

Appendix B

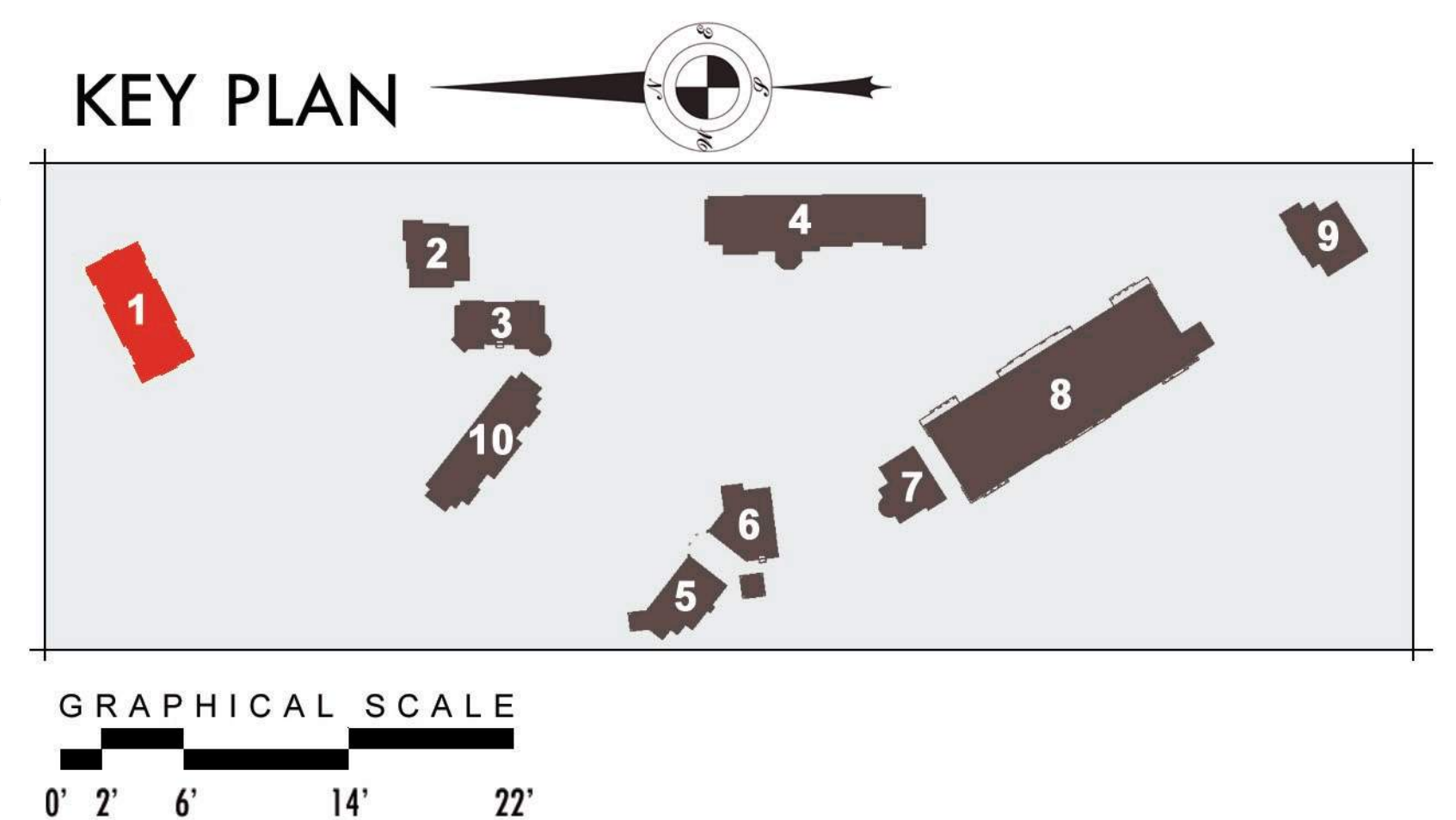
Architectural Renderings



EXTERIOR MATERIALS & FINISHES

P-1	DUNN EDWARDS #6049	"CHAPS"	(PAINT)
P-2	DUNN EDWARDS #5322	"PALE PEARL"	(PAINT)
P-3	DUNN EDWARDS #5359	"CROSSROADS"	(PAINT)
P-4	DUNN EDWARDS #5188	"RUDDY OAK"	(PAINT)
P-5	DUNN EDWARDS #6220	"POROUS STONE"	(PAINT)
P-6	DUNN EDWARDS #6350	"DARK ENGINE"	(PAINT)
P-7	SHERWIN WILLIAMS #7100	"ARCADE WHITE"	(PAINT)

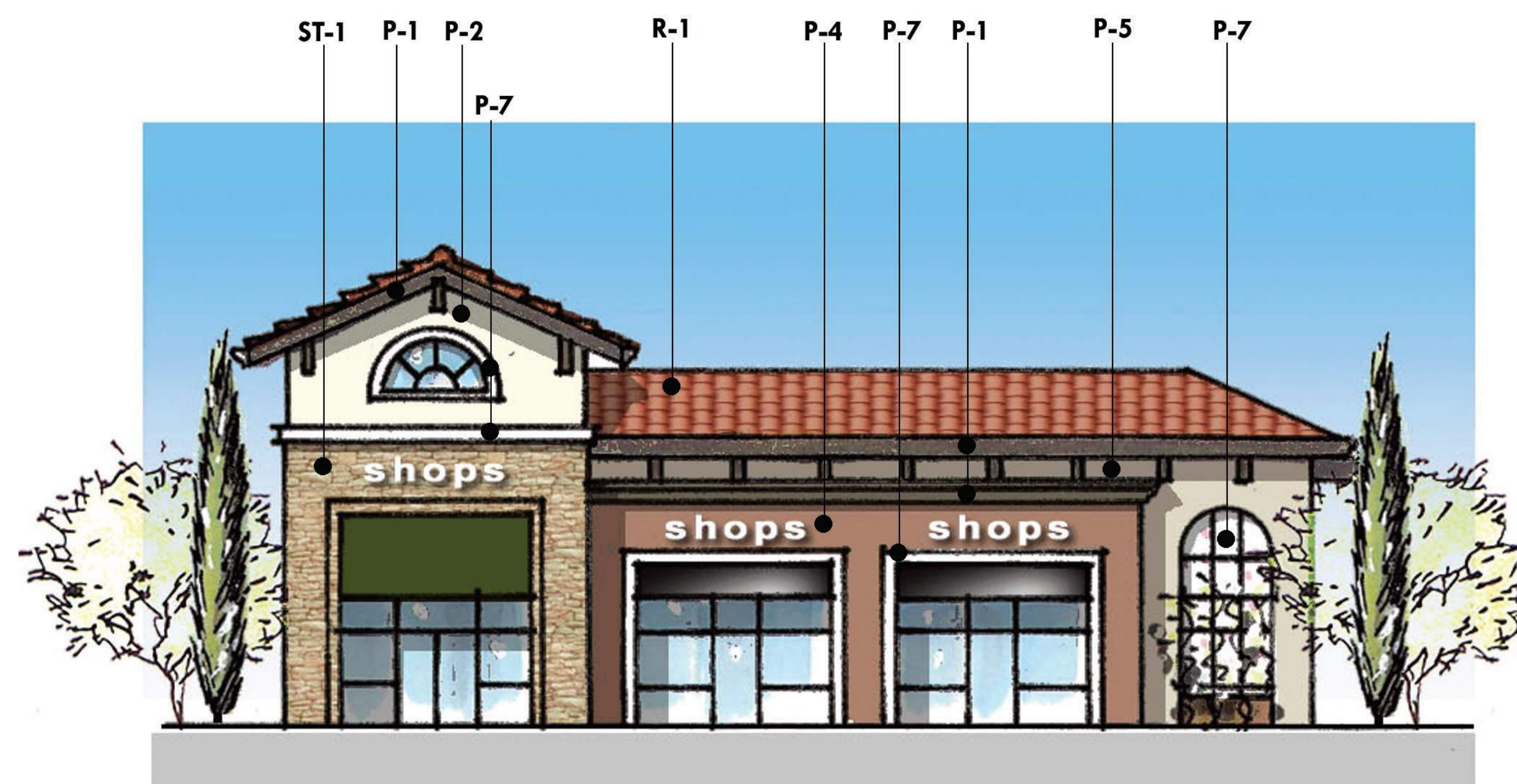
S-1	EL DORADO STONE - PONDEROSA CLIFFSTONE	(STONE MASONRY)
R-1	REDLAND CLAY TILE CO. - BAJA MISSION TILE	(ROOF TILE)
FA-1	SUNBRELLA COLOR #8631 "BURGANDY"	(FABRIC AWNING)
FA-2	SUNBRELLA COLOR #8637 "FOREST GREEN"	(FABRIC AWNING)
FA-3	SUNBRELLA COLOR #8608 "BLACK"	(FABRIC AWNING)
FA-4	SUNBRELLA COLOR #8621 "TRUE BROWN"	(FABRIC AWNING)



MONTANO DE EL DORADO

CONCEPTUAL ELEVATIONS

BUILDING-01



North Elevation



East Elevation



South Elevation

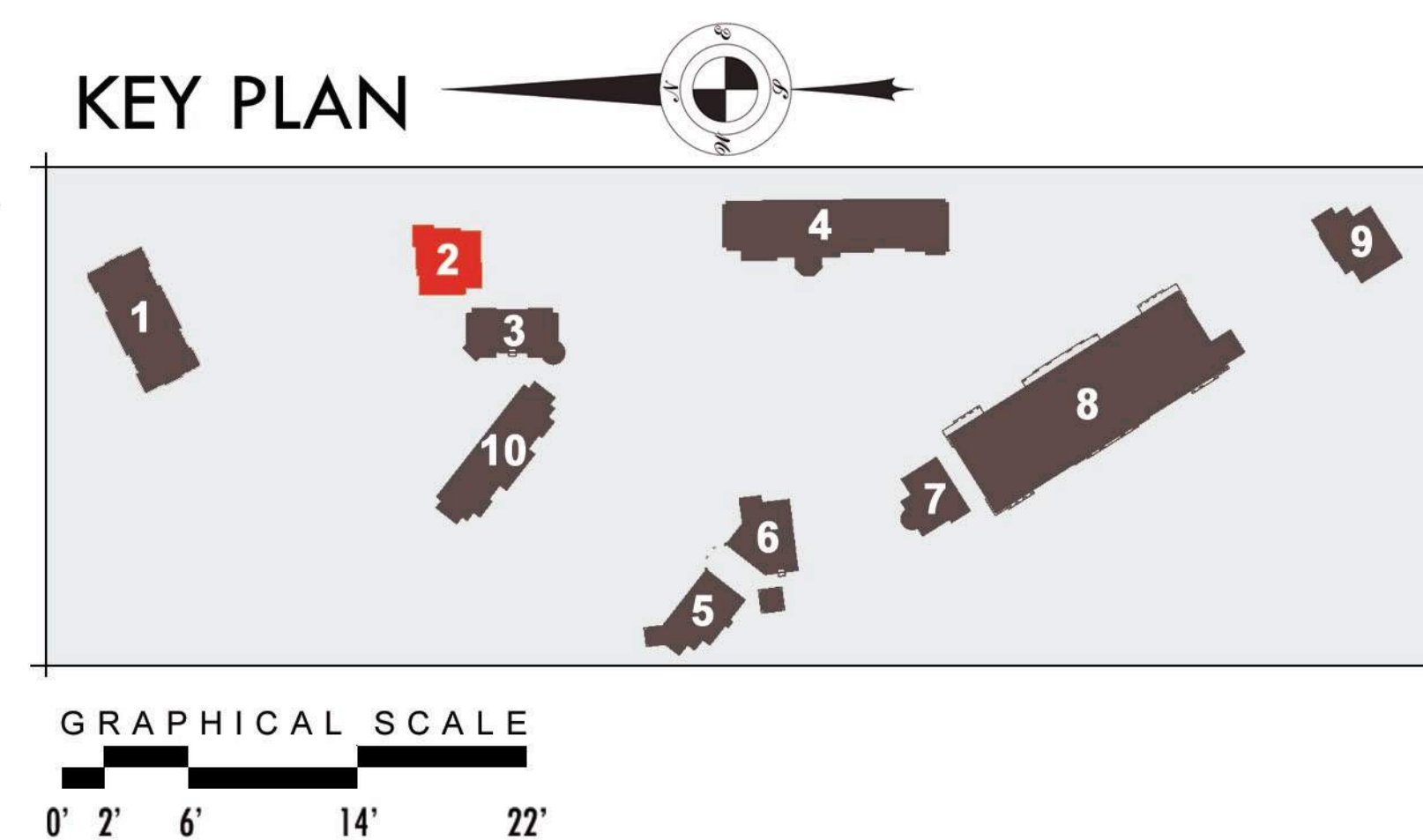


West Elevation

EXTERIOR MATERIALS & FINISHES

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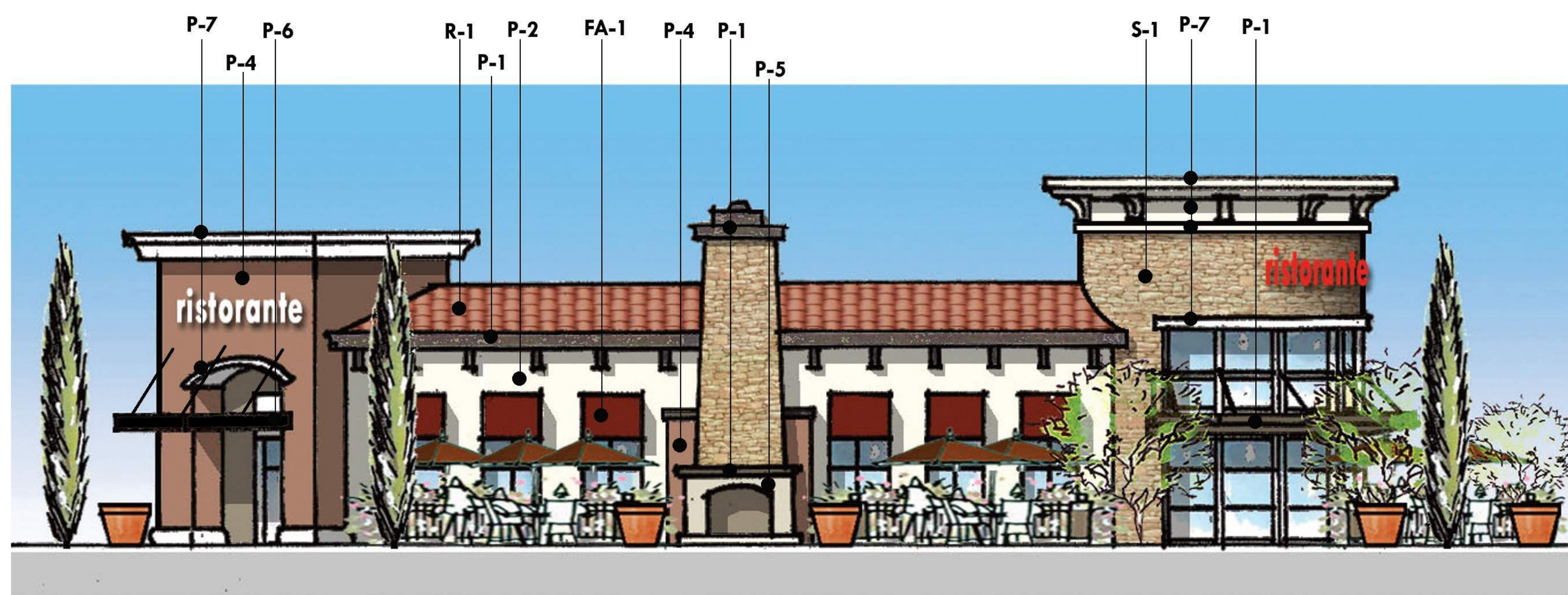


