Plan. Per California Government Code Section 65451, a specific plan shall contain the following written and graphic information:

- A statement of the relationship of the Specific Plan to the General Plan;
- The distribution, location, and extent of the land uses, including open space;
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the land covered by the plan area;
- Standards and criteria by which development will proceed, and the standards for the conservation, development, and utilization of natural resources, where applicable; and
- A program of implementation measures, including phasing, regulation programs, public works projects, and financing measures.

1.5 Contents of the Specific Plan

To comply with the requirements identified in Section 1.4, the Rockport Ranch Specific Plan includes the following information:

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- An introduction that includes the planning objectives for the Specific Plan which encompasses the goals of, and is consistent with, the General Plan regarding land use, circulation, resource management, community design, as well as public services and utilities (Chapter 1);
- Written descriptions and graphic illustrations of proposed land uses within the Specific Plan area, including clearly identified specific development patterns and design standards (Chapter 2);
- Written descriptions and graphic illustrations of proposed vehicular, pedestrian, and equestrian circulation systems for the Plan area and the connections to adjacent public and private circulation networks (Chapter 3);
- A public service and facility plan that identifies the specific agencies and extent of public services and facilities necessary to serve the Plan area (Chapter 4 and 6);
- A utility and infrastructure plan that includes the location and extent of utility services necessary to serve the Plan area (Chapter 5)
- A public facility financing and phasing plan that provides the general outline for the financing mechanisms proposed and the phasing of public improvements to the Plan area (Chapter 6); and
- An implementation and amendment program that provides the mechanisms available for project review procedures and regulations for specific development within the Plan area and any future amendments to the Specific Plan (Chapter 7).

1.6 Plan Area Location and Setting

1.6.1 Regional and Local Setting

The Rockport Ranch Specific Plan area encompasses approximately 79.68 acres and is situated adjacent to the City of Menifee's eastern boundary (**Figure 1-1**). The official location according to the U.S. Geological Survey (USGS) Romoland Quadrangle topographic maps (7.5 series), is located in Section 1, Township 6 south, Range 3 west, San Bernardino Baseline and Meridian. The Plan area is within the City of Menifee and directly west of the City of Menifee boundary, adjacent to unincorporated County of Riverside to the east. The site is bounded as follows: Old Newport Road and Tierra Shores residential development to the north, Tres Lagos Drive and the Wilderness Lakes RV Resort to the south, Briggs Road, Ramona Egg Ranch and agricultural land to the east, and The Lakes residential development to the west. The project APNs are 364-190-005 and -004. Access points to each of the surrounding roads provide multiple vehicular connection options to residents for movement throughout the City of Menifee, as well as connections to regional transportation corridors.

Regionally the Plan area is located in close proximity to major interstate freeways and local highways (**Figure 1-2**). Interstate 15, Interstate 215, and Highway 74 and Highway 79 are all located relatively near the Rockport Ranch Specific Plan area. Connection to these regional transportation corridors can be made via onramps to Interstate 215 located approximately 2 miles west of the Plan area. In addition to the vehicular routes, there is

also bus service connecting Menifee to the region through the Riverside Transit Agency's (RTA) Service Line 61. Future regional rail service will connect Menifee with other portions of the County of Riverside and other Southern California employment centers through the extension of the 91/Perris Valley Line of the Metrolink rail service network. Together, the regional and local transportation network options allow the residents of the Rockport Specific Plan area access to schools, employment, shopping, and entertainment options within the City of Menifee, as well as broad connection options to Riverside County and Southern California's schools, shopping and entertainment centers, and employment hubs.

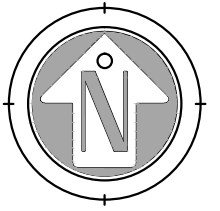


FIGURE 1-1
VICINITY MAP
ROCKPORT RANCH - MENIFEE, CA

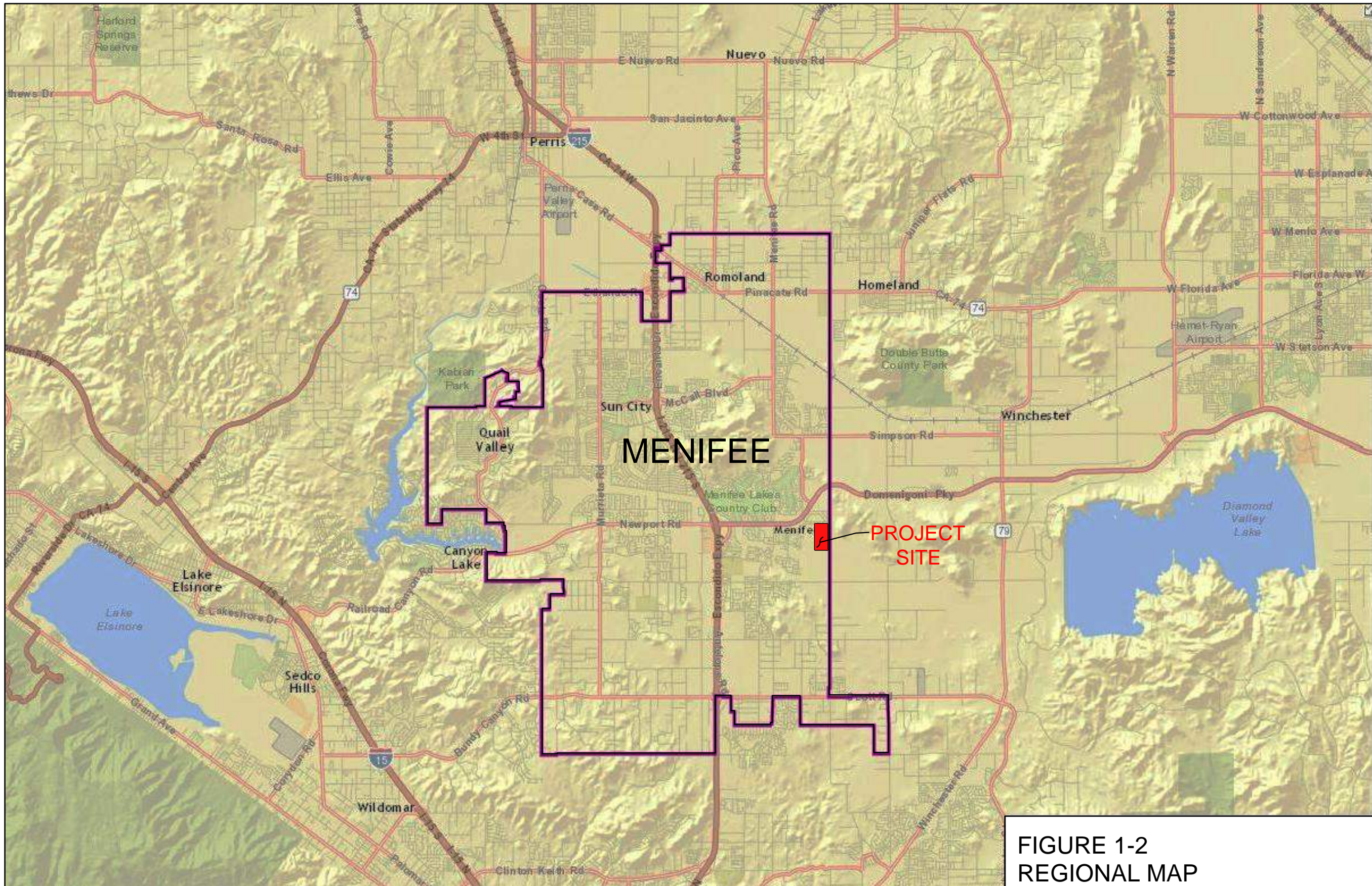


FIGURE 1-2
REGIONAL MAP
ROCKPORT RANCH - MENIFEE, CA

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1.6.1.1 Surrounding Land Uses

The Rockport Ranch Specific Plan area should be compatible with surrounding land uses. Typically, land uses should complement neighboring properties and create a logical transition of uses and density growing steadily denser toward an urban core. A proposed land use should not contrast with or negatively affect a neighboring property. The Rockport Ranch Specific Plan area proposes a suburban residential development which constitutes an appropriate transition from the agricultural uses and open space to the east and the Wilderness Lakes RV Resort to the south, toward suburban residential uses to the north and west.

1.6.2 Plan Area Physical Characteristics



Figure 1-3 Existing Site Condition looking northeast

southern and western portion of the property. According to research conducted by Geotek for the Phase 1 Report, the California Department of Water Resources, and the California State Water Resources Control Board, ground water well data acknowledges two existing wells onsite.

1.6.3 Project Background

Prior to the adoption of this Specific Plan, the Rockport Ranch property had a long history as agricultural lands. Based on observations made by Geotek, the site appeared to be vacant land or dry farmed land from approximately 1938 until a dairy farm was established around 1981. In 1981, the Abacherli family relocated their dairy to the current site where they maintained an operation including approximately 3,000 head of cattle. Several structures left over from the former use currently occupy the site, including four residences, a workshop and a milking building. The cattle pens were removed from the site when the dairy became inactive.

Rockport Ranch covers two parcels, APN's 364-190-004 and 364-190-005 for a total of 79.68-acres. The Plan Area resides on the site previously occupied by the Abacherli dairy operation on relatively flat and level land.

The natural topography of the site slopes gently toward the southwest and ranges in approximately 1,430 to 1,440 feet in elevation above mean sea level. Due in part to the southwesterly drainage of the site, several small lakes or ponds have pooled in the



Figure 1-4 Existing Site Condition looking north

1.6.4 Factors That Influence the Specific Plan

The following descriptions of the opportunities and constraints provide a portion of the factors that influence the development of the Rockport Ranch Specific Plan. In addition to the opportunities and constraints, the Specific Plan also incorporates input from the City of Menifee staff, as well as input from the neighboring public who may have a stake in the development of the Specific Plan area. Together, when applied to development, these factors help form the basis for comprehensive development within the Specific Plan area.

General Location

The Rockport Ranch Specific Plan's general location supports the proposed residential land use. Ideally, residential land uses should be compatible with the surrounding built environment; taking advantage of existing infrastructure, transportation, and amenities. The Specific Plan design is compatible with surrounding residential development and open space in the area. The Plan's location facilitates a symbiotic relationship between housing and employment centers within the region and is inclusive of transportation options which reduce greenhouse gas emissions, thereby establishing consistency with Senate Bill 375 (SB 375) (Sustainable Communities and Climate Protection Act of 2008). The Plan's close proximity to Interstate 215 and 15 make for an ideal connection to a regional transportation network, employment centers, and shopping and services in an area of rapid growth.

Topography

Topography of the Rockport Ranch Specific Plan area is generally flat and conducive to planning a residential development. The site's previous agricultural use graded and developed the land. The former development creates an opportunity for less grading of the planned residential development. Generally, even land forms exist throughout the approximately 79.7-acre site with a few exceptions. Several depressions exist on the southerly and westerly edges of the property and are currently fed from well water. The well water will be incorporated in the form of a recreational lake area at the southern edge of the development.

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Figure 1-5 Existing Pond

Existing Ponds

Several ponds exist on the Rockport Ranch property and were previously used as settling ponds. Additionally, the site contains wells which are located at the western and southern portion of the Specific Plan area and create an opportunity to use the ponds as recreational open space opportunities for the residential development. The pond areas will be reconfigured into a large lake area, which will also be utilized as storm water basins during rain events for flood protection of the site. Prior to construction activities on the site the water will be constrained so

earthwork and grading may take place and to create a single open space pond area which will contain the water.

1.6.5 Relationship to Existing Plans and Regulations

Consistency between the City of Menifee General Plan and this Specific Plan is required to comprehensively form the Specific Plan in a manner which accurately captures all of the elements needed to make informed development decisions. The General Plan elements described below contain goals and policies, which when incorporated into the Specific Plan, will set forth the policies and regulatory groundwork that all development within the Specific Plan area must meet to satisfy the requirements herein.

The Rockport Ranch Specific Plan area is within the jurisdiction of the City of Menifee and is a policy tool for the City to use in conjunction with the City's General Plan. The General Plan is the primary tool used to realize the development vision policy makers and the public desire for the future needs of their city. The policies and goals outlined in the General Plan establish the framework for instituting all future development within the City of Menifee.

1.6.6 City of Menifee General Plan

As the lead agency, the City of Menifee has the authority to develop the General Plan and to ensure any subsequent plans or policies conform to the goals and policies of the General Plan. As noted in Section 1.4 and 1.5, the Rockport Ranch Specific Plan must establish consistency with, and carry out the goals and policies as set forth in the General Plan. This section provides brief descriptions of the consistency between this Specific Plan and each Element of the City of Menifee's General Plan, followed by detailed analysis of the Specific Plan's consistency with the goals and policies for each General Plan Element (**Table 1-1**).

Specific Plans – The City of Menifee has adopted the County of Riverside Land Use Ordinance (Ord. 348) to establish the rules and regulations governing policies not included within the City's Zoning Ordinance. Article II – Riverside County General Plan and Specific Plans, establishes specific standards to regulate development of a Specific Plan by authority of the General Plan, so long as those regulations are consistent with Section 65450 of the California Government Code. The Specific Plan is a tool for the systematic implementation of the General Plan. As a planning tool, the Specific Plan derives its authority from state and local law to provide a more precise framework for the distribution of land uses, infrastructure, development standards, resource conservation, and implementation measures necessary to carry out the goals of the General Plan. The Rockport Ranch Specific Plan takes account for unique physical characteristics, constraints, and resources of the property to provide specific development guidelines for the Plan area. The Rockport Ranch Specific Plan's consistency with the City of Menifee General Plan is described in more detail below.

Land Use Element – The Land Use Element establishes the foundation for future growth the City Council and the community envisioned for land uses within the City of Menifee. The Element carefully considers a sustainable balance of land uses which would help grow the City's economy and provide for a high quality of life for residents. The Rockport Ranch Specific Plan establishes rules for the density, intensity, and land uses for development within the Plan area. Those land uses must conform to the three land use goals of the Land Use Element and contribute to the vision the City anticipated for development. Rockport Ranch meets the intent of all three Land Use Goals; LU-1: General Land Use, LU-2: Economic Development Corridors, and LU-3 Utilities and Infrastructure as provided below.

The Rockport Ranch Specific Plan's location is in an area of strategic residential growth patterns and has incorporated a varying group of home styles and types to appeal to a range of economic statuses. The design of the site was sensitive to existing natural features and situates the land uses in a manner which accommodates outdoor activities, thereby enhancing the overall quality of life for future residents consistent with the LU-1, and LU-2 goals of the Land Use Element. Finally, Chapter 5 of this Specific Plan provides details on utilities and utility providers for the design of a practical, functional, and efficient utility systems that meets or exceeds the LU-3 Goals and Policies. Together, the Specific Plan lays out the formula for the systematic implementation of the Land Use goals of the Menifee General Plan.

Housing Element – The Housing Element of the City of Menifee General Plan seeks to balance existing housing and future housing development within the city to meet the housing needs of the community. Each of the seven remaining elements of the General Plan must be taken into consideration when developing the Housing Element to ensure the policies and goals included form a comprehensive Housing Element. Those policies and goals form a framework the Rockport Ranch Specific Plan will follow to systematically

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implement a comprehensive housing development plan that is consistent with the General Plan.

This Specific Plan must incorporate or otherwise not hinder the following Housing Element goals HE-1: Housing Diversity, HE-2: Neighborhood Quality, HE-3: Housing Assistance. To achieve these goals the development plan for Rockport Ranch will include a variety of unit styles, unit bedroom counts, home square footage, and lot sizes that offer a range of economic opportunities to potential home buyers. An assortment of single-family homes and single-family courtyard homes are included in the Plan area to increase the homeownership opportunities for all income levels and to help satisfy the requirements included within the Housing Element.

Circulation Element – The Circulation Element provides guidance to satisfy local and sub-regional circulation needs and coordinates the circulation system with land uses throughout the City for future circulation needs. The Circulation Element is a multi-modal circulation document which addresses all forms of transportation i.e. vehicular, pedestrian, bicycle, neighborhood electric vehicles (NEVs)/golf carts, transit, and trucks to guide the development of safe and efficient transportation systems while attempting to reduce vehicle miles travelled. Rockport Ranch addresses the infrastructure and needs for the forms of transportation mentioned above through 6 goals of the Circulation Element; C-1: Roadway Systems, C-2: Bicycles and Pedestrians, C-3: Public Transit, C-4: Neighborhood Electric Vehicles / Golf Carts, C-5: Goods Movement, and C-6: Scenic Highways.

Circulation within the Rockport Ranch Specific Plan area has been carefully designed to facilitate vehicular, pedestrian, and bicycle traffic in a manner which is both safe and functional. Roadways and trails will accommodate all forms of traffic and emergency response vehicles. Greenways have been designed along public roads adjacent to the Specific Plan area to include walking and biking paths to improve streetscapes for safe public use. The Plan area's location supports public transportation throughout the City of Menifee, as well as facilitating regional public transportation options and easy access to regional highway systems. These design measures ensure the Rockport Ranch Specific Plan is consistent with the goals detailed in the City of Menifee Circulation Element.

Open Space and Recreation Element – A key feature of sustaining a livable community is the inclusion of open space resources. Open space provides active and passive opportunities for recreational use as well as the protection of sensitive habitat for wildlife and cultural resources. The Open Space and Recreation Element include 10 goals targeting the protections of the aforementioned resources. Goals OSC-1: Parks and Recreation, OSC-2: Recreational Trails, OSC-3: Natural Landforms, OSC-4: Energy and Mineral, OSC-5 Paleontological and Cultural Resources, OSC-6: Agriculture, OSC-7: Water, OSC-8: Biological, OSC-9: Air Quality, and OSC-10 Environmentally Aware Community all contribute standards for the best management of open space and recreation space within the City of Menifee.

The Rockport Ranch Specific Plan will embody the goals of the Open Space and Recreation Element of the Menifee General Plan. Site design incorporated large open space and trails internally, as well as adds greenspace with walking and biking paths along public rights-of-ways. Previous agricultural use of the site had graded the area into a level surface and as the site currently exists will not affect any natural landforms needing preservation as the only feature to be protected, a pond area, will be preserved as recreational open space area. As with any project, air quality must stay below certain thresholds mandated by the State as well as any additional restrictions added by the City of Menifee and the County of Riverside. Cultural and paleontological resources will be surveyed and protected or properly removed if found. These protection measures and design elements demonstrate Rockport Ranch's consistency with the City of Menifee Open Space and Recreation Element.

Community Design Element – Although the Community Design Element section of the City of Menifee General Plan is optional, the Rockport Ranch Specific Plan is compliant with the Element. The Community Design Element seeks to establish a level of quality in the built environment for a visually pleasing living experience. It is for those reasons the 6 Community Design Elements were crafted. Goals CD-1: Community Image, CD-2: Rural Design, CD-3: Design Quality, CD-4: Corridors and Scenic Resources, CD-5: Economic Development Corridor Design, and CD-6: Community Design Features form the core vision of the look and feel for the City of Menifee.

Design of the Rockport Ranch Specific Plan area considered the past uses of the site and created a development with a distinct visual character. Architecture was selected for its unique and attractive facade and utilized several different home styles and types to give the neighborhood a varied appearance. Landscaped open spaces were designed to blend the architecture into the built community environment thereby creating a sense of place. Landscaped greenways were designed to give public roads a pleasant view as residents traverse through the Plan area.

Economic Development Element – The Economic Development Element is also an optional Element and does not generally apply to the Rockport Ranch Specific Plan area.

Safety Element – The Safety Element addresses the natural and man-made hazards with potential to impact the Menifee area and mitigation measures to reduce those impacts. The Element utilizes 6 goals to consider for the safety of the community. Goal S-1 and S-2: Seismic and Geological Issues, S-3: Flood Hazards, S-4 Fire Hazards, S-5: Hazardous Materials, and S-6: Disaster Preparedness, Response, and Recovery. When implemented, these goals help to prepare the community for any potential disaster or hazardous situation, and provide the mitigation measures, safety programs, and safety response needed to protect the entire community.

Each Safety Element goal was carefully incorporated into the Rockport Ranch Specific Plan. The Plan area has secured coverage from first responders for the protection of life and property. Roadway design within the Specific Plan area took into account access for

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emergency vehicles and provides multiple entrances into the development for emergency vehicle access and for ingress and egress for residents. Potential flood and geologic hazards were studied and mitigated through careful engineering. Housing in the Plan area will be designed with the most up-to-date building codes, which utilize current seismic standards. The information studied prior to the design of the development results in the Rockport Ranch Specific Plan area to be inherently compliant with the Safety Element of the General Plan.

Noise Element – The purpose of the Noise Element is to limit City residents from exposure to annoying and damaging noises. To accomplish this task, the Noise Element has established 2 goals; N-1: Noise-Sensitive Land Uses, and N-2: Minimal Noise Spillover. These protection measures will be included within the Rockport Ranch design to reduce any negative effects noise may have on the residents of the Specific Plan area.

The Rockport Ranch Specific Plan strives to be an enjoyable community free of any nuisances including noise. To prevent any annoyances from noise, a noise study will be conducted for the Rockport Ranch Specific Plan area. Should any noise hazards be identified within the subsequent report, they will be mitigated through the use of design features.

Rockport Ranch Specific Plan

Table 1-1 General Plan Consistency

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Land Use Element		
LU-1	Land uses and building styles that result in a community where residents at all stages of life, employers, workers, and visitors have a diversity of options of where they can live, work, shop, and recreate within Menifee.	
LU-1.1	Concentrate growth in strategic locations to help preserve rural areas, create place and identity, provide infrastructure efficiently, and foster the use of transit options.	The Rockport Ranch Specific Plan is located within existing residential and recreational land uses along Old Newport Road and Briggs Road. Residential land uses are sited to the north and west. County agricultural land is located to the east adjacent to Briggs Road, and an RV park is located to the south. The location of the Plan area, and the proposed offsite improvements will allow for quick access to a multitude of transportation options including pedestrian access, bicycle lanes, access to bus routes, and regional access via Newport Road/Domenigoni Parkway and Interstate 215.
LU-1.2	Provide a spectrum of housing types and price ranges that match the jobs in the city and make it possible for people to live and work in Menifee and maintain a high quality of life.	Two main residential land uses are proposed within the Specific Plan area; a courtyard residential product and larger traditional single-family homes. These uses include a variety of lot sizes, which offer choices for homebuyers in different income levels. The smaller courtyard residential product can accommodate new homebuyers in the low end of economic spectrum, while lots ranging from 5,000 minimum sf to 7,500 minimum sf can accommodate a range of income levels. This mix of unit sizes and types diversifies the Specific Plan area and creates a sense of community, where people from all ends of the spectrum can afford to live in an attractive neighborhood. Therefore, the Specific Plan provides a range of homeownership opportunities that allow potential residents to be able to afford to live and work in Menifee.
LU-1.3	Develop senior housing in neighborhoods that are accessible to public transit, commercial services, and health and community facilities.	The Specific Plan area is not located in an area conducive to senior housing. Therefore, this policy is not applicable.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Land Use Element Continued		
LU-1.4	Preserve, protect, and enhance established rural, estate, and residential neighborhoods by providing sensitive and well-designed transitions (building design, landscape, etc.) between these neighborhoods and adjoining areas.	Landscape design was carefully considered to buffer the Specific Plan area from land uses to the east while maintaining a sense of residential transition from the neighborhood to the west and the RV park to the south. Offsite improvements should help to connect existing neighborhoods with the Rockport Ranch Specific Plan area. Building design standards were developed to provide a quality product that is complementary of the traditional rural elements found in Menifee, while also incorporating design elements that fit with newer residential development.
LU-1.5	Support development and land use patterns, where appropriate, that reduce reliance on the automobile and capitalize on multimodal transportation opportunities.	Proposed offsite improvements to the Specific Plan area will add a multi-use trail along the project frontage on Briggs Road, and bicycle lanes along the project frontage of Old Newport Road and Tres Lagos Drive. Therefore, the Specific Plan is consistent with this goal.
LU-1.6	Coordinate land use, infrastructure, and transportation planning and analysis with regional, county, and other local agencies to further regional and sub-regional goals for jobs-housing balance.	This Specific Plan contributes to regional housing needs. However, the coordination necessary to meet this goal lies with the broader collaboration of the City of Menifee's land use planning and coordination with regional agencies.
LU-1.7	Ensure neighborhood amenities and public facilities (natural open space areas, parks, libraries, schools, trails, etc.) are distributed equitably throughout the city.	Developers and/or builders of the Rockport Ranch Specific Plan area will contribute fees in compliance with the Quimby Act, the city's park fee ordinance, and the City's Development Impact Fee ordinance and will contribute school fees to Menifee Union School District and Perris Union High School District. The city can then use those fees to acquire and build public facilities throughout the city in compliance with this General Plan goal.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Land Use Element Continued</i>		
LU-1.8	Ensure new development is carefully designed to avoid or incorporate natural features, including washes, creeks, and hillsides.	The Specific Plan resides on a former dairy site. The land was generally even, which was conducive to dairy use. No natural landform features exist on the site. Therefore, this goal is not applicable.
LU-1.9	Allow for flexible development standards provided that the potential benefits and merit of projects can be balanced with potential impacts.	Development standards for this Specific Plan were in accordance with the City of Menifee General Plan, and the County of Riverside's standards (as adopted by the City). In addition, as previously stated, the intent of the Specific Plan is to allow for a degree of design flexibility to respond to future conditions.
LU-1.10	Buffer sensitive land uses, such as residences, schools, care facilities, and recreation areas from major pollutant emission sources, including, freeways, manufacturing, hazardous materials storage, and similar uses.	No major pollutant sources are adjacent to the Specific Plan area. Therefore, this policy is not applicable.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Land Use Element Continued		
LU-2	Thriving economic development corridors that accommodate a mix of nonresidential and residential uses that generate activity and economic vitality in the city.	
LU-2.1	Promote infill development that complements existing neighborhoods and surrounding areas. Infill development and future growth in Menifee is strongly encouraged to locate within EDC areas to preserve the rural character of rural, estate, and small estate residential uses.	Rockport Ranch is proposed on the site of a former dairy. The proposed land uses and densities for the Specific Plan area are consistent with the surrounding uses within the city boundary. Residential subdivisions with comparable densities are located to the north and west of the project site. The proposed project location has no effect on rural, estate, or small estate residential uses within the City of Menifee.
LU-2.2	Encourage vertical and horizontal integration of uses where feasible on properties in EDC's.	The project is not located within an EDC. Therefore, this goal is not applicable.
LU-2.3	Identify opportunities to link the city's educational and medical facilities, such as Mount San Jacinto College and the Regional Medical Center, to complementary uses in EDC's.	The project is not located within an EDC. Therefore, this goal is not applicable.
LU-2.4	Actively support development of cultural, education, and entertainment facilities in EDC's and utilize these venues to generate a unique identity for the city in Southwest Riverside County.	The project is not located within an EDC. Therefore, this goal is not applicable.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Land Use Element Continued</i>		
LU-3	A full range of public utilities and related services that provide for the immediate and long-term needs of the community.	
LU-3.1	Work with utility providers in the planning, designing, and siting of distribution and support facilities to comply with the standards of the General Plan and Development Code.	The developer of the Rockport Ranch Specific Plan area worked with all appropriate utility providers to provide adequate facilities to support the project. The design and placement of those utilities and facilities complied with the city's General Plan and development code.
LU-3.2	Work with utility providers to increase service capacity as demand increases.	Appropriate capacity is available for the Specific Plan area.
LU-3.3	Coordinate public infrastructure improvements through the city's Capital Improvement Program.	Rockport Ranch will provide offsite improvements to Briggs Road, Old Newport Road, and Tres Lagos drive, which satisfies their fair share contribution to the city's infrastructure improvements at that location.
LU-3.4	Require that approval of new development be contingent upon the project's ability to secure appropriate infrastructure services.	Developers of the Rockport Ranch Specific Plan area have secured service availability confirmation and agreed to offsite improvements for infrastructure services.
LU-3.5	Facilitate the shared use of right-of-way, transmission corridors, and other appropriate measure to minimize the visual impact of utilities infrastructure throughout Menifee.	Rockport Ranch worked with city and utility engineers to provide a comprehensive utility and landscaping right-of-way plan, which reduced visual impacts along Old Newport Road, Briggs Road, and Tres Lagos Drive.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Housing Element		
HE-1 Housing Diversity	A diverse housing stock that offers a full range of housing opportunities for Menifee residents and supports the local economy.	
HE-1.1 Specific Plans.	Support residential growth and infill in specific plan areas and along corridors where comprehensive neighborhood planning is completed, and adequate infrastructure is planned.	Residential and open space land uses were designed with adequate infrastructure planned in coordination with city and utility providers' input, resulting in a comprehensive Specific Plan development.
HE-1.2 Housing Design.	Require excellence in housing design with materials and colors, building treatments, landscaping, open space, parking, and environmentally sensitive design practices.	This Specific Plans' design section provides the parameters for the high-quality design of housing floor plans and façades, materials, colors, landscaping, open space, and parking. Each category considered the latest building standards and practices, which meet the states requirement for environmentally sensitive housing development design.
HE-1.3 Housing Diversity.	Provide development standards and incentives to facilitate a range of housing, such as single-family, apartments, senior housing, and other housing types in rural, suburban, and urban settings.	Residential land uses for the Rockport Ranch Specific Plan include a variety of housing types. Smaller courtyard units are included as well as several larger lot size categories in a clustered residential design.
HE-1.4 Entitlement Process.	Provide flexible entitlement processes that facilitate innovative housing solutions yet balance the need for developer certainty in the approval process.	The Rockport Ranch Specific Plan will not inhibit this policy.
HE-1.5 Permit Process.	Permit higher density housing in the 20.1-24 R General Plan designation per City policy; incorporate new policies upon completing the Zoning Code update.	Density for the proposed land uses will be established within this Specific Plan. Therefore, this policy is not applicable.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Housing Element Continued</i>		
HE-1.6 Housing Incentives.	Facilitate a mix of market rate and affordable housing through adoption of regulatory concessions and financial incentives, where feasible and appropriate.	The Rockport Ranch Specific Plan will not inhibit this policy.
HE-1.7 Community Character.	Protect the character of the community by preserving the unique rivers, landscape, natural features, and community features that distinguish Menifee from other cities in the region.	The Specific Plan is proposed on a former dairy site and features no unique landforms or natural features. Therefore, this goal is not applicable.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Housing Element Continued</i>		
HE-2 Neighborhood Quality	Sustainable neighborhoods well served by ample parks, infrastructure, community amenities, and public services and facilities.	
HE-2.1 Housing Conditions.	Support the improvement, rehabilitation, and maintenance of our housing resources to strengthen residential neighborhoods, offer quality housing, and maintain community property values.	Rockport Ranch will contribute 305 quality residential units to the city's housing stock, thereby satisfying this goal.
HE-2.2 Property Maintenance.	Support the maintenance and improvement of the quality of housing and neighborhoods through the adoption, amendment, and compliance with land use, zoning, building, and property maintenance codes.	The adoption of this Specific Plan will act as the primary regulatory and enforcement document for land uses within its boundaries. The Rockport Ranch Specific Plan's authority is vested within the City of Menifee General Plan, and the city's zoning codes. A homeowner's association (HOA) will be formed to enforce maintenance standards and regulations of residential and open space land uses for the Rockport Ranch Specific Plan area.
HE-2.3 Neighborhood Revitalization.	Support the comprehensive investments needed to improve physical infrastructure, housing conditions, and public services for our many neighborhoods, focusing on those neighborhoods of greatest need.	The Rockport Ranch Specific Plan is a proposed new development therefore, this policy is not applicable. However, the developers and/or builders will contribute Development Impact Fees, Quimby fees, school fees and transportation fees that could in turn be used by the applicable jurisdiction to improve infrastructure and public services.
HE-2.4 Parks and Recreation.	Enhance neighborhood livability and sustainability by providing parks and open spaces, planting trees, greening parkways, and maintaining a continuous pattern of paths that encourage an active, healthy lifestyle.	The Rockport Ranch Specific Plan proposes approximately 20-acres of recreational trails and private open space. A comprehensive landscape plan will be submitted to the city for review, which includes trail, parks and parkway, and open space plantings and design. The trails included within the Specific Plan area as well as the public multi-use trail on Briggs Road facilitate active and healthy lifestyles.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Housing Element Continued</i>		
HE-2.5 Public Facilities and Infrastructure.	Provide quality community facilities, infrastructure, traffic management, public safety, and other services to promote and improve the livability, safety, and vitality of residential neighborhoods.	The developer or builder of the Rockport Ranch Specific Plan area will make transportation fair-share fee, Development Impact Fee, school fee, and Quimby fee payments to the City of Menifee to contribute to facilities, infrastructure, traffic management, public safety and other improvements to improve the quality of life for residents of the City of Menifee.
HE-2.6 Neighborhood Involvement.	Encourage resident participation in their neighborhood organizations to help identify local needs and implement programs to beautify, improve, and preserve neighborhoods.	An HOA will be formed for the Rockport Ranch Specific Plan area to preserve and maintain the neighborhood.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Housing Element Continued</i>		
HE-3 Housing Assistance	Improved opportunities for moderate and low-income residents and those with special needs to rent, purchase, or maintain adequate housing.	
HE-3.1 Homeownership Assistance.	Increase homeownership assistance and security for lower and moderate-income households through the provision of financial assistance, education, and collaborative partnerships.	The Rockport Ranch Specific Plan will not inhibit this policy.
HE-3.2 Homeownership Preservation.	Work with governmental entities, nonprofits, and other stakeholders to educate residents and provide assistance, where feasible, to reduce the number of foreclosures in the community.	The Rockport Ranch Specific Plan will not inhibit this policy.
HE-3.3 Special needs.	Support the production of housing and provision of community support services for people with special needs, such as people with disabilities, seniors, lower income families, and people without shelter.	The Rockport Ranch Specific Plan will not inhibit this policy.
HE-3.4 Preservation of Affordable Housing.	Preserve affordable rental housing by working with interested parties and providing technical assistance, as feasible and appropriate.	The Rockport Ranch is proposed new development. Therefore, this policy is not applicable.
HE-3.5 Collaborative Partnerships.	Collaborate with nonprofit groups, developers, the business community, special interested groups, and state and federal agencies to provide housing assistance.	The Rockport Ranch Specific Plan will not inhibit this policy.
HE-3.6 Fair Housing.	Support and implement housing law in all aspects of the building, financing, sale, rental, or occupancy of housing based on protected status in accordance with state and federal law.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Circulation Element		
C-1 Roadway System	A roadway network that meets the circulation needs of residents, employees, and visitors to the City of Menifee.	
C-1.1	Require roadways to: <ul style="list-style-type: none"> • Comply with federal, state, and local design and safety standards. • Meet the needs of multiple transportation modes and users. • Be compatible with the streetscape and surrounding land uses. • Be maintained in accordance with best practices. 	All roadway development within the Rockport Ranch Specific Plan, and external roadways within rights-of-way, will comply with all local, state, and federal design and safety standards. The Specific Plan area has incorporated multi-modal transportation options and will be compatible with surrounding land uses. Internal roads will be maintained by the HOA. External roadways in rights-of-way will be maintained by the city and/or county.
C-1.2	Require development to mitigate its traffic impacts and achieve a peak hour Level of Service (LOS) D or better at intersections, except at constrained intersections at close proximity to the I-215 where LOS E may be permitted.	The development will mitigate its traffic impacts as required by findings within the EIR prepared concurrently with this Specific Plan.
C-1.3	Work with Caltrans, RCTC, and others to identify, fund, and implement needed improvements to roadways identified in the citywide roadway network.	The project developers will work with the required agencies to contribute their fair-share improvements to local and regional roadways affected by the development of the Specific Plan area.
C-1.4	Promote development of local street patterns that unify neighborhoods and work with neighboring jurisdictions to provide compatible roadway linkages at the city limits.	External roadways adjacent to the Specific Plan frontage, identified by the city and/or county, will be improved to provide multi-modal roadways, compatible with neighboring developments' roadway systems and adjacent jurisdictional roadway linkages.
C-1.5	Minimize idling times and vehicle miles traveled to conserve resources, protect air quality, and limit greenhouse gas emissions.	The project location is close to Newport Road/Domenigoni Parkway and I-215. The proximity of both roadways will reduce the miles travelled and idle times for vehicle trips generated within the Specific Plan area. Additionally, fair-share contributions and/or mitigation requirements will be used to offset idling at key areas identified in the EIR.