MONTANO DE EL DORADO

CONCEPTUAL ELEVATIONS

BUILDING-02

ARCHITECTURAL GROUP
Borges



West Elevation



South Elevation



East Elevation

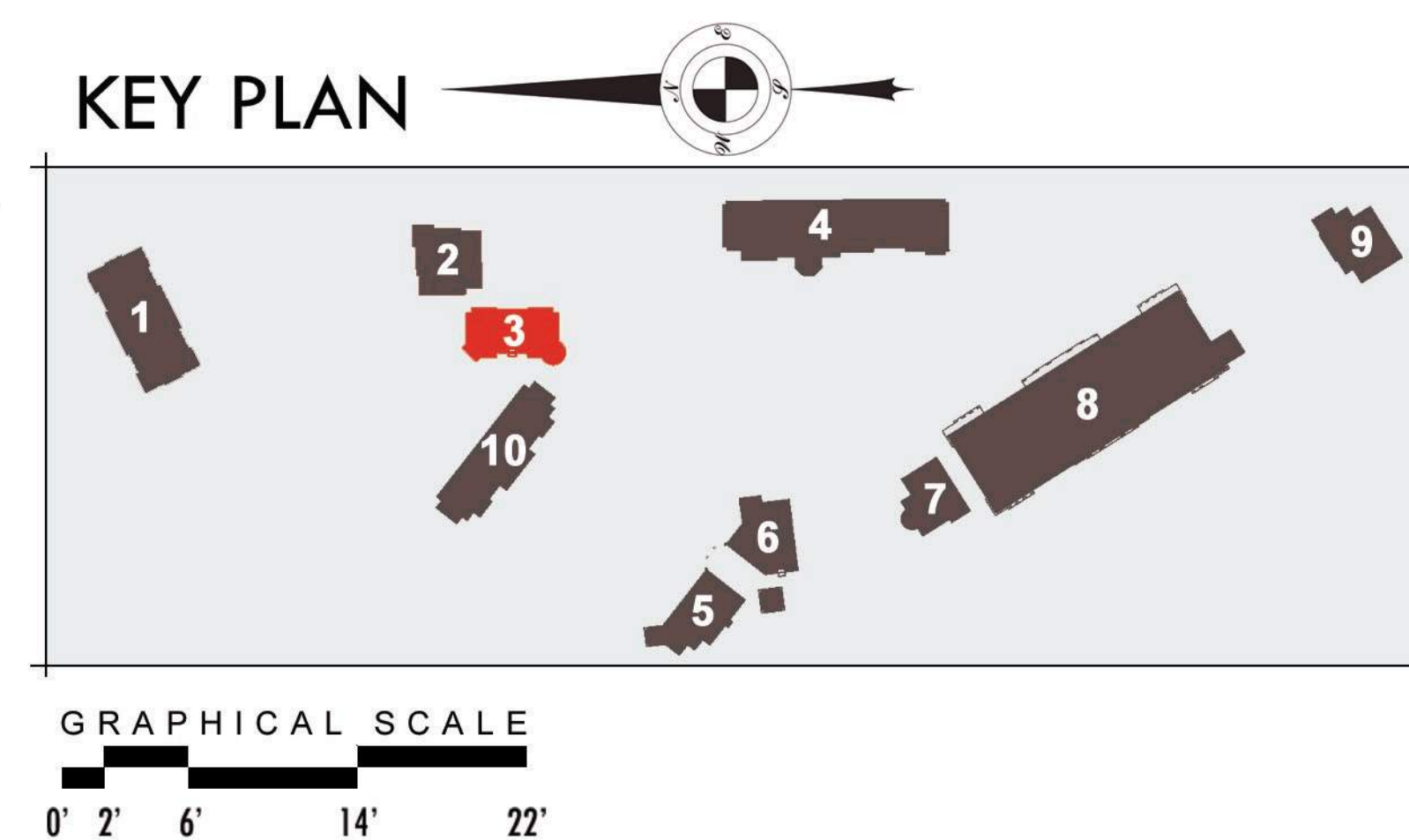


North Elevation

EXTERIOR MATERIALS & FINISHES

P-1	DUNN EDWARDS #6049	"CHAPS"	(PAINT)
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MONTANO DE EL DORADO

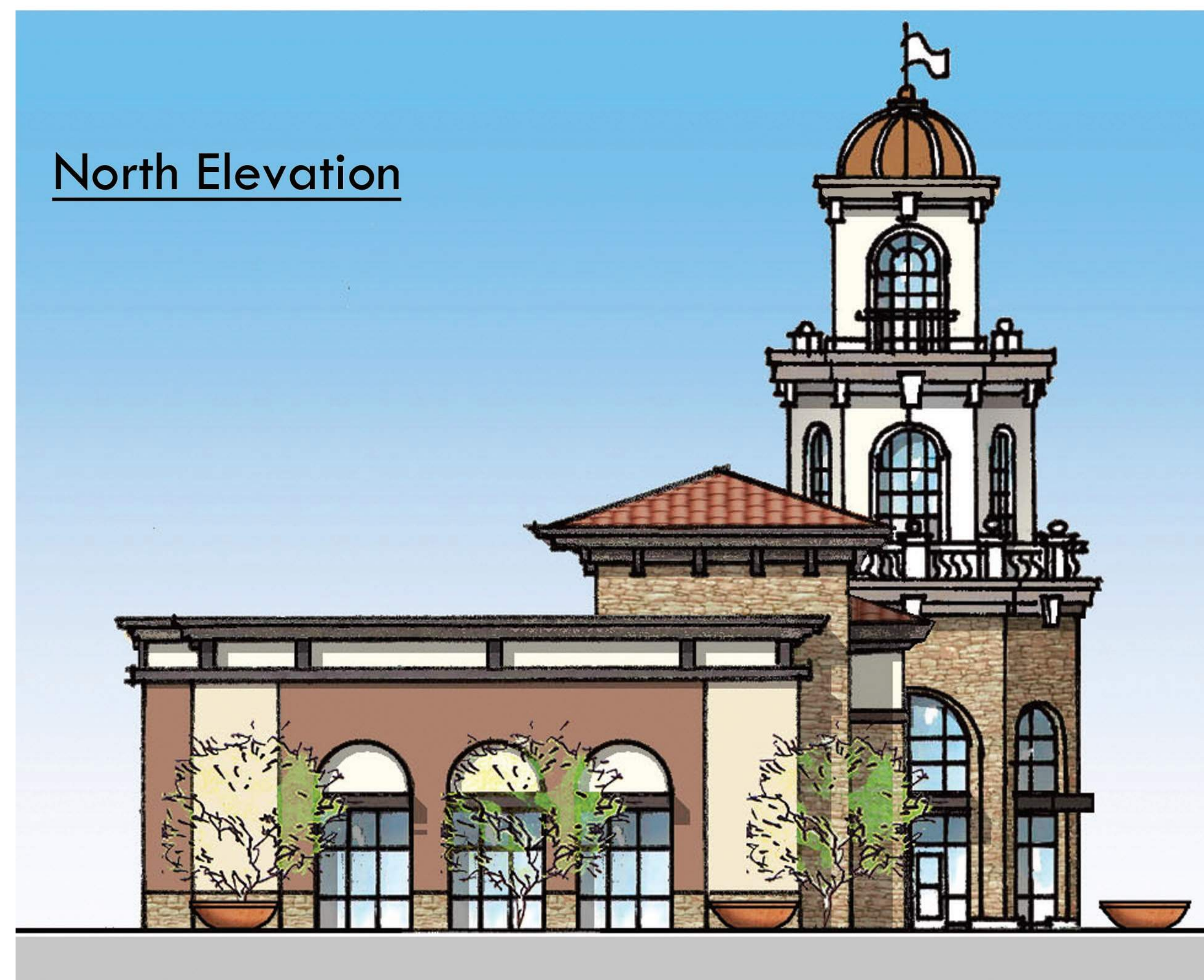
CONCEPTUAL ELEVATIONS

BUILDING-03

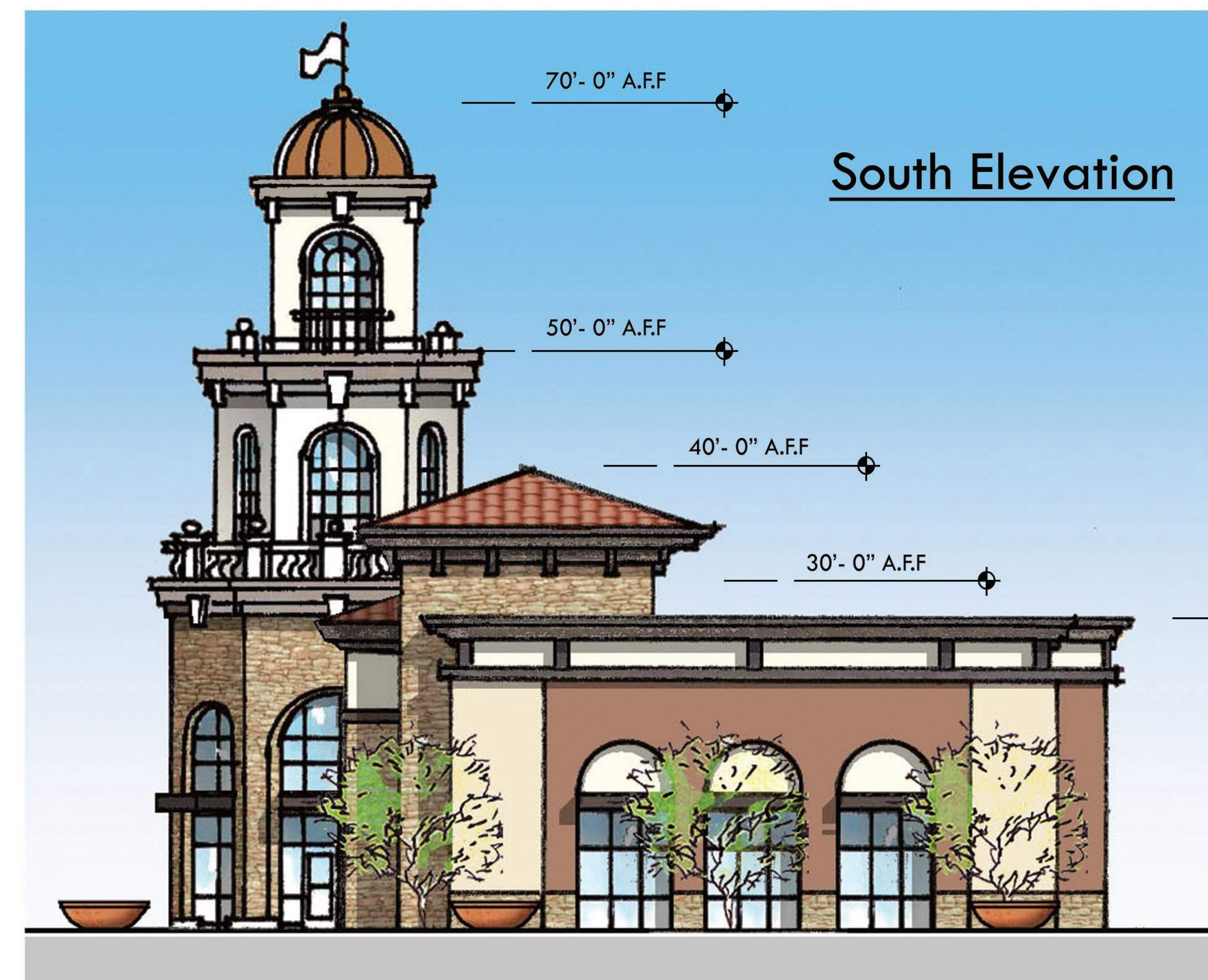
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West Elevation



North Elevation



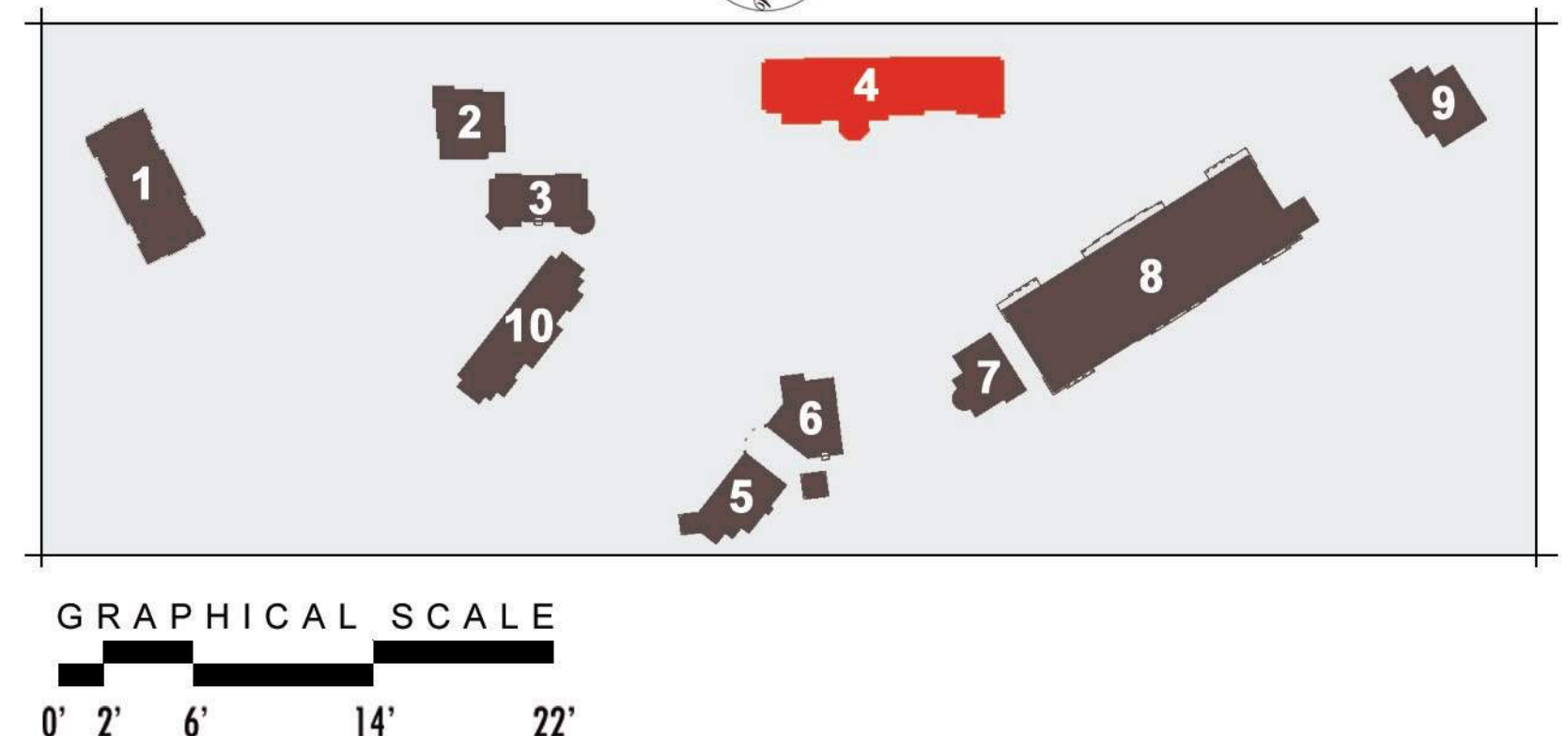
South Elevation

EXTERIOR MATERIALS & FINISHES

P-1	DUNN EDWARDS #6049	"CHAPS"	(PAINT)
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KEY PLAN



MONTANO DE EL DORADO

CONCEPTUAL ELEVATIONS

BUILDING-04 A

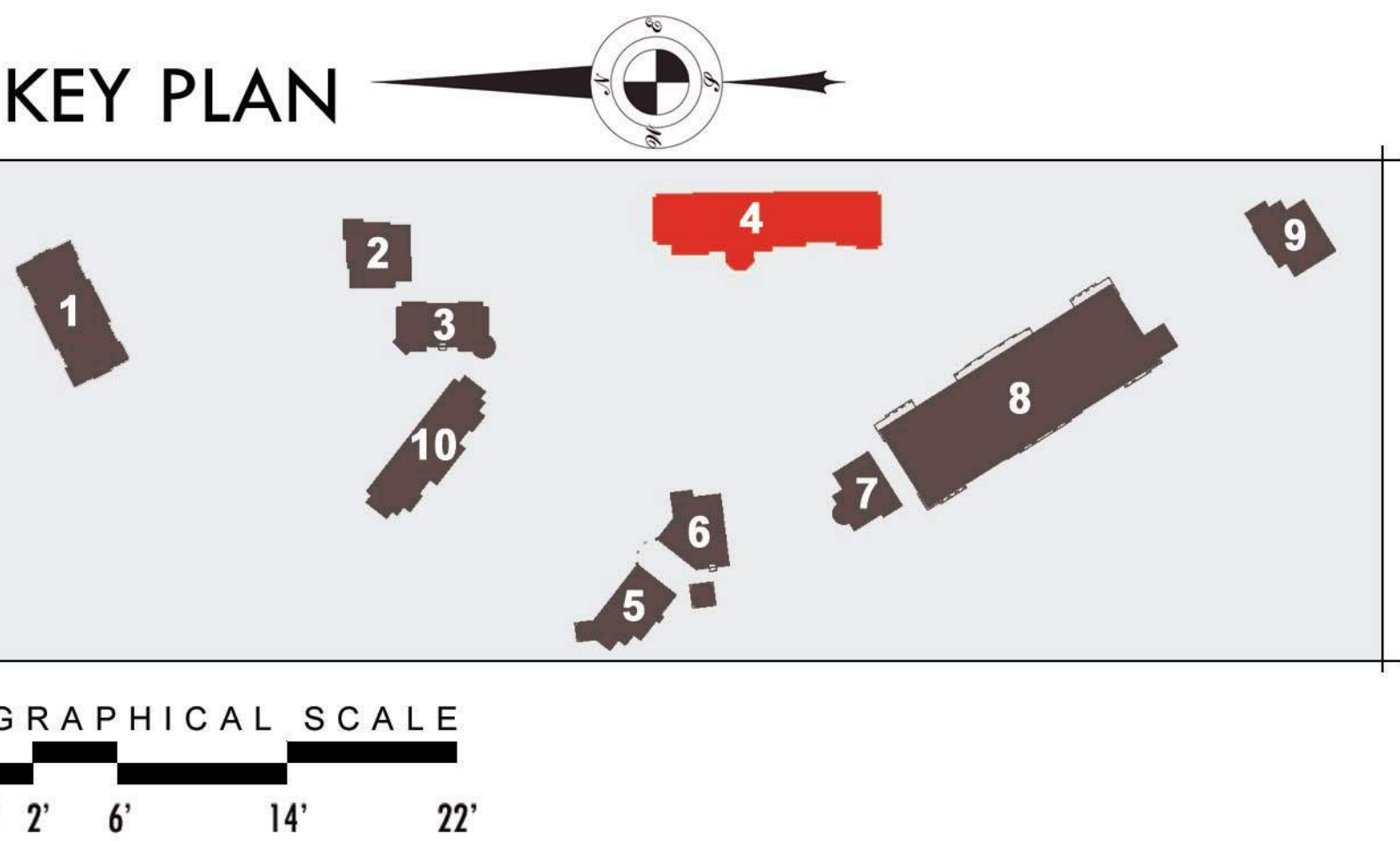
ARCHITECTURAL GROUP
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East Elevation (Rear)

EXTERIOR MATERIALS & FINISHES

P-1	DUNN EDWARDS #6049	"CHAPS"	(PAINT)	S-1	EL DORADO STONE - PONDEROSA CLIFFSTONE	(STONE MASONRY)
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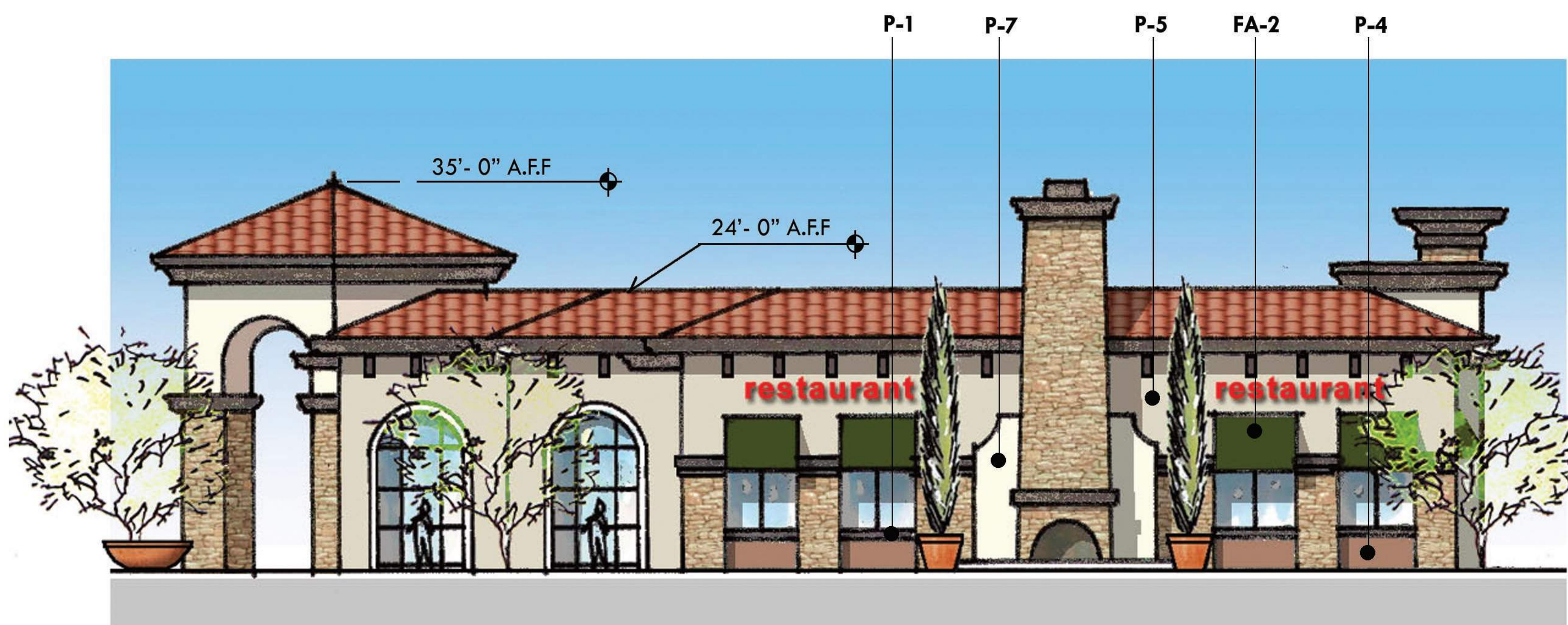




Northeast Elevation



North Elevation



Northwest Elevation

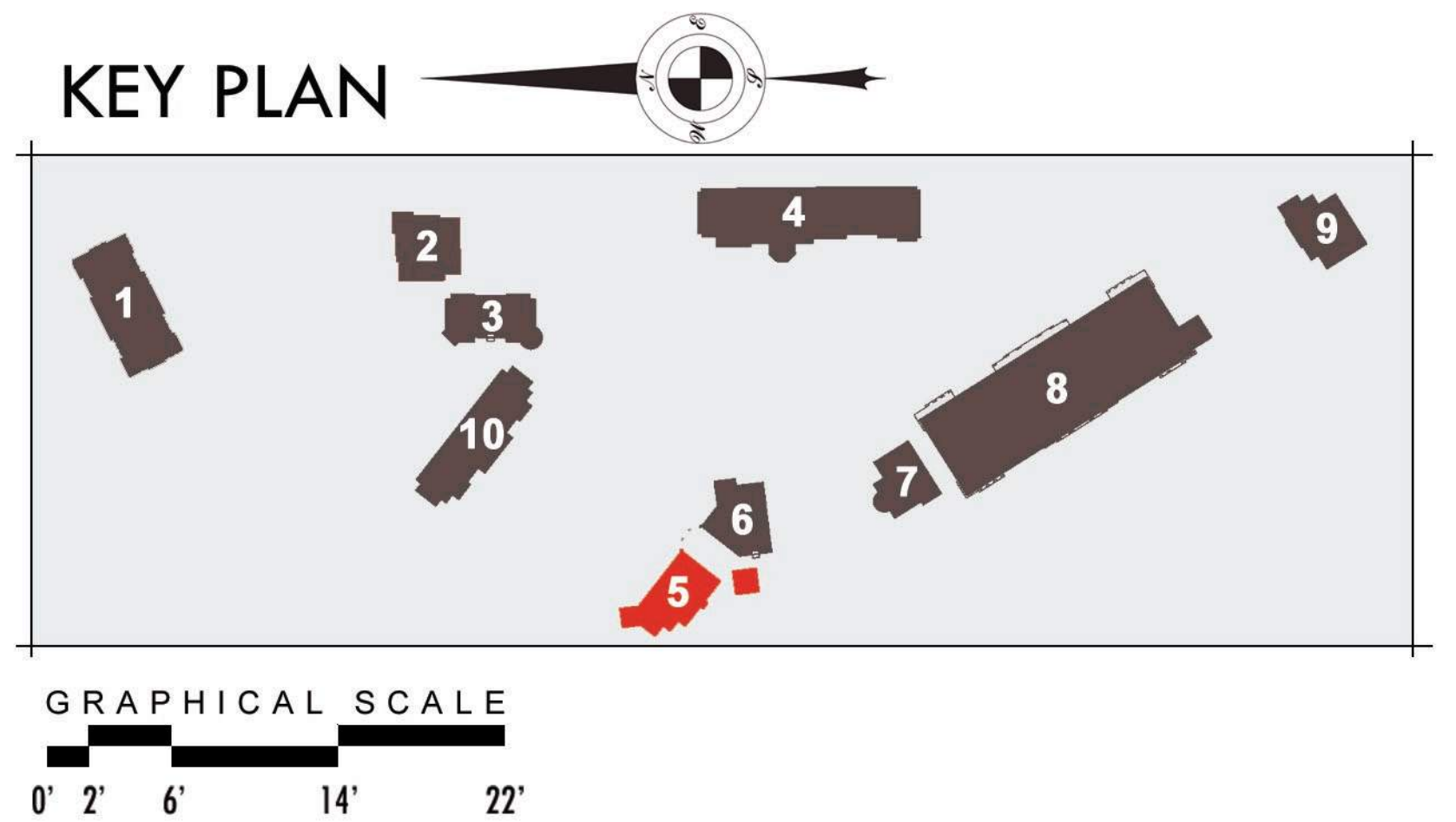


South Elevation

EXTERIOR MATERIALS & FINISHES

P-1	DUNN EDWARDS #6049	"CHAPS"	(PAINT)
P-2	DUNN EDWARDS #5322	"PALE PEARL"	(PAINT)
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MONTANO DE EL DORADO