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Circulation Element Continued		
C-2 Bicycles and Pedestrians	A bikeway and community pedestrian network that facilitates and encourages nonmotorized travel throughout the City of Menifee.	
C-2.1	<p>Require on- and off-street pathways to:</p> <ul style="list-style-type: none"> • Comply with federal, state, and local design and safety standards. • Meet the needs of multiple types of users (families, commuters, recreational beginners, exercise experts) and meet ADA standards. • Be compatible with the streetscape and surrounding land uses. • Be maintained in accordance with best practices. 	All development within the Rockport Ranch Specific Plan, and roadways within rights-of-way, will comply with all local, state, and federal design and safety standards. This Specific Plan has incorporated off-street pathways be compatible with surrounding land uses and will be accessible to all users including ADA standards. Internal pathways will be maintained by the HOA. External pathways within rights-of-way will be maintained by the city with a developer contribution to the city.
C-2.2	Provide off-street multipurpose trails and on-street bike lanes as our primary paths of citywide travel and explore the shared use of low-speed roadways for connectivity wherever it is safe to do so.	Select improvements will add Community Trails and roadways. Tres Lagos Drive will incorporate a Class II bike lane and Old Newport Road will include a Class III bike lane. Briggs Road will feature a community trail.
C-2.3	Require walkways that promote safe and convenient travel between residential areas, businesses, schools, parks, recreation areas, transit facilities, and other key destination points.	Walkway design will be to the latest California building Standards codes. Where identified walkways within rights-of-way areas may connect with neighboring developments walkways.
C-2.4	Explore opportunities to expand the pedestrian and bicycle networks; this includes consideration of utility easements, drainage corridors, road rights-of-way, and other potential options.	The Rockport Ranch will implement the latest design and engineering standards to develop pedestrian networks where feasible. The Specific Plan will expand both the pedestrian and bicycle networks by adding a pedestrian network throughout the project site and bike lanes along Tres Lagos Drive and Old Newport Road and a community trail along Briggs Road.
C-2.5	Work with the Western Riverside Council of Governments to implement the Non-Motorized Transportation Plan for Western Riverside County.	The Rockport Ranch Specific Plan will not inhibit this policy.

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Circulation Element Continued		
C-3 Public Transit	A public transit system that is a viable alternative to automobile travel and meets basic transportation needs of the transit dependent.	
C-3.1	Maintain a proactive working partnership with transit providers to ensure that adequate public transit service is available.	The Rockport Ranch Specific Plan will not inhibit this policy.
C-3.2	Require new development to provide transit facilities, such as bus shelters, transit bays, and turnouts, as necessary.	If necessary, developers or builders of the Rockport Ranch Specific Plan area will provide its fair share toward transit facilities. Correspondence with the Riverside Transit Authority (RTA) confirmed that no bus shelters, transit bays or turnouts are required for the Specific Plan area.
C-3.3	Provide additional development-related incentives to projects that promote transit use.	The Rockport Ranch Specific Plan will not inhibit this policy.
C-3.4	Advocate expansion of Metrolink service to the area.	The Rockport Ranch Specific Plan will not inhibit this policy.
C-3.5	Work with regional transit agencies to secure convenient feeder service from the Metrolink station to employment districts and transit nodes.	The Rockport Ranch Specific Plan will not inhibit this policy.
C-3.6	Require future community-wide facilities, such as libraries, schools, parks, and community centers, to be sited in transit-ready areas (can be served and made accessible by public transit). Conversely, plan (and coordinate with other transit agencies to plan future transit routes to serve existing community facilities.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Circulation Element Continued</i>		
C-4 Neighborhood Electric Vehicles/Golf Carts	Diversified local transportation options that include neighborhood electric vehicles and golf carts.	
C-4.1	Encourage the use of neighborhood electric vehicles and golf carts instead of automobiles for local trips.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Circulation Element Continued</i>		
C-5 Goods Movement	An efficient flow of goods through the city that maximizes economic benefits and minimizes negative impacts.	
C-5.1	Designate and maintain a network of city truck routes that provides for the effective transport of goods while minimizing negative impacts on local circulation and noise-sensitive land uses	The Rockport Ranch Specific Plan will not inhibit this policy. According to the City General Plan, Exhibit C-7, the closest truck route is Newport Road/Domenigoni Parkway.
C-5.2	Work with regional and sub-regional transportation agencies to plan and implement goods movement strategies, including those that improve mobility, deliver goods efficiently, and minimize negative environmental impacts.	The Rockport Ranch Specific Plan will not inhibit this policy.
C-5.3	Support efforts to reduce/eliminate the negative environmental impacts of goods movements.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Circulation Element Continued</i>		
C-6 Scenic Highways	Scenic highway corridors that are preserved and protected from change which would diminish the aesthetic value of lands adjacent to the designated routes.	
C-6.1	Design developments within designated scenic highway corridors to balance the objectives of maintaining scenic resources with accommodating compatible land uses.	The Rockport Ranch Specific Plan is not within a scenic highway corridor. Therefore, this policy is not applicable.
C-6.2	Work with federal, state, and county agencies, and citizen groups to ensure compatible development within scenic corridors.	The Rockport Ranch Specific Plan is not within a scenic corridor. Therefore, this policy is not applicable.
C-6.3	Utilize design and land development strategies to gradually transition graded road slopes into a natural configuration consistent with the topography of the areas within scenic highway corridors.	The Rockport Ranch Specific Plan is not within a scenic highway corridor. Therefore, this policy is not applicable.
C-6.4	Incorporate riding, hiking, and bicycle trails and other compatible public recreational facilities within scenic corridors.	The Rockport Ranch Specific Plan is not within a scenic corridor. Therefore, this policy is not applicable.
C-6.5	Ensure that the design and appearance of new landscaping, structures, equipment, signs, or grading within eligible county scenic highway corridors are compatible with the surrounding scenic setting or environment.	The Rockport Ranch Specific Plan is not within a scenic corridor. Therefore, this policy is not applicable.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Open Space and Conservation Element		
OSC-1 Parks and Recreation	A comprehensive system of high quality parks and recreation programs that meets the diverse needs of the community.	
OSC-1.1	Provide parks and recreational programs to meet the varied needs of community residents, including children, youth, adults, seniors, and persons with disabilities, and make these facilities and services easily accessible and affordable to all users.	The Rockport Ranch Specific Plan will not inhibit this policy. In addition, the developer and/or builder will contribute Development Impact Fees and Quimby fees such that parks and recreational programs can be expended to the community.
OSC-1.2	Require a minimum of 5 acres of public open space be provided for every 1,000 city residents.	Developers of the Rockport Ranch Specific Plan will pay fees based on a factor of 3.164 persons-per-household according to the City of Menifee's 2016 Resolution setting the amount of Quimby Fees, or as subsequently amended thereafter. Rockport Ranch expects to use the figure of 965 residents for the determination of fees to be paid to the City of Menifee.
OSC-1.3	Locate and distribute parks and recreational facilities throughout the community so that most residents are within walking distance (1-half mile) of a public open space.	Fees paid by the developer or builder can be used by the city to distribute parks as necessary.
OSC-1.4	Enhance the natural environment and viewsheds through park design and site selection while preserving sensitive biological, cultural, and historic resources.	Open space within the Rockport Ranch Specific Plan area will be private open space. Therefore, this policy is not applicable. The EIR prepared for the Specific Plan will analyze impacts to biological, cultural and historical resources and provide mitigation to offset said impacts if warranted.
OSC-1.5	Make parks as safe as possible by promoting the latest developments in facility design and equipment technology.	Internal private recreational open space areas will be engineered and designed to the latest standards and will promote the use of the latest technology and facility design where appropriate.
OSC-1.6	Partner with school districts and other agencies and organizations for the joint-use, maintenance, and development of parks and recreational facilities and programs.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

OSC-1.7	Ensure that parks and recreational facilities are well-maintained by the responsible agency.	The Rockport Ranch Specific Plan area will form an HOA to ensure maintenance of private open space within the development. Open space within public easements will be maintained by the City with a contribution in the form of a fee paid by the developer and/or builder to the City of Menifee.
OSC-1.8	Explore conventional and creative funding options for park and program development and administration.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-1.9	Encourage all residents to participate in recreational programs regardless of age, economic status, disability, or other factor.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-1.10	Develop a regional park of at least 25 acres within the City of Menifee.	The developers and/or builders of the Rockport Ranch Specific Plan area will provide the city with a fee consistent with the City of Menifee's 2016 Resolution setting the amount of Quimby Fees, or as subsequently amended thereafter, and will provide Development Impact Fees. Those fees can then be used by the city to contribute to the acquisition and/or development of a regional park.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-2 Recreational Trails	A comprehensive network of hiking, biking, and equestrian trails that do not negatively impact the natural environment.	
OSC-2.1	Develop recreational trails for hiking biking, and equestrian use throughout the city, making them, to the extent feasible, accessible to people of different neighborhoods, ages, and abilities.	A multi-use community trail will be provided on Brigs Road along the Specific Plan area's frontage.
OSC-2.2	Locate and regulate recreational trails so that they do not negatively impact the city's sensitive habitat, wildlife, natural landforms, and cultural resources.	The proposed location of the multi-use community trail is along exiting developed land, therefore no sensitive habitat or species, nor cultural resources will be affected. The EIR prepared for the Specific Plan will analyze impacts to biological and cultural resources and provide mitigation to offset said impacts if warranted.
OSC-2.3	Recognize flood control facilities as potential locations for recreational trails and pursue these opportunities in coordination with the Riverside County Flood Control and Conservation District.	Constraints of the site design do not allow for flood control facilities to be used for recreational opportunities,
OSC-2.4	Explore new acquisition opportunities for abandoned railroad rights-of-way, natural waterways, flood control rights-of-way, public utility easements, and public lands for potential designation as recreational trails.	No abandoned railroad facilities exist on or near the Specific Plan area. Other than the right-of-way area along Briggs Road fronting the project, which will feature a multi-use community trail, no other public easements on the site are suitable for recreational open space opportunities. Therefore, this policy is not applicable.
OSC-2.5	Equip trailheads and trail staging areas with adequate parking, restrooms, signage, or other facilities, and amenities as appropriate.	No trailhead or staging areas are proposed for the project. Therefore, this policy is not applicable.
OSC-2.6	Protect existing equestrian trails, including those in the city's rural neighborhoods, and encourage connections to new trails in other parts of the city.	No existing trails are a part of this Project. However, a multi-use community trail is proposed along the project frontage on Briggs Road. Therefore, the Project is consistent with this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-2.7	Coordinate with adjacent jurisdictions to establish recreational trails that connect to other trail systems and major destinations found outside of the city, such as Lake Elsinore, Kabian Park, and Diamond Valley Lake.	The Rockport Ranch Specific Plan is not connected to any of the areas mentioned in Policy OSC-2.7, nor are there any existing trails adjacent to the project site within county lands. Therefore, this policy is not applicable.
OSC-2.8	Develop appropriate consultation protocols with local Native American Tribes who have ancestral territories within the city to ensure recreation trails are located to avoid impacts to cultural resources.	In compliance with State Assembly Bill 52, the City of Menifee Community Development Department has conducted the consultation with the appropriate local Native American Tribes. Any cultural resources identified on the site will be appropriately mitigated through the EIR process.
OSC-2.9	Ensure safety along recreational trails through appropriate lighting, signage, and other crime prevention through environmental design (CPTED) strategies.	Safety features will be incorporated on internal and external trails.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-3 Natural Landforms	Undisturbed slopes, hillsides, rock outcroppings, and other natural landforms that enhance the city's environmental setting.	
OSC-3.1	Identify and preserve the view corridors and outstanding scenic vistas within the city.	The Specific Plan area is not within a view corridor. Therefore, this policy is not applicable. However, impacts to scenic vistas and view corridors will be analyzed in the EIR for the Specific Plan and, if warranted, mitigation will be provided.
OSC-3.2	Promote thoughtful hillside development that respects the natural landscape by designing houses that fit into the natural contours of the slope and sensitive development that preserves and protects important cultural and biological resources.	The Specific Plan area is located on the site of a former dairy and is generally flat. Therefore, this policy is not applicable.
OSC-3.3	Encourage the use of clustered development and other site planning strategies to facilitate the preservation of the city's natural landforms, boulders, and rock outcroppings.	The Specific Plan area proposes a clustered design. However, the site was a former dairy and does not contain any natural features, which would necessitate preservation.
OSC-3.4	Support the preservation of natural vegetation and rock outcroppings during and after the construction process.	The Specific Plan area is located on the site of a former dairy and is generally flat. No natural vegetation or rock outcroppings exist on the site. Therefore, this policy is not applicable.
OSC-3.5	Develop suitable long-term preservation plans with appropriate Native American tribes who have ancestral lands within the city to ensure the perpetual preservation of cultural resources, boulders, and rock outcroppings protected under this policy.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-4 Energy and Mineral	Efficient and environmentally appropriate use and management of energy and mineral resources to ensure their availability for future generations.	
OSC-4.1	Apply energy efficiency and conservation practices in land use, transportation demand management, and subdivision and building design.	The Rockport Ranch Specific Plan area is consistent with this policy through common design and building practices and through incorporation of the California building standards code.
OSC-4.2	Evaluate public and private efforts to develop and operate alternative systems of energy production, including solar, wind, and fuel cell.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-4.3	Advocate for cost-effective and reliable production and delivery of electrical power to residents and businesses throughout the community.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-4.4	Require that any future mining activities be in compliance with the State Mining Reclamation Act, federal and state environmental regulations, and local ordinances.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-4.5	Limit the impacts of mining operations on the city's natural open space, biological and scenic resources, cultural resources and landscapes, and any adjacent land uses.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-5 Paleontological & Cultural Resources	Archaeological, historical, and cultural resources are protected and integrated into the city's built environment.	
OSC-5.1	Preserve and protect archaeological and historic resources and cultural sites, places, districts, structures, landforms, objects and native burial sites, traditional cultural landscapes and other features, consistent with state law and any laws, regulations or policies which may be adopted by the city to implement this goal and associated policies.	A cultural survey was conducted concurrently with this Specific Plan in compliance with all local, state, and federal laws, regulations, and policies. Any findings of cultural significance will be handled in accordance with all applicable state laws, regulations, or policies and will be fully analyzed and, if warranted mitigated through the EIR process.
OSC-5.2	Work with local schools, organizations, appropriate Native American tribes with ancestral territories located within the city and other agencies to educate the public about the rich archaeological, historic, and cultural resources found in the city.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-5.3	Preserve sacred sites identified in the consultation with the appropriate Native American tribes whose ancestral territories are within the city, such as Native American burial locations, by avoiding activities that would negatively impact the sites, while maintain the confidentiality of the location and nature of the sacred site.	A cultural survey was conducted concurrently with this Specific Plan in compliance with all local, state, and federal laws, regulations, and policies. The integrity of sacred sites shall be maintained in accordance with local, state, and federal laws, regulations, and policies. Any potential impacts to sacred sites will be fully analyzed and, if warranted mitigated through the EIR process.
OSC-5.4	Establish clear and responsible policies and best practices to identify, evaluate, and protect previously unknown archaeological, historic, and cultural resources, following applicable CEQA and NEPA procedures and in consultation with the appropriate Native American tribes who have ancestral lands within the city.	A cultural survey was conducted concurrently with this Specific Plan and was included within the project's EIR. The EIR outlines appropriate actions the project developer and/or builder shall take upon discovery of any previously unknown archaeological, historic, and cultural resources. Mitigation measures identified within the EIR will be in accordance with CEQA. Therefore, the Specific Plan is consistent with this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-5.5	Develop clear policies regarding the preservation and avoidance of cultural resources located within the city, in consultation with the appropriate Native American tribes who have ancestral lands within the city.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-5.6	Develop strong government-to-government relationships and consultation protocols with the appropriate Native American tribes with ancestral territories within the city in order to ensure better identification, protection and preservation of cultural resources, while also developing appropriate educational programs, with tribal participation, for Menifee residents.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-6 Agriculture	High value agricultural lands available for long-term agricultural production in limited areas of the city.	
OSC-6.1	Protect both existing farms and sensitive uses around them as agricultural acres transition to more developed land uses.	The proposed project is located on the site of a former operational dairy. The existing site is not located within an agricultural preserve, nor is the site under a Williamson Act contract. Exhibit OSC-5 of the City of Menifee General Plan, Open Space Element shows the existing agricultural land use as an infill site surrounded by residential and recreational land uses to the north, south, and west. The transition to the proposed Specific Plan zoning, which includes residential and open space land uses will be a more appropriate use of the land and is consistent with the existing land uses to the north, south, and west. Therefore, the proposed transition to Specific Plan area for residential and open space land uses does not conflict with this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-7 Water	A reliable and safe water supply that effectively meets current and future user demands.	
OSC-7.1	Work with the Eastern Municipal Water District to ensure that adequate, high-quality potable water supplies and infrastructure are provided to all development in the community.	The project design was coordinated with both the City of Menifee and the EMWD to ensure the infrastructure and capacity were adequate to serve the Rockport Ranch Specific Plan area.
OSC-7.2	Encourage water conservation as a means of preserving water resources.	Landscape design for the Specific Plan area will incorporate the latest water conservation measures as mandated by local and state laws, regulations, and policies.
OSC-7.3	Coordinate with the Eastern Municipal Water District to educate the public on the benefits of water conservation and promote strategies residents and businesses can employ to reduce their water usage.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-7.4	Encourage the use of reclaimed water for the irrigation of parks, golf courses, public landscaped areas, and other feasible applications as service becomes available from the Eastern Municipal Water District.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-7.5	Utilize a wastewater collection, treatment, and disposal system that adequately serves the existing and long-term needs of the community.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-7.6	Work with the Eastern Municipal Water District to maintain adopted levels of service standards for sewer service systems.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-7.7	Maintain and improve existing level of sewer service by improving infrastructure and repairing existing deficiencies.	Sewer infrastructure will be designed and extended to provide an adequate level of service to the project area.
OSC-7.8	Protect groundwater quality by decommissioning existing septic systems and establishing connections to sanitary sewer infrastructure.	Sewer infrastructure will be designed and extended to provide an adequate level of service to the project area. No septic systems exist onsite.

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-7.9	Ensure that high quality potable water resources continue to be available by managing stormwater runoff, wellhead protection, and other sources of pollutants.	Engineering and design of the site must adequately address stormwater runoff to be compliant with state laws, rules, and regulations. Well production on the site will be properly regulated through any local and state laws, rules, and policies.
OSC-7.10	Preserve natural floodplains, including Salt Creek, Ethanac Wash, Paloma Wash, and Warm Springs Creek, to facilitate water percolation, replenishment of the natural aquifer, proper drainage, and prevention of flood damage.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-7.11	Ensure that natural and cultural resources are protected and avoided while still maintaining important water goals.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-8 Biological	Protected biological resources, especially sensitive and special status wildlife species and their natural habitats.	
OSC-8.1	Work to implement the Western Riverside County Multiple Species Habitat Conservation Plan in coordination with the Regional Conservation Authority.	The Rockport Ranch Specific plan will not inhibit this policy. A biological study was conducted concurrently with this Specific Plan and included within the EIR. This study analyzes the project's consistency with the MSHCP. The project will comply with any findings and mitigate appropriately according to the measures outlined within the EIR.
OSC-8.2	Support local and regional efforts to evaluate, acquire, and protect natural habitats for sensitive, threatened, and endangered species occurring in and around the city.	The Rockport Ranch Specific plan will not inhibit this policy. A biological study was conducted concurrently with this Specific Plan and included within the EIR. The project will comply with any findings and mitigate appropriately according to the measures outlined within the EIR..
OSC-8.3	Partner with non-profit agencies at the local, regional, state and federal level to fulfill the obligations of the MSHCP to preserve and protect significant biological resources.	The Rockport Ranch Specific plan will not inhibit this policy. The site is located on a formerly operational dairy and is unlikely to contain biological resources or habitat of any value.
OSC-8.4	Identify and inventory existing natural resources in the City of Menifee.	The Rockport Ranch Specific Plan will not inhibit this policy
OSC-8.5	Recognize the impacts new development will have on the city's natural resources and identify ways to reduce these impacts.	A biological study was conducted concurrently with this Specific Plan and included within the EIR. The project will comply with any findings and mitigate appropriately according to the measures outlined within the EIR.
OSC-8.6	Pursue opportunities to help the public understand and appreciate Menifee's biological resources.	The Rockport Ranch Specific Plan will not inhibit this policy.
OSC-8.7	Manage the recreational use of the city's unimproved open space areas for compatibility with sensitive biological resources as well as MSHCP Conservation Areas.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-8.8	Implement and follow MSHCP goals and policies when making discretionary actions pursuant to Section 13 of the Implementing Agreement.	A biological study was conducted concurrently with this Specific Plan and included within the EIR. The project will comply with any findings and mitigate appropriately according to the measures outlined within the EIR.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-9 Air Quality	Reduced impacts to air quality at the local level by minimizing pollution and particulate matter.	
OSC-9.1	Meet state and federal clean air standards by minimizing particulate matter emissions from construction activities.	An air-quality report was studied for this project and included within the EIR. The EIR will identify measures to reduce and mitigate for particulate matter emissions from construction activities.
OSC-9.2	Buffer sensitive land uses, such as residents, schools, care facilities, and recreation areas from major air pollutant emission sources including freeways, manufacturing, hazardous materials storage, wastewater treatment, and similar uses.	The location of the Specific Plan is adequately buffered from pollutant emission sources.
OSC-9.3	Comply with regional, state, and federal standards and programs for control of all airborne pollutants and noxious odors, regardless of source.	The Rockport Ranch Specific Plan will not inhibit this policy. An air-quality report was studied for this project and included within the EIR. The EIR will identify measures, if needed, to ensure compliance with regional, state, and federal standard and programs related to the control of airborne pollutants and noxious odors.
OSC-9.4	Support the Riverside County Regional Air Quality Task Force, the Southern California Association of Government's Regional Transportation Plan/Sustainable Communities Strategy, and the South Coast Air Quality Management District's Air Quality Management Plan to reduce air pollution at the regional level.	The Rockport Ranch Specific plan will not inhibit this policy. An air-quality report was studied for this project and included within the EIR. The EIR will identify mitigation measure the project can implement to reduce pollution at the regional level.
OSC-9.5	Comply with the mandatory requirements of Title 24 Part 1 of the California Building Standards Code (CALGreen) and Title 24 Part 6 Building and Energy Efficiency Standards.	The Rockport Ranch Specific Plan will not inhibit this policy.

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Open Space and Conservation Element Continued</i>		
OSC-10 Environmentally Aware Community	An environmentally aware community that is responsive to changing climate conditions and actively seeks to reduce local greenhouse gas emissions.	
OSC-10.1	Align the city's local GHG reduction targets to be consistent with the statewide GHG reduction target of AB 32.	The Rockport Ranch Specific plan will not inhibit this policy. A Greenhouse Gas report was studied for this project and included within the EIR. The EIR will identify mitigation and/or project design measures, which may be implemented to reduce is the project's GHG emission footprint.
OSC-10.2	Align the city's long-term GHG reduction goal consistent with the statewide GHG reduction goal of Executive Order S-03-05.	The Rockport Ranch Specific plan will not inhibit this policy. A Greenhouse Gas report was studied for this project and included within the EIR. The EIR will identify mitigation, and/or project design measures, which may be implemented to reduce the project's GHG emission footprint.
OSC-10.3	Participate in regional greenhouse gas emission reduction initiatives.	The Rockport Ranch Specific plan will not inhibit this policy. A Greenhouse Gas report was studied for this project and included within the EIR. The EIR will identify mitigation, and/or project design measures, which may be implemented to reduce the project's GHG emission footprint.
OSC-10.4	Consider impact to climate change as a factor in evaluation of policies, strategies, and projects.	The Rockport Ranch Specific plan will not inhibit this policy. An air-quality report was studied for this project and included within the EIR. The EIR will identify mitigation, and/or project design measures, which may be implemented to reduce is carbon emission footprint.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Safety Element		
S-1 Seismic and Geological Issues	A community that is minimally impacted by seismic shaking and earthquake-induced or other geologic hazards.	
S-1.1	Require all new habitable buildings and structures to be designed and built to be seismically resistant in accordance with the most recent California Building Standards Code adopted by the city.	All new habitable buildings and structures will be designed and built to be seismically resistant in accordance with the most recent California Building Code adopted by the city.
S-1.2	Encourage the owners of old or potentially hazardous buildings including pre-1952 wood-frame structures, concrete tilt-ups, pre-1971 reinforced masonry, soft story, and multifamily residential buildings to assess the seismic vulnerability of their structures and conduct seismic retrofitting as necessary to improve the building's resistance to seismic shaking.	No existing buildings are proposed to be retained as a part of this project. Therefore, this policy is not applicable.
S-1.3	Encourage the city's utility service providers to identify sections of their distribution networks that are old and/or in areas susceptible to earthquake-induced ground deformation, and to repair, replace, or strengthen the sections as necessary.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Safety Element Continued		
S-2 Seismic and Geological Issues	A community that has used engineering solutions to reduce or eliminate the potential for injury, loss of life, property damage, and economic and social disruption caused by geologic hazards such as slope instability; compressible, collapsible, expansive or corrosive soils; and subsidence due to groundwater withdrawal.	
S-2.1	Require all new developments to mitigate the geologic hazards that have the potential to impact habitable structures and other improvements.	A soils study was prepared for the project site and will determine the appropriate measures for any grading activity on the site to mitigate for any potential geologic hazards. In addition, buildings must be designed to current standards as set for in the California Building Code.
S-2.2	Monitor the losses caused by geologic hazards to existing development and require studies to specifically address these issues, including the implementation of measures designed to mitigate these hazards, in all future developments in these areas	A soils study was prepared for the project site and will determine the appropriate measures for any grading activity on the site to mitigate for any potential geologic hazards. In addition, buildings must be designed to current standards as set for in the California Building Code.
S-2.3	Minimize grading and modifications to the natural topography to prevent the potential for man-induced slope failures.	A soils study was prepared for the project site and will determine the appropriate measures for any grading activity on the site to mitigate for any potential geologic hazards. The existing site is relatively flat and requires no grading modifications that would include slopes which could be jeopardized.
S-2.4	Manage the groundwater resources in the area to prevent overdrafting of the aquifers, which in turn could result in regional subsidence.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Safety Element Continued</i>		
S-3 Flood Hazards	A community that is minimally disrupted by flooding and inundation hazards.	
S-3.1	Require that all new developments and redevelopments in areas susceptible to flooding (such as the 100-year floodplain and areas known to the city to flood during intense or prolonged rainfall events) incorporate mitigation measures designed to mitigate flood hazards.	Engineering design for the Specific Plan area, incorporated mitigation measures designed to mitigate for flood hazards to the satisfaction of the City of Menifee.
S-3.2	Reduce flood hazards in developed areas known to flood.	Engineering design for the Specific Plan area, incorporated mitigation measures designed to mitigate for flood hazards to the satisfaction of the City of Menifee.
S-3.3	Use technology to identify flood-prone areas and to notify residents and motorists of impending flood hazards and evacuation procedures.	The Rockport Ranch Specific Plan will not inhibit this policy.
S-3.4	Develop floodplains as parks, nature trails, equestrian parks, golf courses, or other types of recreational facilities or joint-use facilities that can withstand periodic inundation wherever feasible.	The Rockport Ranch Specific Plan will not inhibit this policy.
S-3.5	Encourage neighboring jurisdictions to require development occurring adjacent to the city to consider the impact of flooding and flood control measures on properties within Menifee.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Safety Element Continued</i>		
S-4 Fire Hazards	A community that has effective fire mitigation and response measures in place, and as a result is minimally impacted by wildland and structure fires.	
S-4.1	Require fire-resistant building construction materials, the use of vegetation control methods, and other construction and fire prevention features to reduce the hazard of wildland fire.	The proposed Specific Plan location is surrounded by development and/or agricultural lands; therefore, no wildland fire hazard exists. Any proposed construction within the Specific Plan area must be compliant with the latest California Building Code and the California Fire Code standards.
S-4.2	Ensure, to the maximum extent possible, that fire service, such as firefighting equipment and personnel, infrastructure, and response times, are adequate for all sections of the city.	The Rockport Ranch Specific Plan will not inhibit this policy. Adequate fire service has been determined, with the payment of Development Impact Fees for fire facilities, by the County of Riverside Fire Department for the Specific Plan area.
S-4.3	Use technology to identify flood-prone areas and to notify residents and motorists of impending flood hazards and evacuation procedures.	The Rockport Ranch Specific Plan will not inhibit this policy.
S-4.4	Review development proposals for impacts to fire facilities and compatibility with fire areas or mitigate.	The developer and/or builder will pay Development Impact Fees to the City of Menifee to offset impacts of development.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
<i>Safety Element Continued</i>		
S-5 Hazardous Materials	A community that has reduced the potential for hazardous materials contamination.	
S-5.1	Locate facilities involved in the production, use, storage, transport, or disposal of hazardous materials away from land uses that may be adversely impacted by such activities and areas susceptible to impacts or damage from a natural disaster.	The proposed land uses within the Specific Plan area do not involve the production, storage, transport, or disposal of hazardous materials, beyond common household hazardous materials (e.g., household cleaners, pesticides, solvents, etc.). Therefore, this policy is not applicable.
S-5.2	Ensure that the Fire Department can continue to respond safely and effectively to a hazardous materials incident in the city, whether it is a spill at a permitted facility, or the result of an accident along a section of the freeway or railroads that extend across the city.	The Rockport Ranch Specific Plan will not inhibit this policy.
S-5.3	Continue to support the operation of programs and recycling centers that accept hazardous substances, such as paint, paint thinner, used waste oil, etc.	The Rockport Ranch Specific Plan will not inhibit this policy.
S-5.4	Ensure that all facilities that handle hazardous materials comply with federal and state laws pertaining to the management of hazardous wastes and materials.	The proposed land uses within the Specific Plan area do not involve the handling of hazardous materials beyond common household hazardous materials (e.g., household cleaners, pesticides, solvents, etc.). Therefore, this policy is not applicable.
S-5.5	Require facilities that handle hazardous materials to implement mitigation measures that reduce the risks associated with hazardous material production, storage, and disposal.	The proposed land uses within the Specific Plan area do not involve the handling of hazardous materials beyond common household hazardous materials (e.g., household cleaners, pesticides, solvents, etc.). Therefore, this policy is not applicable.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Safety Element Continued		
S-6 Disaster Preparedness, Response, and Recovery	A city that responds and recovers in an effective and timely manner from natural disasters such as flooding, fire, and earthquakes, and as a result is not impacted by civil unrest that may occur following a natural disaster.	
S-6.1	Continuously review, update, and implement emergency preparedness, response, and recovery plans that make the best use of the city- and county-specific emergency management resources.	The Rockport Ranch Specific Plan will not inhibit this policy.
S-6.2	Ensure to the fullest possible extent that, in the event of a major disaster, critical dependent care and high-occupancy facilities remain functional.	The Rockport Ranch Specific Plan will not inhibit this policy.
S-6.3	Work with the Riverside County Airport Land Use Commission to strengthen the city's disaster preparedness, response, and recovery program in accordance with the Airport Land Use Plans for March Air Reserve Base and Perris Valley Airport.	The Rockport Ranch Specific Plan will not inhibit this policy.
S-6.4	Locate new essential or critical facilities away from areas susceptible to impacts or damage from a natural disaster.	The proposed land uses within the Specific Plan area do not include essential or critical facilities. Therefore, this policy is not applicable.
S-6.5	Promote strengthening of planned and existing critical facilities and lifelines, the retrofit and rehabilitation of existing weak structures, and the relocation of certain critical facilities as necessary to adequately meet the needs of Menifee's residents and workforce.	The proposed land uses within the Specific Plan area do not include essential or critical facilities. Therefore, this policy is not applicable.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Noise Element		
N-1 Noise-sensitive Land Uses	Noise-sensitive land uses are protected from excessive noise and vibration exposure.	
N-1.1	Assess the compatibility of proposed land uses with the noise environment when preparing, revising, or reviewing development project applications.	The proposed location for the Specific Plan is consistent for the noise contours established for the area by the City of Menifee. An acoustical analysis was prepared for the project. The EIR will identify measures, if needed, to ensure compatibility of the proposed uses with the noise environment.
N-1.2	Require new projects to comply with the noise standards of local, regional, and state building code regulations, including but not limited to the city's Municipal Code, Title 24 of the California Building Code of Regulations, the California Green Building Code, and subdivision and development codes.	Residential construction within the Specific Plan area shall comply with the city's Municipal Code, Title 24 of the California Building Code of Regulations, the California Green Building Code, and subdivision and development codes.
N-1.3	Require noise abatement measures to enforce compliance with any applicable regulatory mechanisms, including building codes and subdivision and zoning regulations, and ensure that the recommended mitigation measures are implemented.	A noise study was conducted for this project and included within the EIR. The EIR will identify mitigation, and/or project design measures, which may be implemented to reduce is any noise generated on or offsite.
N-1.4	Regulate the control of nuisances, such as residential party noise and barking dogs, through the city's Municipal Code.	The Rockport Ranch Specific Plan will not inhibit this policy.
N-1.5	Protect agricultural uses from noise complaints that may result from routine farming practices.	The Rockport Ranch Specific Plan will not inhibit this policy.
N-1.6	Coordinate with the County of Riverside and adjacent jurisdictions to minimize noise impacts from adjacent land uses along the city's boundaries, especially its rural edges.	The Rockport Ranch Specific Plan will not inhibit this policy.

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Noise Element Continued		
N-1.7	Mitigate exterior and interior noises to the levels listed in the table below to the extent feasible, for stationary sources adjacent to sensitive receptors.	The noise report for the Rockport Ranch EIR studied noise generated internally and externally and identified mitigation, and/or project design measures to reduce noise to levels below those decibel standards identified in Table N-1 of the General Plan's Noise Element.
N-1.8	Locate new development in areas where noise levels are appropriate for the proposed uses. Consider federal, state, and city noise standards and guidelines as a part of new development review.	The proposed location for the Specific Plan is consistent for the noise contours established for the area by the City of Menifee. An acoustical analysis was prepared for the project. The EIR will identify measures, if needed, to ensure compatibility of the proposed uses with the noise environment.
N-1.9	Limit the development of new noise-producing uses adjacent to noise-sensitive receptors and require that new noise-producing land be designed with adequate noise abatement measures.	The land uses proposed for the Rockport Ranch Specific Plan area are not noise-producing uses. Therefore, this policy is not applicable.
N-1.10	Guide noise-tolerant land uses into areas irrevocably committed to land uses that are noise-producing, such as transportation corridors adjacent to the I-215 or within the projected noise contours of any adjacent airports.	The land uses proposed for the Rockport Ranch Specific Plan area are not noise-tolerant land uses. Therefore, this policy is not applicable.
N-1.11	Discourage the siting of noise-sensitive uses in areas in excess of 65 dBA CNEL without appropriate mitigation.	According to the acoustical analysis prepared for the project and contained within the EIR appendices, the siting of the Rockport Ranch Specific Plan area is not within an area which exceeds 65 dBA CNEL. Therefore, this policy is not applicable.
N-1.12	Minimize potential noise impact associated with the development of mixed-use projects (vertical or horizontal mixed-use) where residential units are located above or adjacent to noise-generating uses.	The land uses proposed for the Rockport Ranch Specific Plan area are not mixed-use land uses. Therefore, this policy is not applicable.
N-1.13	Require new development to minimize vibration impacts to adjacent uses during demolition and construction.	The EIR prepared for the Rockport Ranch Specific Plan will identify potential vibration impacts generated from construction activities. Any construction related to the Specific Plan must comply with any mitigation and/or project design measures identified within the EIR.

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Noise Element Continued		
N-1.14	Minimize vibration impact on people and businesses near light and heavy rail lines or other sources of ground-borne vibration through the use of setbacks and/or structural design features that reduce vibration to levels at or below the guidelines of Federal Transit Administration. Require new development within 100 feet of rail lines to demonstrate, prior to project approval, that vibration experienced by residents and vibration-sensitive uses would not exceed these guidelines.	The Specific Plan is not located near rail lines. Therefore, this policy is not applicable.
N-1.15	Employ noise mitigation practices and materials, as necessary, when designing future streets and highways, and when improvements emphasize the establishment of natural buffers or setbacks between the arterial roadways and adjoining noise-sensitive areas.	Landscape and wall design for area along the project frontage shall incorporate the noise mitigation practices and/or project design measures, and/or materials as necessary to reduce noise impacts to the Specific Plan area and adjacent land uses.
N-1.16	Collaborate with transportation providers, including airport owners, the Federal Aviation Administration, Caltrans, Southern California Association of Governments, neighboring jurisdictions, and railroad owners and operators, to prepare, maintain, and update transportation-related plans that minimize noise impacts and identify appropriate mitigation measures.	The Rockport Ranch Specific Plan will not inhibit this policy.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Noise Element Continued		
N-1.17	Prevent the construction of new noise-sensitive land uses within airport noise impact zones. New residential land uses within the 65 dB CNEL contours of any public-use or military airports, as defined by the Riverside County Airport Land Use Commission, shall be prohibited.	The Rockport Ranch Specific Plan area submitted a package for review and approval to the Riverside County Airport Land Use Commission (ALUC) and was approved as a consistent land use under all ALUC policies.
N-1.18	Work with the Southern California Regional Rail Authority and railroad owners and operators to reduce the noise impacts on noise-sensitive uses adjacent to railroad tracks.	The Rockport Ranch Specific Plan will not inhibit this policy.
N-1.19	Monitor proposals for future transit systems and require noise control to be considered in the selection of transportation systems that may affect the city.	The Rockport Ranch Specific Plan will not inhibit this policy.
N-1.20	Adhere to any applicable Riverside County Airport Land Use Commission land use compatibility criteria, including density, intensity, and coverage standards.	The Rockport Ranch Specific Plan area submitted a package for review and approval to the ALUC and was approved as a consistent land use under all ALUC policies.