CONCEPTUAL ELEVATIONS

BUILDING-05

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Elevation 01



Elevation 02



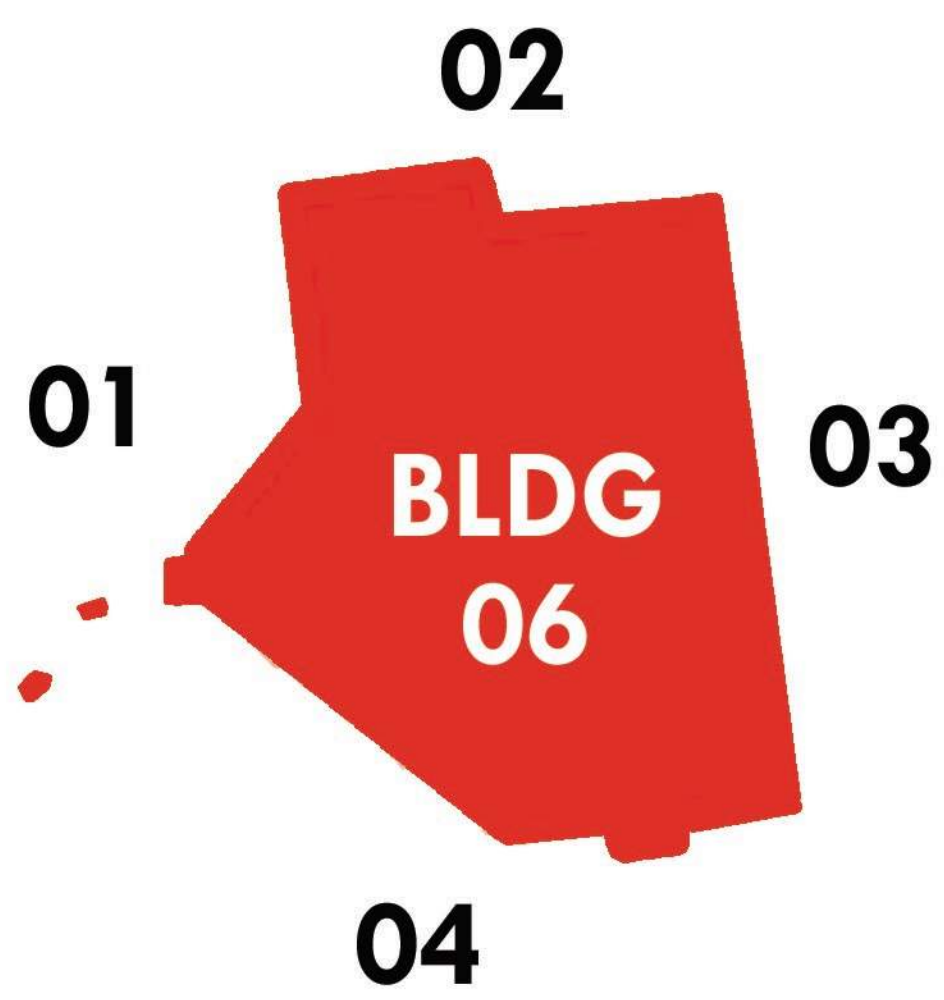
Tower Elevation



Elevation 04



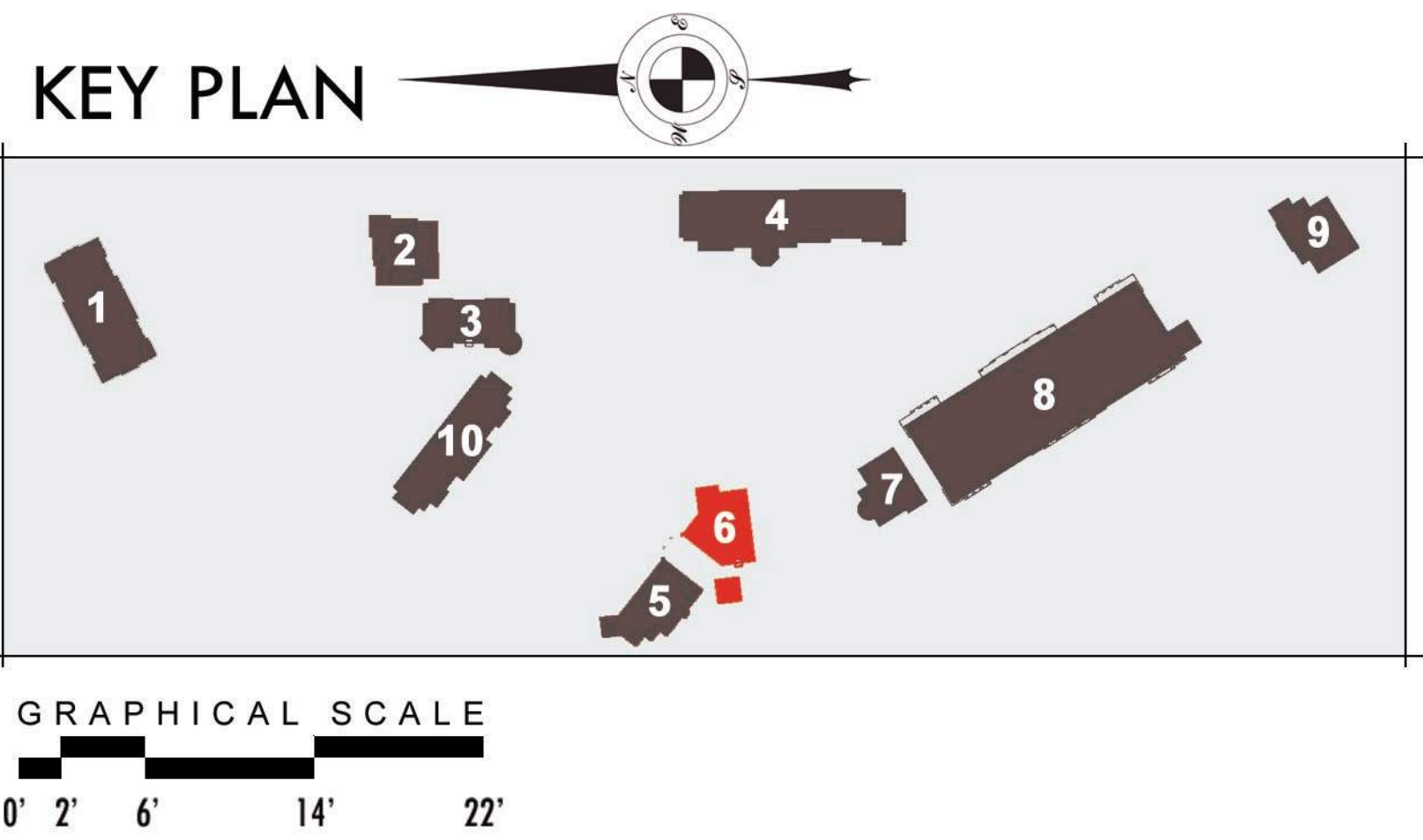
Elevation 03



EXTERIOR MATERIALS & FINISHES

P-1	DUNN EDWARDS #6049	"CHAPS"	(PAINT)
P-2	DUNN EDWARDS #5322	"PALE PEARL"	(PAINT)
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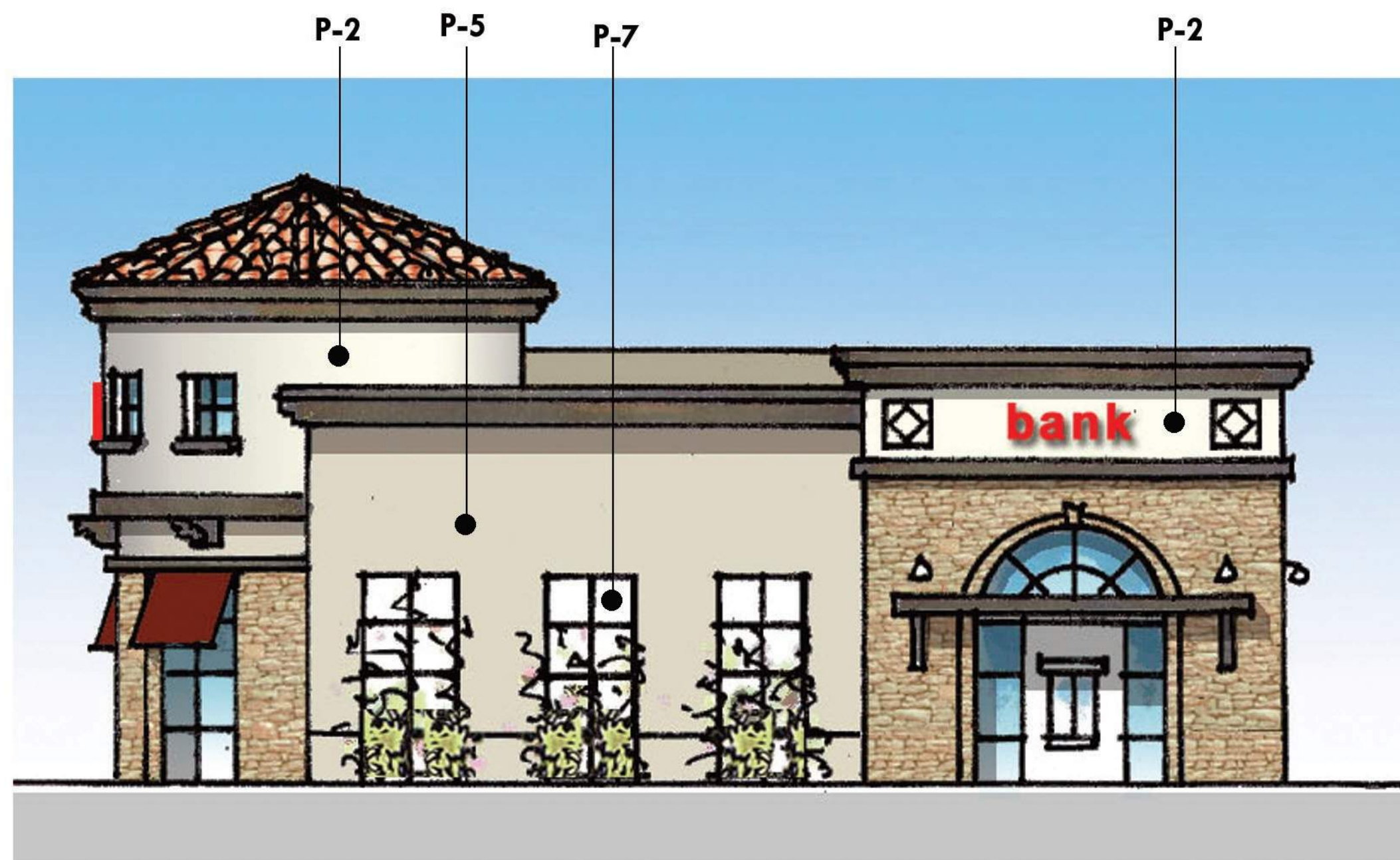


MONTANO DE EL DORADO

CONCEPTUAL ELEVATIONS

BUILDING-06

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West Elevation



South Elevation



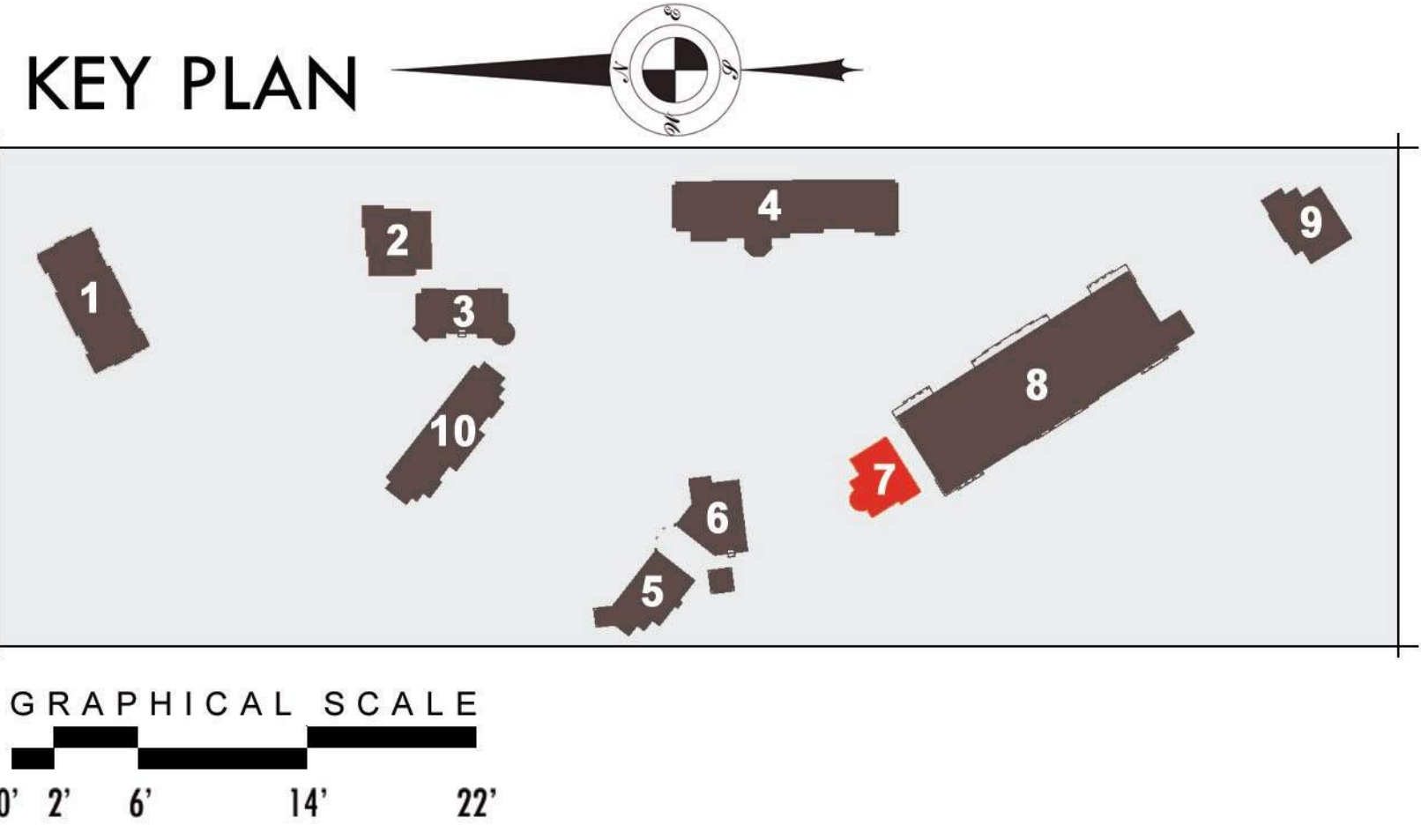
East Elevation



North Elevation

EXTERIOR MATERIALS & FINISHES

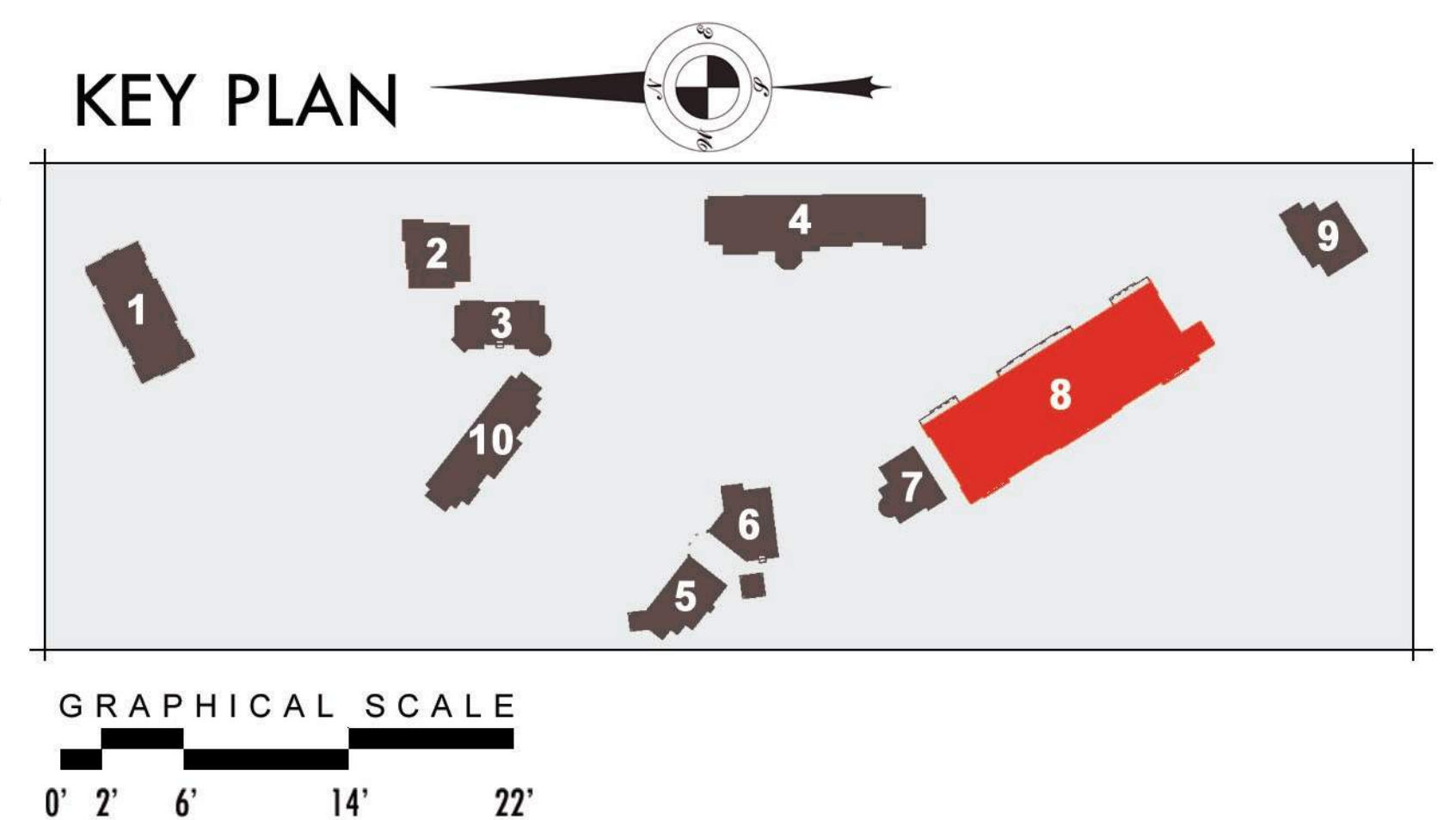
P-1	DUNN EDWARDS #6049	"CHAPS"	(PAINT)	S-1	EL DORADO STONE - PONDEROSA CLIFFSTONE	(STONE MASONRY)
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EXTERIOR MATERIALS & FINISHES

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West Elevation



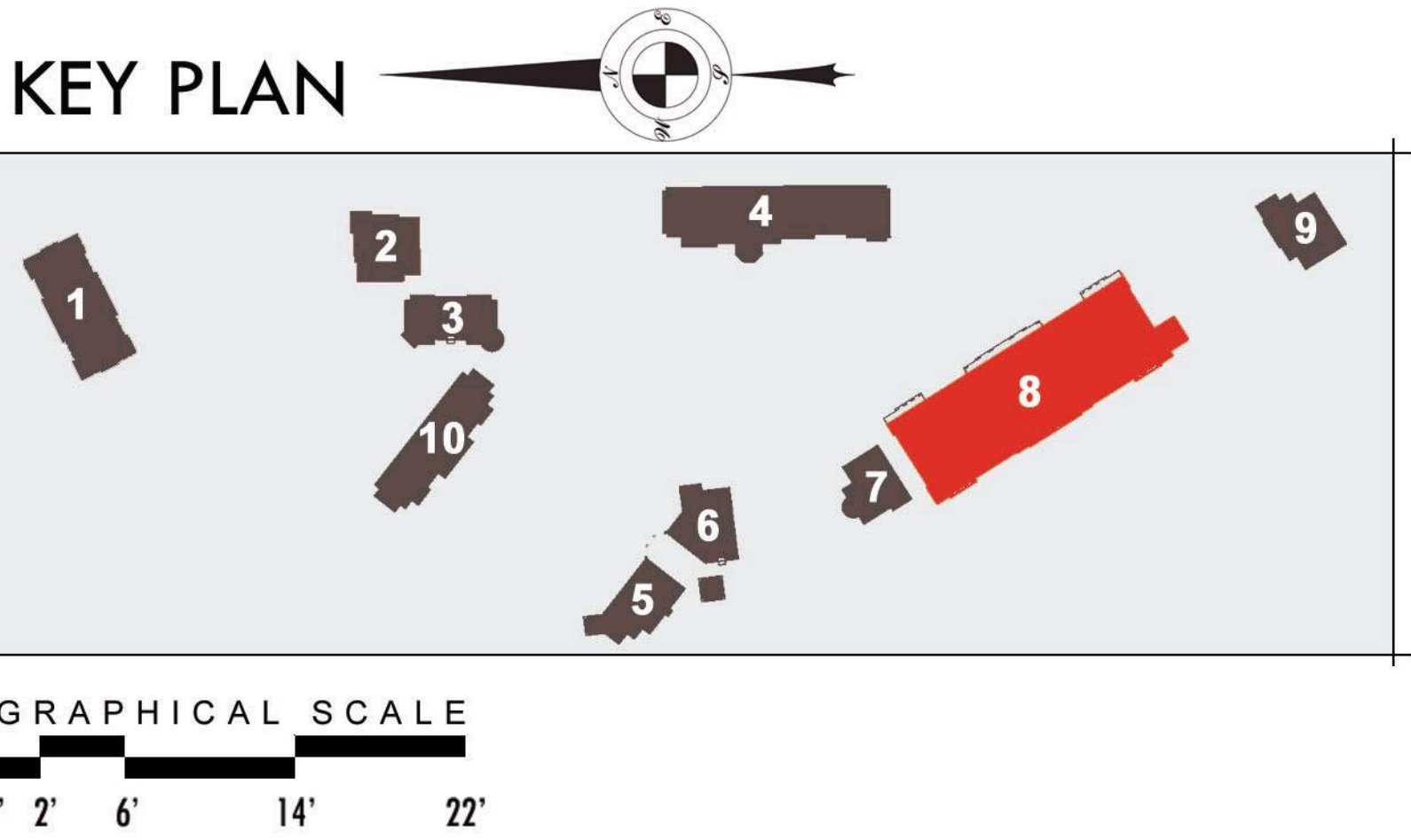
West Elevation (cont'd)



South Elevation

EXTERIOR MATERIALS & FINISHES

P-1	DUNN EDWARDS #6049	"CHAPS"	(PAINT)	S-1	EL DORADO STONE - PONDEROSA CLIFFSTONE	(STONE MASONRY)
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North Elevation