Rockport Ranch Specific Plan

Goal	Goal Description	Rockport Ranch Specific Plan Consistency
Noise Element Continued		
N-2 Minimal Noise Spillover	Minimal noise spillover from noise-generating uses, such as agriculture, commercial, and industrial uses into adjoining noise-sensitive uses.	
N-2.1	Require that new developments abutting residentially designated properties that operate stationary noise sources such as industrial, commercial, entertainment, institutional uses, hospitals, or large hotels, be designated to minimize noise impacts generated by loading areas, parking lots, trash enclosures, mechanical equipment, and any other noise-generating features to the extent feasible.	This Specific Plan does not propose uses that operate stationary noise sources such as industrial, commercial, entertainment, institutional uses, hospitals, or large hotels, be designated to minimize noise impacts generated by loading areas, parking lots, trash enclosures, mechanical equipment, and any other noise-generating features. Therefore, this policy is not applicable.
N-2.2	Require commercial or industrial truck delivery hours to be limited when adjacent to noise-sensitive land uses unless there is no feasible alternative or there are overriding transportation benefits.	This Specific Plan does not propose uses that require commercial or industrial truck deliveries. Therefore, this policy is not applicable.
N-2.3	Limit the hours and/or require attenuation of commercial/entertainment operations adjacent to residential and other noise-sensitive uses.	This Specific Plan does not propose uses that include attenuation of commercial/entertainment operations. Therefore, this policy is not applicable.

Rockport Ranch Specific Plan

1.7 Compliance with CEQA

An Environmental Impact Report (EIR) will be prepared for and accompany the Rockport Ranch Specific Plan. The EIR is prepared in accordance with the California Environmental Quality Act (CEQA) and serves as a comprehensive environmental document for subsequent development within the Specific Plan area. The EIR examines the relationship the Specific Plan implementation may have on potential environmental impacts to the Plan area and makes determinations for mitigation measures to reduce impacts to below levels of significance. The EIR will be certified concurrently with the Specific Plan by the decision-making body.

A Mitigation Monitoring and Reporting Program (MMRP) must be adopted in accordance with Public Resources Code Section 21081.6 to ensure the proper implementation of the mitigation measures outlined within the EIR. All future development within the Plan area is required to adopt and implement the mitigation measures specified in the MMRP, if applicable.

Subsequent development proposals within the Rockport Ranch Specific Plan area, if found by the City of Menifee to be consistent with this Plan and the impact analysis and mitigation measures found in the certified EIR, may be approved and implemented without further public environmental review according to California Government Code Section 65457. Prior to amendment to this Specific Plan, the City of Menifee shall determine if further environmental review and analysis is required to satisfy CEQA requirements.

Land Use and Design

Rockport Ranch Specific Plan

2.0 Land Use and Design

This chapter presents the objectives and standards that will govern all future community development within the Rockport Ranch Specific Plan area. The Land Use and Design chapter of the Rockport Ranch Specific Plan will not only establish rules of development within the Plan area, but will also establish a design theme. Design rules and themes create the foundation for the project area to create character, which will give residents a sense of place within their community. The following sections of this chapter present the meticulous design details for development within the Specific Plan area including such issues as assignment of land uses, residential development standards, and landscape and open space design and standards. This chapter will build upon those concepts and standards to ultimately develop an attractive and functional community reflective of the character of the City of Menifee.

2.1 Design Objective

Rockport Ranch strives to create an appealing residential community founded on solid design principals. The Plan area's natural features provide an opportunity to create that appealing community through development that blends with its surroundings.

The Plan area will address community planning goals and will incorporate core recreational concepts into the development design. Through careful engineering the site will present a residential design conscious of open space placement and orderly circulation design thereby reducing the projects impacts and maximizing recreational opportunities. These goals include:

- Create a sustainable development through careful balancing of land use, connections to, and proximity to transportation options, and open space opportunities;
- Design a series of roadways that safely link the development to the larger community;
- Establish a neighborhood linked to the community through a multi-modal transportation system to include roads, interconnected recreational trails, pedestrian, and bicycle mobility options;
- Create a series of built features, using architecture design and landscape design, that provide a distinct built environment which is pleasing to residents and neighbors alike;
- Maintain the feel of the community through use of building materials that complement and enhance the surrounding environment and neighborhoods; and
- Create a distinct recreational environment though the careful placement of trails and open space features that blend with natural land forms.

Rockport Ridge Specific Plan

2.2 Land Use Plan

The following design elements and standards are intended to provide specific design parameters within the Rockport Ranch Specific Plan area. When applied to the residential and landscape design, these regulations will encourage the orderly development of the residential and open space uses by providing explicit details on the parameters of development.

2.2.1 Land Use Plan Overview

The approximately 79.68-acre Rockport Ranch Specific Plan will be comprised of two main land uses; a residential land use component and an open space land use component. These individual land uses will be subdivided to accommodate two forms of residential development and two forms of open space use. The mix of single-family homes and courtyard residential, with each type located in clusters of similar minimum lot sizes, equates to a Plan area total of Medium Density Residential (MDR), 2.1-5 dwelling units (DU)/acre. Open space within the Specific Plan area will total 20.1 acres and is the only other land use allowed within the Specific Plan area. Open space also will be subdivided into two categories; passive open space (landscaping, bio-retention basins, open turf areas, and the large lake feature) and recreational open space (trails, community pool area, tot lots, barbeque stations, etc.). These features comprise a well-rounded residential neighborhood, supportive of community activities and the health of the residents. The division of land uses can be seen on **Figure 2-1**.

Table 2-1 Land Use Distribution

Land Use	Total Gross Area (in acres)	Target Density (DU/acre)	Proposed DU's	Project Density
Residential	38.40	2.1-5	305	3.83
Recreational, Trails, & Open Space	20.10	—	—	—
Other (Roads, Easements, etc.)	21.18	—	—	—
Site Total	79.68	2.1-5	305	3.83

The nature of this development lends itself to certain uses which would be appropriate for the residential and open space land use classifications. Therefore, a table of permitted, conditionally permitted, and prohibited land uses has been prepared for ease of reference (**Table 2-2**). Those uses not specifically listed in the table are subject to review based on the consistency within the purpose and intent of the land use categories and planning areas and are subject to the approval of the Community Development Director. The Director may refer uses or interpretation of permitted uses to the Planning Commission.

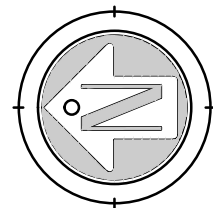
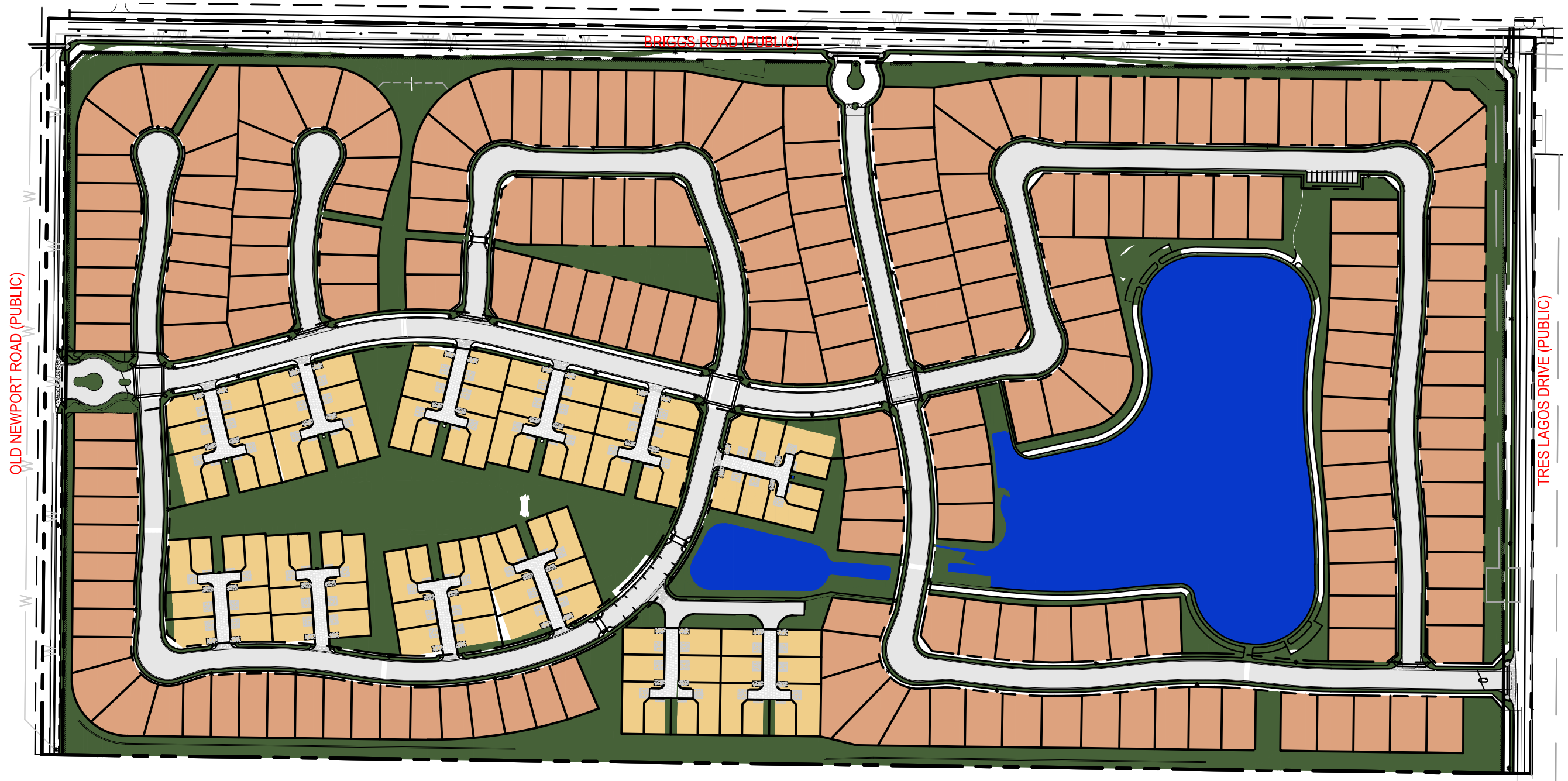
Rockport Ridge Specific Plan

Table 2-2 Residential and Open Space Permitted, Conditionally Permitted, and Prohibited Land Uses

Land Uses	Courtyard Residential (Planning Area 1)	Single-Family Residential (Planning Area 2-5)
Residential Uses		
Assisted Living	X	X
Bed & Breakfast	X	X
Condominiums & Townhomes	P	X
Multi-Family Dwellings	P	X
Attached Accessory Dwelling Unit	P	P
Detached Accessory Dwelling Unit	X	P ¹
Agricultural Uses		
Farming, commercial	X	X
Grazing of Animals	X	X
Kennels & Catteries	X	X
Nurseries, commercial	X	X
Stables	X	X
Accessory Uses		
In-Garage Electric/Natural Gas Fueling Stations	P	P
Rooftop Solar Energy/Water Heating Panels	P	P
Telecommunications Antennae/Towers	X	X
Other Uses		
Temporary Real Estate Sales Office ²	T	T

Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X); and Temporary (T)

1. Detached accessory dwelling units must meet the minimum standard presented in City of Menifee Municipal Code Section 9.43, including the minimum lot size requirement of 7,200 sq. ft.
2. The expiration date and life of the permit for any real estate sales office, which shall require the approval of a minor plot plan, shall be set forth in the terms and conditions of said minor plot plan.



LEGEND






	SINGLE FAMILY COURTYARD RESIDENTIAL 96 DWELLING UNITS		LAKE
	SINGLE FAMILY RESIDENTIAL 209 DWELLING UNITS		OPEN SPACE
	STREET		

FIGURE 2-1
CONCEPTUAL LAND USE EXHIBIT
ROCKPORT RANCH - MENIFEE, CA

2.2.2 Residential Land Uses

The Rockport Ranch Specific Plan area proposes 305 residential lots for total residential density which equates to 3.83 units per-acre, Medium Density Residential (MDR), 2.1-5 du/ac. Residential land uses were separated into distinct Planning Areas by minimum lot size. These Planning Areas include a traditional single-family home product and a smaller courtyard residential product. Residential lot categories include 60 total units on 5,000 sf lots, 79 total units on 6,000 sf lots, 43 total units on 6,500 sf lots, and 27 total units on 7,000 sf lots. A total of 96 courtyard dwelling units, complete the residential land uses within the Specific Plan area.

Courtyard dwelling units are located within Planning Area 1. These smaller lot units are intended as an introductory market product. They are smaller single-family dwelling units grouped together on small lots, using setbacks and sited similarly to multi-family units. The traditional single-family dwelling units were sited within Planning Area's 2, 3, 4, and 5.

Table 2-3 provides a guide to quickly identify the different lot sizes grouped in Planning Areas throughout the site. Grouping lot sizes into planning areas serves several purposes: Grouping lots together by minimum square-footage planning areas created a natural design flow where gradually increasing lot sizes enhances the visual appearance of the Plan area. This layout provides the Plan area with a design method, which when added with several different floor plans, and multiple architectural façades for each Planning Area, builds upon the street scene variation of the Specific Plan area, thus creating a unique and visually pleasing neighborhood. In addition, by including the five lot categories, the Specific Plan area will appeal to a broader range of potential homebuyers within differing economic income levels.

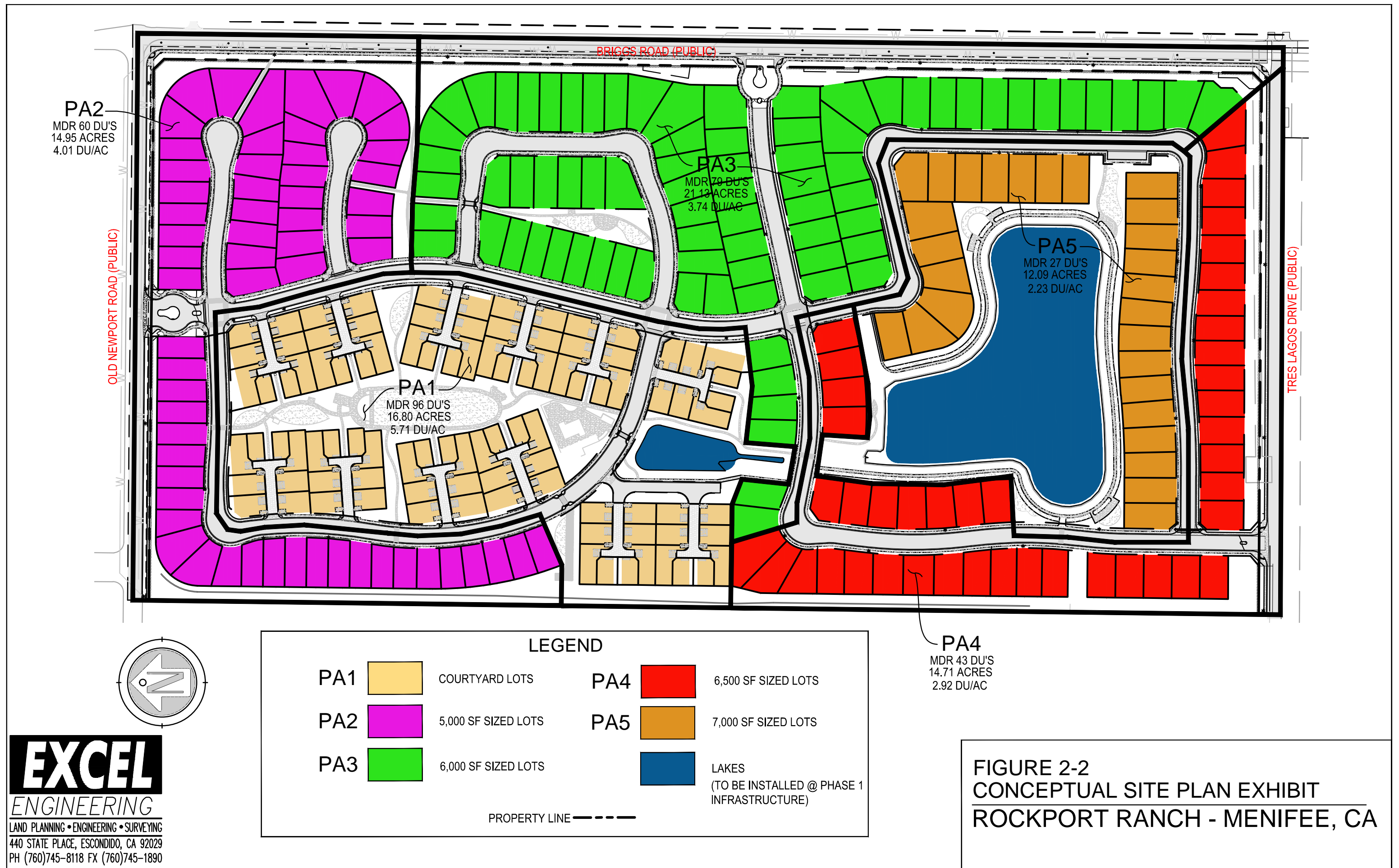
Location of buildings and open space within the land uses was carefully studied to create a balance between the two uses with the thought of using a connected network of open spaces to give the Plan area a sense of place. Building placement was sited in such a way that it allowed open space areas to flow through the development, opening a circulation pattern for recreational use. The 96 courtyard units were grouped in the north-west quadrant of the Specific Plan, circling a large green area. The remaining 209 single-family units were comingled with open space throughout the other three quadrants of the Plan area (**Figure 2-2**).

Rockport Ridge Specific Plan

Table 2-3 Specific Plan Planning Areas

Planning Area	Residential Land Use Designation	Lot Type ¹	Density Range	Net Area	Proposed Du's	Target Density
PA-1	Courtyard Residential MHDR	-	5-8 du/ac	16.8 acres	96	5.71
PA-2	Single-Family Residential MDR	5,000 sf	2-5 du/ac	14.95 acres	60	4.01
PA-3	Single-Family Residential MDR	6,000 sf	2-5 du/ac	21.13 acres	79	3.74
PA-4	Single-Family Residential MDR	6,500 sf	2-5 du/ac	14.71 acres	43	2.92
PA-5	Single-Family Residential MDR	7,000 sf	2-5 du/ac	12.1 acres	27	2.23
Specific Plan Area Total	-	-	2-5	79.68	305	3.83

¹ Lot types represent minimum square footage.



Rockport Ridge Specific Plan

2.2.3 Recreational Areas, Trails, and Open Space Land Uses

Recreational and open space uses are important components to any development. These areas provide opportunities for relaxation and exercise, thereby enhancing the quality of life for the community. The Rockport Ranch Specific Plan area features a variety of evenly distributed and strategically placed active and passive outdoor recreational opportunities. The open space land uses were designed to flow through the Plan area, connecting residents to parks and recreational facilities via a system of trails, which meander throughout the Rockport Ranch Specific Plan area, thereby maximizing community accessibility.



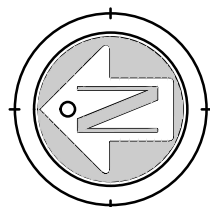
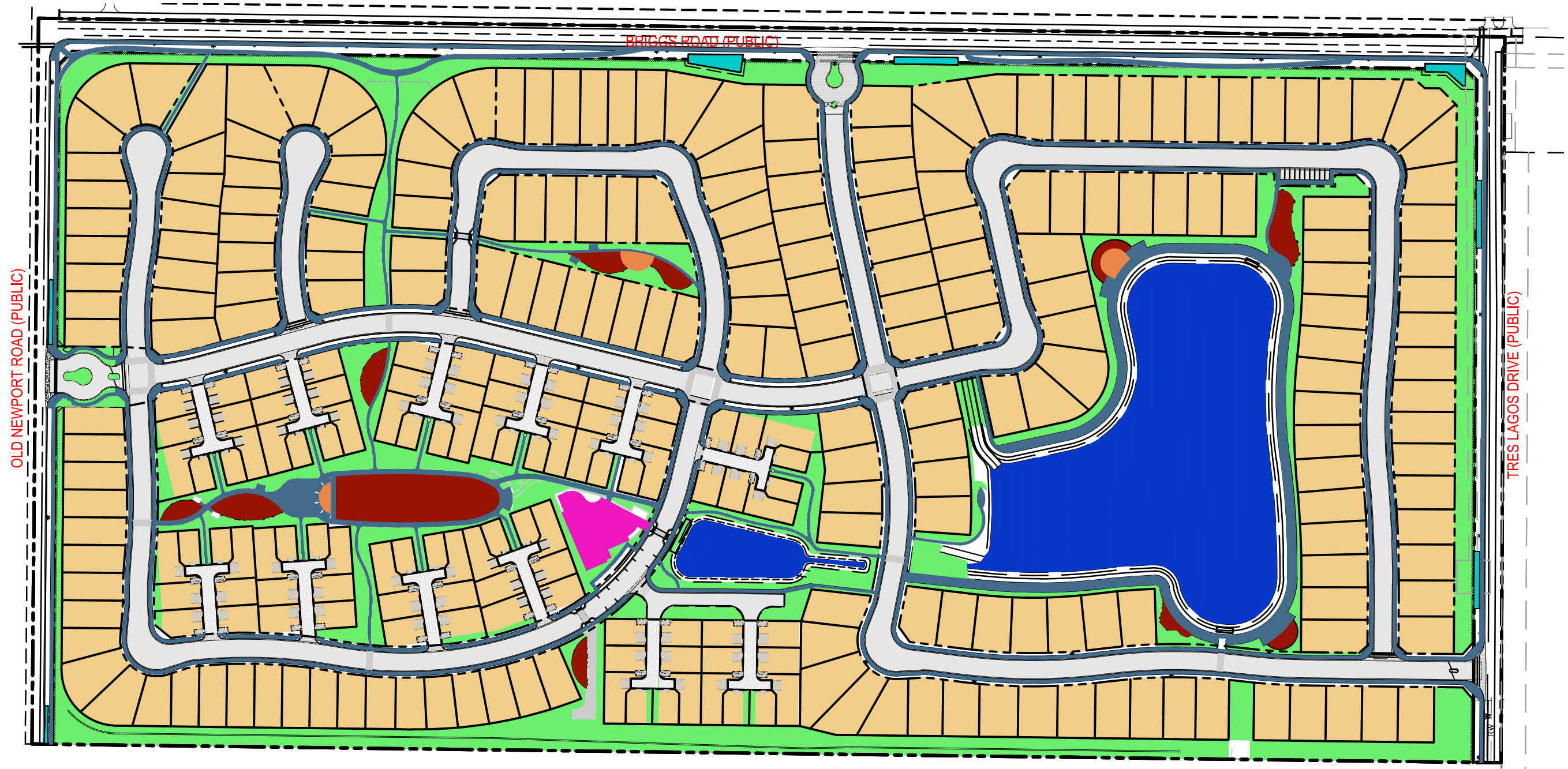
Figure 2-3 Conceptual Tot Lot with fall safe surfacing

The Plan area provides two forms of open space; the first is passive open space, which features open turf areas for play, benches, picnic areas, barbeques, landscaping, and biological retention areas. Passive open space areas encourage relaxation activities such as observing nature, bird watching, painting, photography, and picnicking. The second open space component, active open space, promotes physical activity and will create additional outdoor opportunities for residents of the community to enjoy

a healthy lifestyle. Active elements within the Specific Plan area include tot lots, trails, and a recreational pool area, which are strategically placed to provide residents with play opportunities for their children, as well as walking, hiking, biking and swimming opportunities for both children and adults.

Greenbelts were designed to meander through the site, thus creating a fusion of residential living with outdoor living. This design allows residents to enjoy an outdoor walking or biking opportunity which links the Plan area to the major open space features such as the lake at the southern end of the community, tot lots and recreation areas, and the community pool space. Large swaths of passive open space were left for a variety of uses throughout the site. Some of these green areas also serve dual purposes, acting as bio retention basins to help clean water captured onsite and store water in major rain events.

The following descriptions of the Rockport Ranch community recreational open space trails, and facilities provide concept details on the layout, locations, and amenities each open space area adds to the Specific Plan. As shown on **Figure 2-4**, the Rockport Ranch Specific Plan should include prominent recreational and passive open space areas interconnected through a multi-use trail system. A key map location of all major open space amenity areas is provided on **Figure 2-5**.












LEGEND			
	RESIDENTIAL LOTS 38.4 ACRES		PARK AREA/RECREATION 1.2 ACRES
	POOL AREA 0.3 ACRES		TOT LOTS 0.1 ACRES
	WATER QUALITY BASIN 0.2 ACRES		SIDEWALK AND TRAILS 4.2 ACRES
	LAKES 5.2 ACRES		LAWN AND LANDSCAPE 8.9 ACRES
		PROPERTY LINE 	

FIGURE 2-4
CONCEPTUAL OPEN SPACE EXHIBIT
ROCKPORT RANCH - MENIFEE, CA

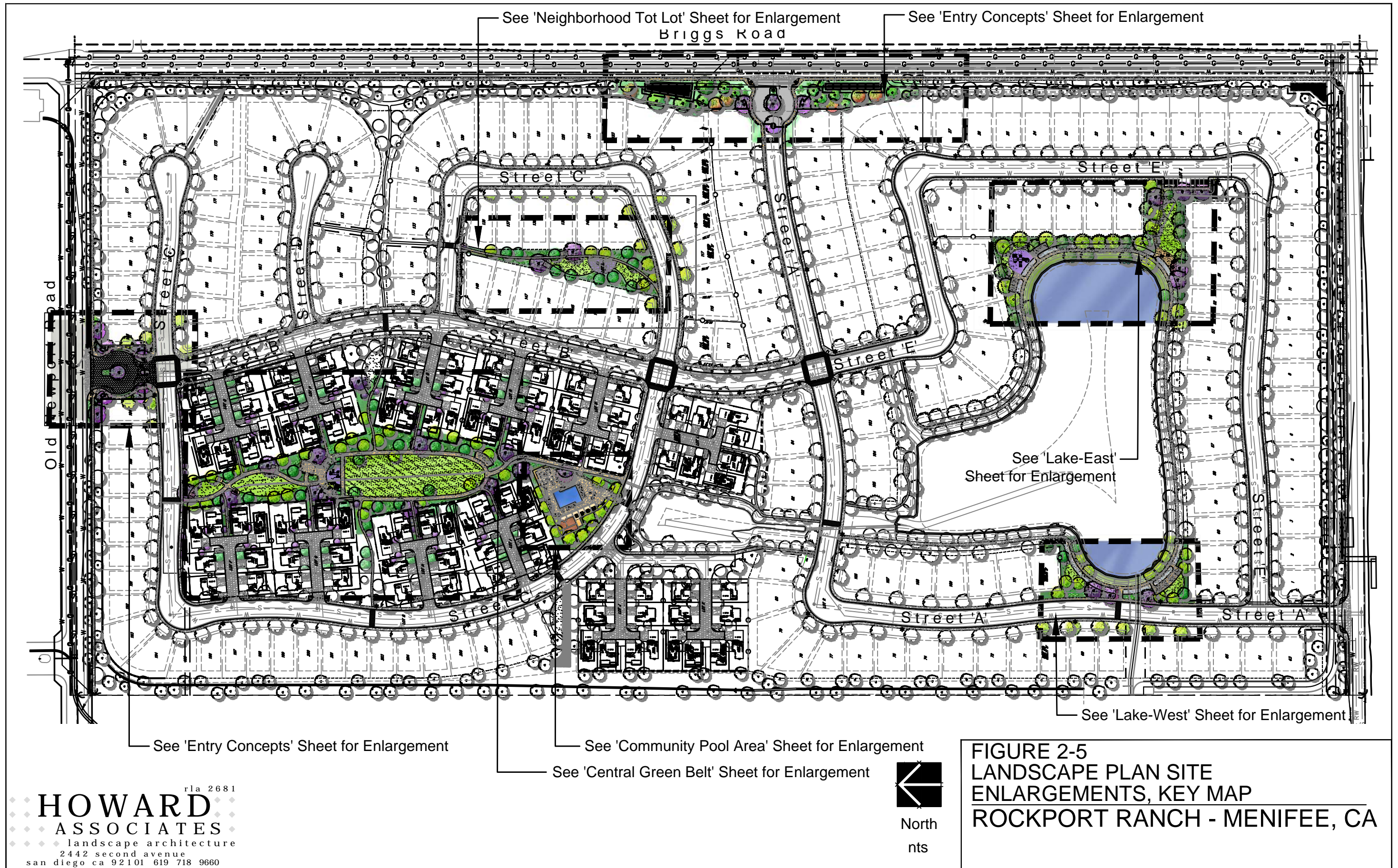


FIGURE 2-5
LANDSCAPE PLAN SITE
ENLARGEMENTS, KEY MAP
ROCKPORT RANCH - MENIFEE, CA

Table 2-4 Open Space Acreage Table

Open Space Category	Total Acreage
Lakes	5.2
Lawn & Landscape	8.9
Park & Recreation	1.2
Pool Area	0.3
Sidewalk & Trails	4.2
Tot Lots	0.1
Water Quality Basins	0.2
Total	20.1

Central Greenbelt

The largest recreational open space area within the community is the central greenbelt (**Figure 2-6**). The central greenbelt is approximately 0.73 acres and encompassed by the courtyard residential units. This recreational open space area includes both passive and active elements making it one of the premier focal points of the Specific Plan area. The area is interwoven by pathways meandering around and through a series of three open play turf areas. Amenities of the central greenbelt should include a minimum of two picnic areas located at each end of the large open play turf area. At a minimum, picnic area amenities should include picnic patios with shade trellises, tables, barbeques, and trash receptacles. Benched seating should be strategically located around all three of the open play areas. Dog waste stations are encouraged to maintain sanitary play areas and to provide residents with convenient access to dog waste collection areas. Additionally, the central greenbelt area proposes one tot lot with fall safe surfacing located at the northern edge of the largest open play area. **Figure 2-3** displays typical features included in most tot lots such as play structures and fall-safe surfacing, and may also include open play areas, shade and accent trees, picnic benches, and dog waste stations. The three open play area surfaces will be sod as called out in **Table 2-8, Plant Material Guidelines**, or an alternative surface approved by the City of Menifee.

Community Pool Area

A community pool and recreation facility are located just to the south of the central greenbelt and is approximately 0.3 acres. The community pool and recreational area will be focal point and gathering area for residents of the Rockport Ranch Specific Plan area. **Figure 2-7** depicts conceptual amenities, which should be included to broaden the space's appeal to the neighborhood. A building will accompany the Community Pool Area to conceal and house pool equipment, pool maintenance equipment, and restrooms. Shade trellises are proposed with lounge seating as well as trellises at the entrance and covering a barbeque patio area. Trash receptacles will be included within the pool area. Additional amenities could be added to enhance this recreational area, depended on final approval from the City of Menifee's Community Development Department.

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Lake Recreational Area

The lake recreation area within Rockport Ranch covers approximately 0.4 acres located at the southern portion of the community and is a prominent feature of the Specific Plan area (**Figures 2-8, and 2-9**). The lake will be a community gathering place for outdoor enjoyment and will feature passive and active open space amenities. A tot lot play structure with fall safe surfacing should be included and has conceptually been situated at the northeast corner of the lake. Additionally, a picnic patio with shade trellis, picnic tables, barbeques, and trash receptacles, or comparable amenities should be provided. A concrete or DG pathway adjacent to an open play area will allow the community to access the lake edge and will connect to the community trail system. Bench seating should be strategically located around the lake to offer places to sit and enjoy the views. Lastly a dog waste station should be provided to encourage a clean and enjoyable community space.

Neighborhood Tot Lot

This small approximately 6,200 sf park is located within the northeastern portion of the Specific Plan area and is connected through a trail running north to south (**Figure 2-10**). The park should include a small open play area, a dog waste station, and one tot lot play structure with fall safe surfacing or comparable play structures and amenities. This park location makes it an ideal stop on a walk for rest and relaxation and allows children a play opportunity while on walks or bike rides through the Rockport Ranch Specific Plan area.

Entry Concepts

Conceptual entryways have been designed for the Rockport Ranch Specific Plan. These concepts should provide aesthetically pleasing exterior entries while maintaining safe line-of-sight for motorists and pedestrians entering and exiting the project area. A minimum of two monuments shall be provided, one monument each at the main entries on Old Newport Road and Briggs Road. In addition, entry concepts should provide elements such as, but not limited to, accent paving, monuments, accent walls and columns, decorative pedestrian gates and walkways, shade and accent trees, and shrubs and ground cover. A visual interpretation of entryways is provided on **Figure 2-11**.