West Elevation



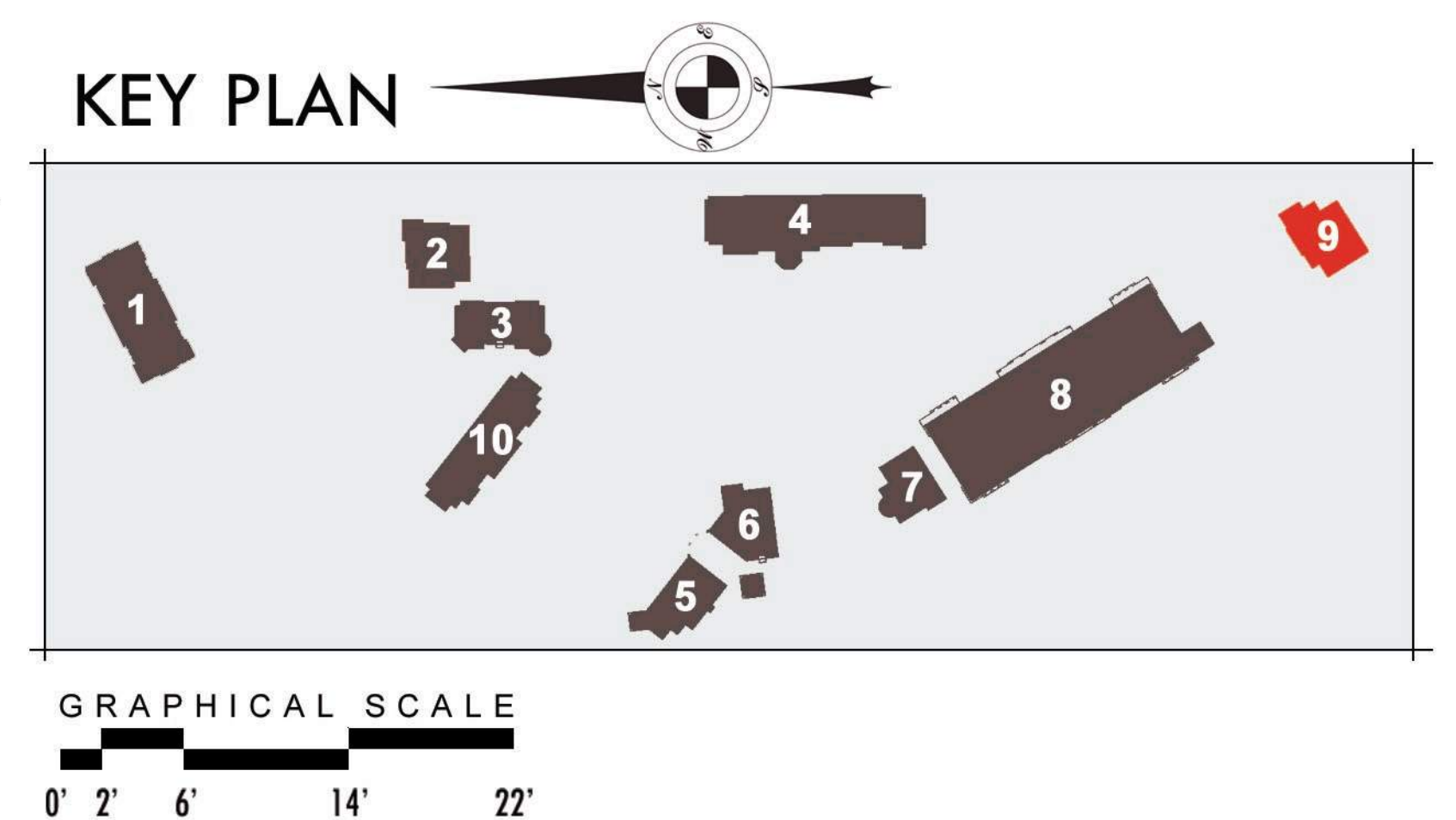
South Elevation



East Elevation

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MONTANO DE EL DORADO

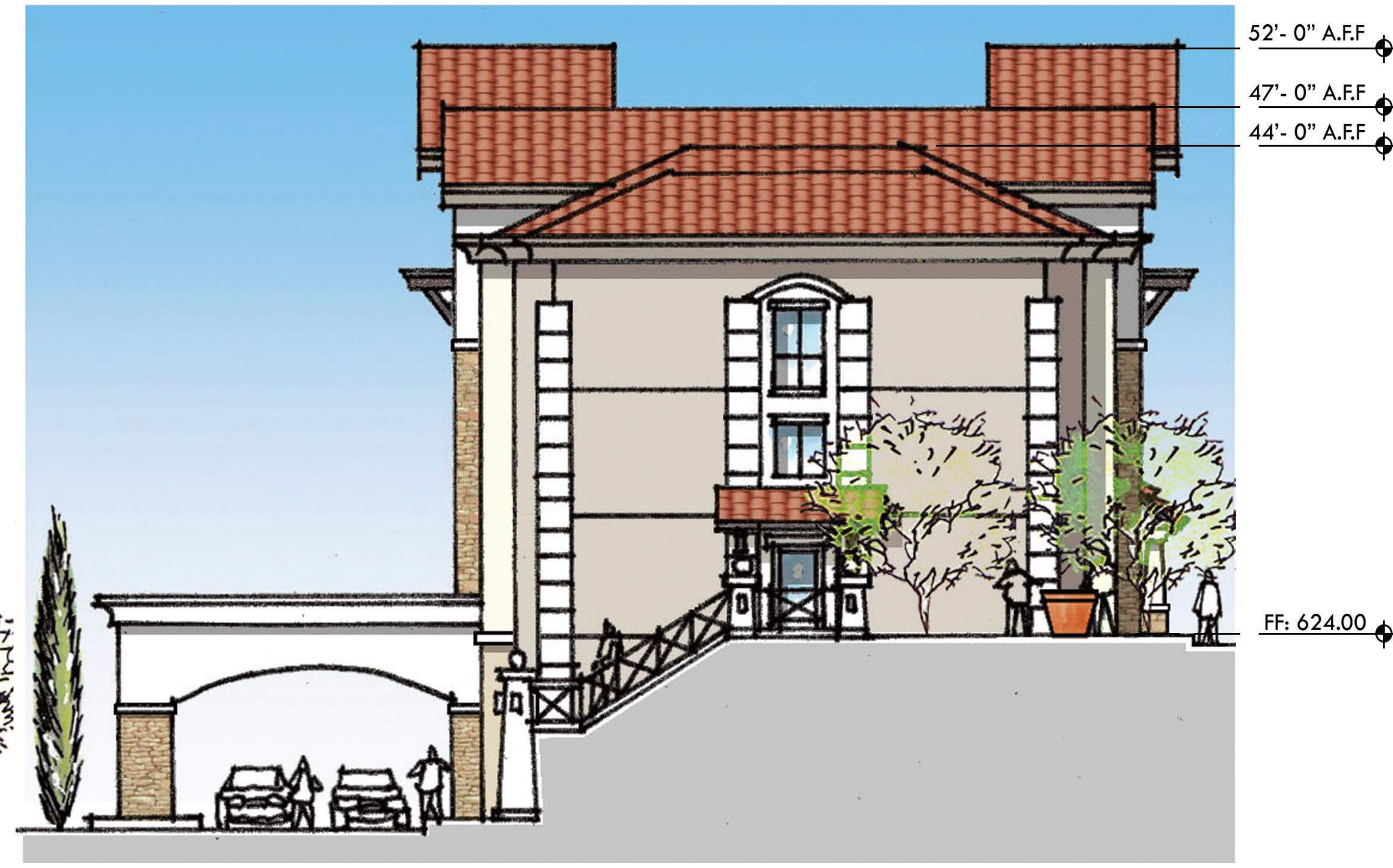
CONCEPTUAL ELEVATIONS

BUILDING-09

ARCHITECTURAL GROUP
Borges



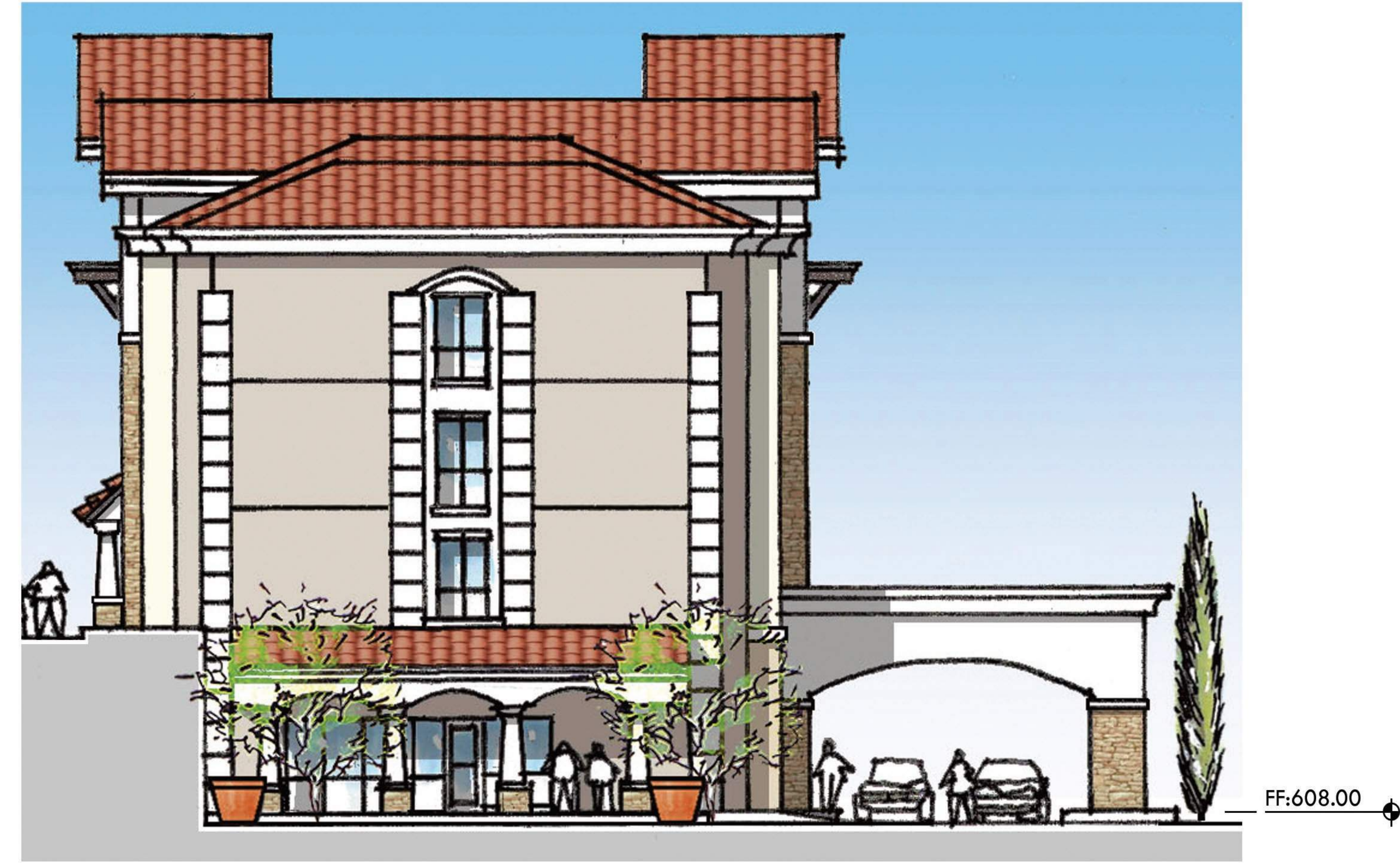
West Elevation



South Elevation



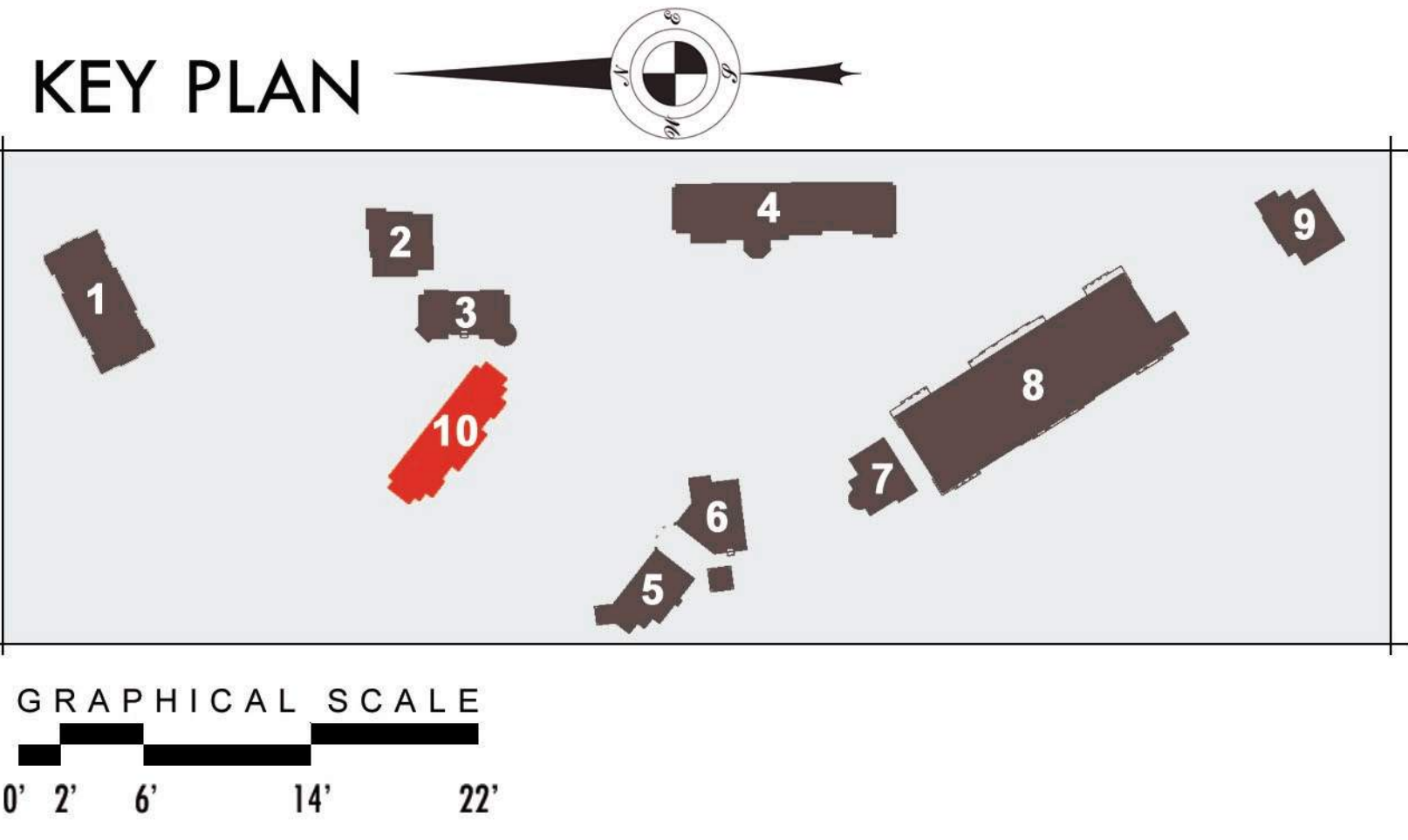
East Elevation



North Elevation

EXTERIOR MATERIALS & FINISHES

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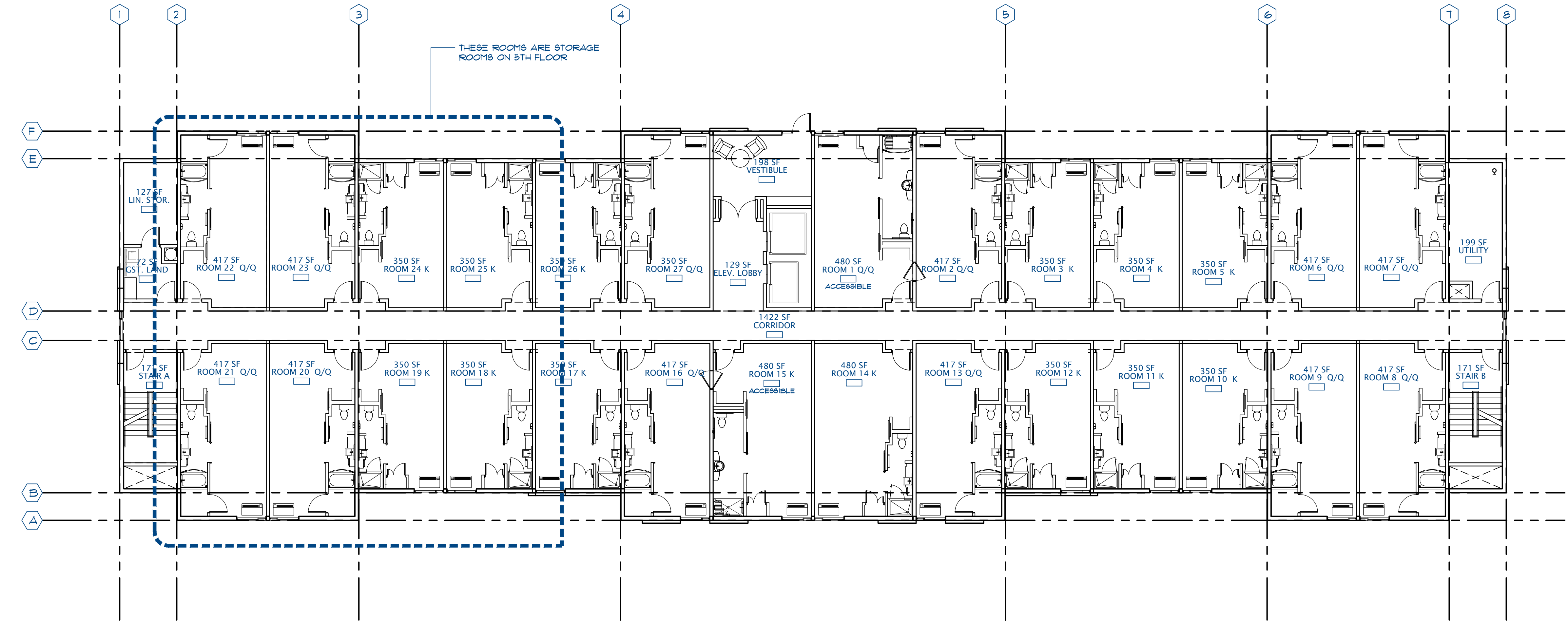


SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA

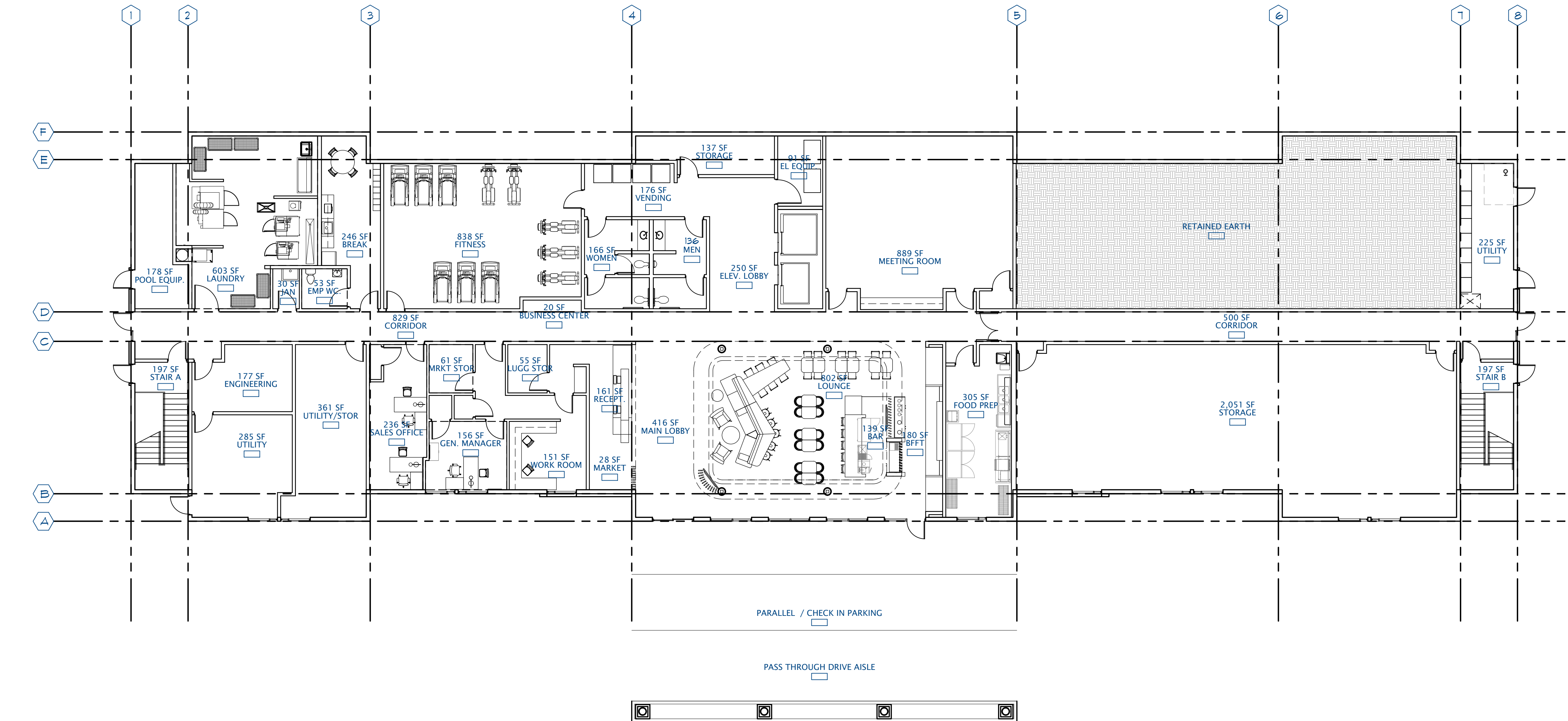
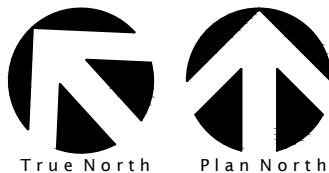
SHS-USA-CA-EL DORADO HILLS
100 KEY / 5 STORY MODIFIED PROTOTYPE



NOTE: THIS RENDERING IS CONCEPTUAL IN NATURE AND MAY NOT ACCURATELY PORTRAY THE ACTUAL DESIGN. PLEASE REFER TO SCALED BUILDING ELEVATIONS FOR ACTUAL DIMENSIONS, MATERIAL SELECTION, ETC.



2 UPPER FLOOR PLANS
SCALE: 3/32" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

AREA MATRIX

1. GUESTROOM MIX: PERCENTAGE OF GUESTROOMS AND SUITES MAY VARY BASED ON SPECIFIC MARKET CONDITIONS. Q/Q ROOMS MAY BE CONVERTED TO KING ROOMS TO INCREASE KING ROOM PERCENTAGES.
- SHOWERS: GUESTROOMS PROVIDED WITH SHOWERS VS TUBS CAN BE REFINED IN FUTURE SUBMISSIONS AS MARKET CONDITIONS ALLOW.
2. ACCESSIBLE GUESTROOMS AND SUITES: COMPLY WITH GOVERNING REGULATIONS FOR PERCENTAGE AND DISTRIBUTION OF GUESTROOMS FOR DISABLED PERSONS TO INCLUDE HEAR IMPAIRED GUESTROOMS. AND QUANTITY OF ACCESSIBLE GUESTROOMS WITH ROLL-IN SHOWER AND TUBS CONFIGURED FOR DISABLED PERSONS
- BASED ON A 100 ROOM COUNT PER CBC 11B-224.2 MAINTAIN THE FOLLOWING ACCESSIBLE GUESTROOM COUNTS:
- 4 ROOMS WITHOUT ROLL IN SHOWERS
1 ROOM WITH ROLL IN SHOWERS
5 TOTAL ACCESSIBLE GUEST ROOMS WITH MOBILITY FEATURES.
- BASED ON A 100 ROOM COUNT PER CBC 11B-224.4 MAINTAIN THE FOLLOW GUEST ROOM COUNTS:
- 9 GUEST ROOMS WITH COMMUNICATION FEATURES
3. CONNECTING DOORS: COMPLY WITH ALL GOVERNING REGULATIONS. PROVIDE CONNECTING DOORS IN ACCESSIBLE GUESTROOMS TO ADJACENT NON-ACCESSIBLE GUESTROOM OR SUITE TYPES. SEE DESIGN STANDARDS FOR MARKET AND BRAND STANDARD CONNECTING DOOR CRITERIA.

	QUANTITY	PERCENTAGE	UNIT	TOTAL AREA NET SF
LOBBY AREAS				
ENTRANCE VESTIBULE	1			138
LOUNGE/DINING	1			802
RECEPTION	1			161
NETWORK ZONE				NA
CARTS				NA
PUBLIC RESTROOMS	2			302
CIRCULATION				1245
BUSINESS CENTER	1			20
				2,128

FOOD & BEVERAGE FRONT-OF-HOUSE				
BUFFET	1			180
BAR	1			139
				319
MEETING SPACES				
MEETING ROOM	1			889
				889
RECREATION FACILITIES				
FITNESS CENTER	1			838
POOL EQUIPMENT	1			118
POOL STORAGE				1016
RETAIL				
MARKET	1			28
				28

GUESTROOMS				
KING	48	48%	350	16,800
KING ACCESSIBLE	4		480	1,920
QUEEN/QUEEN	44	44%	411	18,248
QUEEN/QUEEN (4'-6" TUB)	44		411	
QUEEN/QUEEN (5'-0" TUB)	4			
QUEEN ACCESSIBLE	4		480	1,920
	100			38,968

GUESTROOM CORRIDORS & SUPPORT				
CORRIDOR	5			6,188
CORRIDOR/ELEV LOBBY	5			766
STAIRS	2			1,762
				8,716

GUESTROOM SUPPORT				
GUEST LAUNDRY	2			144
ICE MACHINE/VENDING	3			572
				716
TOTAL GUEST SPACES				53,400 SF

*QUEEN/QUEEN MAY BE CONVERTED TO KING

ADMINISTRATION				
SM OFFICE	1			156
LUGGAGE STORAGE	1			55
SALES OFFICE	1			236
WORK ROOM	1			151
MARKET STORAGE	1			61
	5			659

EMPLOYEE AREAS				
BREAK ROOM	1			246
EMPLOYEE RESTROOM	1			53
	2			217

ENGINEERING & MAINTENANCE OFFICE				
ENGINEERING OFFICE	1			171
JANITOR	1			30
	2			201

FOOD & BEVERAGE BACK-OF-HOUSE				
FOOD PREPARATION	1			305
	1			305

LAUNDRY				
LAUNDRY ROOM	1			451
	1			603
HOUSEKEEPING				
LINEN AND STORAGE	4			508
LINEN STORAGE	2			144
STORAGE	8			6,473
	14			7,125

ELEVATORS				
ELEVATOR	2			645
ELEV EQUIPMENT	1			91
	3			736

PROPERTY TECHNOLOGY				
ELEC / CATV	2			390
SERVER	1			199
	3			589

MECHANICAL, PLUMBING & ELECTRIC				
UTILITY	3			709
				709
TOTAL BOH SPACES	33			11,150

TOTAL NUMBER OF FLOORS	5
TOTAL NUMBER OF GUEST FLOORS	4
TOTAL NUMBER OF GUESTROOMS	100
GROSS BUILDING SQUARE FOOTAGE	110,490
NET BUILDING SQUARE FOOTAGE	164,649

ACOUSTIC REQUIREMENTS - CONSTRUCTION CRITERIA			
TYPE	PARTITION LOCATION	STC	IIC
1	FLOOR / CEILING ASSEMBLY	55	50+
2	GUESTROOM PARTY WALL (INCLUDING SHAFT / CHASE WALL BETWEEN GUEST BATHS)	55	
3	GUESTROOM ADJACENT TO PUBLIC AND MEETING SPACES, SERVICE AREAS, ELEVATORS, EQUIPMENT ROOMS, LAUNDRY AND SIMILAR SPACES	55+	
4	CORRIDOR WALLS	50	
5	OTHER WALLS		

NOTE: FLOOR AND WALL ASSEMBLIES SUBJECT TO CHANGE WITH FURTHER ENGINEERING

DATE	ISSUED FOR	REV
12-31-18	OWNER REVIEW	
7-01-19	KEY COUNT CHANGE	

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Project

SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

Consultants

Seal

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NORR

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(916) 930-0210
www.norr.com

Project Manager D. ALBRIGHT	Drawn
Project Leader J.CHAPIN	Checked J.CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
ROOM MATRIX PLAN

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No.
JCSR18-0223-00

Drawing No.
A2.00

ARCH E1 - 30"x42" - 762mm x 1067mm (rounded)

DECOR PACKAGE

PALETTES

ACOUSTIC REQUIREMENTS - CONSTRUCTION CRITERIA			
TYPE	PARTITION LOCATION	STC	IIC
1	FLOOR / CEILING ASSEMBLY	55	50*
2	GUESTROOM PARTY WALL (INCLUDING SHAFT / CHASE WALL BETWEEN GUEST BATHS)	55	
3	GUESTROOM ADJACENT TO PUBLIC AND MEETING SPACES, SERVICE AREAS, ELEVATORS, EQUIPMENT ROOMS, LAUNDRY AND SIMILAR SPACES	55+	
4	CORRIDOR WALLS	50	
5	OTHER WALLS		

NOTE: FLOOR AND WALL ASSEMBLIES SUBJECT TO CHANGE WITH FURTHER ENGINEERING

KEYNOTES

1. EXTERIOR DOOR WITH KEY CARD.
2. EGRESS DOOR ON MAGNETIC HOLD OPEN TIED TO FIRE ALARM/SUPPRESSION SYSTEM
3. SHAFT
4. PORTE-COCHERE.
5. RATED LINEN CHUTE WITH SELF CLOSING INTAKE HATCH.
6. AUTOMATIC SLIDING ENTRY DOOR
7. CASEWORK
8. FIRE RISER
9. AREA OF RETAINED EARTH DUE TO SITE GRADING.
10. EXTERIOR DOOR REQUIRED BY CALIFORNIA BUILDING CODE. EGRESS ONLY. BLANK HARDWARE ON EXTERIOR.

GENERAL NOTES

1. OBTAIN BUILDING OWNERS (AND TENANTS' UPON REQUEST) APPROVAL OF WALL CHALK LINES PRIOR TO INSTALLATION OF BASE TRACKS.
2. OBTAIN BUILDING OWNERS (AND TENANTS' UPON REQUEST) APPROVAL OF ELECTRICAL AND DATA OUTLET LOCATION, CHALK LINES PRIOR TO INSTALLATION. SEE ELECTRICAL DRAWINGS.
3. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
4. PROVIDE METAL STUDS TO MATCH SPECIFIED WALL GAGE AT ALL NEW DOOR JAMBS AND HEAD CONDITIONS.
5. STUD GAGE AND SIZE INDICATED ARE MINIMUM STANDARDS. CONTRACTOR TO SELECT STUD SIZE AND GAGE PER STRUCTURAL OR OTHER TRADE REQUIREMENTS. IN NO EVENT SHALL STUD SIZE, GAGE, AND SPACING FALL BELOW MINIMUM REQUIREMENTS UNLESS OTHERWISE INDICATED.
6. ALL WALLS TO BE FINISHED WITH 5/8" TYPE X GYP BOARD UNLESS OTHERWISE SPECIFIED.
7. ALL FLOORS SHALL BE LEVEL AND CLEAN PRIOR TO START OF WALL ERECTION. PATCH, REPAIR AND/OR REPLACE AS REQUIRED.
8. WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO HEAD ON BOTH SIDES OF THE WALL WHERE WALL IS EXPOSED FULL HEIGHT. AT WALLS WHERE CEILING OCCUR WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO A POINT 6" ABOVE T-BAR.
9. PROVIDE 5/8" WATER RESISTANT TYPE X GYP BOARD AT ALL UET LOCATION WALLS. AT LOCATIONS WHERE WALL FINISH IS SPECIFIED TO BE TILE USE 5/8" TYPE X GYP BOARD.
10. CONTRACTOR TO COORDINATE STUD SIZE AT PLUMBING WALLS TO ACCOMMODATE LATERAL RUNS.
11. PROVIDE ALL REQUIRED FIRE SPREAD PREVENTION METHODS INCLUDING BUT NOT LIMITED TO FIRE CAULKING, FIRE SAFING, FIRE TAPING, FIRE DAMPERS, ETC. AT ALL PENETRATIONS OF RATED CONDITIONS SO AS TO MAINTAIN RATED CONSTRUCTION.
12. ENTRY AND EXIT DOORS ON THE EXTERIOR OF THE BUILDING, AND INTERIOR DOORS INCLUDED WITH THIS SCOPE OF WORK, SHALL CONFORM TO TITLE 24 REQUIREMENTS.
 - HARDWARE: MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. MAXIMUM EFFORT TO OPERATE FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
 - EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - CONSTRUCTION: THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
25. ALL SELF CLOSING DOORS WITH A LATCH SHALL HAVE REQUIRED DOOR CLEARANCES: PROVIDE MIN 12" STRIKE SIDE CLEARANCE ON PUSH SIDE OF DOORS, PROVIDE MIN 18" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF DOORS, PROVIDE MIN 24" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF EXTERIOR DOORS, PROVIDE MIN 48" DEEP CLEAR SPACE IN FRONT OF THE DOOR ON THE PUSH SIDE AND 60" DEEP CLEAR SPACE IN FRONT THE DOOR ON THE PULL SIDE.

GENERAL NOTES (CONTINUED)

26. CONFIRM ROOM NUMBERING CONVENTIONS WITH TENANT PRIOR TO ORDERING, MANUFACTURING AND/OR INSTALLING IDENTIFICATION SIGNAGE. ROOM NUMBERS IDENTIFIED ON PLAN ARE FOR CONSTRUCTION COORDINATION ONLY.
27. INTERIOR FINISHES SHALL CONFORM TO THE SPRINGHILL SUITES BY MARRIOTT GEN 4.5 DESIGN GUIDELINES DRAWINGS UNLESS OTHERWISE NOTED.
28. ROOM CAPACITY SIGNAGE SHALL BE PROVIDED AND POSTED IN ROOMS OR SPACES THAT SERVE AS ASSEMBLY AREAS. LOCATION OF SIGNAGE TO BE LOCATED NEAR OF ABOVE THE EXIT. FINAL LOCATIONS TO BE APPROVED BY THE LOCAL FIRE DEPARTMENT HAVING JURISDICTION.
29. CONTRACTOR SHALL COORDINATE THE SIZE, LOCATION, AND CAPACITY OF WALL MOUNTED EQUIPMENT AND FURNISHINGS SUCH AS TVs, DRESSERS, HEADBOARDS, SHELVEING, GRAB BARS, ETC WITH TENANT. COORDINATE THE LOCATION OF ELECTRICAL AND DATA OUTLETS WITH BACKING AS REQUIRED FOR FULLY SUPPORTED AND OPERATIONAL EQUIPMENT. WALL MOUNTED EQUIPMENT PROJECTING MORE THAN 4" ABOVE THE FINISH FLOOR SHALL BE MOUNTED IN A MANNER TO ALLOW MIN 80" CLEAR HEADROOM UNDERNEATH THE BOTTOM EDGE.
30. PROVIDE EGRESS MAPS ON THE INTERIOR SIDE OF THE DOOR ON ALL GUEST ROOMS.
31. WALL TYPES SHALL CONFORM TO THE MINIMUM STC RATING NOTED. REFER TO THE ROOM MATRIX SHEET.