Picnic patio with shade trellis, picnic tables, BBQs and trash receptacles

BBQ Counter against 5' screen wall

5' Tubular steel fence and locked entry gates per safety codes

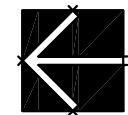
Building with enclosed pool equipment room and restrooms

Accent tree with low seat wall

Deck with lounge chairs and umbrella tables

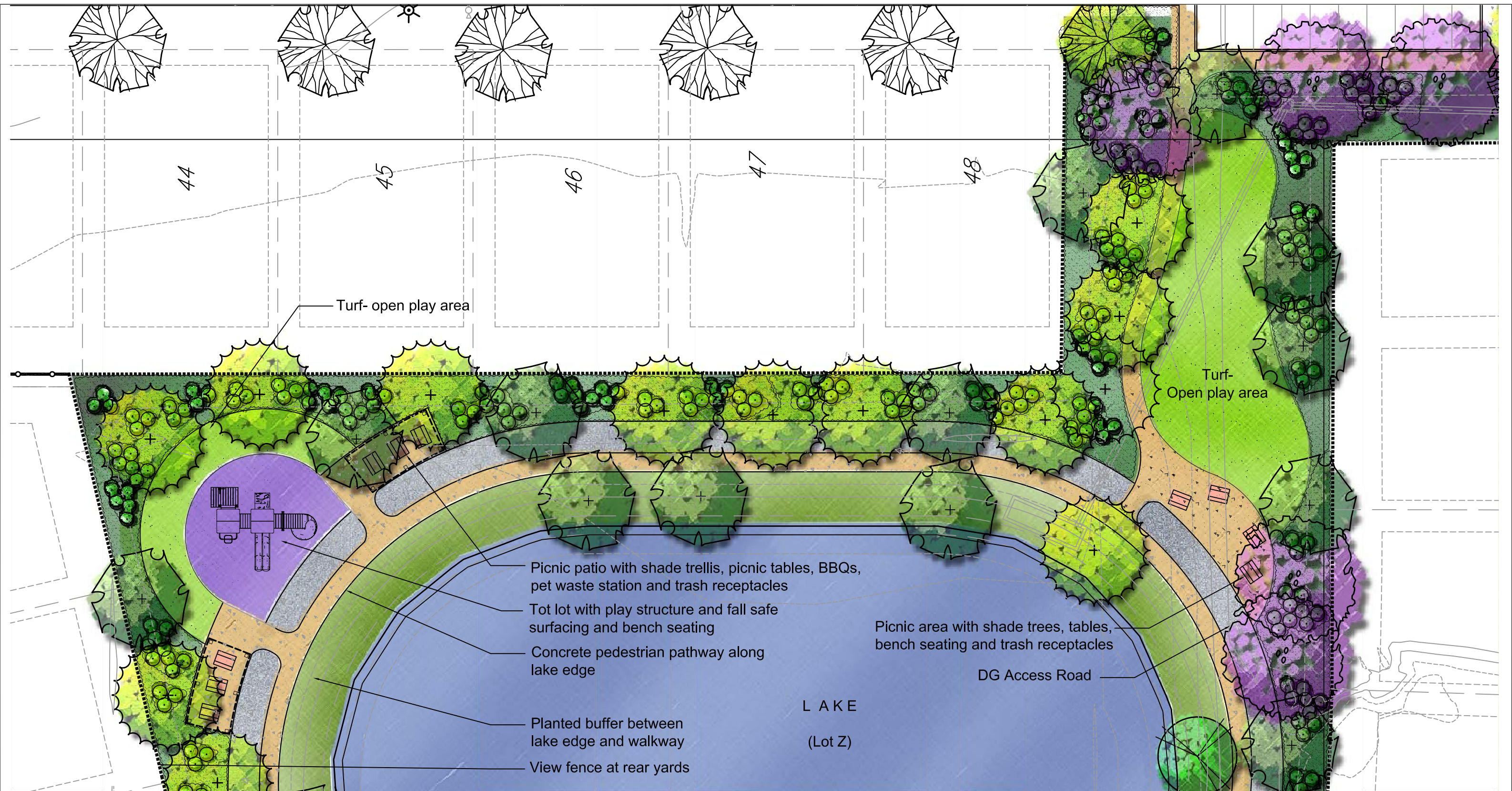
Entry trellis

Shade trellis with lounge seating



North
1" = 20'

FIGURE 2-7
COMMUNITY POOL AREA
ROCKPORT RANCH - MENIFEE, CA



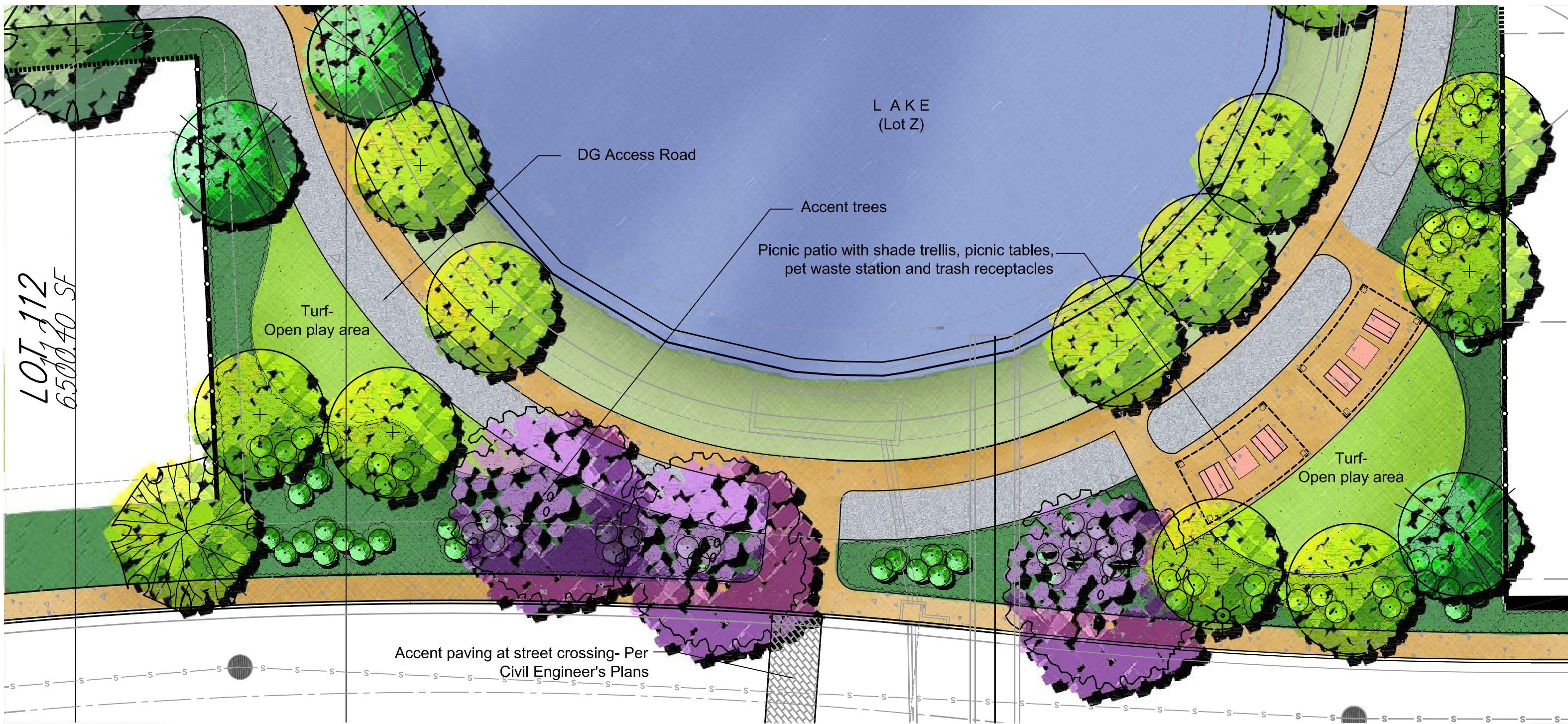
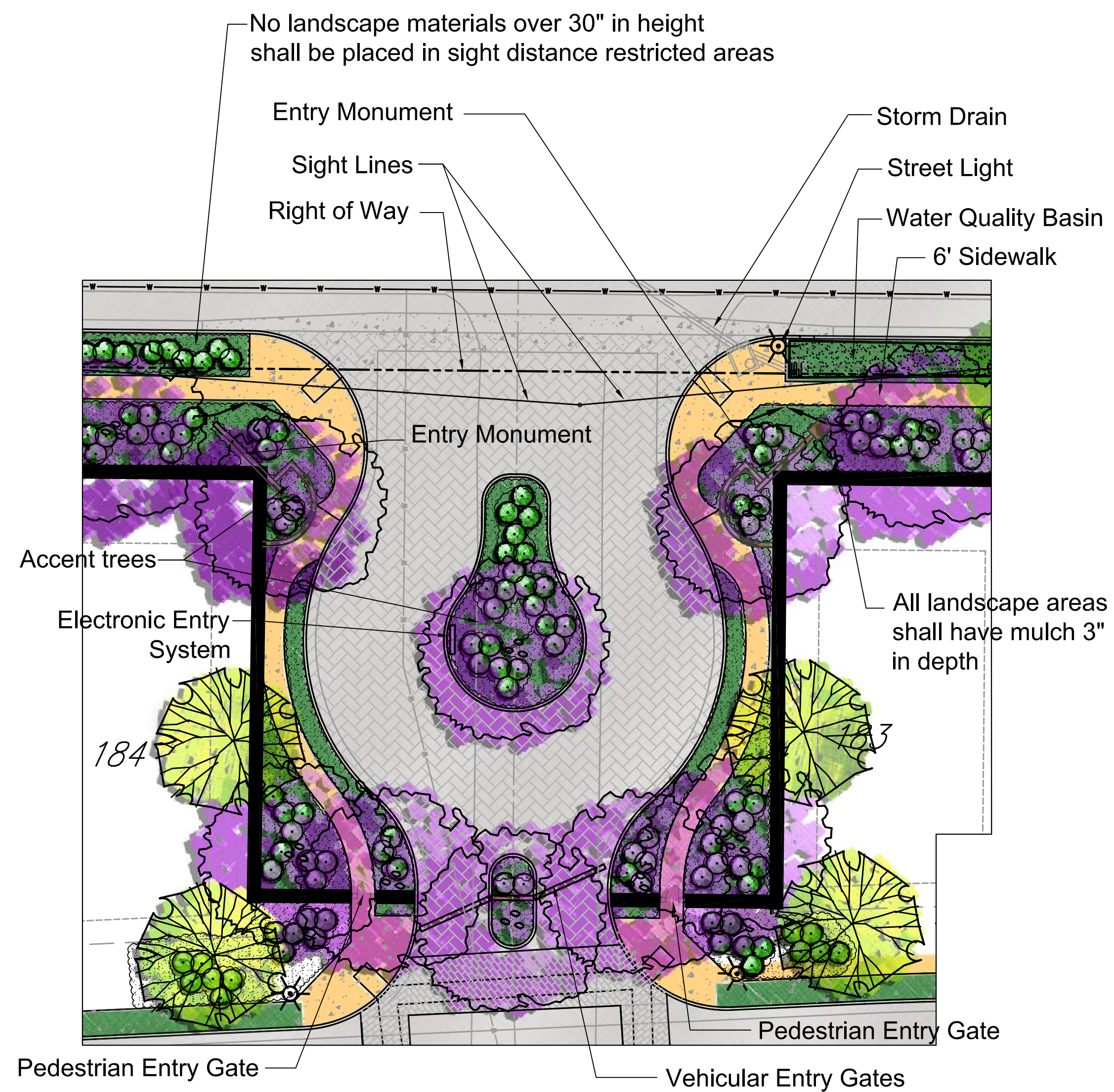


FIGURE 2-9
LAKE RECREATION AREA, WEST
ROCKPORT RANCH - MENIFEE, CA

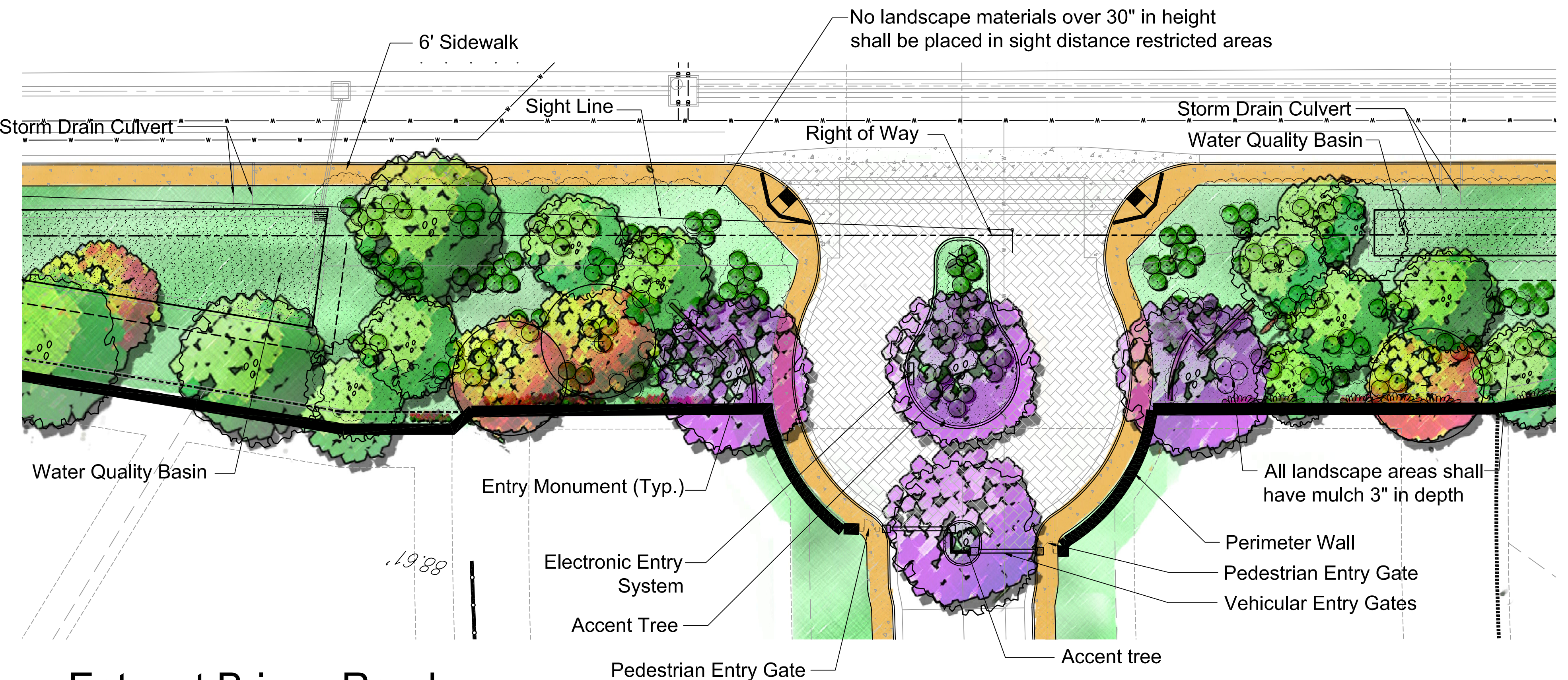


North
1" = 30'

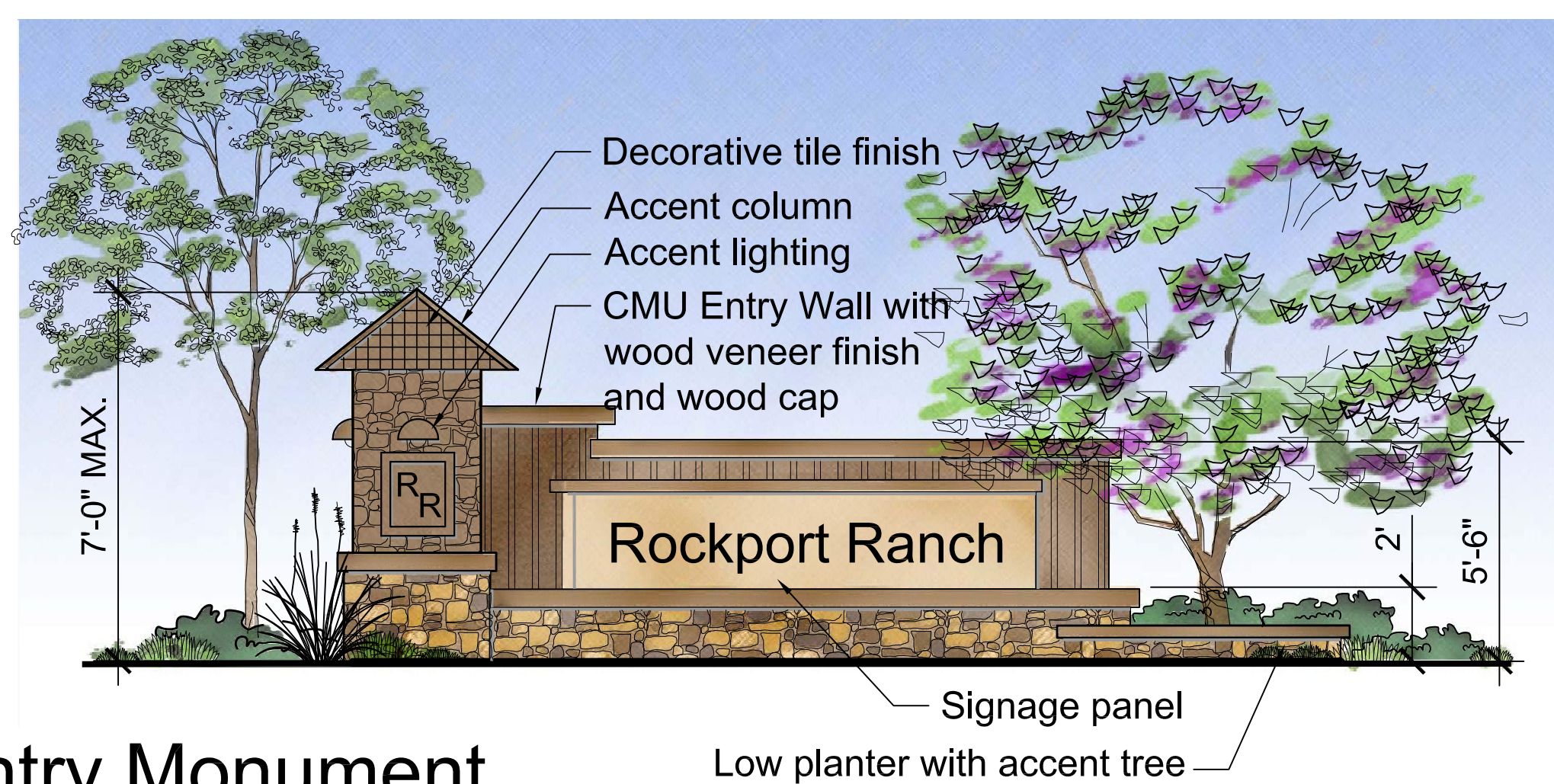
FIGURE 2-10
NEIGHBORHOOD TOT LOT
ROCKPORT RANCH - MENIFEE, CA



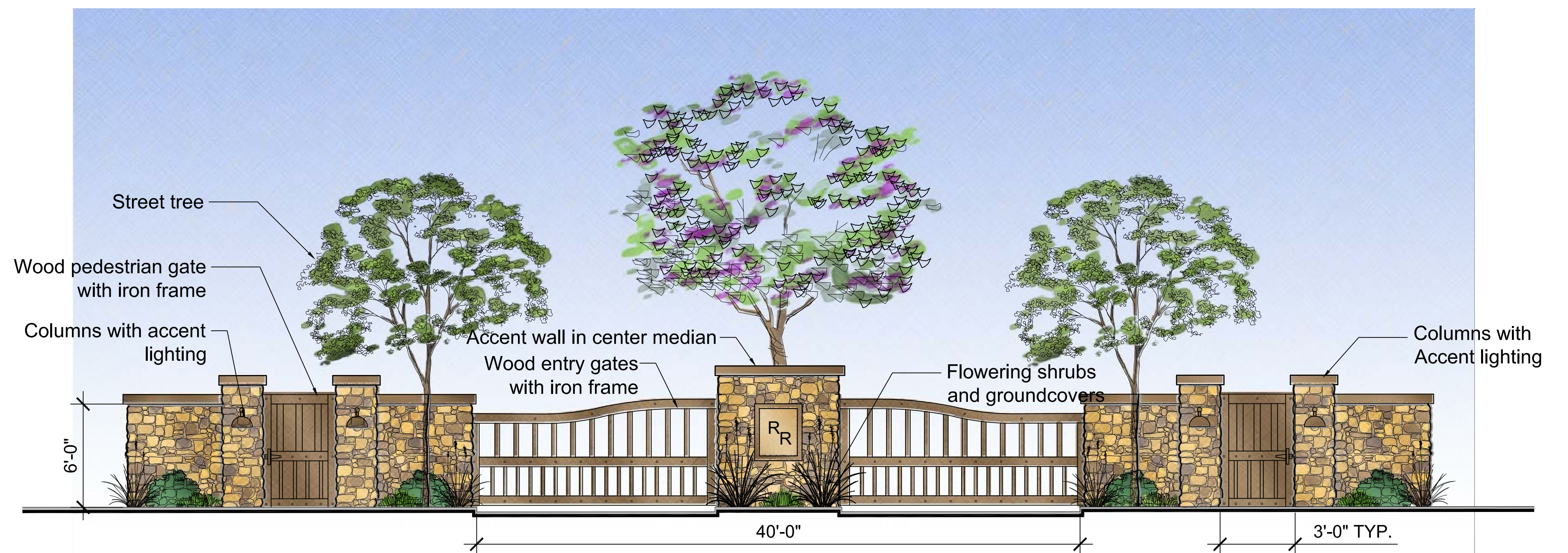
Entry at Old Newport Road



Entry at Briggs Road



Entry Monument



Entry Gates at Old Newport Road

FIGURE 2-11
ENTRY CONCEPTS
ROCKPORT RANCH - MENIFEE, CA

Trails

One of the features defining Rockport Ranch as a unique community is the inclusion of an interconnected trail system. **Figure 2-4, Open Space Exhibit**, provides a look at the locations of the proposed trail system, which meanders throughout the Specific Plan area and connects residents to open space areas located throughout the community. Including trails within the Specific Plan area will allow residents opportunities to participate in healthy living activities. The multi-use trail system can be used for walking, hiking, and biking and is important because of its ability to create enjoyable paths of travel to various areas within the community, largely bypassing internal streets. Trails have been designed to link the community to the adjacent streets outside of the Specific Plan with two access points connecting to Briggs Road, one access point to Old Newport Road, and one access point to Tres Lagos Drive. Offsite improvements per the City of Menifee's Trails Map of the Circulation Element of the General Plan, include a community trail on Briggs Road along the project's frontage. The community trail will be a multi-use trail with an 8' decomposed granite (DG) surface. Other circulation elements incorporated into the project include a Class III bikeway along the project frontage on Old Newport Road. Class III bikeways provide shared roadways with pedestrians and motorists. A Class II bikeway will be featured along the project frontage on Tres Lagos Drive. Class II bikeways provide a striped lane for one-way bike travel along a road. The incorporation of internal trails and external trails and bikeways help to provide residents with access to alternative circulation elements for enjoyment and alternate transportation options.

Water Quality Basins

Water quality basins are a necessary component to be incorporated into every development's open space. Water quality basins help reduce the risk of flooding by capturing water from rain events and filtering urban pollutants from the water, before infiltrating back into the ground. For these reasons, they must be considered as a part of the open space and designed to be not only functional, but also attractive pieces of passive landscape. The Rockport Ranch Specific Plan area has incorporated water quality basins into the engineering the passive landscape design. Located strategically throughout the Specific Plan area the water quality basins have been carefully integrated into the landscape theme of the community. They are intended to be inconspicuous and should not significantly stand out from the surrounding landscape design. Locations of the basins are noted in turquoise on **Figure 2-4**. The conceptual plant list for the basins is noted on **Table 2-8, Plant Material Guideline**, in the Section 2.4.1.

2.3 Residential Design and Development Standards

The Rockport Ranch Specific Plan is comprised of 96 single-family courtyard residential units and 209 single-family residential units situated on approximately 79 acres. Orderly implementation of the residential component of the Specific Plan requires established rules and regulations, which guide development of the residential development. The following

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sections of Chapter 2 provide the regulations residential development must meet to satisfy this Specific Plan.

2.3.1 Architectural Styles

An important part of any residential Specific Plan area is the architectural home styles, along with landscaping, which help to strongly define a community's character. To create successful communities, architectural design must embody methods which are flexible enough to meet the changing needs of the consumer market yet must also be visually pleasing products complementary to the surrounding neighborhoods. For those reasons mentioned above, several architectural styles have been presented for inclusion in the Rockport Ranch Specific Plan area and were chosen based on their historic popularity with homeowners in California. Architectural styles may apply to both single-family residential units and single-family courtyard residential units. The architectural styles represented on the following pages reflect adaptations of each particular style description.

The following overviews offer a brief description of the look and feel for each style which could be offered within the Plan area. It should be noted that architecture within the Plan area should not be limited to only the styles presented below. Additional architectural styles or any combination of the descriptions provided in the following text should be allowed within the Plan area so long as any proposed architecture is found to be an appropriate design by the City of Menifee Community Development Department and consistent with design guidelines set forth in the sections below.

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California Bungalow – The California Bungalow can trace its roots to India where the homes were common during the British occupation. The bungalow home became popular in America during the early 1900's due to its affordable floor plans and materials, simplistic style, adaptability, and cozy feel. The bungalow style of home can be characterized by one to two stories featuring porches with overhanging eaves. Balconies are sometimes included in the design along with horizontal lap siding and trim. The interior layout included open floor plans. Roofs ranged anywhere from low-pitched to steeply-pitched. Many features of the California Bungalow style architecture can be incorporated into the cluster unit design, however due to the compact floor plans, design features may need to be modified.



Figure 2-12 conceptual Single-Family Bungalow Home



Figure 2-13 Conceptual Bungalow Cluster Unit



Figure 2-15 Conceptual Single-family Craftsman Home



Figure 2-14 Conceptual Craftsman Cluster Unit

California Craftsman – California Craftsman homes originated in Southern California in the early 1900's and the style is now considered an eclectic and modern architectural classic. Craftsman homes represented a dramatic departure from the style of home predominate at the time and incorporated a healthy dose of originality and crafting skills making for a wide variety of home facades. Typically, California Craftsman home feature low-pitched front, side, and cross gabled roofs with broad eaves, and although not as common, some feature hipped roofs. Roof materials are typically shingled, however modern alternatives using concrete, approved composites or similar materials, which mimic the appearance and thickness of traditional wooden shingles, are now the norm. Another typical feature of the California Craftsman home was the inclusion of large front porch areas with large columns which add a welcoming feel to the facade. Due to the individualistic nature of these homes, an almost endless variety in the combination of materials used such as wood, brick, stone, and stucco siding make them an ideal style for residential street variety. Building massing was typically 1½ to 2 stories and intended to stand up straight rather than stretching across the property in which the building resides.

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California Ranch – The California Ranch home was born in Southern California in the early 1920's and experienced a real boom during the post WWII years for returning veterans and their families. The home style incorporated spacious open floor plans, which featured large windows and French doors opening into secluded rear yard features. The goal was to blur the line between the interior of the home and the outdoors. Ranch homes are typically asymmetrical, often with low horizontal façades and low-pitched roofs, which may be gabled, hipped, or a combination of the two.



Figure 2-17 Conceptual Single-family Ranch Home



Figure 2-16 Conceptual Ranch Cluster Unit

Rockport Ridge Specific Plan



Figure 2-18 Conceptual Single-Family Cottage Home



Figure 2-19 Conceptual Cottage Cluster Unit

Cottage – Cottage style of architecture is a term which covers a broad range of stylistic ideas including Cape Cod, the Bungalow, and their European counterparts such as the French, English, and Italian versions. Cottage architecture is typified by small one to two-story, cozy dwellings which incorporate a variety of materials. Any combination of wood, brick, stone, and stucco materials in addition to low-key muted colors define the Cottage home's façade. Generally, roof pitches are either high or low and utilize flat tiles. Windows are sometimes rounded on top and include shutters that lend to the quaint feeling of the dwelling.

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Farmhouse – A traditional Farmhouse is a charming and quaint home design, which stands the test of time and can be both stylish and modern. Homes should feel casual and relaxed providing the homeowner with the sense that they are living a rural lifestyle. The Farmhouse structure is typically a two-story design with clean, simple massing, and vertical or horizontal lines. Large spacious kitchens and fireplaces provide the country living feeling to the home and add simple enjoyable features to the home's charm. Prominent front porches and steeply pitched roofs sometimes accompanied by dormers and gables are accented with horizontal lap board and batten siding with shutters completing the rural look of the design.



Figure 2-20 Conceptual Single-family Farmhouse



Figure 2-21 Conceptual Farmhouse Cluster Unit

Monterey – Monterey style originates from Northern California as a melding of the two-story Colonial style typical of New England settlements with Spanish Haciendas common to California during the 1800's. The Monterey style home incorporates two defining characteristics; a two-story structure and horizontal second floor balcony usually over the entry side of structure with reflective traits of the marriage between the colonial and Spanish home styles. Features of the Monterey style include thick adobe walls coated in stucco and refined wood detailing. Plan forms are very simple, generally horizontal two-story volumes with secondary single-story wings. Roofs are hipped or gabled and generally have a pitch of 4:12. The predominant wall materials of the home style are comprised of stucco and painted masonry. Colors range from light beiges and tans to darker earth colors with lighter colors used for trim. Roofs materials are traditionally flat or barrel clay tile with heavy timber columns to support the porches. Doors and windows could be a "colonial" style blended with the Hispanic architectural elements such as deep-set windows and thick walls. Shutters are commonly used for accent windows. Second floor portions could be cantilevered for visual relief to the simple horizontal lines.



Figure 2-22 Conceptual Single-family Monterey Home

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2.3.2 Floor Plans and Elevations

Each product type should include multiple floor plans with variation in front and rear massing within the Rockport Ranch Specific Plan area. Including a variety of floor plans helps to create distinction between building façades and contributes to street scene variation and community character. Courtyard residential should include a minimum of four floor plans and three elevations. Single-family residential units should include a minimum of four floor plans and three elevations all lots.

2.3.3 Building Materials, Accents, and Colors

Accessory dwelling units will be allowed on single-family lots within the Specific Plan area so long as the proposed structure conforms to the development standards presented in Section 2.3 and Table 2-7. Materials and building colors are key factors for each home's style within the Rockport Ranch Specific Plan area, but they also contribute to the community's character as a whole. Materials must be selected which are appropriate for each façade and contribute to enhancing the neighborhoods visual theme. Colors and materials should complement each other, and they should match the theme of the specific style of home to which they are applied. In addition, materials and colors for the homes within the Rockport Specific Plan area should not significantly clash with materials and colors of surrounding developments but should complement those neighboring developments and add depth to the community. The following table outlines materials which are proposed within the Specific Plan area, however alternative materials may be allowed so long as they are determined to be acceptable by the Community Development Department. A table of materials appropriate to the proposed architectural styles for this development is included below (**Table 2-5, Building Materials, Accents and Colors**). Building materials and colors may be subject to change depending on the type of architecture proposed and will be included on a Site Development Plan for approval by the City of Menifee.

Enhanced Elevations – Some homes may be oriented within their lots in a manner which displays a face of the structure which is clearly visible to the public. If this case arises, those units may be required to use additional accent materials to enhance appearances of the elevation if the face of the visible structure is deemed to be too plain. Elevations will be enhanced when the structure in question is located on an internal private street corner lot or lot where the bulk of the side or rear elevation of the structure can be seen from street side, or when a structure is oriented where a long unbroken rear or side elevation is facing a public street, and when the bulk of a structure faces a public open space, or pedestrian access ways. Enhancements to elevations visible to the public can be made through the use of any one of the following methods or any combination of the previous methods so long as they are found suitable to the Menifee Community Development Department such as:

- Variation in texture,
- Changes in architectural massing,

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- Use of trim materials, decorative metal work, additional windows, faux shutters, or other suitable materials.

Colors – Building color is an integral component of any community and helps unify building elements of each specific architectural style, creates variation of street scape, and builds on the foundation of the community's character. Color palettes should be carefully chosen through available color product lines to achieve a reasonable representation of a particular architectural style lending authenticity to the final product. Specific colors should be chosen to complement architectural materials and features. The following bullets outline the goals for color use within the Specific Plan area:

- Colors palettes should vary for product types within the Specific Plan area to improve the visual interest of streetscapes,
- Avoid the use of identical color palettes for homes located within close-proximity,
- Roofs should emulate the appropriate historic architectural style,
- Deep to light valued earth and natural tones colors are preferred for exterior walls,
- Accents should implement the use of colors which complement the palette of the main structure,
- Each architectural style should present several colors to create variation of each home façade.

Table 2-5 Building Materials, Accents, and Colors

Unit Type	Materials	Colors Guideline
California Bungalow	Concrete Tile Roof, Re-sawn Wood, Stucco, Horizontal Lap Siding, Board and Batten Siding, Stone Veneer, Decorative Outlooker, Decorative Shutters, Exterior Lighting.	Light to midrange earth tones and/or muted colors, variations of white, and variations of grays, light/dark color trim, complementary colors for doors, garage doors, and veneers.
California Craftsman	Concrete Tile Roof, Re-sawn Wood, Stucco, Shingle Siding, Board and Batten Siding, Stone or Brick Veneer and/or Column Bases, Elaborate Exposed Rafter Tails, Wide Eave Overhangs, Decorative Outlooker, Decorative Shutters, Decorative Potshelf, Exterior Lighting.	Light to midrange earth tones and/or muted colors, variations of grays, light/dark color trim, complementary colors for doors, garage doors, and veneers.
California Ranch	Concrete Tile Roof, Re-sawn Wood, Stucco, Horizontal Lap Siding, Metal Railing, Exposed Rafter Tails, Decorative Outlooker, Low-pitched Roof, Decorative Shutters, Stone or Brick Veneer, Exterior Lighting.	Wide range of light-medium or dark earth tones and contrasting trim, complementary colors for doors, garage doors, and veneers.
Cottage	Concrete Roof Tiles, Re-sawn Wood, Stucco, Wood Composite, Shingle Siding, Stone Veneer, Decorative Shutters, Decorative Potshelf, Decorative Outlooker, Decorative Gable Accent, Decorative Corbel, Wrought Iron, Exterior Lighting.	Light to midrange earth tones and/or muted colors, light/dark color trim, complementary colors for doors, garage doors.
Farmhouse	Concrete Tile Roof, Re-sawn Wood, Stucco, Horizontal Lap Siding, Board and Batten Siding, Wood Composite Railing, Decorative Outlooker, Decorative Gable Accent, Decorative Corbels, Decorative Shutters. Exterior Lighting.	Light to midrange earth tones and/or muted colors, variations of grays, light/dark color trim, complementary colors for doors, garage doors, Rustic colors for siding.
Monterey	Concrete Flat, Barrel or “S” Tile Roof Tiles, Re-sawn Wood, Stucco, Metal Railings, Decorative Gable Accents, Decorative Outlooker, Decorative Corbel, Decorative Shutters. Exterior Lighting.	Light colors and whites, wood and dark brown tones for trims, doors, and garage doors.

2.3.4 Heights and Stories

Building heights and stories add variation and depth to the street scene of residential developments. Builders should reference the following design parameters as well as the types of materials needed for residential product design to conform to the following standards. Any single-family courtyard or single-family residential product proposed for the Rockport Ranch Specific Plan Area must not exceed 30 feet or three stories in height. A one-story floor plan can be incorporated into the Specific Plan area. If one-story dwelling

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units are included in the Plan area, they should not exceed 22-feet in height. Detached accessory dwelling units will be limited to one story with a maximum height of 20-feet.

2.3.5 Density

The principal residential land use within the Rockport Ranch Specific Plan area would be classified as Medium Density Residential (MDR). The Rockport Ranch Specific Plan area includes 305 units on 79.68 acres of land for a total density of 3.9 units/acre, which is consistent with The City of Menifee's MDR classification, 2.1 – 5 units/acre. Courtyard units are arranged in clusters of 8 and total 96 units and augmented with 209 single-family residential units make up the grand total of 304 residential units.

2.3.6 Massing and Scale

Massing and scale provide the visual identity of residential units. Those qualities dictate the placement, size, and form for single-family homes and single-family courtyard residential buildings within their respective lots. Many different methods should be utilized within the Rockport Ranch Specific Plan area to achieve a quality designed residential homes. Incorporation of the following design concepts should be considered for the architecture within the Specific Plan area:

- Utilize building-form massing elements, such as archways, towers, and other building elements to distinguish architecture,
- Vertically and horizontally articulate building design for both front and rear elevations through architectural design elements such as, but not limited to, columns, windows, and off-set roof planes,
- Use second floor massing changes to create variation in the building form, and
- Where possible avoid the use of long unbroken surfaces.

The following standards have been established below and shall be referenced by developers prior to construction of any residential unit within the Rockport Ranch Specific Plan area. Standards have been determined for both single-family courtyard and single-family units the Rockport Ranch Plan area.

2.3.7 Lot Widths and Setbacks

Courtyard Residential Lot Standards – Courtyard residential setbacks shall have at minimum a 0-foot side yard setback to structure, although in some cases there may be larger side yard setbacks. Rear yard setbacks shall be a minimum of 15-feet from the property line (PL) to the structure and a minimum of 10-feet to garage from street entrance (single-family courtyard garages may be flush with buildings). Building pad sizes are subject to change so long as the proposed pad and building floor plan meet the development standards in **Table 2-6**.

Single-Family Residential Lot Standards – Single-family lots were carefully studied to produce a minimum of 5,000 square foot (sf) lots with a typical minimum 50-foot width community-wide, except on knuckle lots where the minimum may be 35-feet in width.

Table 2-6 Minimum Lot Standards

Lot Type	Minimum Lot Size Required	Minimum Net Usable Pad Area	Minimum usable Pad Area/Minimum Lot
Courtyard Residential (PA-1)	n/a	n/a	n/a
5,000 sf (PA-2)	5,000 sf	3,800 sf	78%
6,000 sf (PA-3)	6,000 sf	4,500 sf	79%
6,500 sf (PA-4)	6,500 sf	5,000 sf	83%
7,000 sf (PA-5)	7,000 sf	5,500 sf	82%

These minimum lot dimensions allow the home to be sited in various placements, which produces street scene variation because the elongated lots allow homes to be pushed or pulled within the lot while maintaining minimum setbacks to the property lines. To achieve variation in home placement along streets, the following minimum setbacks have been established; a 10-foot minimum rear yard setback to living areas, and a 15-foot minimum front yard setback. Corner yard setbacks shall be no less than 10-feet from PL. Front entry garage setbacks for single-family homes shall have a minimum 20-foot setback, and side entry garages shall be 10-feet from the front PL. Side yard setbacks shall be 10' between structures and setbacks for lots located on corners shall be no less than 10' from PL. Multi-generational or guest dwelling units shall conform to the setback requirements of this Section and the development standards of **Table 2-7**. When silent on a specific design standard the City of Menifee Municipal Code, Section 9.02.020 shall take precedence. Uninhabitable architectural features and air conditioning (AC) units shall be allowed to encroach into the side yard setbacks. Exact dimensions for uninhabited architectural features and AC encroachments, as well as the standards for lot dimensions and main structure setbacks are noted in **Table 2-7** below. Building pad sizes are subject to change so long as the proposed pad and building floor plan meet the development standards in **Table 2-7**.

2.3.8 Porches and Balconies

Porches and balconies are not required architectural elements but should be encouraged. Inclusion of these elements adds variation and relief to the street scene, as well as blurs the line between indoor and outdoor space, while also providing residents with aesthetically pleasing outdoor space. Where possible, porches and balconies should be placed along neighborhood streets and community accessible open spaces, which encourage personal social spaces and create a climate of safety and may be attractive to homeowners. The following minimum standards should be used when implementing these elements into architecture for the Specific Plan area:

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- A usable width of at least 5 to 6 feet is encouraged along residential streets for single-family homes.
- Railings should be included to define the porch area if an architectural style included in the Specific Plan area would warrant a front porch railing. Certain architectural styles may not necessitate a railing.

2.3.9 Garages

Attractive residential street scenes are often predicated on garage orientation. The garage is an important and prominent massing feature of any residential unit, be it single-family courtyard or single-family residential unit and more often than not defines the structure and impacts the setbacks of any residential unit. Care should be taken to reduce visual street scene impacts within the Rockport Ranch Specific Plan through careful design standards, which de-emphasize garage massing. Elegant street scenes, which include garage orientation, can be accomplished through the use of variation in garage types, design, and orientation. The following bullets present several design elements for consideration within the Specific Plan area:

- Garage setbacks should be greater than the front yard living area (garage setback on courtyard residential units may be even with the front yard living area),
- Orientation within the Specific Plan area should feature variation in garage design orientation including side loaded or wing-in loaded garages,
- Tandem garage orientation is encouraged,
- Garage door design should be recessed,
- 25% of the units within the Specific Plan area should have garage doors which include window designs, the windows should mimic the design of the main structure.

Table 2-7 below defines minimum garage setbacks for the Specific Plan area. The setback distances allow for variation in street scene, because the main structure can be pulled or pushed into the lot depending on garage orientation.

2.3.10 Single Story Structures and Elements

Single-story structures should be considered as an option for the Rockport Ranch Specific Plan area. Single-story homes allow for a broader range of economic opportunity and further diversify the look of the Specific Plan area. Single-story elements on two-story structures should also be considered for additional building articulation throughout the Specific Plan area. Where appropriate, the additions of single-story elements, and single-story homes to the Specific Plan area adds variation and homeowner appeal to the community.

Table 2-7 Residential Development Standards

Development Standard	Minimum or Maximum Values
Planning Area 1 (PA-1) Courtyard Residential Development Standards	
Courtyard Residential Setbacks (from property line) & Lot Information	
Minimum lot size	2,400 sf
Minimum lot width	35'
Minimum width on knuckle and cul-de-sac lots	20'
Maximum lot coverage	60%
Front	5'
Rear	10'
Side	0'
Street side or adjacent to open space	5'
Garage	May be flush with the front yard living area
Minimum Courtyard Floor Plans & Elevations (Planning Area 1)	
Minimum of 4 floor plans and 3 elevations for courtyard homes.	
Other Standards	
Maximum Structure Height	30'
Yard encroachments: stairways or landing places.	3'
Yard encroachments: Cornices, eaves, chimneys, canopies and other similar architectural features not providing additional floor space within the building.	1'
Second story deck, or support structure (into a rear yard)	10'
Patio cover or trellis	5'
To pool or spa equipment, fire pits, & built in BBQs	5'
Air conditioning units	Air conditioning (AC) units may encroach into the side yard setback but must provide 3' of flat area between the AC unit and property line. AC units shall be placed in the non-gated side yard when practical, otherwise they should be placed in the rear yard.
Single-family Residential Development Standards	
Floor Plans & Elevations (Planning Area's 2, 3, 4, 5)	
Minimum 4 floor plans and 3 elevations per Planning Area	
Planning Area 2 (PA-2) Single-Family Residential – 5,000 s.f. min. Lots	
Lot Dimensions	
Minimum lot width	50'
Planning Area 3 (PA-3) Single-Family Residential – 6,000 s.f. min. Lots	
Lot Dimensions	
Minimum lot width	50'
Planning Area 4 (PA-4) Single-Family Residential – 6,500 s.f. min. Lots	
Lot Dimensions	
Minimum lot width	50'
Planning Area 5 (PA-5) Single-Family Residential – 7,000 s.f. min. Lots	
Lot Dimensions	

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Minimum lot width	50'
Lot Information (Planning Area's 2, 3, 4, & 5)	
Minimum width on knuckle and cul-de-sac lots	35' (width is 40' at setback line)
Minimum net usable pad area	Per Table 2-6
Maximum lot coverage	50%
Front Setbacks, from property line (Planning Area's 2, 3, 4, & 5)	
Front	15'
To front entry garage	20'
To side entry garage	10'
To patio cover or second story deck	10'
Side Setbacks (Planning Area's 2, 3, 4, & 5)	
Minimum side yard	5'
Minimum building separation (measured between structures)	10'
Minimum corner side yard ¹	10'
Rear Setbacks, from property line (Planning Area's 2, 3, 4, & 5)	
To living area	15'
Patio cover, second story deck, trellis, or support structure (into a rear yard)	10'
To pool or spa equipment, fire pits, & built in BBQs	5'
Other Standards (Planning Area's 2, 3, 4, & 5)	
Maximum Stories/Structure Height	3 stories/30' (Single-story floor plan 22' max. height)
Yard encroachments: Stairways or landing places.	3'
Yard encroachments: Cornices, eaves, chimneys, canopies and other similar architectural features not providing additional floor space within the building.	1'
Air conditioning units	Air conditioning (AC) units may encroach into the side yard setback but must provide 3' of flat area between the AC unit and property line. AC units shall be placed in the non-gated side yard when practical, otherwise they should be placed in the rear yard.

¹In instances where a corner lot is located adjacent to a landscaped area, and the landscaped area separates the residential lot from the right-of-way, then a 5' setback can be used.

2.4 Landscape Design Guidelines

Along with architecture, landscaping helps form an identity and theme for development. As previously mentioned, landscaping must be carefully considered to meld architecture with the landscape to form an attractive neighborhood, which is both functional and water efficient. To assure development of an attractive and cohesive community the following landscape guidelines have been provided. A landscape concept for the project can be seen on **Figure 2-23, Landscape Site Plan**. Developers and/or builders will use the following information on the design, materials, lighting, and themes, which shall be incorporated into the Rockport Ranch Specific Plan area. Although provided, the following information should be considered conceptual in nature. Minor changes may be necessary due to changing material guidelines, design theme modifications, or changes to State or local regulations. Final landscape design shall be approved by City of Menifee Community Development Department.

2.4.1 Plant Material Guideline

The Plant Material Guideline provided below in **Table 2-8** is intended to provide developers and/or builders of the Rockport Ranch Specific Plan area with guidelines for landscape plantings of locations such as entries, streetscapes, open space areas, and common areas for the courtyard residential units. Plant materials selected for the project area should be chosen based on a multitude of factors and should strengthen the overall character of the community.

All plants and trees included on the Rockport Ranch Plant Material Guidelines have been chosen for their appropriateness to the Specific Plan area theme, local climate tolerance, soil conditions, and level of maintenance intensity. The selected plants are well suited to the local soils and have proven to flourish within the project area's climate. The plant materials are tolerant of a wide range of temperatures and require very little water consumption.

This Plant Material Guidelines should be considered to be fluid and subject to change, with final approval determined by the City of Menifee Community Development Department. Should changes be necessary to the Plant Material Guidelines, the newly selected plants and trees should be similar in tolerance and water usage to the conceptual list provided. If those requirements are met, any proposed changes to the Plant Legend shall be considered minor. Details on any proposed changes to the Plant Legend are provided in Chapter 7, Amendments and Implementation.



FIGURE 2-23
 LANDSCAPE SITE PLAN- CONCEPTUAL
 ROCKPORT RANCH - MENIFEE, CA

Table 2-8 Plant Material Guideline

OLD NEWPORT ROAD AND BRIGGS ROAD ENTRIES		
<u>LARGE ACCENT TREES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Ulmus parviflora "True Green"	Evergreen Elm	
<u>THEME TREES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Chitalpa tashkentensis	Pink Dawn	24" Box
<u>ACCENT AND MASSING SHRUBS</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Anigozanthos species	Kangaroo Paw	5 Gal.
Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	
Callistemon v. 'Slim'	Columnar Bottlebrush	
Chondropetalum tectorum	Cape Rush	
Euryops pectinatus	Golden Daisy Bush	
Hardenbergia 'Meema'	Dwarf Lilac Vine	
Leucophyllum f. 'Green Cloud'	Texas Ranger	
Pittosporum 'Golfball'	Golfball Kohuhu	
Raphiolepis 'Ballerina'	Indian Hawthorn	
OLD NEWPORT ROAD		
<u>PARKWAY STREET TREE</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Platanus acerifolia	London Plane Tree	24" Box
<u>THEME TREES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
		15 Gal. Min.
Geijera parviflora	Australian Willow	
<u>MASSING AND SCREENING SHRUBS</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Arbutus unedo	Strawberry Tree	1 Gal. – 5 Gal.

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Leucophyllum f. 'Green Cloud'	Texas Ranger	
Salvia 'Allen Chickering'	Sage	
Tecoma stans	Yellow Bells	
PARKWAY EASEMENT SHRUBS AND GROUNDCOVERS		
BOTANICAL NAME	COMMON NAME	SIZE
Acacia 'Cousin Itt'	Acacia	Flats 1 Gal.
Agave Desmettiana	Smooth Agave	
Aloe species	Aloe	
Convolvulus cneorum	Bush Morning Glory	
Dalea capitata 'Sierra Gold'	Lemon Dalea	
Muhlenbergia capillaris	Pink Muhly	
Rosmarinus species	Rosemary	
Tagetes lemmonii	Mexican marigold	
Verbena lilacina	Verbena	
BRIGGS ROAD		
PARKWAY STREET TREE		
BOTANICAL NAME	COMMON NAME	SIZE
Quercus virginiana	Virginia Oak	24" Box
THEME TREES		
BOTANICAL NAME	COMMON NAME	SIZE
Chilopsis linearis	Desert Willow	15 Gal. Min.
MASSING AND SCREENING SHRUBS		
BOTANICAL NAME	COMMON NAME	SIZE
Arbutus unedo	No Common Name	1 Gal. – 5 Gal.
Leucophyllum f. 'Green Cloud'	Texas Ranger	
Salvia 'Allen Chickering'	Sage	
Tecoma stans	Yellow Bells	

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<u>PARKWAY EASEMENT SHRUBS AND GROUND COVER</u>		
BOTANICAL NAME	COMMON NAME	SIZE
		Flats – 1 Gal.
Dalea capitate ‘Sierra Gold’	Lemon Dalea	
Verbena lilacina	Verbena	
TRES LAGOS DRIVE		
<u>PARKWAY STREET TREE</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Rhus lancea	African Sumac	24” Box
<u>THEME TREES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Cercis occidentalis	Western Redbud	15 gal. Min.
Gleditsia triacanthos ‘Shademaster’	Honeylocust	
Pinus halepensis	Aleppo Pine	
<u>MASSING AND SCREENING SHRUBS</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Arbutus unedo	No Common Name	1 Gal. – 5 Gal.
Leucophyllum f. ‘Green Cloud’	Texas Ranger	
Salvia ‘Allen Chickering’	Sage	
Tecoma stans	Yellow Bells	
<u>PARKWAY AND EASEMENT SHRUBS AND GROUND COVER</u>		
BOTANICAL NAME	COMMON NAME	SIZE
		Flats – 1 Gal.
Dalea capitate ‘Sierra Gold’	Lemon Dalea	
Verbena lilacina	Verbena	
INTERIOR STREETS A & B		
<u>PARKWAY AND STREET TREES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Arbutus ‘Marina’	Strawberry Tree	24” Box
Koelreuteria bipinnata	Chinese Flame Tree	
Quercus ilex	Holly Oak	
<u>PARKWAYS LOW SHRUBS AND GROUND COVER</u>		
BOTANICAL NAME	COMMON NAME	SIZE

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Bulbine frutescens	Bulbine	Flats – 1 Gal.
Dalea capitata ‘Sierra Gold’	Lemon Dalea	
Verbena lilacina	Verbena	
Rosmarinus species	Rosemary	
Senecio mandraliscae	Chalk Sticks	
SCREENING SHRUBS AT WALLS		
BOTANICAL NAME	COMMON NAME	SIZE
Leucophyllum f. ‘Green Cloud’	Texas Ranger	5 Gal.
Myrtus communis	Myrtle	
Tecoma stans	Yellow Bells	
INTERIOR STREETS C, D, & E		
STREET TREES		
BOTANICAL NAME	COMMON NAME	SIZE
Koelreuteria paniculata	Goldenrain Tree	24” Box
Podocarpus gracilior	Fern Pine	
Quercus ilex	Holly Oak	
COURTYARD HOME COMMON AREAS		
SHADE TREES		
BOTANICAL NAME	COMMON NAME	SIZE
Arbutus ‘marina’	Strawberry Tree	24” Box
Gleditsia triacanthos ‘Shademaster’	Honeylocust	
Koelreuteria bipinnata	Chinese Flame Tree	
SMALL ACCENT TREES		
BOTANICAL NAME	COMMON NAME	SIZE
Lagerstroemia hybrids	Crape Myrtle	24” Box
Olea wilsonii	Fruitless Olive	
SHRUBS		
BOTANICAL NAME	COMMON NAME	SIZE
Agave ‘Blue Glow’	Agave	5 Gal.
Anigozanthos species	Kangaroo Paw	
Arbutus u. ‘Compacta’	Dwarf Strawberry Tree	
Callistemon ‘Better John’	Dwarf Bottlebrush	
Correa ‘Dusky Bells’	Australian Fuschia	
Echium select	Pride of Madera	
Grevillea ‘Scarlet Sprite’	Scarlet Sprite	
Hyptis emoryi	Desert Lavender	

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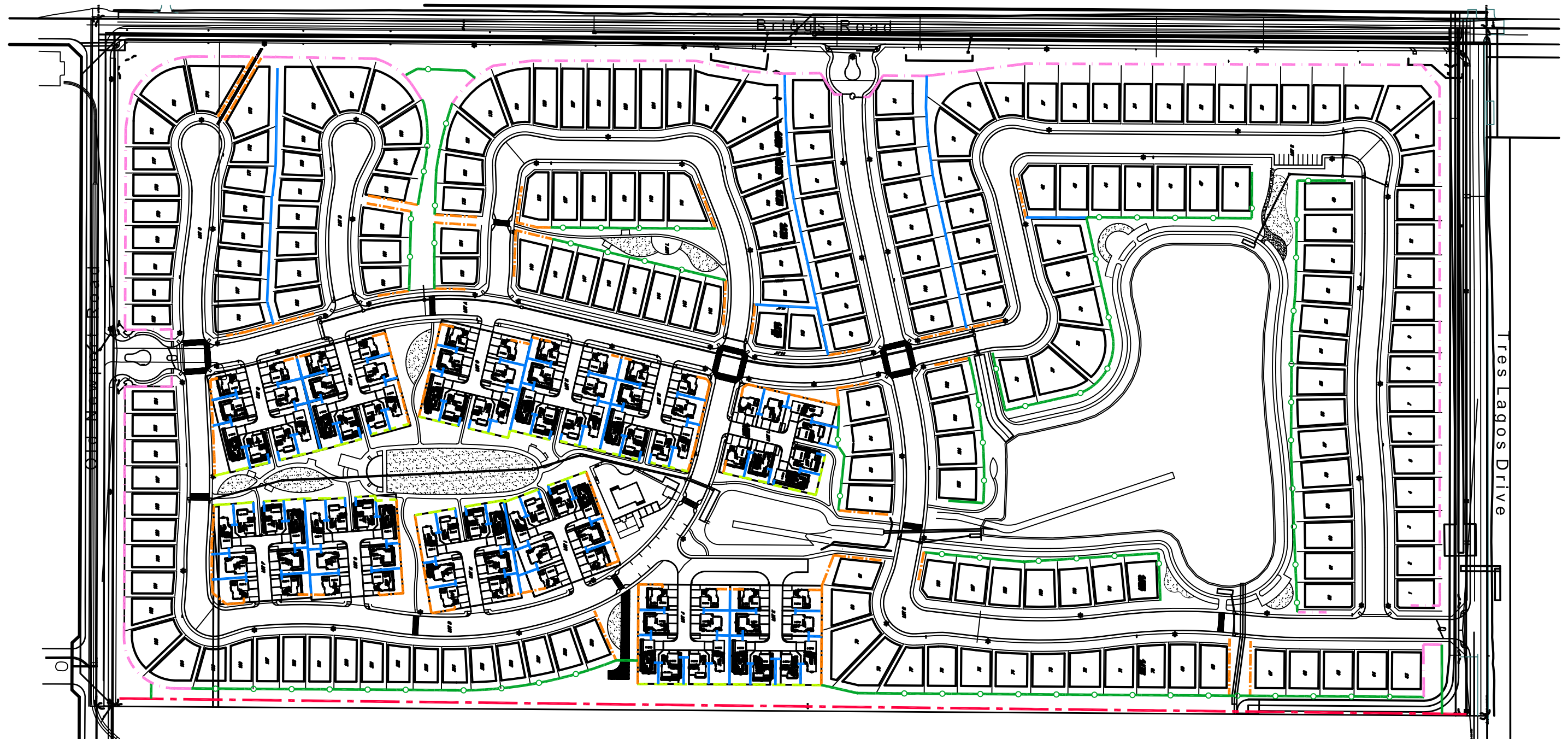
Lavandula stoechas	Lavender	
Myrtus c. 'Compacta'	Dwarf Myrtle	
Pyracantha sp.	Firethorn	
Rosmarinus species	Rosemary	
Salvia 'Hot Lips'	Sage	
Westringia sp.	Coast Roasemary	
Xylosma congestum 'compacta'	Compact Shiny Xylosm	
<u>GROUNDCOVER AND GRASSES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Aloe species	Aloe	Flats – 1 Gal.
Dianella revoluta	Flax Lily	
Muhlenbergia capillaris	Pink Muhly	
Senecio mandraliscae	Chalk Sticks	
Santolina chamaecyparissus	Lavender Cotton	
RECREATION AND OPEN SPACE AREAS		
<u>LARGE ACCENT TREES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Cercidium 'Desert Museum'	Desert Museum Palo Verde	24" Box
Phoenix dactylifera	Desert Date Palm	
Quercus agrifolia	Coast Live Oak	
Syagrus romanzoffianum	Queen Palm	
<u>THEME TREES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Acacia smallii	Sweet Acacia	15 Gal.
Cercis occidentalis	Western Redbud	
Dalbergia sissoo	Indian Rosewood	
Gleditsia triacanthos 'Shademaster'	Honeylocust	
<u>SHRUBS</u>		
BOTANICAL NAME	COMMON NAME	SIZE
		1 Gal. – 5 Gal.
Aloe aoborens	Tree Aloe	
Fremontodendron 'Dara's Gold'	Flannel Bush	
Hesperaloe parviflora	Red Yucca	
Justicia spicigera	Mexican Honeysuckle	
Kniphofia uvaria	Red Hot Poker	
Rosa californica	California Rose	
Salvia apiana	White Sage	
Senna artemesioides	Feathery Cassia	

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Tagetes lemonii	Mexican Marigold	
Verbena lilacina	Verbena	
Westringia sp.	Coast Roasemary	
Xylosma congestum 'compacta'	Compact Shiny Xylosm	
<u>GROUNDCOVER</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Acacia 'Desert Carpet'	Acacia	Flats – 1 Gal.
Bulbine frutescens	Bulbina	
Turf	Dwarf Marathon Sod	
<u>LAKE EDGE</u>		
<u>THEME TREES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Schinus molle	Peruvian Pepper	15 Gal. Min.
Washingtonia filibusta	Desert Fan Palm	
<u>MASSING SHRUBS AND GRASSES</u>		
BOTANICAL NAME	COMMON NAME	SIZE
		1 Gal. Min.
Cassia nemophila	Desert Cassia	
Muhlenbergia capillaris	Pink Muhly	
Salvia 'Allen Chickering'	Sage	
<u>BIO RETENTION BASINS</u>		
<u>GROUNDCOVER AND LOW SHRUBS</u>		
BOTANICAL NAME	COMMON NAME	SIZE
Achillea Millegolium	Yarrow	Flats – 1 Gal.
Carex pansa	California Sedge	
Juncus patens	California Rush	
Leymus 'Canyon Prince'	Wild Rye	
Muhlenbergia rigens	Deer Grass	

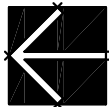
2.4.2 Walls, Fences, and Entry Monuments

Walls, fences, and monuments are integral pieces of a community. There are a total of six wall and fence types within the Rockport Ranch Specific Plan area that serve a variety of aesthetic and privacy functions for residents of the community. In addition, two entry monuments are proposed at the main entrances to the Plan area including on Briggs Road and Old Newport Road. Walls and fences within the community are intended to be physical features, which provide visual accents to the landscape, define the limits of land uses and create a sense of community space, provide privacy for residents, provide noise attenuation, and act as a buffer between neighboring developments and land uses. Visually, walls, fences, and monuments contribute to the neighborhoods architectural theme, by accenting home and structural styles. Conceptual locations of walls and fences, as well as the location of an existing 6-foot high combination fence and slump block perimeter wall, can be seen on **Figure 2-24, Wall and Fence Exhibit** and conceptual fence and wall examples can be seen on **Figure 2-25, Wall and Fence Concepts**. Fence alignments and locations are conceptual in nature. Actual fence alignments and locations will be determined during final design with approval from the Community Development Department. Descriptions of walls, fences, and monuments area provided in the following paragraphs:



WALL & FENCE LEGEND	
---	EXISTING WALL
---	6' MASONRY PERIMETER WALL
---	6' MASONRY THEME WALL
---	4' MASONRY WALL WITH 2' VIEW FENCE
---	6' VINYL FENCE
—○—	6' TUBULAR STEEL VIEW FENCE

NOTE: RETURN WALLS AND WALLS VISIBLE FROM THE STREET OF PUBLIC VIEW SHALL NOT BE VINYL



North
NTS

FIGURE 2-24
WALL AND FENCE EXHIBIT
ROCKPORT RANCH - MENIFEE, CA

Existing 6-foot Combination Fence and Masonry Perimeter Wall

Detailed as a dashed red line on **Figure 2-24**, an existing combination fence and slump block perimeter wall is located on the Specific Plan area's western property line. This 6-foot high combination fence and wall provides a noise and visual buffer to the Rockport Ranch community and the neighborhood to the west. The combination wall is comprised of a 6-foot high slurry block wall sections and 6-foot high tubular steel fence sections. Each wall and fence segment is approximately 100-feet in length. The slurry wall sections contain one pilaster approximately every 100-feet. Pilasters are constructed from the same materials as the wall sections.

6-foot Masonry Perimeter Wall

Perimeter walls have been proposed around the exterior of the Specific Plan area. Locations of the proposed 6-foot masonry perimeter wall are delineated as a dashed pink line on **Figure 2-24**. The 6-foot masonry perimeter wall has been located adjacent to residential units abutting Old Newport Road, Briggs Road, and Tres Lagos Drive. These walls will visually define the perimeter of the Specific Plan area and should be constructed of a material complementary of the community theme. The masonry perimeter wall has been strategically placed to act as sound attenuation from roadway noise for residents within the Specific Plan area. Materials of the perimeter wall facing public view should be a slump stone or similar suitable material. Colors for each section of perimeter wall should be earth tones. Pilasters should be included at appropriate intervals for each wall section and at changes in direction and any focal entry points. Longer wall runs should at a minimum include a pilaster every 100-feet if allowable. The developer or builder may choose to enhance the pilasters with additional materials that complement the wall and architecture, however, at a minimum, pilasters should be enhanced at key project entries. Additionally, the masonry perimeter wall should be either constructed of a material resistant to graffiti or treated with an anti-graffiti coating.

6-foot Masonry Theme Wall

Shown as a dashed orange line on **Figure 2-24**, the 6-foot masonry theme wall was carefully placed throughout the Rockport Ranch Specific Plan area in spaces which may need added accentuation to the landscape theme as well as sound attenuation and added privacy. Generally, masonry theme walls were located at the outside edge of courtyard units and between interior trail sections near single-family residential homes to provide a wall with enhanced appearance and for added privacy of the aforementioned residential units. Added detail should be included on masonry theme walls as they serve to complement the landscape and architectural theme of the Specific Plan area. Theme walls should be constructed of a higher quality masonry block or coated with a finish to give them an enhanced appearance. Earth tone colors or muted colors should be used to for these walls to accent architecture. Materials of the perimeter wall facing public view should be a slump stone or similar suitable material. Theme walls may be coated to enhance their appearance. Pilaster should be included where theme walls change direction. The developer or builder

Rockport Ridge Specific Plan

may choose to enhance the pilasters with additional materials that complement the wall and architecture.

4-Masonry Wall with 2-foot Tubular Steel View Fence

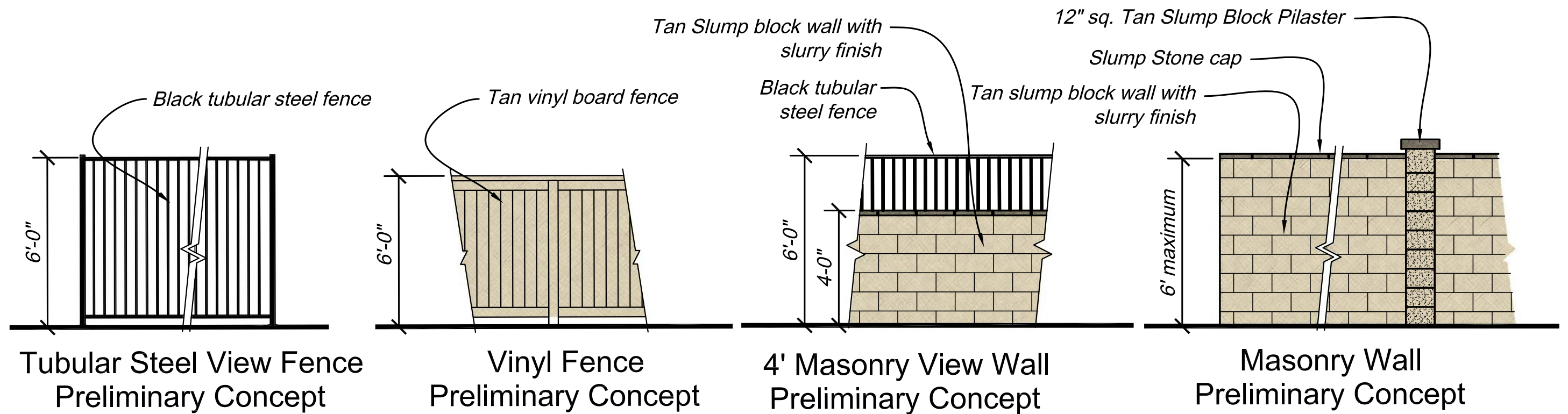
The 4-masonry wall with 2-foot tubular steel view fence is shown as a dashed green line on **Figure 2-24**. The view fence is primarily located along the rear and/or side yards of single-family courtyard units where those yards are adjacent to open space areas. The view fence allows courtyard homeowners to enjoy the Specific Plan area's open spaces while still maintaining a degree of privacy.

6-foot Vinyl Fence

A 6-foot vinyl fence has been incorporated into the Specific Plan area and shown in blue on **Figure 2-24**. This vinyl fencing is primarily to serve as a privacy fence for single-family residential units with rear and side yards abutting each other and to provide privacy between the single-family courtyard units. However, portions of the fence that would be visible from the public right-of-way, such as front yard return walls, will be decorative block wall.

6-foot Tubular Steel View Fencing

Single-family residential lots with rear yards adjacent to open spaces will feature a 6-foot tubular steel view fence. The 6-foot tubular steel view fencing is shown in green on **Figure 2-24**. This fencing type should be black or a color which does not noticeable contrast with the architecture of Specific Plan area. In instances where a pedestrian trail is located immediately adjacent to a residential property line, a solid block wall or at minimum a combination wall (masonry and tubular steel) is recommended.



Improvements shall be maintained by the HOA or private homeowners

FIGURE 2-25
WALL AND FENCE CONCEPTS
ROCKPORT RANCH - MENIFEE, CA

Rockport Ridge Specific Plan

Entry Monuments and Gates

Entry monuments and gated entrances provide community members with an initial glimpse of the theme for a development. Two entry monuments are proposed to be each located at the primary and secondary entrances to the Rockport Ranch Specific Plan area located at the entrance on Old Newport Road and Briggs Road.

Entry monument and gate design should be complementary to the theme of the Specific Plan area. Materials such as stone veneer, brick, tile, board and batten siding, stamped concrete or decorative pavers, wood or tubular steel gates, or any similar material which complements the submitted landscape package and architectural package themes should be considered. A conceptual entry monument and entry gate design can be seen on **Figure 2-11, and 2-26**. Accent lighting should be incorporated to highlight architectural features of entry monuments and gates. Light sources shall utilize energy-efficient fixtures to the greatest extent possible and shall be shielded and located so as to prevent light spillage into public right of ways or adjacent properties. If colored lighting is utilized, the colors selected should not be confused with traffic safety signal lighting. In addition, landscaping should be chosen to accentuate architectural details of the monument and gate entryways. Each entry monument should incorporate a signage surface with a maximum of 24 square feet of sign area and a maximum height of 6 feet. Where silent on a particular sign detail, Chapter 9.76: Sign Regulations of the City of Menifee's Municipal Code shall prevail.

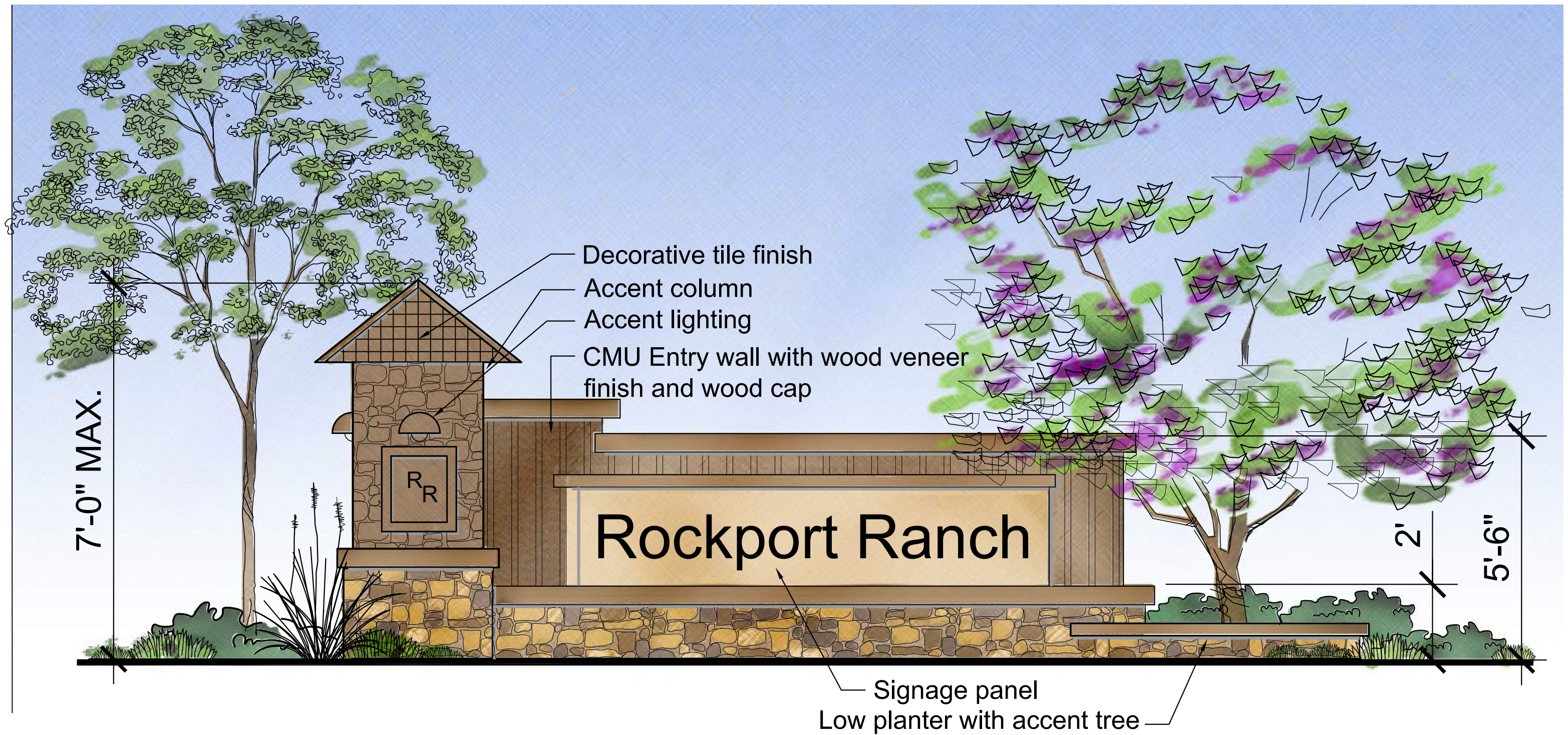


FIGURE 2-26
ENTRY MONUMENT CONCEPT
ROCKPORT RANCH - MENIFEE, CA

Rockport Ridge Specific Plan

2.4.3 Lighting

Accent lighting should be included within the Specific Plan area to accent landscaping features and for safety. A lighting plan will be submitted for review and approval prior to pulling any building permits and should provide the locations of lighting fixtures, the types of lighting fixtures, and the lamp types for each landscape zone. Lighting within the Specific Plan area should at a minimum highlight entry monuments and recreation areas which would benefit from, or need lighting for accents and safety, as well as any street and trail lighting necessary for safe vehicular and pedestrian circulation through the Specific Plan area. Fixtures and lamps should conform to all City requirements. Generally lighting fixtures should be directed downward for minimal light spillage therefore preventing light pollution. Fixtures mounted skyward may be allowed to light entry monuments, elements of recreational areas, or for special safety concerns.

CIRCULATION PLAN

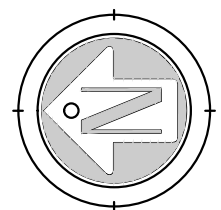
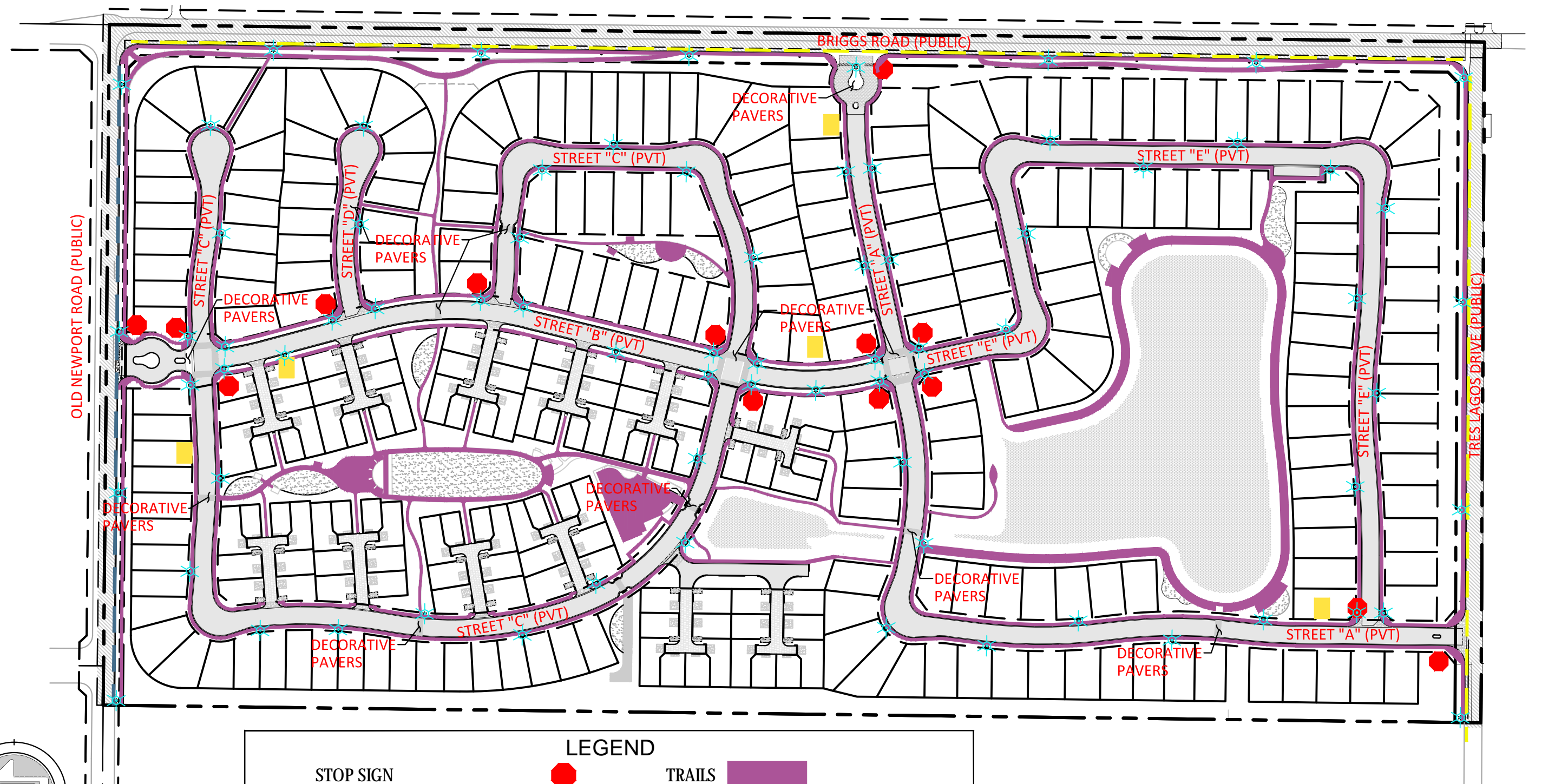
Rockport Ranch Specific Plan

3.0 Circulation Plan

The Circulation Plan for Rockport Ranch intertwines traditional neighborhood roadway design with innovative alternative circulation concepts. The Rockport Ranch Specific Plan proposes a circulation design for an interconnected mobility system for bicycles, pedestrians, and vehicles. Circulation design features will include traditional roadways for vehicular movement and trails for bicycle and pedestrian use oriented in such a way that residents and emergency vehicles both can access the Plan area efficiently and safely and once arrived will be able to flow through the community in a manner that is both practical yet enjoyable (**Figure 3-1, Conceptual Circulation Plan**).

Vehicular, bicycle, and pedestrian circulation within the Rockport Ranch Specific Plan area features two main arterials which will allow free movement through the Plan area. Private Street “B” accesses Rockport Ranch from Old Newport Road and flows south, intersecting private street “A” and connecting with private Street “E.” At about the midpoint of the project area it intersects private Street “A.” Streets “C,” “D,” and “E” take access from Streets “A” and “B.” Internal traffic calming measures such as speed limit signs and stop signs have been proposed to improve the overall safety of circulation within the Specific Plan area. An internal system of trails has been proposed to add depth to the Circulation Plan. The trails will allow residents to walk and bike throughout the Specific Plan area and will connect residents to the various open space areas located throughout the site.

The following sections provide additional detail on each element of circulation within the Rockport Ranch Specific Plan area. The information and standards provided herein should be utilized as the primary standard for the roadways, trails, streetscapes, and safety measures designed within the Specific Plan area. Where the Specific Plan is silent on a particular design aspect, the City of Menifee Municipal Code, or the City of Menifee standards, whichever standard is applicable, shall take precedence.



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LEGEND			
STOP SIGN		TRAILS	
SPEED LIMIT SIGN		COMMUNITY TRAIL, HIKING, EQUESTRIAN	
STREET (PRIVATE)		BIKE LANE - CLASS II	
STREET (PUBLIC)		BIKE LANE - CLASS III	
PROJECT BOUNDARY		STREET LIGHT	

FIGURE 3-1
CONCEPTUAL CIRCULATION PLAN
ROCKPORT RANCH - MENIFEE, CA

3.1 Roadways

The functionality of a safe and successful project is dependent on its connectivity to surrounding land uses. For this reason, roadway design and location is an essential component of the Rockport Ranch Specific Plan area. Roadways have been designed to provide efficient and safe circulation for residents internally. Circulation design also connects the internal private streets to the external adjacent roads and streets to allow resident's access to the City of Menifee and regional transportation options and destinations. The following descriptions provide the design components and locations of internal and external road system which will serve the Rockport Ranch Specific Plan area.