DATE	ISSUED FOR	REV
12-31-18	OWNER REVIEW	
7-01-19	KEY COUNT CHANGE	

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Project

SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

Consultants

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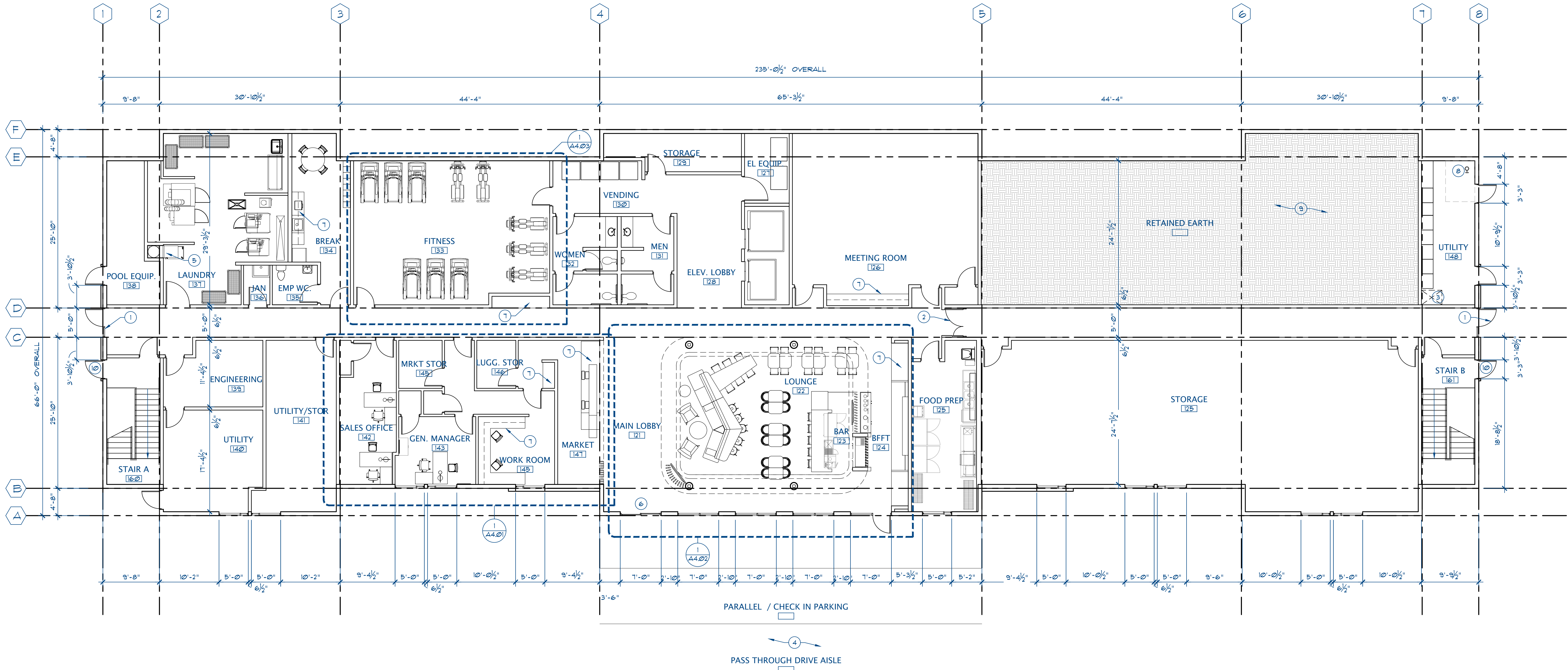
Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
FIRST FLOOR PLAN

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No.
JCSR18-0223-00

Drawing No.
A2.01



PARALLEL / CHECK IN PARKING

PASS THROUGH DRIVE AISLE



1

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

ARCH E1 - 30"x42" - 762mm x 1067mm (rounded)

DECOR PACKAGE

PALETTES

ACOUSTIC REQUIREMENTS - CONSTRUCTION CRITERIA				
TYPE	PARTITION LOCATION	STC	IIC	BASIS OF DESIGN
1	FLOOR / CEILING ASSEMBLY	55	50*	GA FILE NO FC 1000 2 HOUR RATED, 60-64 STC
2	GUESTROOM PARTY WALL (INCLUDING SHAFT / CHASE WALL BETWEEN GUEST BATHS)	55		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
3	GUESTROOM ADJACENT TO PUBLIC AND MEETING SPACES, SERVICE AREAS, ELEVATORS, EQUIPMENT ROOMS, LAUNDRY AND SIMILAR SPACES	55+		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
4	CORRIDOR WALLS	50		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
5	OTHER WALLS			GA FILE NO UP 1083 1 HOUR RATED, 45-49 STC

NOTE: FLOOR AND WALL ASSEMBLIES SUBJECT TO CHANGE WITH FURTHER ENGINEERING

KEYNOTES

- EXTERIOR DOOR TO REAR PARKING LOT WITH KEY CARD.
- EGRESS DOOR ON MAGNETIC HOLD OPEN TIED TO FIRE ALARM/SUPPRESSION SYSTEM
- SHAFT
- TOP OF PORTE-COCHERE BELOW.
- ACCESSIBLE ROLL IN SHOWER
- ACCESSIBLE BATHTUB
- OPTIONAL INTERCONNECTING DOOR
- RATED LINEN CHUTE WITH SELF CLOSING INTAKE HATCH.
- GUEST LAUNDRY WASHER, DRYER, AND FOLD TABLE.

GENERAL NOTES

- OBTAIN BUILDING OWNERS (AND TENANT'S UPON REQUEST) APPROVAL OF WALL CHALK LINES PRIOR TO INSTALLATION OF BASE TRACKS.
- OBTAIN BUILDING OWNERS (AND TENANT'S UPON REQUEST) APPROVAL OF ELECTRICAL AND DATA OUTLET LOCATION, CHALK LINES PRIOR TO INSTALLATION. SEE ELECTRICAL DRAWINGS.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- PROVIDE METAL STUDS TO MATCH SPECIFIED WALL GAGE AT ALL NEW DOOR JAMBS AND HEAD CONDITIONS.
- STUD GAGE AND SIZE INDICATED ARE MINIMUM STANDARDS. CONTRACTOR TO SELECT STUD SIZE AND GAGE PER STRUCTURAL OR OTHER TRADE REQUIREMENTS. IN NO EVENT SHALL STUD SIZE, GAGE, AND SPACING FALL BELOW MINIMUM REQUIREMENTS UNLESS OTHERWISE INDICATED.
- ALL WALLS TO BE FINISHED WITH 5/8" TYPE X GYP BOARD UNLESS OTHERWISE SPECIFIED.
- ALL FLOORS SHALL BE LEVEL AND CLEAN PRIOR TO START OF WALL ERECTION. PATCH, REPAIR AND/OR REPLACE AS REQUIRED.
- WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO HEAD ON BOTH SIDES OF THE WALL WHERE WALL IS EXPOSED FULL HEIGHT. AT WALLS WHERE CEILING OCCUR WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO A POINT 6" ABOVE T-BAR.
- PROVIDE 5/8" WATER RESISTANT TYPE X GYP BOARD AT ALL UET LOCATION WALLS. AT LOCATIONS WHERE WALL FINISH IS SPECIFIED TO BE TILE USE 5/8" TYPE X CEMENT BACKER BOARD.
- CONTRACTOR TO COORDINATE STUD SIZE AT PLUMBING WALLS TO ACCOMMODATE LATERAL RUNS
- PROVIDE ALL REQUIRED FIRE SPREAD PREVENTION METHODS INCLUDING BUT NOT LIMITED TO FIRE CAULKING, FIRE SAFING, FIRE TAPING, FIRE DAMPERS, ETC. AT ALL PENETRATIONS OF RATED CONDITIONS SO AS TO MAINTAIN RATED CONSTRUCTION.
- ENTRY AND EXIT DOORS ON THE EXTERIOR OF THE BUILDING, AND INTERIOR DOORS INCLUDED WITH THIS SCOPE OF WORK, SHALL CONFORM TO TITLE 24 REQUIREMENTS.
 - HARDWARE: MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. MAXIMUM EFFORT TO OPERATE FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
 - EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - CONSTRUCTION: THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
 - SEE DOOR NOTES FOR ADDITIONAL INFORMATION.
- ALL SELF CLOSING DOORS WITH A LATCH SHALL HAVE REQUIRED DOOR CLEARANCES: PROVIDE MIN 12" STRIKE SIDE CLEARANCE ON PUSH SIDE OF DOORS, PROVIDE MIN 18" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF DOORS, PROVIDE MIN 24" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF EXTERIOR DOORS, PROVIDE MIN 48" DEEP CLEAR SPACE IN FRONT OF THE DOOR ON THE PUSH SIDE AND 60" DEEP CLEAR SPACE IN FRONT THE DOOR ON THE PULL SIDE.

GENERAL NOTES (CONTINUED)

- CONFIRM ROOM NUMBERING CONVENTIONS WITH TENANT PRIOR TO ORDERING, MANUFACTURING AND/OR INSTALLING IDENTIFICATION SIGNAGE. ROOM NUMBERS IDENTIFIED ON PLAN ARE FOR CONSTRUCTION COORDINATION ONLY.
- INTERIOR FINISHES SHALL CONFORM TO THE SPRINGHILL SUITES BY MARRIOTT GEN 4.5 DESIGN GUIDELINES DRAWINGS UNLESS OTHERWISE NOTED.
- ROOM CAPACITY SIGNAGE SHALL BE PROVIDED AND POSTED IN ROOMS OR SPACES THAT SERVE AS ASSEMBLY AREAS. LOCATION OF SIGNAGE TO BE LOCATED NEAR OF ABOVE THE EXIT. FINAL LOCATIONS TO BE APPROVED BY THE LOCAL FIRE DEPARTMENT HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE THE SIZE, LOCATION, AND CAPACITY OF WALL MOUNTED EQUIPMENT AND FURNISHINGS SUCH AS TV'S, DRESSERS, HEADBOARDS, SHELVING, GRAB BARS, ETC WITH TENANT. COORDINATE THE LOCATION OF ELECTRICAL AND DATA OUTLETS WITH BACKING AS REQUIRED FOR FULLY SUPPORTED AND OPERATIONAL EQUIPMENT. WALL MOUNTED EQUIPMENT PROJECTING MORE THAN 4" ABOVE THE FINISH FLOOR SHALL BE MOUNTED IN A MANNER TO ALLOW MIN 80" CLEAR HEADROOM UNDERNEATH THE BOTTOM EDGE.
- PROVIDE EGRESS MAPS ON THE INTERIOR SIDE OF THE DOOR ON ALL GUEST ROOMS.
- WALL TYPES SHALL CONFORM TO THE MINIMUM STC RATING NOTED.

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12-31-18	OWNER REVIEW	
7-01-19	KEY COUNT CHANGE	

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Project

SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

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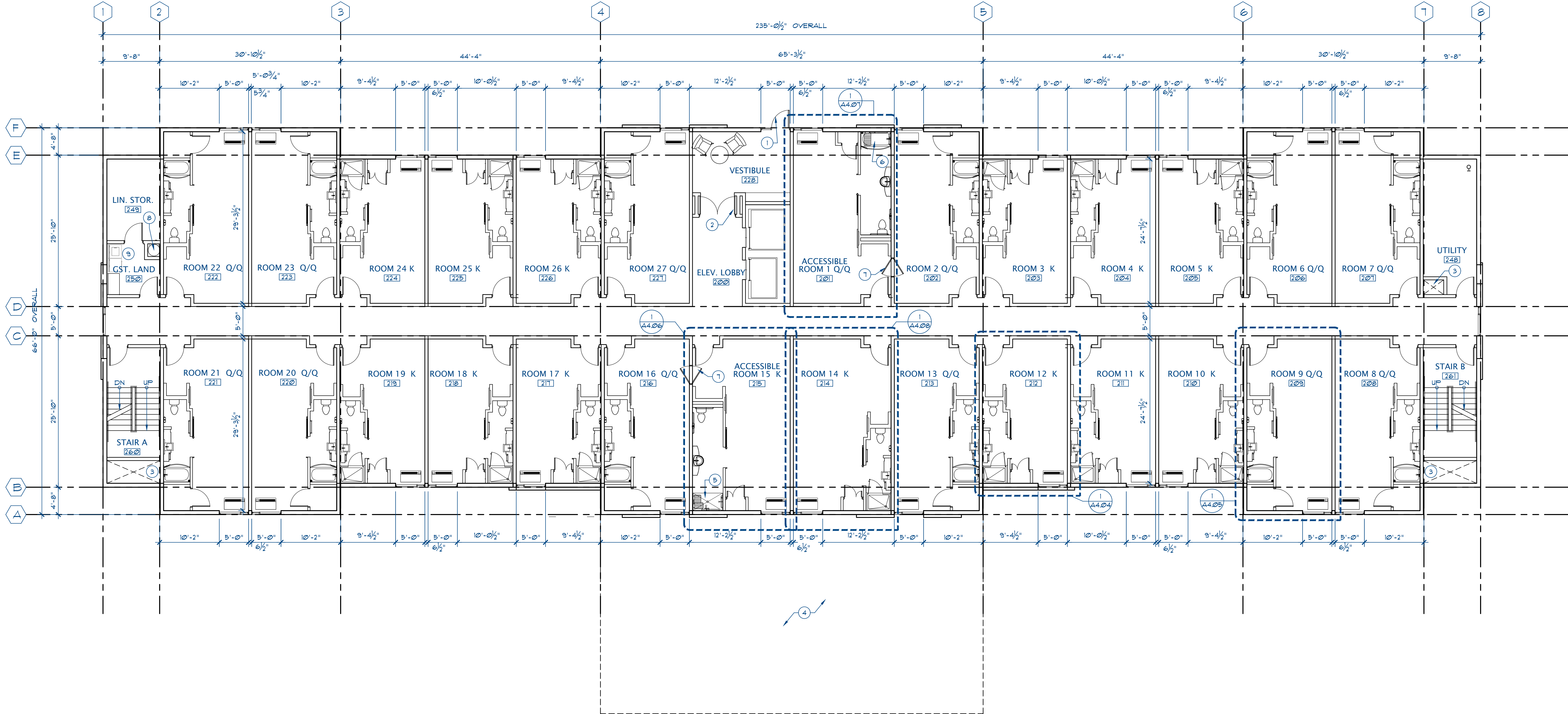
Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
SECOND FLOOR PLAN

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No.
JCSR18-0223-00

Drawing No.
A2.02



ARCH E1 - 30"x42" - 762mm x 1067mm (rounded)

DECOR PACKAGE

PALETTES

ACOUSTIC REQUIREMENTS - CONSTRUCTION CRITERIA				
TYPE	PARTITION LOCATION	STC	IIC	BASIS OF DESIGN
1	FLOOR / CEILING ASSEMBLY	55	50+	GA FILE NO FC 1000 2 HOUR RATED, 60-64 STC
2	GUESTROOM PARTY WALL (INCLUDING SHAFTH / CHASE WALL BETWEEN GUEST BATHS)	55		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
3	GUESTROOM ADJACENT TO PUBLIC AND MEETING SPACES, SERVICE AREAS, ELEVATORS, EQUIPMENT ROOMS, LAUNDRY AND SIMILAR SPACES	55+		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
4	CORRIDOR WALLS	50		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
5	OTHER WALLS			GA FILE NO UP 1083 1 HOUR RATED, 45-49 STC

NOTE: FLOOR AND WALL ASSEMBLIES SUBJECT TO CHANGE WITH FURTHER ENGINEERING

KEYNOTES

1. NOT USED
2. EGRESS DOOR ON MAGNETIC HOLD OPEN TIED TO FIRE ALARM/SUPPRESSION SYSTEM
3. SHAFT
4. NOT USED
5. ACCESSIBLE ROLL IN SHOWER, ACCESSIBLE TUB IS ACCEPTABLE ALTERNATE, MIN 2 ROLL IN SHOWERS REQUIRED.
6. ACCESSIBLE BATHTUB
7. OPTIONAL INTERCONNECTING DOOR
8. RATED LINEN CHUTE WITH SELF CLOSING INTAKE HATCH.
9. GUEST LAUNDRY WASHER, DRYER, AND FOLD TABLE.
10. ROOF ACCESS LADDER AND HATCH AT FIFTH FLOOR ONLY TO ACCESS NON OCCUPIED ROOF.
11. ICE MACHINE IS STANDARD ON THE FIRST FLOOR AND EVERY OTHER FLOOR, ICE DISPENSERS ARE OPTIONAL ON ALL FLOORS, AT FLOORS WHERE ICE DISPENSERS ARE NOT PROVIDED PROVIDE STORAGE ROOM.