Decorative pavers, stamped concrete, or similar decorative materials may be incorporated at limited internal intersections. The entries on Briggs Road and Old Newport Road and the pedestrian crossing at the Old Newport Road entryway and Street "C" may feature decorative pavers or stamped concrete. In addition to entryways, pedestrian crossings at Street "B" and Street "C" intersection, and Street "B" and Street "A" intersection may feature enhanced crossings. Lastly, the trail crossing on over the lake on Street "A" may incorporate enhanced paving features.

3.1.1 Private Internal Roadways

Internal roadways proposed within the Rockport Ranch Specific Plan area are private streets designed to accommodate the level of traffic generated from the expected number residential units to be built. Internal private streets are intended to be designed not only for safe and efficient travel for pedestrians, bicycles, and vehicles, but also as attractive frontage features which integrate with the overall design of the Specific Plan area (**Figure 3-2, Internal Street Cross Sections**).

Streets "A" & "B" – Private General Local Section (Sidewalk)

Street "A" and Street "B" are private internal roadways classified as general local street sections. Each of these streets shall have a 60-foot right-of-way (ROW) width, and will feature two, 10-foot wide driving lanes on a total of 36-feet of paved roadway surface. Both roads' ROW's will accommodate an 8-foot wide street parking surface as well as 6-feet of sidewalks to accommodate pedestrians and 6-feet of landscaped parkway to improve street scenes.

Streets "C," "D" & "E" – Private Rural Collector Section (Sidewalk)

Streets "C," "D," and "E" are proposed as private internal roadways and classified as rural collector sections. Each of the three streets will propose a 56-foot wide ROW, with two, 10-foot wide driving lanes. Street parking will be allowed, and each street will contain an 8-foot wide paved section on both sides of the street. Streets "C," "D," and "E" will feature 6-foot wide sidewalks for pedestrian use and 4-feet of landscaped parkway to improve street scenes.

Rockport Ranch Specific Plan

Table 3-1 Internal Roadways

Street Type	Private Road ROW Width	Pavement Width	Vehicle Lanes	Lane Width	Street Parking	Sidewalk	Parkway
A	60'	36'	2	10'	Yes	6' Sidewalk	6' Parkway landscape
B (portion from Old Newport Rd. to Street 'A')	64'	36'	2	10'	Yes	6' Sidewalk	8' Parkway landscape
B (portion south of Street 'A')	56'	36'	2	10'	Yes	6' Sidewalk	4' Parkway landscape
C	56'	36'	2	10'	Yes	6' Sidewalk	4' Parkway landscape
D	56'	36'	2	10'	Yes	6' Sidewalk	4' Parkway landscape
E	56'	36'	2	10'	Yes	6' Sidewalk	4' Parkway landscape

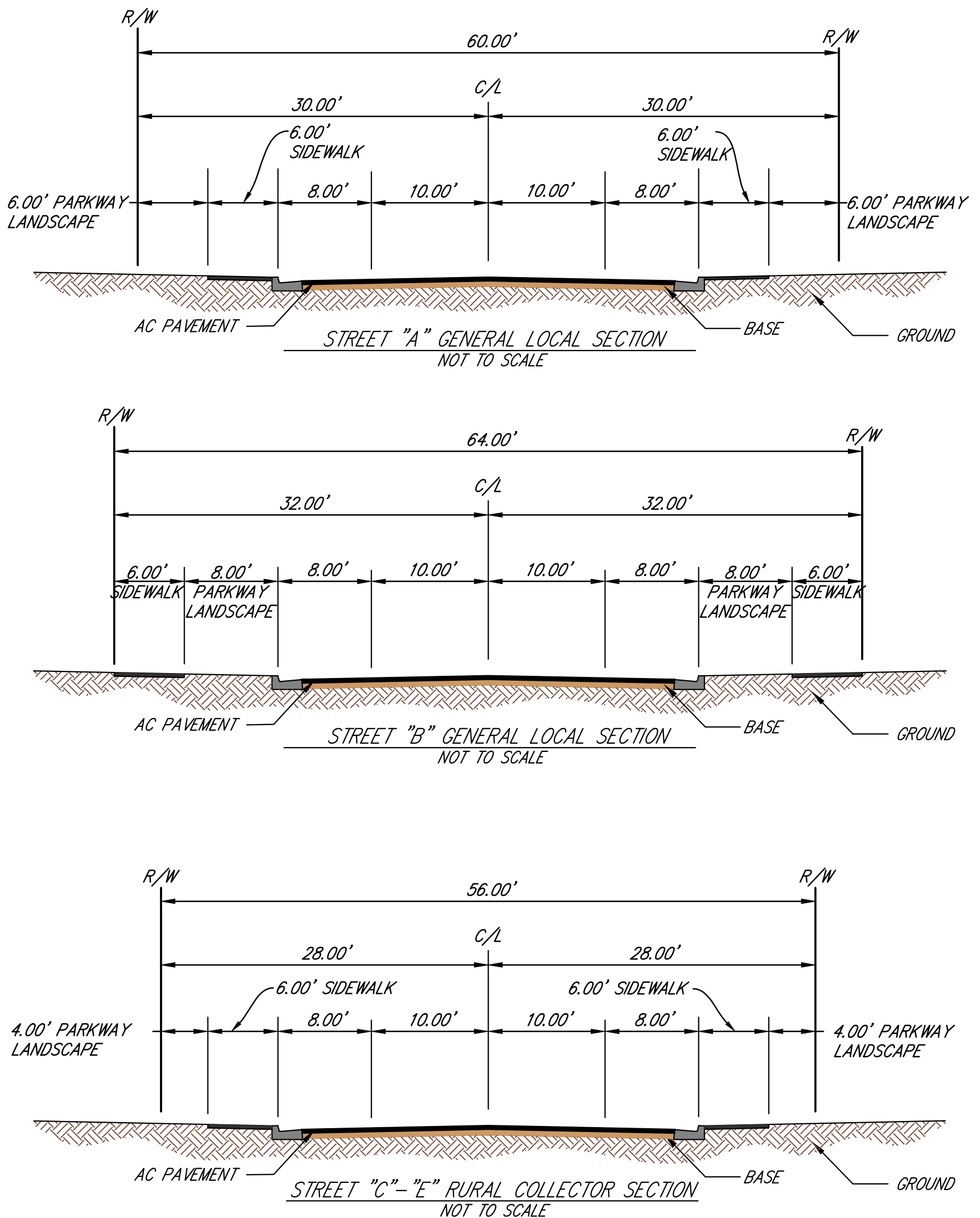


FIGURE 3-2
INTERNAL STREET CROSS SECTIONS
ROCKPORT RANCH - MENIFEE, CA

Rockport Ranch Specific Plan

3.1.2 External Roadways

Several streets lie immediately adjacent or close to the Rockport Ranch Specific area, which enable residents and visitors access to the City of Menifee and the greater region (**Figure 3-3**). The external streets range from smaller collector streets to larger urban arterial roads and serve to keep traffic flowing throughout the City of Menifee. **Table 3-2** and the following descriptions provide further detail on the external streets to Rockport Ranch.

Table 3-2 External Roadways

External Road Name	Road Classification	Lanes/median	Proposed Pedestrian or Trail Improvement
Newport Road	Urban Arterial	6 Lanes/Divided	n/a
Briggs Road	Major	4 Lanes/Divided	8' DG -Community Trail, 6' Sidewalk, Class II Bike Lane
Tres Lagos Drive	Secondary	4 Lanes/Undivided	6' sidewalk, Class II Bike Lane
Laguna Vista Drive	Collector/Interconnected Local	2 Lanes	n/a
Old Newport Road	Collector/Interconnected Local	2 Lanes	6' Sidewalk

Briggs Road is a north/west Major four-lane divided road which lies to the east. Access to the Plan area from Briggs Road will be a secondary entry point. The Specific Plan's northern boundary is adjacent to Old Newport Road; a Collector/Interconnected Local two-lane road, which traverses in an east/west direction terminating at Briggs Road on the northeastern corner of Rockport Ranch. Residents and visitors will be able to connect to Old Newport Road via Laguna Vista Drive from Newport Road. From there the residents and visitors can access the main entry to the site will be made from Old Newport Road. Tres Lagos Drive is a Secondary four-lane undivided road located adjacent to the southern property line and will have one resident-only keyed access entry and exit point to the community. Residents will be able to connect to larger road systems within the City of Menifee such as Newport Road, a divided six-lane Urban Arterial located approximately one-mile northwest of the Plan area. From there, residents can connect to Menifee Road for access to the other areas within the City of Menifee or they can continue traveling on Newport Road to access Interstate 215 (I-215) and the rest of the Southern California region.

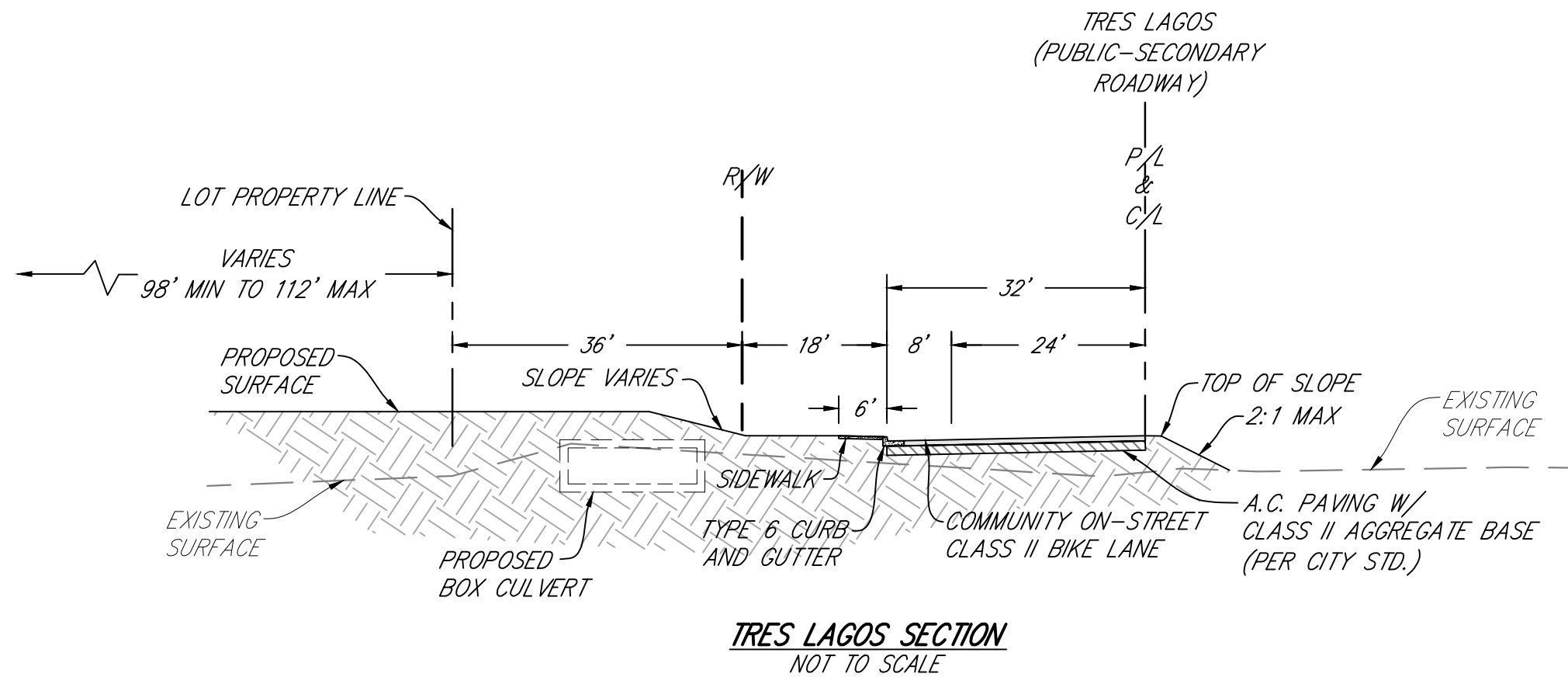
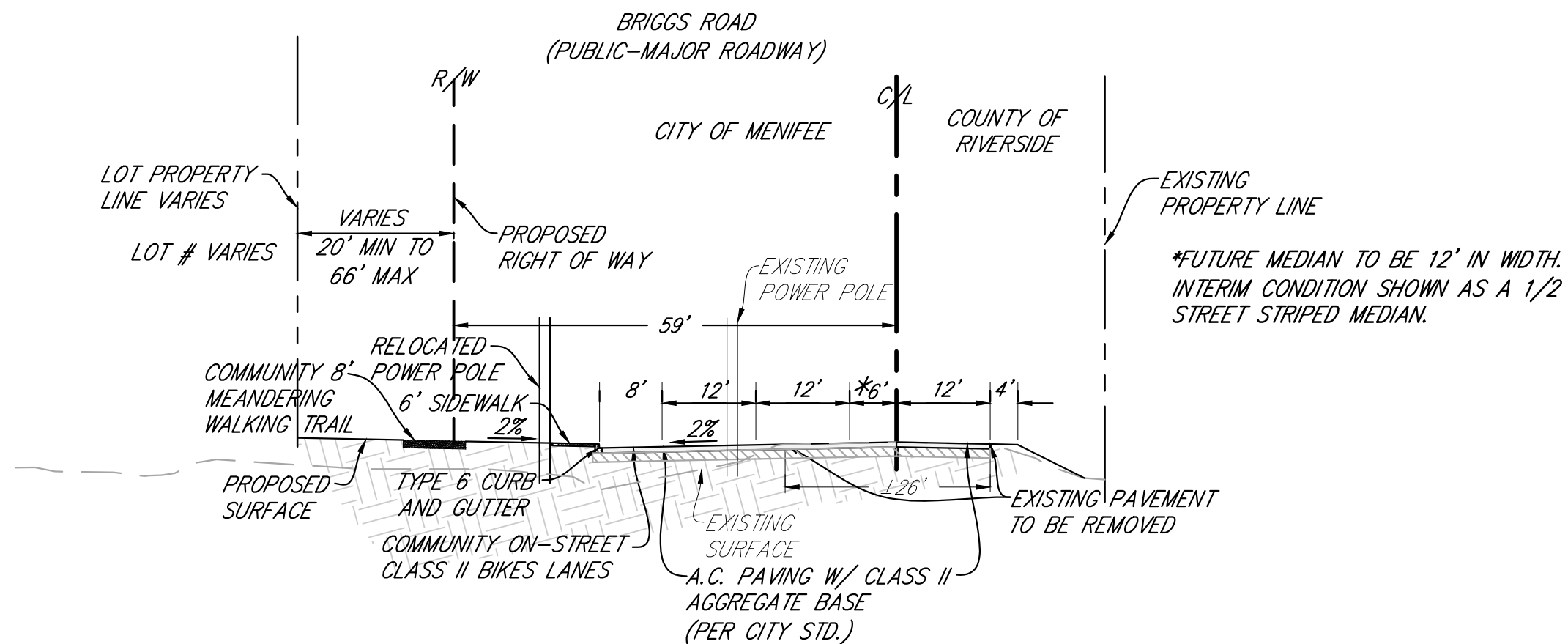
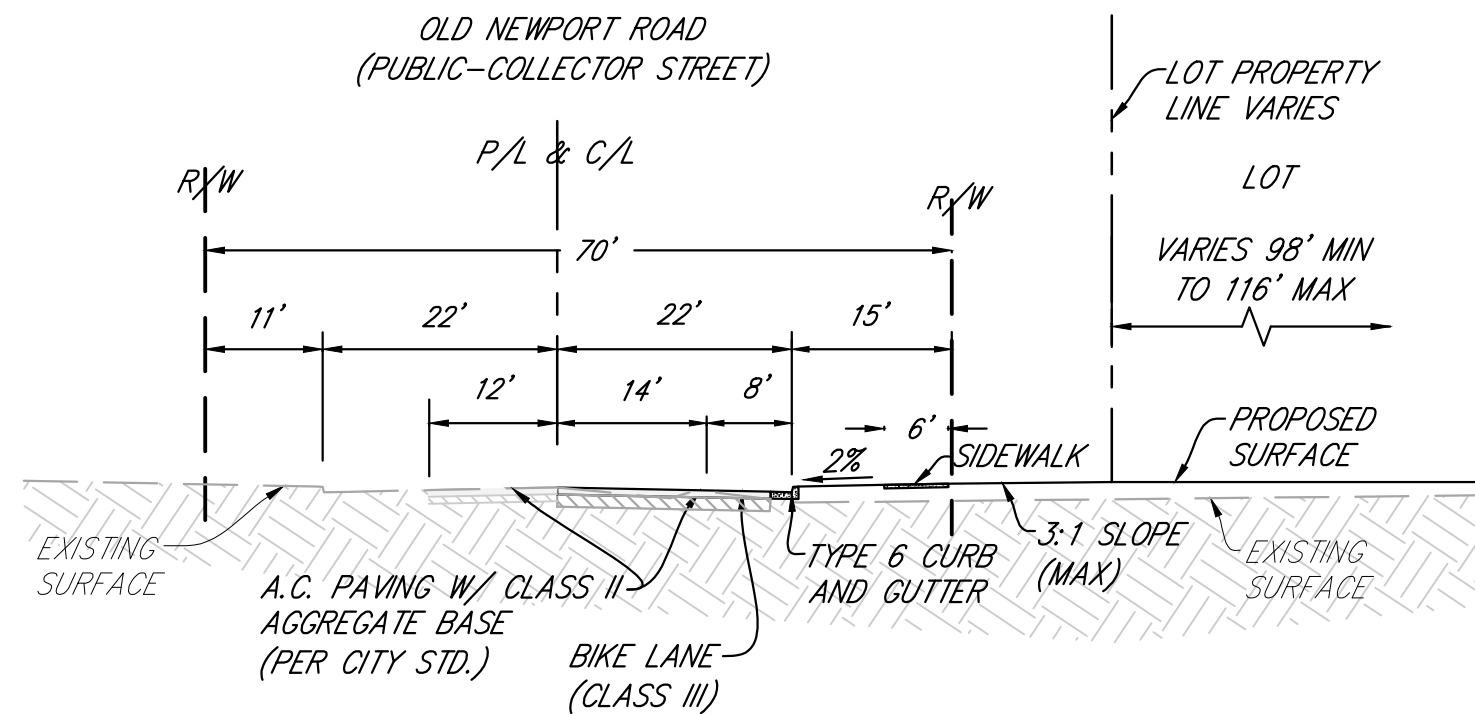


FIGURE 3-3
EXTERNAL STREET CROSS SECTIONS
ROCKPORT RANCH - MENIFEE, CA



BRIGGS ROAD SECTION
NOT TO SCALE

FIGURE 3-4
EXTERNAL STREET CROSS SECTIONS
ROCKPORT RANCH - MENIFEE, CA



OLD NEWPORT ROAD SECTION
NOT TO SCALE

FIGURE 3-5
EXTERNAL STREET CROSS SECTIONS
ROCKPORT RANCH - MENIFEE, CA

Rockport Ranch Specific Plan

3.1.3 Streetscapes

Streetscapes will provide landscape sections to enhance the visual experience while traveling within the Rockport Ranch Specific Plan area and will complement landscaping adjacent to single-family residential units and open spaces. Typical streetscape sections incorporated safety and aesthetics into their design as roadways must maintain sight distance minimums and prevent obscured intersections, while attaining attractive scenery. Both internal roadways and external adjacent streets have provided streetscape designs for consideration. Refer to Chapter 2, Section 2.4.1, **Table 2-8, Plant Material Guideline** for the conceptual plant palette for streetscapes. Internal and external streetscape sections are shown on **Figure 3-2 through Figure 3-5**.

Internal Roadway Streetscapes

Internal roadways have been designed to incorporate a parkway section to enhance the visual experience while travelling within the community. Internal roadway “A” includes 6-feet of landscaped parkway and 6-foot wide sidewalks. Internal roadway “B” includes 8-feet of landscaped Parkway and 6-foot wide sidewalks, while internal roadways “C,” “D,” and “E” include 4-feet of parkway and 6-foot sidewalk widths.

Adjacent Roadway Streetscapes

The Rockport Ranch Specific Plan area will improve select adjacent street roadways and will include landscape design in those improvements. Old Newport Road, Briggs Road, and Tres Lagos drive will each include landscape improvements. Those improvements will feature parkway space, either a DG community trail and concrete sidewalk, or concrete sidewalk only and landscape area to match existing sections of the adjacent property. For specific details for each improvement section refer to **Table 3-2** and **Figure 3-6**. Old Newport Road will feature 10 feet of parkway adjacent to the roadway, 6 feet of sidewalk, and 14 feet of landscaping on the interior, adjacent to the project perimeter wall. Briggs Road will include 6 feet sidewalk, 6 feet of parkway adjacent to the roadway, an 8-foot DG pathway that lines the length of the project frontage, and a minimum of 12 feet of enhanced landscaping on the interior, adjacent to the project perimeter wall. Tres Lagos Drive will feature 12 feet of parkway space adjacent to the roadway, a 6-foot sidewalk, and 36 feet of enhanced landscaping, adjacent to the project perimeter wall.

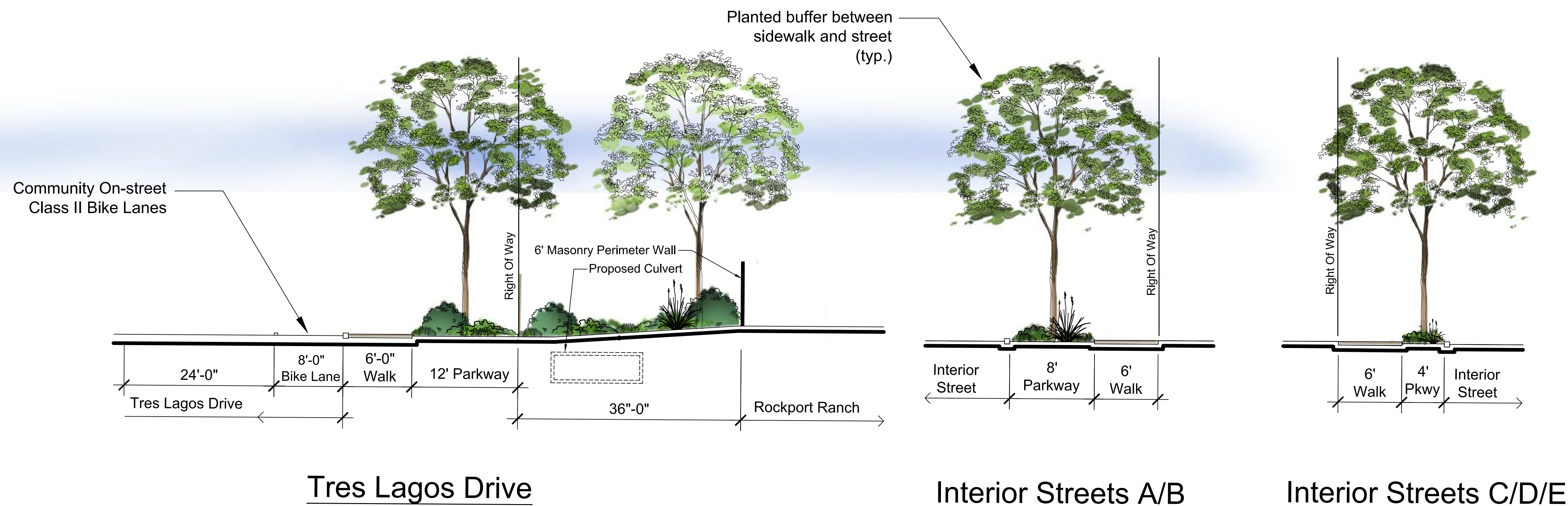
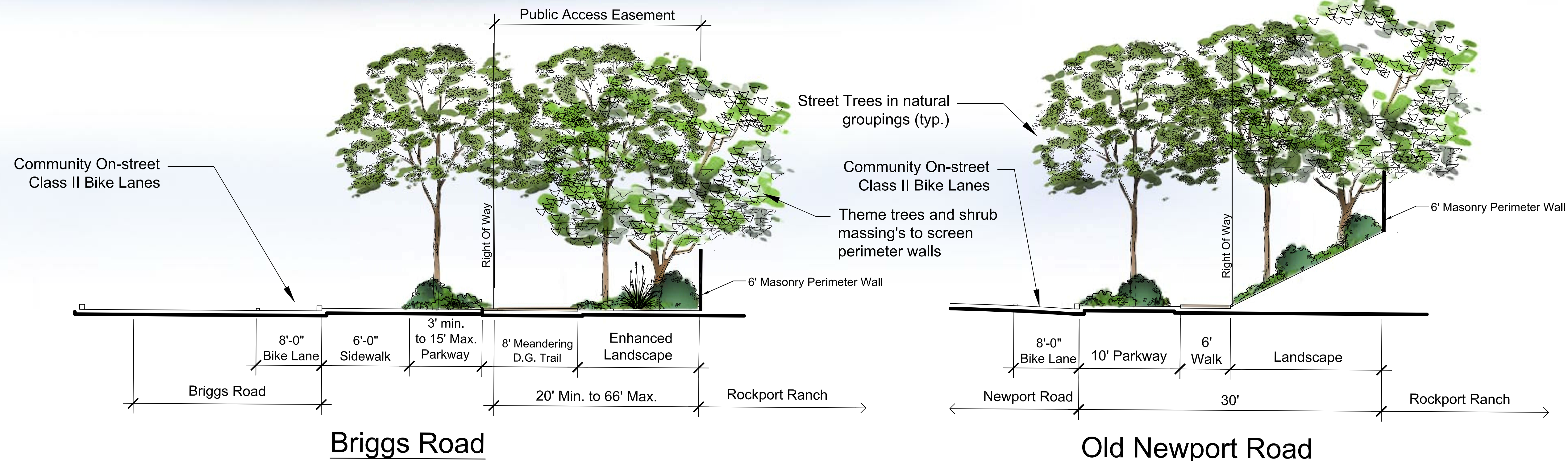


FIGURE 3-6
STREETSCAPE SECTIONS
ROCKPORT RANCH - MENIFEE, CA

Rockport Ranch Specific Plan

3.1.4 Traffic Calming Measures

Neighborhood streets are typically multi-use streets shared by bicycles, pedestrians, parked vehicles, children playing, and outdoor socializing. For these reasons, neighborhood streets should take extra precautions to ensure the circulation system is safe for all users. The Rockport Ranch circulation system has added a variety of “calming



Figure 3-7 Typical Traffic Calming Signage

measures” into the design to enhance community safety. Traffic controls or “calming measures” typically include features such as stop signs, posted speed limits, crosswalks, and directional signage. The traffic control measure proposed may be placed at all trail or pedestrian crossings within the Rockport Ranch Specific Plan area, to enhance vehicle awareness near areas where increased pedestrian and bicycle traffic are likely to occur. These calming and control components are designed to help traffic flow through the neighborhood while reducing speeds and increasing awareness of the surrounding circulation environment. When applied, calming measures improve community safety for pedestrians, bicycles, and vehicles alike.

The proposed traffic calming measures for Rockport Ranch include speed limit signs and stop sign, which can be seen on the **Figure 3-1, Conceptual Circulation Plan**. Five speed limit signs will be placed strategically within the Specific Plan area to make vehicles aware of their rate of speed when travelling through the community. In addition, fourteen stop signs have been proposed to be placed at intersections, which merit this form of calming measure. Three stop signs will be placed when exiting the Specific Plan area onto public streets. Streets “C,” “D,” and “E” will have stop signs when intersecting or coming to a T-intersection on Street “A” and “B.” A four-way stop is proposed at the intersection of Street “A” and Street “B.” Final locations and speed limits, and any other necessary traffic calming measures will be determined through a traffic report completed during the EIR process.

3.2 Specific Plan Area Access

The Rockport Ranch will be a gated community and will provide several types of entry access to the community. Entry concepts can be seen in Chapter 2, **Figure 2-11**. The Plan area will include a primary entry point, secondary entry point, tertiary entry, and an alternate bicycle and pedestrian entry point. The primary entry for the Specific Plan area will be located on Old Newport Road. Visitors and deliveries will be able to access the community of Rockport Ranch from the primary entry. Secondary access can be made on Briggs Road. This access point is a right-in, right-out-only access point. Tertiary access is a resident only, gated and keyed access, located at the southwest corner of the Specific Plan area on Tres Lagos Drive. An alternate access point is proposed for residents who want to enjoy bicycle and pedestrian entry and exit to the Specific Plan area. This access point is a

gated entry and exit located on Briggs Road at the northeast corner of the Specific Plan area. Entry into the site for emergency vehicles will be discussed in the Section below.

3.2.1 Emergency Access

Every new development must be able to provide adequate facilities and access for emergency responders to deliver life and safety services to the community. The California Fire Code, along with local fire agency authorities, administers the rules and regulations on fire access design. At a minimum, the Rockport Ranch Specific Plan area must present a design which affords fire and emergency responders suitable fire access roads dimensions and surfaces (Chapter 5, § 503.1 through 503.4 of the California Fire Code), an adequate number of emergency rated entrances to the community (Appendix D, §D106 of the California Fire Code), and entryway gate access for first responders (Chapter 5 of the California Fire Code, §503.6). Two points of entry have been identified for the Plan area and designed to meet the design requirements codified in the California Fire Code. **Table 3-3** provides information on the accessibility of entries to the Specific Plan area. The main entrance to the Specific Plan area will serve as the primary emergency access point and is located on Old Newport Road. The entry will incorporate emergency gate entry with adequate road width and surface strength to support fire apparatus entry. Secondary emergency access to the Rockport Ranch Specific Plan area will be made through an entryway on Briggs Road. The secondary access point will also include emergency gate entry, adequate road width, and adequate surface strength to support fire apparatus entry.

Table 3-3 Emergency Access

Access Location	Entry Type
Primary Plan Area Access Point (Old Newport Road)	Primary emergency access point
Secondary Emergency Access Point (Briggs Road)	Secondary emergency vehicle access point
Tertiary Access Point (Tres Lagos Drive)	Resident access only
Alternative Access Point (Briggs Road)	Bicycle & pedestrian only

3.3 Pedestrian Circulation Plan

Rockport Ranch was designed to incorporate an extensive internal private trail and sidewalk system, creating an important recreational open space opportunity for the community to enjoy. In addition, select improvements to offside roadways will add Community Trails and roadways, which accommodates Class II and Class III bike lanes. **Figure 3-1, Conceptual Circulation Plan**, identifies the locations of internal sidewalks and trails, as well as external Community Trails and bike lanes. The intent of the trail system and offsite Community Trails and bike lanes is to meander through the community and connect residents to the various open spaces within the Specific Plan area, while providing access to external trails and bike systems with connectivity to the greater City of Menifee.

Rockport Ranch Specific Plan

3.3.1 Trail Network

Trails provided within the Specific Plan area will typically be 5-feet wide and will consist of a concrete or decomposed granite (DG) surface (**Figure 3-1, Conceptual Circulation Plan**). Trails are excellent for active recreational uses and could facilitate walking, running, hiking, and biking. The trail system incorporates dual trails, which circulate through the northern portion of the community south through open space areas to the lake recreational area at the southern end of the Specific Plan area. One trail section begins at Street “C” at the northeast portion of community and travels south through the neighborhood to lot open space area on its way to the lake recreational area. Another section of the trail system begins at the northwest portion of the community and meanders through the central greenbelt area on its way south to the lake recreational area. Trail sections have been designed to connect with the 8’ DG Community Trail along Briggs Road. Residents can reach Briggs Road through two gates located at the perimeter of the community development. Those sections provide private entry for residents of the Specific Plan area who wish to access public roads on foot or by bicycle.

3.3.2 Bicycles and Pedestrians

The City of Menifee has planned a city-wide network of pedestrian and bicycle paths, which provide residents with alternative modes of travel as well as recreational opportunities. The Rockport Ranch Specific Plan area will connect to this network through virtue of location, thus providing homeowners with the opportunity to enjoy the City of Menifee at a pace unachievable through vehicular transportation. The Rockport Ranch Specific Plan area is adjacent to and will connect to two offsite bike routes and one community trail. Tres Lagos Drive is classified as a Community On-Street Bike Lane (Class II) road. CALTRANS defines Class II bike lanes as bikeways which provide a striped lane for one-way bike travel. Old Newport Road incorporates a Class III Bike Route, which CALTRANS defines as a road with shared use between bicycles, pedestrians, and motor vehicles. Briggs Road includes a Community Trail element that can be used for hiking, biking, and equestrian uses. As a part of the Rockport Ranch project, the frontage along Briggs Road will include an 8’ wide meandering community trail. The proximity of these bicycle and pedestrian routes adds an element of depth to the Plan area, providing additional options for travel and recreation and increasing the quality of life for residents of the Plan area.

3.4 Regional Connectivity

As noted in Chapter 1, the Rockport Ranch Specific Plan area is connected regionally to Riverside County and south to San Diego County via I-215. An existing system of expressways, arterial highways, and local roads such as the previously mentioned Old Newport Road, Briggs Road, and Tres Lagos Drive links the Specific Plan area to the City of Menifee’s circulation system and ultimately to I-215, which lies approximately 2 miles west of the Plan area. These connections allow for convenient and rapid access to and from the

Specific Plan area to other communities, thereby relieving some stress residents would otherwise feel with limited transportation route options

3.5 Alternative Transit Options

Alternate forms of transportation help alleviate many modern congestion problems for municipalities while also reducing strain on environmental resources. The City of Menifee's General Plan includes policies and goals for new development to meet so they are in conformance with local and state climate and transportation goals. The following section will provide information on available alternative transportation options and how this Specific Plan incorporates those options to conform to agency policy.

3.5.1 Public Transit

Public transportation access provides a pivotal role in the accessibility of goods and services throughout the City of Menifee for residents of the Specific Plan area who are looking for alternative transportation options, while also reducing traffic congestion through reductions in personal vehicle use. Establishing alternative public transportation options allows municipalities to meet local and State transportation and environmental goals. Locally, the Rockport Ranch Specific Plan must comply with the standards and policies set forth within the City of Menifee's Circulation Element of the General Plan. Regionally and statewide, public transit is a factor in lowering reliance on individual vehicle use so the City, and Rockport Ranch, can play their respective parts in the implementation of California Assembly Bill 32 (AB 32), which mandates the reduction of greenhouse gas emissions locally, regionally, and statewide to sustainable levels.

To achieve the previously discussed goals, the City of Menifee has established public transportation options and mandates that any Specific Plan within the City is compliant with the Circulation Element of the General Plan and AB 32. The City of Menifee utilizes the Riverside Transit Agency (RTA) for fixed route and Dial-a-Ride for bus services, and the Metrolink for rail services to the public. The RTA's regional public transportation services are via Bus Route 61. Rail services for regional connections will be made through the future planned Metrolink Perris Valley Line 91 which is estimated to be completed sometime during 2016. These public transit options will offer residents of the Rockport Ranch Specific Plan area quick access to a variety of alternative modes of transportation.

PUBLIC SERVICES AND FACILITIES PLAN

Rockport Ranch Specific Plan

4.0 Public Services and Facilities Plan

The Rockport Ranch Public Services and Facilities Plan focuses on those services and facilities related to the Specific Plan Area, which are required in order to provide a safe, healthy, and well-rounded community. This section will provide details on the scope of services and facilities needed to provide a comprehensive development while minimizing impacts to existing service providers and infrastructure including districts and schools for children of the Plan area, community facilities, police and fire protection, and finally solid waste disposal. Details on the financing and maintenance of public services and facilities the developer must provide are located in Chapter 6.

The City of Menifee General Plan, Draft Housing Element 2013-2021 identifies an approximate average household size of 2.8 persons per household. For purposes of Quimby Fee calculation, the City of Menifee has established a 3.164 average persons-per single-family household. The Rockport Ranch Specific Plan Area will include 305 units which equates to an approximate increase of approximately 851 residents to the City of Menifee. The impacts and contributions those additional residents have on public services and facilities are explained in more detail below.

4.1 Schools

This section of the Rockport Ranch Specific Plan will identify the school districts and individual schools which school age children residing within the Plan area will attend. Two school districts will provide educational instruction for children residing within the Specific Plan Area. The following institutions have been identified as the primary education providers to the Plan area. Elementary and middle school age children will attend schools located within the Menifee Union School District, while high school age children will attend the Perris Union High School District. Elementary school students residing in the Rockport Specific Plan Area will attend Southshore Elementary School located at 30975 Southshore Drive. Southshore Elementary is located approximately one-half mile south of the plan area. Middle school age students will attend Bell Mountain Middle School located just over a mile from the Specific Plan Area at 28525 La Piedra Road. All high school students living within the Specific Plan Area will attend Heritage High School in the Perris High School District boundary which is located approximately 3.5 miles from the Specific Plan Area at 26001 Briggs Road.

Should demand increase within the City of Menifee and surrounding communities, additional schools may be built that could serve the Rockport Ranch Specific Plan Area as future funding allows. Rockport Ranch will offset its expected increase in students through monetary contributions in the form of school district development fees paid to affected school districts.

Rockport Ranch Specific Plan

The hallmark of a well-planned community is the happiness of residents who experience a high quality of life. To achieve that level of quality, communities are, in part, dependent upon functional and responsive public facilities for services which are necessary for safety, protection, and quality of life. In the following sections, the Rockport Ranch Specific Plan will define those services which are vital to the comprehensive planning of a successful community.

4.2 Parks, Trails, Recreation, and Open Space

Parks, trails, recreation, and open space all provide outdoor passive and active recreational opportunities to the Public. According to the City of Menifee Trails, Parks, Open Space, and Recreation Master Plan, the City of Menifee operates and maintains nine city-owned park sites and or facilities within the City boundary for residents of the Rockport Ranch Specific Plan Area to enjoy. In addition to the nine city-owned parks and facilities, there are an additional 20 Valley-Wide-owned park sites located within the City boundary available for public enjoyment. The City of Menifee also offers a wide range of classes and activities for children and adults, which are all open to the public.

The Rockport Ranch Specific Plan area will include landscape improvements within the public rights-of-way to Old Newport Road, Tres Lagos Drive and Briggs Road. Improvements will be financed by and constructed by the developer and/or builder. Landscape improvements along Old Newport Road will be along the project's frontage. Landscape improvements on Briggs road will also be along the project frontage and will include a meandering DG path.

4.3 Library Services

Public library services offer residents a cost-effective option for information, as well as other programs which may interest the public. The Sun City Library is the principal library serving Menifee's approximately 89,000 residents. The Sun City Library is located at 26982 Cherry Hills Boulevard and offers a variety of resources and programs for public use. The City of Menifee also operates the Paloma Valley library located at 31375 Bradley Road. Residents of the Rockport Ranch Specific Plan area will have access to online library resources, genealogy research, reading programs, and movie and digital book rentals.

4.4 Fire Protection

Fire protection services are required prior to the development of the Rockport Ranch Specific Plan Area. Fire protection services are provided to the City of Menifee through a contract with the County of Riverside Fire Department. A total of four County of Riverside fire stations are located within the City of Menifee that are able to service the Specific Plan area. Station 76 is the closest station and is located approximately one mile from the project area at 29950 Menifee Road. Each fire station contains one paramedic engine company able to assist with fires, rescues, traffic accidents, medical emergencies, and requests for general public assistance, as well as participation in community programs such as the Community Emergency Response Team (CERT) Training, Equipment Safety – Prevent Fire Hazards, and

Vial of Life. Together, the services and programs offered through the County of Riverside Fire Department will provide comprehensive fire protection and education to the Rockport Ranch Specific Plan Area.

4.5 Police Protection

Police protection is a vital component to the safety and well-being of the Rockport Ranch Specific Plan Area. Public safety and police services are provided to the City of Menifee through a contract with Riverside County's Sheriff's Department through the Sheriff's station located at 137 N. Perris Blvd. Suite A, Perris CA, 92570. Sheriff's services include traffic enforcement, a special enforcement team, and a cooperative multi-agency gang and narcotics task force. In addition to these services, the Riverside County Sheriff's Department also participates in several community programs including the Crime Prevention Program, Neighborhood Watch Program support, a Police Volunteer Program, and the Riverside County Anti-Human Trafficking (RCAHT) Taskforce.

4.6 Solid Waste Disposal

To maintain a clean and sanitary residential development, the Rockport Ranch Specific Plan Area will require solid waste disposal services to each home. The City of Menifee contracts with Waste Management to provide trash, recycling, and green waste disposal to residents. Each homeowner with the Plan area will be provided with three 96-gallon bins: one for regular trash, one for green waste, and one for commingled recyclables.

Solid waste for the Rockport project will be accepted at the El Sobrante Landfill. The landfill is located at 10910 Dawson Canyon Road Corona, CA 92883. The landfill is a Class 3 regional disposal facility that provides disposal services for the communities of Riverside County, including Menifee. The facility is permitted to accept up to 70,000 tons of solid waste per week and maintains reserve capacity for waste generated in Riverside County both now and into the future. The current calculated capacity for the landfill is approximately 58 years. All solid waste generated by the project will be easily accommodated by the facility.

GRADING AND UTILITIES PLAN

Rockport Ranch Specific Plan

5.0 Grading and Utilities Plan

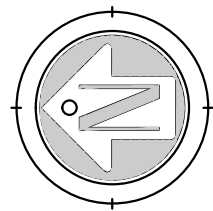
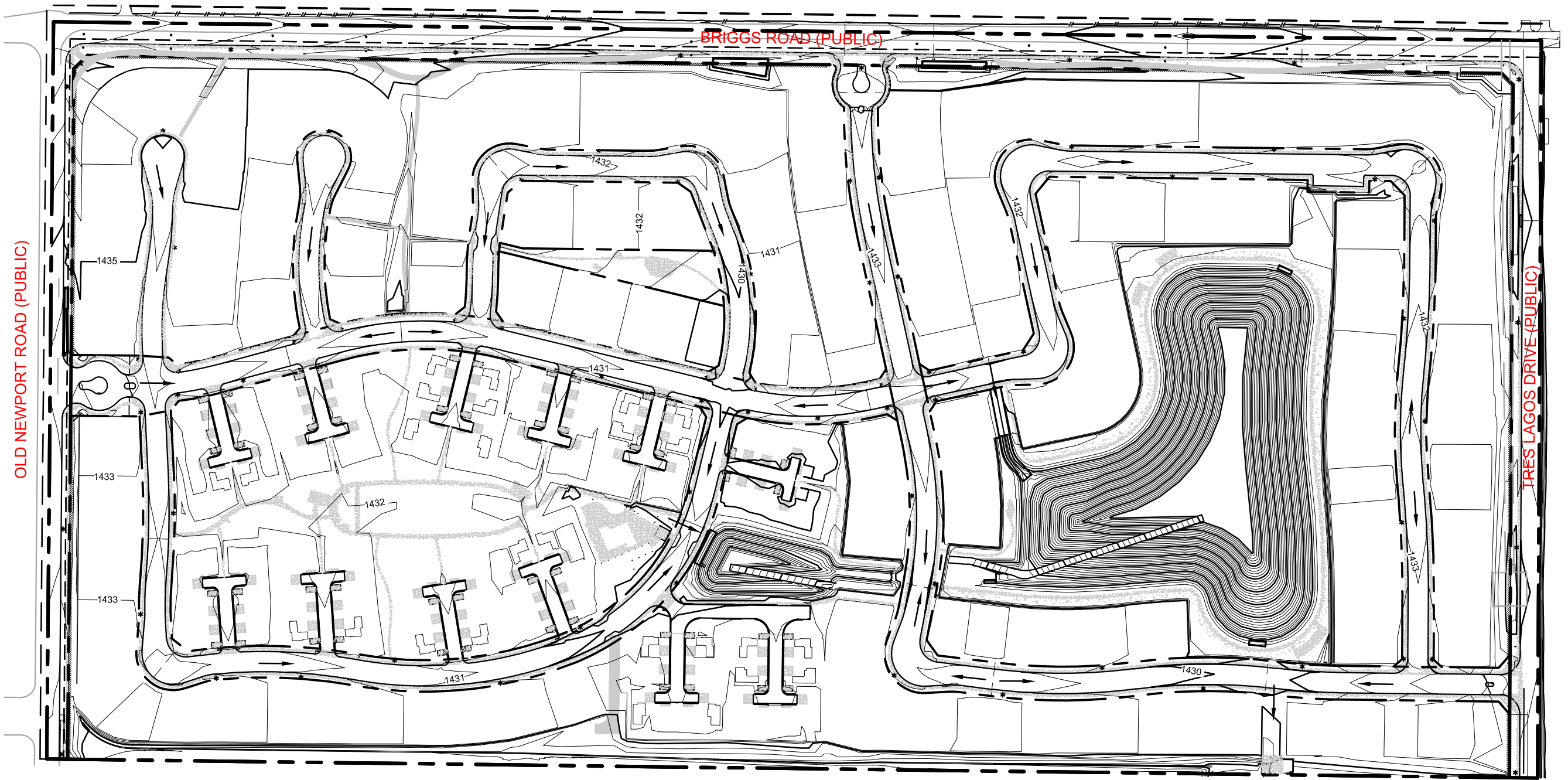
The grading and utilities provide necessary infrastructure to serve the residential development and open space for the Rockport Ranch Specific Plan area. This section will discuss in detail the distribution and extent of grading and utilities which must be installed to facilitate a safe and efficient residential community. Information will be provided for grading and the following utilities: water, reclaimed water, wastewater, stormwater drainage and detention, electricity and natural gas, telephone and cable services, and proposed construction phasing. **Table 5-1** identifies the utility providers for the Rockport Ranch Specific Plan Area.

Table 5-1 Specific Plan Area Utilities

Utility	Provider
Water	Eastern Municipal Water District (EMWD)
Reclaimed Water	Eastern Municipal Water District (EMWD)
Sewer	Eastern Municipal Water District (EMWD)
Storm Drainage	Rockport Ranch Home Owners Association/Project Owner
Natural Gas	SoCalGas
Electricity	Southern California Edison
Telephone and Cable	Frontier Communications/Time Warner

5.1 Grading

This project proposes to clear and grub all remaining vegetation within the property limits, demolish all existing improvements and private utilities, and perform mass grading activities over the entire site with a total of 185,000 CY of cut-to-fill and a total of 200,000 CY of imported material (385,000 CY total earthwork). As part of the mass grading activities, sheet grading will be performed across most of the site and the proposed lake feature will be taken to finish grade. Rough grading will prepare pads for each residential lot, interior street sections to subgrade, and further define drainage courses, park and amenity areas. Final and precise grading activities during the ultimate build-out of the project at the time of vertical construction would include taking roads, lots, and landscape areas to finish grades with final surface/hardscape/planting installations and preparation of the ground for any foundations for proposed housing/community buildings.



LEGEND

PROJECT BOUNDARY

SLOPE INDICATING ARROW

→

ELEVATION

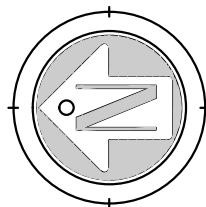
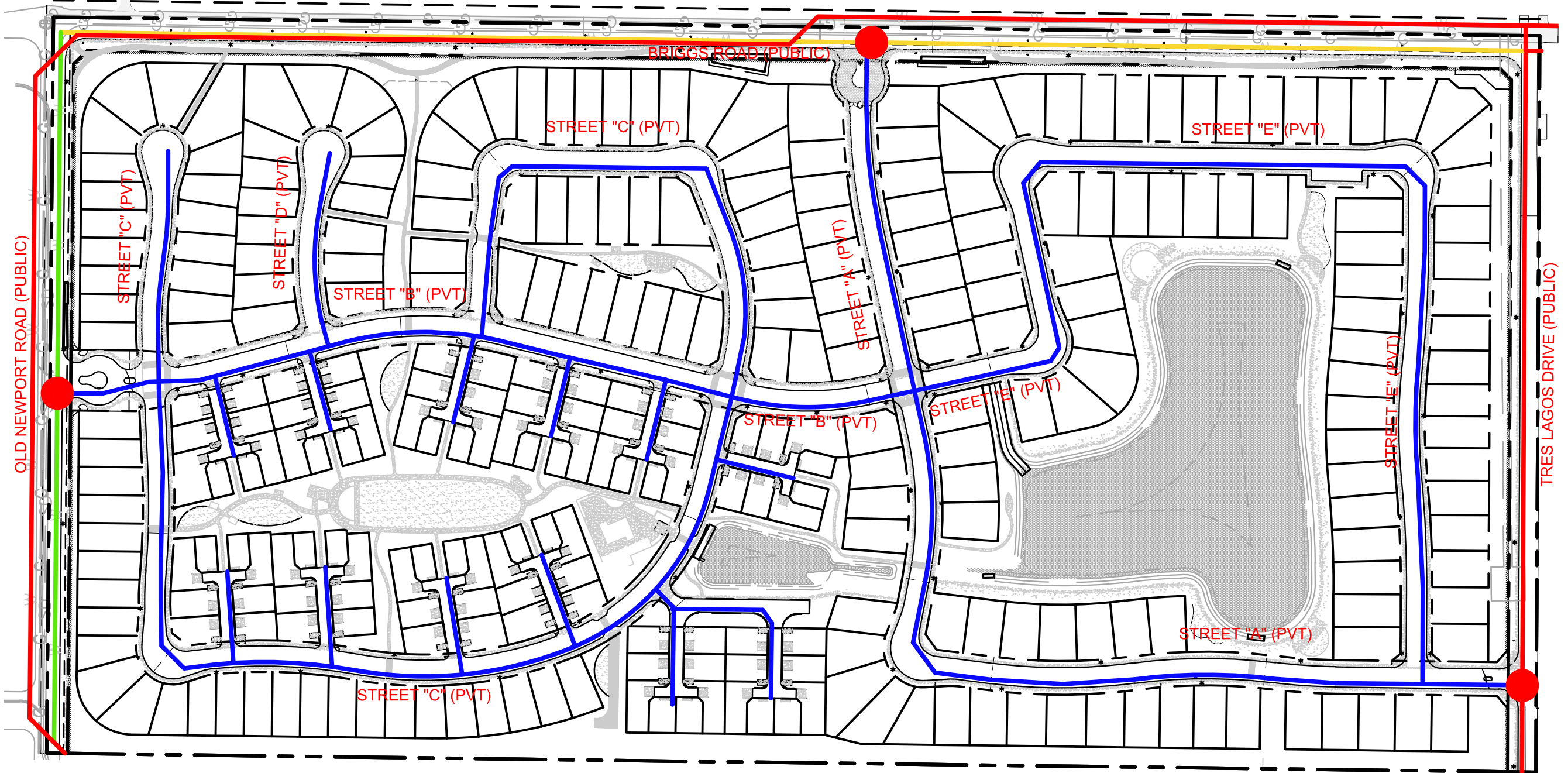
1430

FIGURE 5-1
 CONCEPTUAL GRADING PLAN EXHIBIT
 ROCKPORT RANCH - MENIFEE, CA

5.2 Potable Water Supply

Water service for potable residential use and fire service to the Rockport Ranch Specific Plan Area will be provided by the Eastern Municipal Water District (EMWD). Prior to approval of any discretionary permits for Rockport Ranch a Will-Serve Letter Request form was obtained from EMWD to determine that EMWD has the capacity to serve the Plan area's water needs, fire flow capacity, and landscape irrigation needs. The Rockport Ranch Specific Plan area is located entirely within the boundaries of EMWD, which serves approximately 785,000 residents and businesses. The District services seven local municipalities, portions of the County of Riverside, three water agencies, and eleven school districts, and receives approximately 75% of its water from Metropolitan Water District through its Colorado River Aqueduct and its connections to the State Water Project. The remaining 25% of the EMWD's water comes from groundwater basins through groundwater wells.

Water needs are determined from studies conducted for the Project and will dictate the size of infrastructure needed to handle the appropriate capacity for the site. According to the Will-Serve Letter from EMWD, the Rockport Ranch Specific Plan area will use approximately 2,160 gallons-per-day per acre (gpd/ac). Based on this demand, the site has been designed for 8-inch polyvinyl (PVC) pipe to service the Specific Plan area. Several existing connection points are located under streets adjacent to the Specific Plan area. Two existing water mains are located on Old Newport Road; one 8-inch and one 36-inch concrete-mortar lined and coated (CML&C) water pipes. Briggs Road contains a 12-inch and a 36-inch CML&C pipes. One 36-inch CML&C pipe is located under Tres Lagos Drive. Three potable water connections to Rockport Ranch will be made from existing water lines underneath Tres Lagos Drive at the project entrance, at the entrance on Briggs Road, and the last connection on Old Newport Road at the project entrance. In all instances, infrastructure located within public rights-of-way is maintained by EMWD. Once connections to EMWD are made, 8-inch PVC pipes will convey water into the Specific Plan area (**Figure 5-2**). Water lines will be placed underneath each internal private street in accordance with EMWD design standards. To service the courtyard residential product type, water lines will be extended to the termination of each shared driveway access.



LEGEND

EXISTING WATER 12" (CML&C STEEL)	
EXISTING WATER 8" (CML&C STEEL)	
EXISTING WATER 36" (CML&C STEEL)	
PROPOSED WATER 8" (PVC)	
PROPOSED CONNECTION TO EXISTING WATER MAIN	
PROJECT BOUNDARY	

NOTE:
THE PROPOSED WATER SYSTEM TO SERVE THE PROJECT
SHALL BE REVIEWED AND APPROVED BY EMWD.

FIGURE 5-2
WATER UTILITY EXHIBIT
ROCKPORT RANCH - MENIFEE, CA

5.3 Reclaimed & Well Water Supply

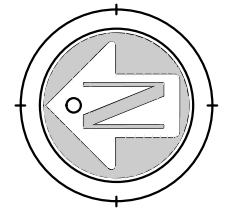
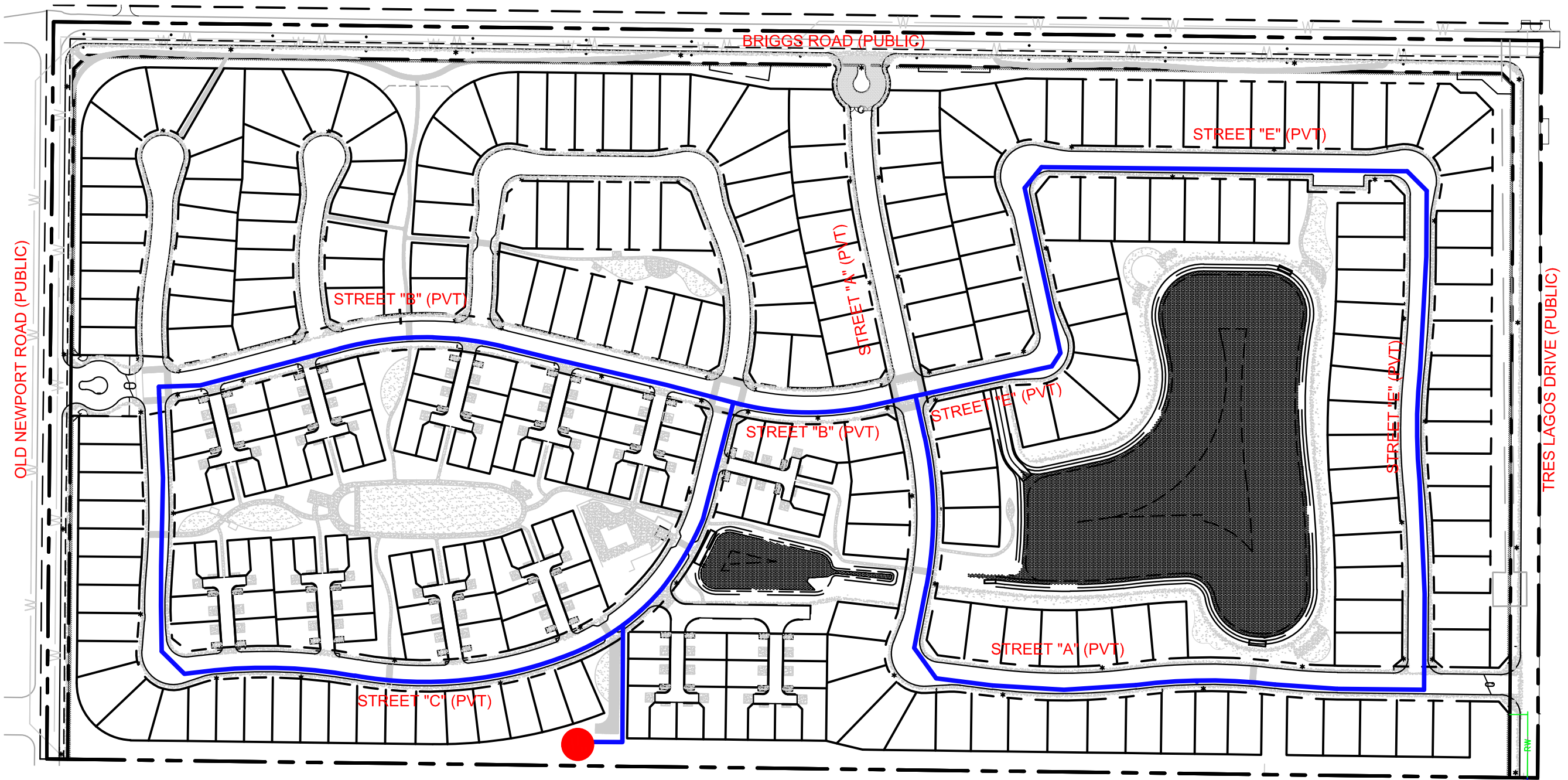
If available the Specific Plan area may incorporate reclaimed water or well water supply for landscape irrigation, which helps reduce strain on environmental resources. The Rockport Ranch Specific Plan area may use reclaimed or well water for irrigation of common-area landscaping, open space, parkways, and roadside landscaping adjacent to public roads. The Project area could incorporate common-area irrigation water from two sources; the first from EMWD via an application process for reclaimed water, and the second through a possible filtration system connected to a well located at the southern-central end of the Specific Plan area. **Figure 5-3** illustrates the conceptual reclaimed and well water infrastructure distribution.

5.3.1 Eastern Municipal Water District, Reclaimed Water Supply

If reclaimed water infrastructure is available, the project may opt to incorporate this utility to augment landscape irrigation. EMWD serves over 200 active reclaimed water accounts, sales of over 26,000 acre-feet of water, and entered into a joint program with the US Bureau of Reclamation for wetlands construction of a wastewater treatment research center. Reclaimed water is available through EMWD via an application process. An existing 18-inch PVC reclaimed water line is located approximately 0.25 miles west of the Specific Plan on Old Newport Road. This reclaimed water infrastructure is controlled by EMWD. If feasible, an application process would be initiated with EMWD to incorporate reclaimed water infrastructure into the project design.

5.3.2 Reclaimed Well-Water and Filtration Scenario

The Rockport Ranch Specific Plan may opt to incorporate well water for common-area landscaping, via wells located onsite. Two existing wells are located within the Specific Plan area. If practical to provide common-area landscape irrigation with well-water, a process will be initiated with the County of Riverside to cap both existing wells and relocate one well at the eastern edge of the Specific Plan area. An 8-inch PVC line would connect to the well at Street "C." The water lines would form two loops connected via Street "B" as illustrated on **Figure 5-3**. If the well does not produce sufficient water for common-area landscape irrigation, potable water lines from the EMWD would augment the difference. Due to the high salt particulate content of the water on site, a filtration system would be necessary to dilute the water to levels appropriate for landscape irrigation. Once established, this reclaimed water would be used to irrigate open space and landscaping of all common areas within the Specific Plan area.



LEGEND

PROPOSED PRIVATE RECLAIMED WATER 8" (PVC)	
RECLAIMED WATER WELL	
PROJECT BOUNDARY	
EXISTING RECLAIMED WATER 12" (PVC)	
PROPOSED PUBLIC RECLAIMED WATER 8" (PVC)	

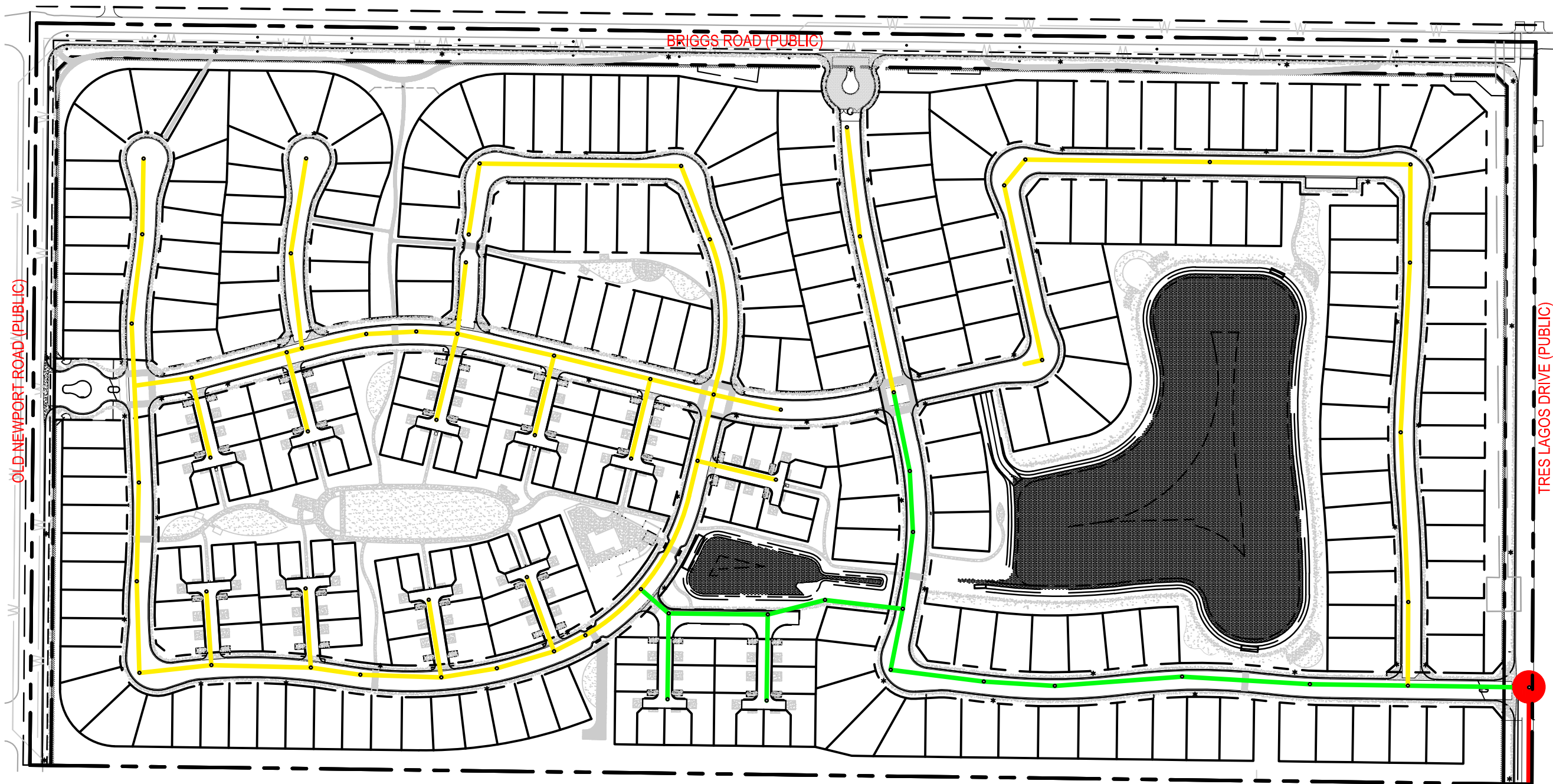
NOTE:
THE PROPOSED RECLAIMED WATER SYSTEM TO SERVE THE PROJECT SHALL BE REVIEWED AND APPROVED BY EMWD.

FIGURE 5-3
RECLAIMED WATER UTILITY EXHIBIT
ROCKPORT RANCH - MENIFEE, CA

5.4 Wastewater

Wastewater service to the Rockport Ranch Specific Plan area will be provided by EMWD, which previously determined has existing sewer capacity to serve the expected buildout of the Plan area. The District is divided into four sewer service areas to process and treat approximately 46 million gallons of wastewater per day. The Rockport Ranch Specific Plan area is located in the Sun City Regional Reclamation Facility, Subservice Area #3. Currently, all wastewater flowing to the reclamation facility is redirected to the Perris Valley Regional Reclamation Facility for processing.

Studies conducted for the Plan area determined the approximate flows of wastewater from the development. Based on those conclusions, two internal pipe sizes are proposed for the Specific Plan area. Preliminary sewer design concluded 8-inch and 12-inch PVC will be needed to adequately service individual homes and community areas discharging wastewater (**Figure 5-4**). Pipes will be located underneath the internal private streets with restricted parking on the sewer side of the street. Wastewater will generally flow south toward a connection to a 27-inch vitrified clay pipe (VCP) located at Tres Lagos Drive, which will convey wastewater flows offsite to a processing station located approximately 5 miles west of the Specific Plan area. An 8-inch internal PVC pipe will convey waste water from courtyard residential and residential lots located along a portion of Street “B,” Street “C,” and Street “D” toward a connection to a 12-inch sewer line located at Street “A” and continuing its flow south toward the 27-inch VCP located at Tres Lagos Drive. The 12-inch PVC pipe will collect wastewater from the 8-inch lines at the northern half of the Specific Plan area and the small group of courtyard residential units located at the midpoint of the project area. Street “E” will convey wastewater through an 8-inch PVC line connecting to a 12-inch PVC pipe located under the southern portion of Street “A” and travelling along Street “A” before connecting to the 27-inch VCP at Tres Lagos Drive.



TO SUN CITY REGIONAL WATER
RECLAMATION FACILITY

NOTE:
THE PROPOSED SEWER SYSTEM TO SERVE THE PROJECT
SHALL BE REVIEWED AND APPROVED BY EMWD.

LEGEND

PROPOSED SEWER 27" (VCP)
PROPOSED SEWER 12" (PVC)
PROPOSED SEWER 8" (PVC)
PROPOSED CONNECTION
TO EXISTING SEWER MAIN
PROJECT BOUNDARY

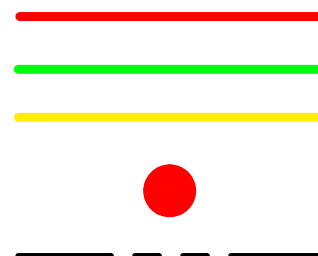
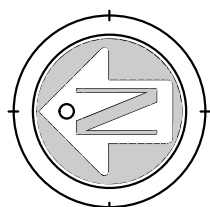


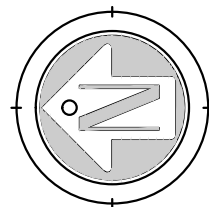
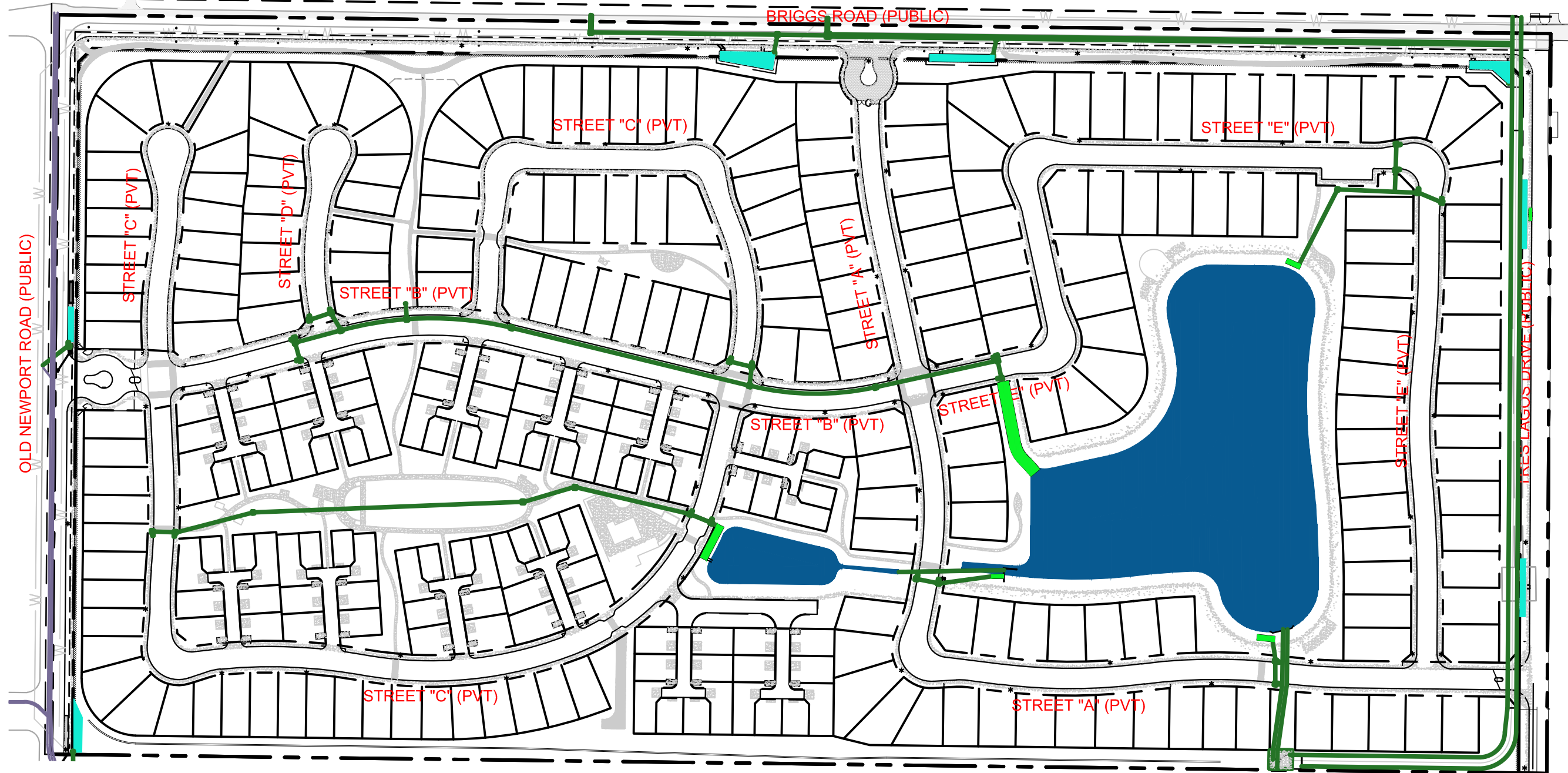
FIGURE 5-4
SEWER UTILITY EXHIBIT
ROCKPORT RANCH - MENIFEE, CA



5.5 Stormwater Management

The Rockport Ranch Specific Plan area lay within the San Jacinto River Valley flood plain. Statewide rules and regulations require that stormwater runoff from rain events must be appropriately captured and conveyed into treatment systems, so that water runoff does not increase water flows onto adjacent properties or properties downstream, which could potentially cause damage.

The Rockport Ranch Specific Plan area has carefully studied stormwater flows and identified two points of entry for flows into and through the site. Currently, approximately 600 CFS of stormwater will enter the site at approximately the location of the Briggs Road vehicular entrance. The lakes within the Specific Plan area will capture much of the runoff volume during rain events. In addition, biofiltration units are proposed at strategic locations throughout the Specific Plan area. Stormwater flows will be conveyed to filtration systems through proposed storm drains, the locations of which are illustrated on **Figure 5-5**.



PROPOSED STORM DRAIN
PROJECT BOUNDARY

LAKES

BIOFILTRATION BASIN



LEGEND

BIOFILTRATION STRUCTURE

EXISTING STORM DRAIN



EXCEL

ENGINEERING

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440 STATE PLACE, ESCONDIDO, CA 92029

PH (760)745-8118 FX (760)745-1890

FIGURE 5-5
STORM WATER DRAINAGE PLAN EXHIBIT
ROCKPORT RANCH - MENIFEE, CA

5.6 Dry Utilities

Dry Utilities are the primary power generation source for the Rockport Specific Plan area. Electricity and gas will provide heat, air conditioning, and any other power generating source for each home or common area facility within the development. Solar power generating systems may be allowed within the Specific Plan area to supplement electrical and gas systems; however, any proposed solar generation system must be compliant with local ordinances. A description of dry utility distribution is provided in the following sections. **Figure 5-6** illustrates the conceptual gas and electricity utility locations proposed for the Specific Plan area.

5.6.1 Electricity

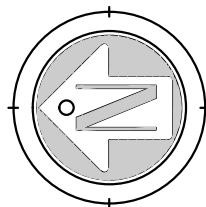
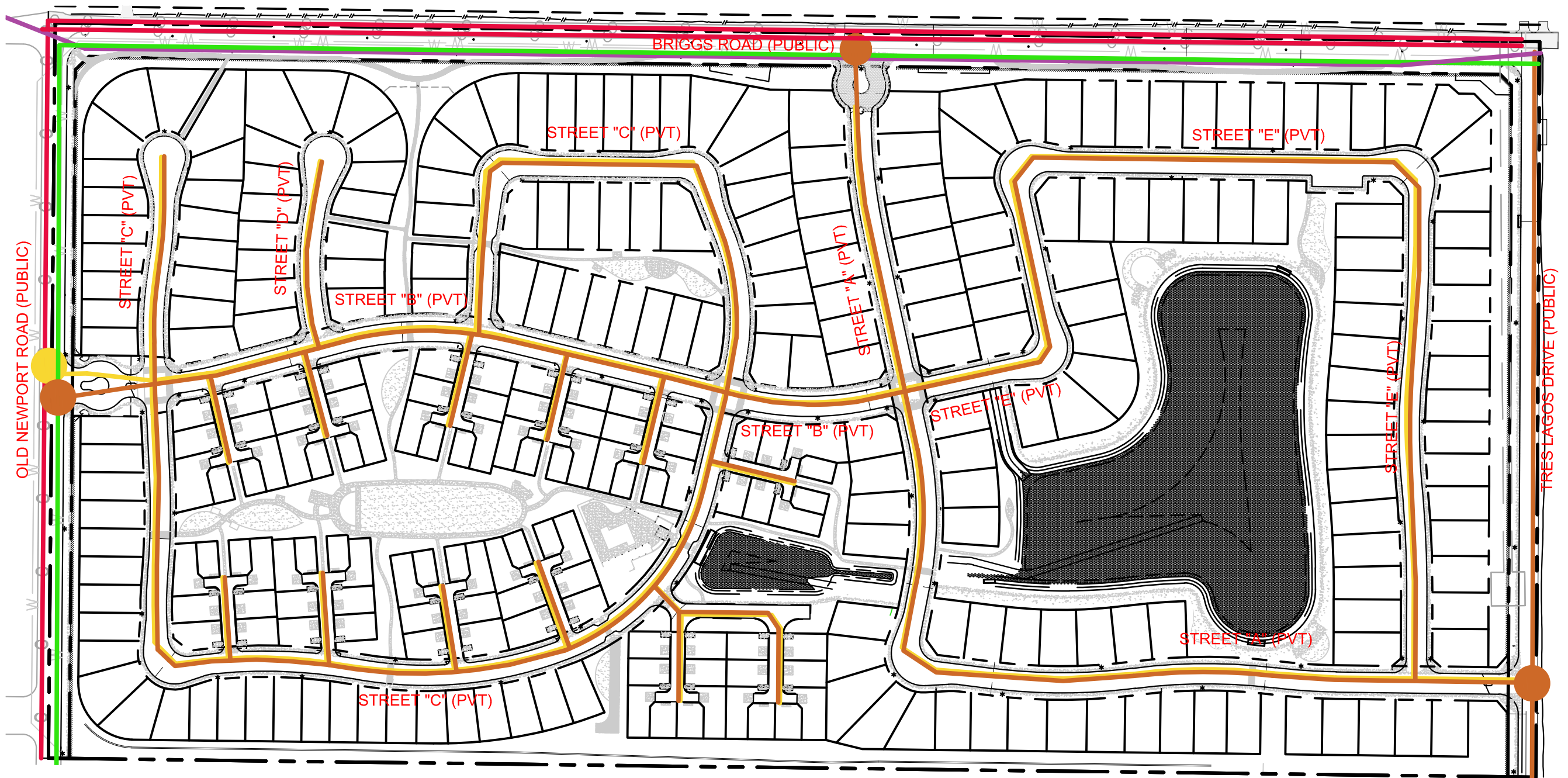
There are existing Southern California Edison (SCE) overhead distribution lines along Briggs Road and Old Newport road. The existing SCE overhead poles with two 12kV distribution lines and SCE communication lines along Old Newport Road will be converted to underground lines. The existing SCE overhead poles with two 115kV transmission lines along Briggs Road will be relocated into the parkway behind the curb, gutter, and sidewalk. The transmission lines and poles will remain overhead on the newly relocated poles. However, the SCE distribution lines and SCE communication lines will be converted to underground lines.

The electrical connection will be made near the project entrance on Briggs Road. Electrical distribution lines for the project will be placed in utility trenching underneath the proposed internal roadways and under the shared courtyard drive aisles, **Figure 5-6**. The developer/builder will be required to construct or contract all trenching, backfill, substructures, conduits, and transformer pads necessary to service the Specific Plan area. The improvements may include any extra facilities deemed necessary by SCE to maintain a reliable electrical transmission system. SCE will install cables, connectors, and pad-mounted equipment per final electrical design of the site. Any overhead or underground lines in conflict with improvements will need to be converted to underground systems, removed, or rearranged as necessary.

As the Rockport Ranch project is designed, it will provide alternative electricity production systems which offset CO₂e generation. The project may include photovoltaic solar systems or programs to generate electrical power. At project implementation, all photovoltaic systems must be approved by the City Planning and Building Departments, and the City Fire Marshall.

5.6.2 Gas

Southern California Gas (SGE) maintains all gas distribution systems within the area. Gas lines will be located in utility trenches and will connect with an existing 8" gas main at the project's main entrance on the south side of Old Newport Road. Gas lines will be extended through the Specific Plan area in the same joint trench alignment as electric, cable, and telephone facilities.



LEGEND			
PROPOSED ELECTRIC LINE		EXISTING GAS LINE	
PROPOSED GAS LINE		CONVERSION OF ELECTRICAL DISTRIBUTION AND COMMUNICATION FACILITIES	
PROPOSED ELECTRIC CONNECTION		EXISTING OVERHEAD 115kV ELECTRICAL TRANSMISSION LINES (TO BE RELOCATED)	
PROPOSED GAS CONNECTION			
PROJECT BOUNDARY			

FIGURE 5-6
MASTER ELECTRICITY AND GAS EXHIBIT
ROCKPORT RANCH - MENIFEE, CA

5.6.3 Cable and Telephone

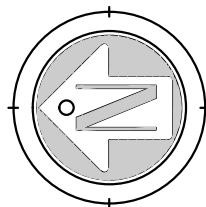
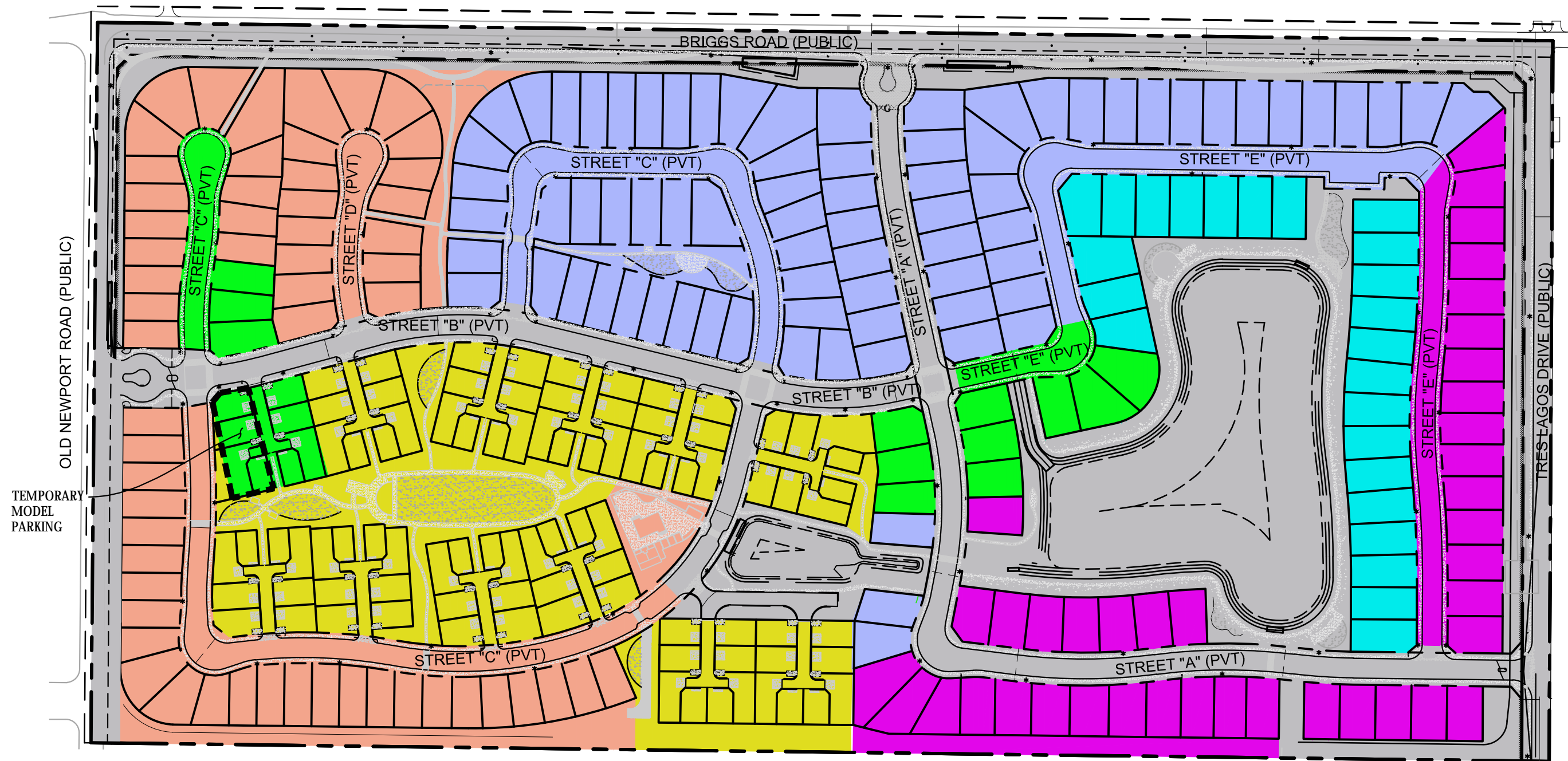
Cable and telephone service will be provided for the Specific Plan area by Frontier Communications and/or Time Warner. Cable and telephone may be provided by both providers. Both providers contain existing facilities on Old Newport Road and will likely connect to the Specific Plan area at the main entrance to the project on Old Newport Road. Cable and telephone infrastructure will be placed in the same trenches as gas and electricity infrastructure.

5.7 Phasing Plan

The Phasing Plan will facilitate the orderly implementation of and connection to existing and planned infrastructure for development within the Rockport Ranch Specific Plan area. Development is subject to market demand and as such phasing shall be considered flexible so long as prior to each development phase the necessary wet and dry infrastructure and roads are constructed in accordance with local and state building codes. Due to the inherent flexibility of phasing in conjunction with market demand, changes to the Phasing Plan should be considered minor provided the Community Development Director has determination the afore mentioned infrastructure and any mitigation or conditions associated with each proposed phase have been implemented and fulfilled. Chapter 7.0, Amendments and Implementation, provides details on the administration and implementation of the Phasing Plan.

Preliminary phasing within Rockport Ranch is proposed to be accomplished through a primary Phase I, inclusive of infrastructure necessary to deliver basic needs to the Specific Plan area, with subsequent construction phases. Wet and Dry utility infrastructure may be phased to coincide with phases of residential construction as needed. As conceptualized, pending final approval, the primary Phase I plan for Rockport Ranch will consist of mass grading, primary internal roads, wet and dry utilities and offsite improvements to adjacent streets. The wet and dry utilities and offsite improvements will consist of water lines, sewer lines, dry utilities including gas, cable and telephone, and offsite improvements to adjacent streets. The following paragraph provides a detailed description of the location of improvements to be accomplished during Phase I. More information of the total number of phases and the location of phasing is illustrated on **Figure 5-7, Conceptual Phasing Plan**.

Water improvements will include connections to existing water lines on Old Newport Road, Briggs Road, and Tres Lagos Drive. During this phase 8-inch water lines will be installed. Sewer lines installed during Phase I will include the 8-inch and 12-inch PVC lines. Both sewer lines will be installed south where they will connect to the 12-inch PVC sewer line and eventually connecting to the existing 27-inch sewer line in Tres Lagos Drive. Dry utilities will be installed within the same trenching as the wet utilities installed during this phase. Offsite improvements to be installed during Phase I include the landscape irrigation system and landscaping for Old Newport Road, Briggs Road, and Tres Lagos Drive.



PHASE 1 - SITE GRADING AND UTILITY INFRASTRUCTURE
(OLD NEWPORT ROAD, BRIGGS ROAD, TRES LAGOS DRIVE, STREET A, STREET B, PORTION OF STREET C, LAKE)

PHASE 2 - MODELS
(TEMPORARY PARKING, PORTION OF STREET C, PORTION OF STREET E)

PHASE 3
(5,000 SF LOTS, PORTION OF STREET C, PORTION OF STREET D, POOL FACILITY)

LEGEND

PHASE 4
(5,000 SF LOTS, PARK AREA)

PHASE 5
(6,000 SF LOTS, PORTION OF STREET C, PORTION OF STREET E)

PHASE 6
(6,500 SF LOTS, PORTION OF STREET E)

PHASE 7
(7,000 SF LOTS)

(TEMPORARY MODEL PARKING)

PROJECT BOUNDARY

FIGURE 5-7
CONCEPTUAL PHASING PLAN EXHIBIT
ROCKPORT RANCH - MENIFEE, CA

PUBLIC FACILITIES FINANCING PLAN

Rockport Ranch Specific Plan

6.0 Public Facilities Financing Plan

This section describes the various options for financing of the required improvements for the Rockport Ranch Specific Plan. A detailed financing plan should be prepared to ensure improvements to the Specific Plan area are implemented in a successful manner and within an orderly timeframe. The financing plan will establish specific methods of financing to achieve the goals and policies set forth in this Chapter.

Financing mechanisms for each improvement shall be timed with any proposed phasing of the Specific Plan area, established conditions of approval, and site plan and/or design review approval. The following descriptions provide information of possible methods, which could be employed to finance improvements of the Specific Plan area. It should be noted there may be other sources not listed below which would fulfill any mandates for the financing of improvements.

6.1 Methods of Financing for Public Improvements

The developer or builder shall be responsible for their fair share of financing construction of any public improvements as well as the entirety of private infrastructure improvements required to support development within the Rockport Ranch Specific Plan area. Improvements may include, however, may not be limited to, construction of internal and adjacent streets, water lines, sewer lines, and storm drains, and electrical and gas power delivery systems. The developer or builder can use a combination of financing mechanisms to achieve the required construction and maintenance of facilities and improvements; however, the developer or builder shall be ultimately responsible for all fair share costs identified with implementation of development within the Rockport Ranch Specific Plan area, including but not limited to, costs associated with infrastructure construction, compliance with any mitigation measures identified within the EIR conditions of approval, or any other associated requirements which may need to be fulfilled.

6.1.1 Developer Funding Options

Many of the onsite facilities to be constructed will be financed and constructed entirely by the developer or builder. Some examples of these types of improvements are onsite private streets, utility connections from main trunk lines, and storm drain facilities. In the case of electricity connections, the developer or builder may be required to use the electricity providers' construction crews or contractors provided from an approved list determined by the energy provider. In those cases, correspondence will occur between the parties to establish the funding method, at a cost to the developer or builder, to finance those improvements.

Rockport Ranch Specific Plan

6.1.2 Special Assessment Districts

Special assessment districts may be used by the City of Menifee to pay for improvements within a defined area so long as the property owner votes to allow the assessment to proceed. Once an approval vote has been made, the City has the authority to form the special assessment district by the authority of the Improvement Act of 1911, and the Municipal Improvement Act of 1913. The property owners will bond to pay for improvements such as streets, storm drains, sidewalks, landscape and lighting, water and sewer services, and other similar public improvements.

6.1.3 Landscape & Lighting and Maintenance Districts

Landscape Lighting and Maintenance Districts (L&LMD) may be used to finance the installation of certain public improvements. The 1972 Landscape and Lighting Act gives the City of Menifee the authority to assess real property to raise funds for the installation, maintenance, and servicing of landscaping, trails, irrigation, streetlights, traffic signals, bridge lights, graffiti abatement, bio-swales, and fossil filters.

6.1.4 Community Facilities Districts and Mello-Roos

The City of Menifee may use a Community Facility District and require Mello-Roos to finance public improvements for the Specific Plan area. The Mello-Roos, Community Facilities Act of 1982 allows the City to establish special districts and to levy special taxes and issue tax exempt bonds to finance those improvements. Mello-Roos do not require municipalities to show any specific special benefit to assessed properties, therefore they may be used to finance a broad range of general improvements such as police and fire facilities, libraries, parks, and any improvements which may benefit specific properties.

6.1.5 Other Funding Sources

The developer or builder may secure other sources of funding to construct and maintain public and private facilities such as government grants, private developer coalitions, or various bonds not specifically mentioned above.

6.2 Financing of Public Improvements

The orderly development of the Specific Plan area requires the procurement of sufficient funding for public facilities and services. The following summaries provide detail on financing of facilities and services for the Rockport Ranch Specific Plan area required to be available at the time of need. The sections described below will provide information on specific financing options and implementation methods for facilities and service within the Specific Plan area.

6.2.1 Circulation Improvements

The Rockport Ranch Specific Plan area includes a comprehensive circulation plan, which includes both private and public road improvements. Development within the Specific Plan area is contingent upon the financing and maintenance of both private internal streets and

external public road improvements, public streetscape improvements, and any mitigation measures for traffic impacts identified in the traffic study produced for the EIR.

Internal private streets and trails will be financed in whole, by the developer or builder.

Improvements to public external roads, right-of-way areas, and landscaping adjacent to the projects frontage identified by the City of Menifee shall be financed and constructed by the developer and/or builder.

6.2.2 Fire, Paramedics & Law Enforcement Services and Facilities

To offset impacts to fire, paramedic, and law enforcement services and facilities the developer and/or builder will pay fees to the City of Menifee. The Development Impact Fee (DIF) Ordinance No. 659 requires those fees to be paid at the time the certificate of occupancy is issued, however the City of Menifee will allow the developer/builder to pay those fees at the at the time the application is submitted for building permits. If Ordinance No. 659 is rescinded and superseded by a subsequent City mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

6.2.3 Schools

The developer has identified school districts, which will service school-age children residing within the Rockport Ranch Specific Plan area, and will make a monetary contribution to mitigate for increased attendance to those districts. The Menifee Unified School District and the Perris Valley High School District have been identified as the two districts which will serve the Specific Plan area. Impacts to the two districts will be mitigated through a per-square-foot fee paid by the developer and based on total residential dwelling unit square footage. The per-square-foot fees will be separated into a multi-family fee and a single-family fee and will both be calculated and paid to the respective school districts identified above. School fees will be paid prior to issuance of building permits for the Specific Plan area.

6.2.4 Recreational Facilities, Parks, and Open Space

All categories of open space located within the Rockport Ranch Specific Plan area, including common area open space and facilities, landscaping, parks, and water quality features will be financed and constructed entirely by the developer or builder. Maintenance responsibilities of recreational facilities, parks, and open space are described in Section 6.3 below.

In addition to the private funding of open space within the Specific Plan area, the City of Menifee, based on the 1975 Quimby Act, requires new development which foregoes design and construction of public parks or facilities, to contribute funds for the creation of public parks and open space elsewhere within the City. No public park space is proposed for the Rockport Ranch Specific Plan area; therefore, the developer will pay an in-lieu fee to the City of Menifee for public park and open space mitigation. The in-lieu fee is based on an equation dependent on several factors including proposed dwelling units, persons per

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dwelling unit, acres per resident, and acquisition costs per acre. Based on a factor of 3.164 persons-per-household according to the City of Menifee's 2016 Resolution setting the amount of Quimby Fees. Rockport Ranch expects to use the figure of 965 residents for the determination of fees to be paid to the City of Menifee. Once the total units are determined, the developer and/or builder will make a monetary in-lieu fee payment based on the factors determined above. The in-lieu fee payment will be made at such time the City of Menifee deems appropriate based on established payment procedures and timelines.

6.3 Operation and Maintenance of Public Improvements and Private Facilities

Maintenance of open space, recreational facilities, water quality features, onsite trails, offsite trails, private streets, public streets, water and sewer systems, and landscaping of public rights-of-ways are important components to the image of Rockport Ranch and the functionality and safety of stormwater movement. This Section will define each entity responsible for maintenance of public improvements and private facilities which will have a prolonged impact on the Specific Plan areas appearance.

There are several options for funding operation and maintenance of public and private facilities and landscaping. As noted above in Section 6.1, the Specific Plan area has the option to annex into a City-managed maintenance and improvement district for any landscaping or facilities that are publicly owned. Operation and maintenance of landscaping and facilities located within public rights-of-ways will be financed through a Community Facilities District and maintained by the City of Menifee. For operation and maintenance of private facilities, the Specific Plan area will require the formation of a homeowners association (HOA). Private facility maintenance areas will be the financial responsibility of the HOA and will be maintained privately. These areas include, but are not limited to, common area open space, onsite landscaping, parks, HOA pool facilities, onsite streets, and water quality basins and associated facilities. Landscaping within each private lot within the Specific Plan area shall be the sole responsibility of the homeowner. Operation and maintenance responsibilities are defined in detail below as well as on **Figure 6-1, Maintenance Exhibit**.

- Private parks and common area facilities maintenance within Rockport Ranch shall be the responsibility of the Rockport Ranch HOA.
- Maintenance of common area landscaping within the Rockport Ranch Specific Plan area shall be the responsibility of the Rockport Ranch HOA.
- Maintenance of landscaping within individual non-courtyard single-family residential lots shall be the responsibility of the homeowner.
- Maintenance within front yards of courtyard residential lots shall be the responsibility of the HOA.
- Private streets, landscaped parkways, and entry monuments and gates shall be maintained by the Rockport Ranch HOA.

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- All private storm drain systems within the Specific Plan area will be maintained by the HOA.
- Sewer systems, and water systems within the Rockport Ranch Specific Plan area will be maintained by the EMWD.
- Maintenance of landscaping, lighting, and storm drain systems, in public right-of-way easements along public streets shall be the responsibility of the City of Menifee, with an assessment paid by the property owner.
- Maintenance of offsite trails shall be the responsibility of the City of Menifee, and paid in part, through Community Facility District (CFD) contribution.
- Maintenance of onsite trails shall be the responsibility of the Rockport Ranch HOA.
- Public street maintenance shall be the responsibility of the City of Menifee.
- Onsite private streets shall be the responsibility of the Rockport Ranch HOA.

Table 6-1 Financing and Maintenance Responsibility Table

Improvement	Installation/Financing	Long-term Maintenance
Common area landscaping	Developer	HOA
Courtyard residential: front yard landscaping	Developer	HOA
Non-courtyard residential front yard landscaping	Developer	Homeowner
Non-courtyard residential lot parkway landscaping	Developer	HOA
Onsite trails	Developer	HOA
Offsite trails	CFD/Developer	CFD
Private parks and common area facilities	Developer	HOA
Private Streets	Developer	HOA
Public Streets	Developer	CFD
Public landscaping in rights-of-way and onsite perimeter landscaping within easements	CFD/Developer	CFD
Private storm drain systems	Developer	HOA
Public storm drain systems	Developer	City of Menifee
Sewer systems, water systems	Developer	EMWD

ADMINISTRATION AND IMPLEMENTATION

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7.0 Administration and Implementation

This chapter of the Rockport Ranch Specific Plan is essential to establish a thorough review process for proposed discretionary entitlements and other processes which may become necessary within the Plan area. Sections within this chapter form the procedures for review of entitlements and modifications or amendments to the Specific Plan (i.e., administration authority of the Plan, descriptions of the entitlements to be processed concurrently with this Specific Plan, compliance with CEQA, and substantial conformance and amendments to the Plan). Those rules, regulations, and processes outlined within this chapter govern the lead agency's implementation of development within the Plan area.

In addition to the Rockport Ranch Specific Plan implementation, several discretionary entitlements will also be processed concurrently. This section provides a detailed description of the mechanisms needed for implementation of the Specific Plan and should be the primary document consulted when questions arise concerning future development or development changes within the Rockport Ranch Specific Plan area. As the lead agency, The City of Menifee is responsible for the administration of the Rockport Ranch Specific Plan and as such is responsible for ensuring the rules and procedures described herein are implemented in a consistent manner with all City rules, regulations and policies, as well as the adopted County of Riverside rules, regulations, and policies. California Government Code 65451 (a) (4) and 65452 give the City discretion to address subjects in the Specific Plan the City deems necessary for proper implementation of the General Plan.

7.1 Project Review Procedures and Future Entitlements

This section outlines the procedures necessary to review entitlement efforts for all development within the Rockport Ranch Specific Plan area. The intent of the development and design review process is to ensure development proposals are consistent with the provisions of the Rockport Ranch Specific Plan and are compatible with surrounding land uses. The Development Review process may include, but is not limited to, subdivision maps, plot/site plans, final engineering plans, architectural building plans, landscape plans, and materials boards. Conformance with the Rockport Ranch Specific Plan is contingent upon the thorough review process of the aforementioned plans.

Specific Plan Authority

The Rockport Ranch Specific Plan is to be adopted by Ordinance by the Menifee City Council and used as the primary guiding document for review of all subsequent discretionary entitlements within the confines of the Specific Plan Area. As a regulatory document, successful implementation of a development project within the Plan area is contingent upon meeting the land use and associated design, development, and infrastructure standards, and other policies outlined herein.

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The Rockport Ranch Specific Plan establishes development design, infrastructure, and implementation parameters and incorporates those standards through reference of applicable Zoning Ordinance or other appropriate standards and provisions such as Riverside Zoning Ordinance (Ord. 348) (as adopted by the City of Menifee) or the City of Menifee Municipal Code, to establish specific zoning standards, which govern all development within the Plan area. Any proposed development and design activities within the Rockport Ranch Specific Plan area must be consistent with the established parameters of this Plan. Should any requirements contained herein of the Rockport Ranch Specific Plan conflict with the adopted City Zoning Ordinance (Ord. 348) or the City of Menifee Municipal Code, the Rockport Ranch Specific Plan shall be the primary document used to resolve the conflict. If the Rockport Ranch Specific Plan is silent on any issues, City Zoning Ordinance No. 348 and the City of Menifee Municipal Code, or as subsequently amended, or other applicable adopted City or County Standard(s) shall be referred to for regulations and standards.

Administration

Two entities shall be responsible for the administration and enforcement of the Rockport Ranch Specific Plan. The City of Menifee's Community Development Department is the primary agency responsible for the implementation, administration, and enforcement of the Rockport Ranch Specific Plan. The homeowners association or other comparable group established for the Rockport Ranch Specific Plan area shall be responsible for the enforcement of private property and open space easement requirements pursuant to standards identified herein as well as any covenants, conditions, and restrictions (CC&R's) developed separately from this Plan.

7.2 Project Processing

In addition to this Specific Plan, the City of Menifee is concurrently processing a General Plan Amendment, Change of Zone, and a Tentative Map. Any future development projects within the Specific Plan area may be subject to further review and subsequent discretionary permits and approval from the City of Menifee Community Development Department. Examples of subsequent approvals include site plans, final maps, grading plans, improvement plans, and building permits. Application, fee, and processing requirements shall be in accordance with the City's regulations, unless modified by this Plan. Project application will be reviewed for consistency with the Rockport Ranch Specific Plan and all pertinent development standards, design standards, and mitigation measures identified during the environmental review process, as well as other applicable conditions of approval adopted as part of this Specific Plan. Applications for subsequent development projects or public improvements and other activities will be reviewed by the Community Development Department using established procedures for consistency with this Plan. Review and analysis of a subsequent project permit(s) may trigger additional conditions the City determines to be reasonably necessary to ensure the projects application and or plans achieve compliance with this Specific Plan. Procedures to amend the Rockport Ranch Specific Plan are detailed in Section 7.4 below, should the applicant or City staff determine

changes in the project area would trigger an amendment to this Specific Plan in order to remain compliant with the adopted Specific Plan/General Plan.

Project processing regulations described within this Plan apply to all development proposed within the Rockport Ranch Specific Plan area. The following items described address only the entitlements the City of Menifee has the authority to grant and shall be processed to complete the development of the Rockport Ranch Specific Plan area:

General Plan Amendment – A General Plan Amendment is necessary to rezone parcels 346-190-004 and 364-190-005 from agriculture (AG) to Specific Plan (SP). The rezone from Agriculture to Specific Plan will allow the Specific Plan to provide rules and regulations for a residential development, which is higher in density than the City's General Plan allows. However, the project is meticulously planned and consistent with other densities of neighboring Specific Plans. Once the zoning is changed to SP, the Rockport Ranch Specific Plan area will be consistent with, and able to implement, the goals and policies of the Menifee General Plan.

Change of Zone – A Change of Zone will allow the site to change from Heavy Agricultural use to Specific Plan, which facilitates the residential development of the site. The Change of Zone is the required action for the zone change for the establishment of a Specific Plan and is required to be reviewed and approved concurrently with the General Plan Amendment and the Specific Plan applications pursuant to Article XX, Amendments and Changes of Zone of the Riverside County Zoning Ordinance (Ord. 348) as adopted by the City of Menifee upon incorporation.

Specific Plan – A Specific Plan is required to develop the site as a residential development as described in this Specific Plan. A Specific Plan is required to be reviewed and approved concurrently with the General Plan Amendment and the Change of Zone applications. The Specific Plan establishes the development rules and regulations of all land uses within the Plan area boundary. Upon adoption of the Specific Plan by the Menifee City Council, all development within the Plan area must conform to the regulations of the Plan.

Tentative Tract Map – The Tentative Tract Map is a proposal of the design, improvements, grading, and existing conditions of the project area and adjacent land affected by the project. The Tentative Map requires discretionary review of the proposed land subdivision and grading pursuant to Ordinance No. 348 and 460 as adopted by the City of Menifee upon incorporation. Upon review and approval and subsequent fulfillment of all conditions tied to the Tentative Map, a Final Map shall be recorded which allows for the creation of individual lots within the Specific Plan area.

7.2.1 Environmental Review

Each subsequent development project requiring discretionary approval shall be reviewed to ensure consistency and compliance with the California Environmental Quality Act (CEQA) Guidelines 15162(c). The Environmental Impact Report (EIR) shall be certified concurrently

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with the Rockport Ranch Specific Plan and shall serve as the primary environmental document for all subsequent discretionary entitlements within the Plan area. Each discretionary development application shall be reviewed on a project-by-project basis to determine consistency with the certified EIR. Subsequent administrative approvals are not subject to CEQA review, because they do not trigger the exercise of the City's discretionary powers (CEQA Guidelines 15060[c] [1]). Projects which are not fully consistent with the Specific Plan will require additional analysis for only those factors which create potential impacts. Additional analysis will be performed through the analysis methods described in Section 7.2.1.1.

7.2.1.1 Options for Further CEQA Review of Subsequent Discretionary Approvals

Supplemental or Subsequent EIR

Subsequent or Supplemental EIR review shall not be required for future discretionary development entitlements in the Plan area unless the City of Menifee makes a determination that substantial evidence exists supporting findings set forth in CEQA Guidelines Section 15162 or 15163. If the findings from those CEQA Guidelines 15162 or 15163 substantiate the City's inquiry, a determination will be made by the City of Menifee's Community Development Director as to the appropriate supplemental or subsequent environmental document.

EIR Addendum

CEQA Guidelines Section 15164(a) gives the City of Menifee the authority to prepare an Addendum to a previously certified EIR if minor changes or additions are necessary, but none of the conditions set forth in CEQA Guideline Section 15162, which call for the preparation of a subsequent EIR, have occurred.

Exemptions

For any residential project design conforming to the standards established within an adopted Specific Plan for which a certified EIR is in place, and where substantial evidence exists that none of the events explained within CEQA Guidelines Section 15162 have occurred, no EIR or Negative Declaration is required as per California Government Code Section 65457 and CEQA Guidelines Section 15182. The City of Menifee may wish to document the relevance of the residential Specific Plan exemption through a checklist, initial study, or an EIR Addendum.

In accordance with CEQA Guidelines Section 15097, a Mitigation and Monitoring Program (MMRP) shall be adopted for the Specific Plan area. Adoption of a MMRP ensures all mitigation measures identified in the EIR are properly implemented. The monitoring program provides an overview of the adopted mitigation requirements for impacts identified within the EIR, identifies the parties responsible for monitoring compliance of the mitigation measures, and identified the timing or phases in which the mitigation measure is

to be completed. All future development projects within the Specific Plan area shall comply with the MMRP implementation measure to achieve full compliance with the EIR, unless lawfully modified.

According to CEQA Guidelines 15091 and 15093, if the EIR identifies environmental impacts which cannot be mitigated to less than significant levels, or if there are significant impacts for which no feasible mitigation measure is available to make the impact less than significant, the City will prepare Findings and a Statement of Overriding Consideration. The written findings provide a brief explanation of the rationale for certification of an EIR which includes unavoidable significant impacts. The Statement of Overriding Considerations identifies the reasons the City has determined, that the economic, social, technological, or other benefits of the proposed project, outweigh the unavoidable adverse environmental effect.

7.3 Substantial Conformance and Specific Plan Amendment

Substantial Conformance

Changes in housing market trends and the economy may necessitate slight modifications to the Specific Plan area, thereby prompting minor modifications to the Specific Plan. California Government Code 65452 grants the City of Menifee the authority to make minor modifications to the Specific Plan to account for market force changes, either administratively through the Community Development Director's review or through the Planning Commission. The applicant may submit an application to the City of Menifee's Community Development Department, which may include maps, text, and or technical studies describing the nature and intent of minor modifications. Upon submittal, the Community Development Director will make a determination as to the applicability of the Substantial Conformance. The Community Development Director may delegate his/her administrative decision to the Planning Commission and conversely the applicant may apply to the Planning Commission for administrative decision. Modifications of the following items are deemed consistent with the General Plan and Specific Plan:

- **Site Development Plan** – Changes to the site development plan such as but not limited to plotting and elevation will be considered administrative level changes and may be reviewed under the minor modification process.
- **Setbacks** – For changes related to setbacks refer to Section 2.2.6 for a list of minimum front, side, and rear setbacks;
- **Architectural Styles** – Section 2.2.4 includes the guidelines for architectural design and community features;
- **Walls and Fencing** – Section 2.3.2 provides guidance for the design and styles of walls and fencing;
- **Landscaping** – Refer to Section 2.3 for all landscaping guidelines and a list of suitable plants for the Rockport Ranch Specific Plan area;

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- Final facility sizing and alignment for water, sewer, and storm drain improvements (with concurrence from the City Engineer);
- Removal of unnecessary utility infrastructure or design changes to utility infrastructure (with concurrence from the City Engineer);
- Final alignment, width, or grade of public or private streets within the Specific Plan area as long as the design changes are within general conformance with the Specific Plan and the exhibits herein;
- Changes in landscaping materials or location, wall materials or locations, entry design, fencing, signage, gates, lighting and streetscape design so long as the design changes are consistent with the conceptual landscape designs for the Specific Plan;
- Minor architectural changes in relation to design materials;
- Addition or relocation of accessory structures (i.e. detached garages, guest homes, sheds) as long as the relocation conforms to the approved development standards;
- Changes to design guidelines the Community Development Director determines to be of superior design aesthetic;
- Minor changes that modify or realign lot lines, pad levels, grading line adjustments, or changes to overall grading quantities within the Plan area (with concurrence from the City Engineer);
- Changes in the location or size of private parks or recreational areas (with concurrence from the Community Services and Community Development Director);
- As long as the change does not create a net increase of the Specific Plan's total peak hour ADT identified in the Rockport Ranch Specific Plan's EIR, any change that: (1) expands or contracts the geographic area of a planning area within the outer boundaries of the Specific Plan; (2) changes land uses, including density and intensity changes, height and setback changes, or substitution of uses (as long as the use and development standards are allowed within the respective planning area); (3) change in housing type (e.g. single family units to duplexes), so long as the housing type is allowed; (4) decreases the total number of units, so long as the density is within the acceptable range presented within the Specific Plan; or (5) changes the sequencing or thresholds for development phasing;
- Changes necessary to comply with final conditions of approval in City issued permits, regulations, and approvals issued by other agencies with jurisdiction over the project;
- Minor changes to planning area boundaries provided that the total acreage of the affected planning area does not increase or decrease by more than 10%;
- Revisions to the number of dwelling units within a planning area provided that the total number of units within the Specific Plan area as a whole does not exceed the maximum number of units allowed by the Specific Plan and the maximum density allowed in any given planning area is not exceeded;
- Changes initiated from amendments to permits from other agencies with jurisdiction over the project, which are deemed minor modifications under the other agencies' rules and regulations governing such approvals;

- Changes to the Phasing Plan should be considered minor provided the Community Development Director has determined the infrastructure and any mitigation or conditions associated with each proposed phase have been implemented and fulfilled.

Substantial Conformance is a necessary tool the City can use to help develop the Specific Plan area. The conceptual land use plan and general guidelines and regulations set forth in this Specific Plan require a modification process to allow minor design changes to conform to the intent of the Specific Plan. The land uses and development yield identified herein have been carefully analyzed in the EIR. The results of the EIR analysis and subsequent mitigation requirements are valid for minor modifications to the land uses and development yields which result in equal to or a reduction in vehicular trips generated during peak-hour travel times. Minor adjustments, including substitutions and density changes, therefore are allowable under this Specific Plan as Substantial Conformance, provided they do not result in an increase in trip generation for peak-hour travel times. Proposed development projects within the Specific Plan area, which exceed the trip generation thresholds identified in the EIR, may still be processed as Substantial Conformance, so long as no new mitigation measures are required to offset the increase in traffic impacts. Similarly, any change that does not create new significant unmitigated environmental impacts that would require a subsequent or supplemental Environmental Impact Report pursuant to Public Resources Code Section 21166, changes that do not violate any applicable public safety and health standards as applied to each line item herein, and any other minor modifications, similar to those listed above and deemed minor by the Community Development Director, which are in keeping with the intent of the Specific Plan would be considered as Substantial Conformance. A revision to the Plan will not be considered minor if the revision causes an impact for the adjacent property or property owner that is determined to surpass the level of significance as determined by City guidelines for each studied environmental subject as described in the Final EIR, and as determined by the Community Development Director.

Other Revisions

Should the Community Development Director for the City of Menifee determine a proposed revision does not meet the criteria from the above-listed minor modification guidelines, then a Revised Tentative Tract Map, Plot Plan, and/or a modification to the Site Plan, whichever is determined to be appropriate by the Community Development Director, can be processed without concurrently processing a formal amendment to the Specific Plan. The Community Development Director shall determine the applicable process by referencing the procedures stated herein with the Subdivision Ordinance or Zoning Ordinance.

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Formal Amendments

If no minor modification mechanism can be applied from the defined parameters listed previously in this chapter or as determined by the Community Development Director, a formal amendment to the Specific Plan shall be required. California Government Code, Section 65453 allows for discretionary Specific Plan Amendment procedures and regulations and allows for the amendment approval by the Planning Commission and City Council of the City of Menifee. The City of Menifee shall process all formal Specific Plan Amendments with additional environmental review unless the proposed changes do not warrant additional environmental review in accordance with the “**Options for Further CEQA Review of Subsequent Discretionary Approvals**” as described in Section 7.3.