GENERAL NOTES

1. OBTAIN BUILDING OWNERS (AND TENANT'S UPON REQUEST) APPROVAL OF WALL CHALK LINES PRIOR TO INSTALLATION OF BASE TRUCKS.
2. OBTAIN BUILDING OWNERS (AND TENANT'S UPON REQUEST) APPROVAL OF ELECTRICAL AND DATA OUTLET LOCATION, CHALK LINES PRIOR TO INSTALLATION. SEE ELECTRICAL DRAWINGS.
3. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
4. PROVIDE METAL STUDS TO MATCH SPECIFIED WALL GAGE AT ALL NEW DOOR JAMBS AND HEAD CONDITIONS.
5. STUD GAGE AND SIZE INDICATED ARE MINIMUM STANDARDS. CONTRACTOR TO SELECT STUD SIZE AND GAGE PER STRUCTURAL OR OTHER TRADE REQUIREMENTS. IN NO EVENT SHALL STUD SIZE, GAGE, AND SPACING FALL BELOW MINIMUM REQUIREMENTS UNLESS OTHERWISE INDICATED.
6. ALL WALLS TO BE FINISHED WITH 5/8" TYPE X GYP BOARD UNLESS OTHERWISE SPECIFIED.
7. ALL FLOORS SHALL BE LEVEL AND CLEAN PRIOR TO START OF WALL ERECTION, PATCH, REPAIR AND/OR REPLACE AS REQUIRED.
8. WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO HEAD ON BOTH SIDES OF THE WALL WHERE WALL IS EXPOSED FULL HEIGHT. AT WALLS WHERE CEILING OCCUR WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO A POINT 6" ABOVE T-BAR.
9. PROVIDE 5/8" WATER RESISTANT TYPE X GYP BOARD AT ALL UET LOCATION WALLS. AT LOCATIONS WHERE WALL FINISH IS SPECIFIED TO BE TILE USE 5/8" TYPE X CEMENT BACKER BOARD.
10. CONTRACTOR TO COORDINATE STUD SIZE AT PLUMBING WALLS TO ACCOMMODATE LATERAL RUNS.
11. PROVIDE ALL REQUIRED FIRE SPREAD PREVENTION METHODS INCLUDING BUT NOT LIMITED TO FIRE CAULKING, FIRE SAFING, FIRE TAPING, FIRE DAMPERS, ETC. AT ALL PENETRATIONS OF RATED CONDITIONS SO AS TO MAINTAIN RATED CONSTRUCTION.
12. ENTRY AND EXIT DOORS ON THE EXTERIOR OF THE BUILDING, AND INTERIOR DOORS INCLUDED WITH THIS SCOPE OF WORK, SHALL CONFORM TO TITLE 24 REQUIREMENTS.
 - HARDWARE: MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. MAXIMUM EFFORT TO OPERATE FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
 - EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - CONSTRUCTION: THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
 - SEE DOOR NOTES FOR ADDITIONAL INFORMATION.
25. ALL SELF CLOSING DOORS WITH A LATCH SHALL HAVE REQUIRED DOOR CLEARANCES: PROVIDE MIN 12" STRIKE SIDE CLEARANCE ON PUSH SIDE OF DOORS, PROVIDE MIN 18" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF DOORS, PROVIDE MIN 24" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF EXTERIOR DOORS, PROVIDE MIN 48" DEEP CLEAR SPACE IN FRONT OF THE DOOR ON THE PUSH SIDE AND 60" DEEP CLEAR SPACE IN FRONT THE DOOR ON THE PULL SIDE.

GENERAL NOTES (CONTINUED)

26. CONFIRM ROOM NUMBERING CONVENTIONS WITH TENANT PRIOR TO ORDERING, MANUFACTURING AND/OR INSTALLING IDENTIFICATION SIGNAGE. ROOM NUMBERS IDENTIFIED ON PLAN ARE FOR CONSTRUCTION COORDINATION ONLY.
27. INTERIOR FINISHES SHALL CONFORM TO THE SPRINGHILL SUITES BY MARRIOTT GEN 4.5 DESIGN GUIDELINES DRAWINGS UNLESS OTHERWISE NOTED.
28. ROOM CAPACITY SIGNAGE SHALL BE PROVIDED AND POSTED IN ROOMS OR SPACES THAT SERVE AS ASSEMBLY AREAS. LOCATION OF SIGNAGE TO BE LOCATED NEAR OF ABOVE THE EXIT, FINAL LOCATIONS TO BE APPROVED BY THE LOCAL FIRE DEPARTMENT HAVING JURISDICTION.
29. CONTRACTOR SHALL COORDINATE THE SIZE, LOCATION, AND CAPACITY OF WALL MOUNTED EQUIPMENT AND FURNISHINGS SUCH AS TV'S, DRESSERS, HEADBOARDS, SHELVING, GRAB BARS, ETC WITH TENANT. COORDINATE THE LOCATION OF ELECTRICAL AND DATA OUTLETS WITH BACKING AS REQUIRED FOR FULLY SUPPORTED AND OPERATIONAL EQUIPMENT. WALL MOUNTED EQUIPMENT PROJECTING MORE THAN 4" ABOVE THE FINISH FLOOR SHALL BE MOUNTED IN A MANNER TO ALLOW MIN 80" CLEAR HEADROOM UNDERNEATH THE BOTTOM EDGE.
30. PROVIDE EGRESS MAPS ON THE INTERIOR SIDE OF THE DOOR ON ALL GUEST ROOMS.
31. WALL TYPES SHALL CONFORM TO THE MINIMUM STC RATING NOTED.

DATE	ISSUED FOR	REV
12-31-18	OWNER REVIEW	
7-01-19	KEY COUNT CHANGE	

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Project

SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

Consultants

Seal

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CONSTRUCTION

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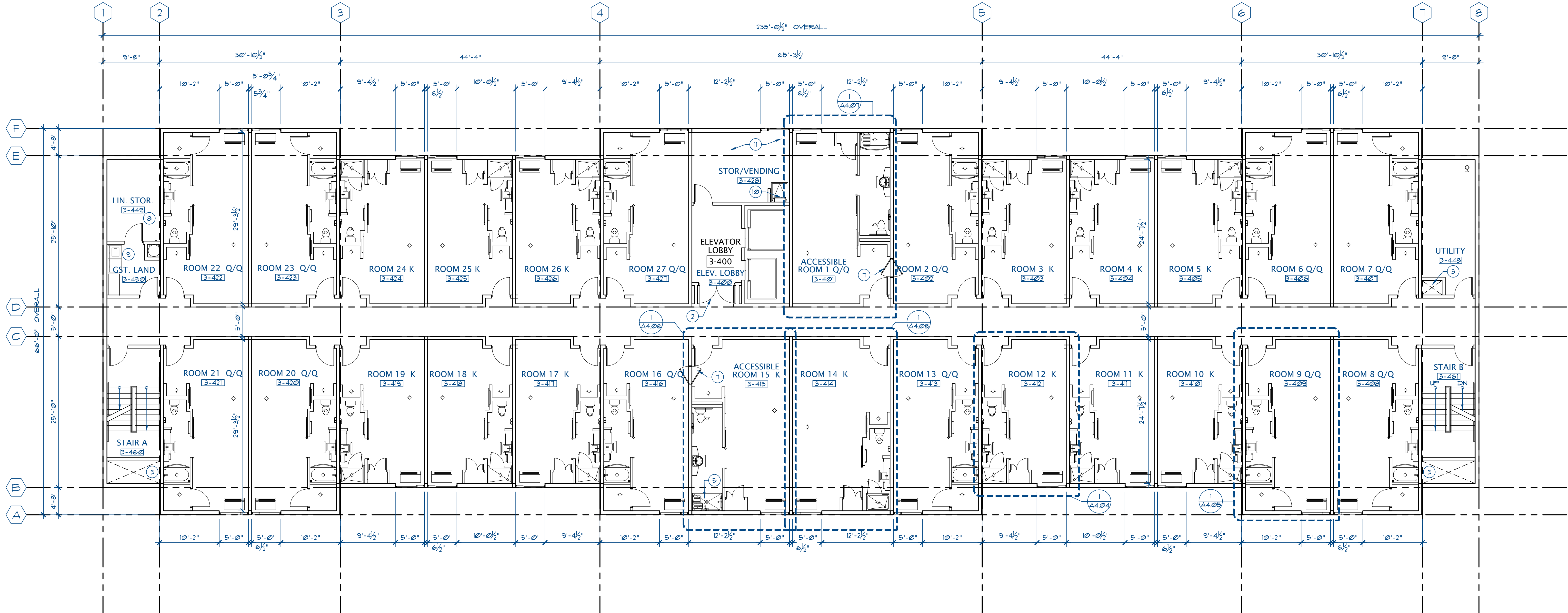
Project Manager	Drawn
D. ALBRIGHT	
Project Leader	Checked
J. CHAPIN	J. CHAPIN
Client	
PERKINS COMMERCIAL GROUP	

Drawing Title
**TYPICAL THIRD, FOURTH,
FLOOR PLANS**

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No. JCSR18-0223-00

Drawing No. **A2.03**



1

TYPICAL THIRD, FOURTH FLOOR PLANS

SCALE: 1/8" = 1'-0"

ARCH E1 - 30"x42" - 762mm x 1067mm (rounded)

DECOR PACKAGE

PALETTES

ACOUSTIC REQUIREMENTS - CONSTRUCTION CRITERIA				
TYPE	PARTITION LOCATION	STC	IIC	BASIS OF DESIGN
1	FLOOR / CEILING ASSEMBLY	55	50+	GA FILE NO FC 1000 2 HOUR RATED, 60-64 STC
2	GUESTROOM PARTY WALL (INCLUDING SHAFT / CHASE WALL BETWEEN GUEST BATHS)	55		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
3	GUESTROOM ADJACENT TO PUBLIC AND MEETING SPACES, SERVICE AREAS, ELEVATORS, EQUIPMENT ROOMS, LAUNDRY AND SIMILAR SPACES	55+		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
4	CORRIDOR WALLS	50		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
5	OTHER WALLS			GA FILE NO UP 1083 1 HOUR RATED, 45-49 STC

NOTE: FLOOR AND WALL ASSEMBLIES SUBJECT TO CHANGE WITH FURTHER ENGINEERING

KEYNOTES

- NOT USED
- EGRESS DOOR ON MAGNETIC HOLD OPEN TIED TO FIRE ALARM/SUPPRESSION SYSTEM
- SHAFT
- NOT USED
- ACCESSIBLE ROLL IN SHOWER, ACCESSIBLE TUB IS ACCEPTABLE ALTERNATE, MIN 2 ROLL IN SHOWERS REQUIRED.
- ACCESSIBLE BATHTUB
- OPTIONAL INTERCONNECTING DOOR
- RATED LINEN CHUTE WITH SELF CLOSING INTAKE HATCH.
- GUEST LAUNDRY WASHER, DRYER, AND FOLD TABLE.
- ROOF ACCESS LADDER AND HATCH AT FIFTH FLOOR ONLY TO ACCESS NON OCCUPIED ROOF.
- ICE MACHINE IS STANDARD ON THE FIRST FLOOR AND EVERY OTHER FLOOR, ICE DISPENSERS ARE OPTIONAL ON ALL FLOORS, AT FLOORS WHERE ICE DISPENSERS ARE NOT PROVIDED PROVIDE STORAGE ROOM.

GENERAL NOTES

- OBTAIN BUILDING OWNERS (AND TENANT'S UPON REQUEST) APPROVAL OF WALL CHALK LINES PRIOR TO INSTALLATION OF BASE TRUCKS.
- OBTAIN BUILDING OWNERS (AND TENANT'S UPON REQUEST) APPROVAL OF ELECTRICAL AND DATA OUTLET LOCATION, CHALK LINES PRIOR TO INSTALLATION. SEE ELECTRICAL DRAWINGS.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- PROVIDE METAL STUDS TO MATCH SPECIFIED WALL GAGE AT ALL NEW DOOR JAMBS AND HEAD CONDITIONS.
- STUD GAGE AND SIZE INDICATED ARE MINIMUM STANDARDS. CONTRACTOR TO SELECT STUD SIZE AND GAGE PER STRUCTURAL OR OTHER TRADE REQUIREMENTS. IN NO EVENT SHALL STUD SIZE, GAGE, AND SPACING FALL BELOW MINIMUM REQUIREMENTS UNLESS OTHERWISE INDICATED.
- ALL WALLS TO BE FINISHED WITH 5/8" TYPE X GYP BOARD UNLESS OTHERWISE SPECIFIED.
- ALL FLOORS SHALL BE LEVEL AND CLEAN PRIOR TO START OF WALL ERECTION, PATCH, REPAIR AND/OR REPLACE AS REQUIRED.
- WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO HEAD ON BOTH SIDES OF THE WALL WHERE WALL IS EXPOSED FULL HEIGHT. AT WALLS WHERE CEILING OCCUR WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO A POINT 6" ABOVE T-BAR.
- PROVIDE 5/8" WATER RESISTANT TYPE X GYP BOARD AT ALL UET LOCATION WALLS. AT LOCATIONS WHERE WALL FINISH IS SPECIFIED TO BE TILE USE 5/8" TYPE X CEMENT BACKER BOARD.
- CONTRACTOR TO COORDINATE STUD SIZE AT PLUMBING WALLS TO ACCOMMODATE LATERAL RUNS.
- PROVIDE ALL REQUIRED FIRE SPREAD PREVENTION METHODS INCLUDING BUT NOT LIMITED TO FIRE CAULKING, FIRE SAFING, FIRE TAPING, FIRE DAMPERS, ETC. AT ALL PENETRATIONS OF RATED CONDITIONS SO AS TO MAINTAIN RATED CONSTRUCTION.
- ENTRY AND EXIT DOORS ON THE EXTERIOR OF THE BUILDING, AND INTERIOR DOORS INCLUDED WITH THIS SCOPE OF WORK, SHALL CONFORM TO TITLE 24 REQUIREMENTS.
 - HARDWARE: MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. MAXIMUM EFFORT TO OPERATE FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
 - EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - CONSTRUCTION: THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
 - SEE DOOR NOTES FOR ADDITIONAL INFORMATION.
- ALL SELF CLOSING DOORS WITH A LATCH SHALL HAVE REQUIRED DOOR CLEARANCES: PROVIDE MIN 12" STRIKE SIDE CLEARANCE ON PUSH SIDE OF DOORS, PROVIDE MIN 18" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF DOORS, PROVIDE MIN 24" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF EXTERIOR DOORS, PROVIDE MIN 48" DEEP CLEAR SPACE IN FRONT OF THE DOOR ON THE PUSH SIDE AND 60" DEEP CLEAR SPACE IN FRONT THE DOOR ON THE PULL SIDE.

GENERAL NOTES (CONTINUED)

- CONFIRM ROOM NUMBERING CONVENTIONS WITH TENANT PRIOR TO ORDERING, MANUFACTURING AND/OR INSTALLING IDENTIFICATION SIGNAGE. ROOM NUMBERS IDENTIFIED ON PLAN ARE FOR CONSTRUCTION COORDINATION ONLY.
- INTERIOR FINISHES SHALL CONFORM TO THE SPRINGHILL SUITES BY MARRIOTT GEN 4.5 DESIGN GUIDELINES DRAWINGS UNLESS OTHERWISE NOTED.
- ROOM CAPACITY SIGNAGE SHALL BE PROVIDED AND POSTED IN ROOMS OR SPACES THAT SERVE AS ASSEMBLY AREAS. LOCATION OF SIGNAGE TO BE LOCATED NEAR OR ABOVE THE EXIT, FINAL LOCATIONS TO BE APPROVED BY THE LOCAL FIRE DEPARTMENT HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE THE SIZE, LOCATION, AND CAPACITY OF WALL MOUNTED EQUIPMENT AND FURNISHINGS SUCH AS TVs, DRESSERS, HEADBOARDS, SHELVING, GRAB BARS, ETC WITH TENANT. COORDINATE THE LOCATION OF ELECTRICAL AND DATA OUTLETS WITH BACKING AS REQUIRED FOR FULLY SUPPORTED AND OPERATIONAL EQUIPMENT. WALL MOUNTED EQUIPMENT PROJECTING MORE THAN 4" ABOVE THE FINISH FLOOR SHALL BE MOUNTED IN A MANNER TO ALLOW MIN 80" CLEAR HEADROOM UNDERNEATH THE BOTTOM EDGE.
- PROVIDE EGRESS MAPS ON THE INTERIOR SIDE OF THE DOOR ON ALL GUEST ROOMS.
- WALL TYPES SHALL CONFORM TO THE MINIMUM STC RATING NOTED.

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7-01-19	KEY COUNT CHANGE	

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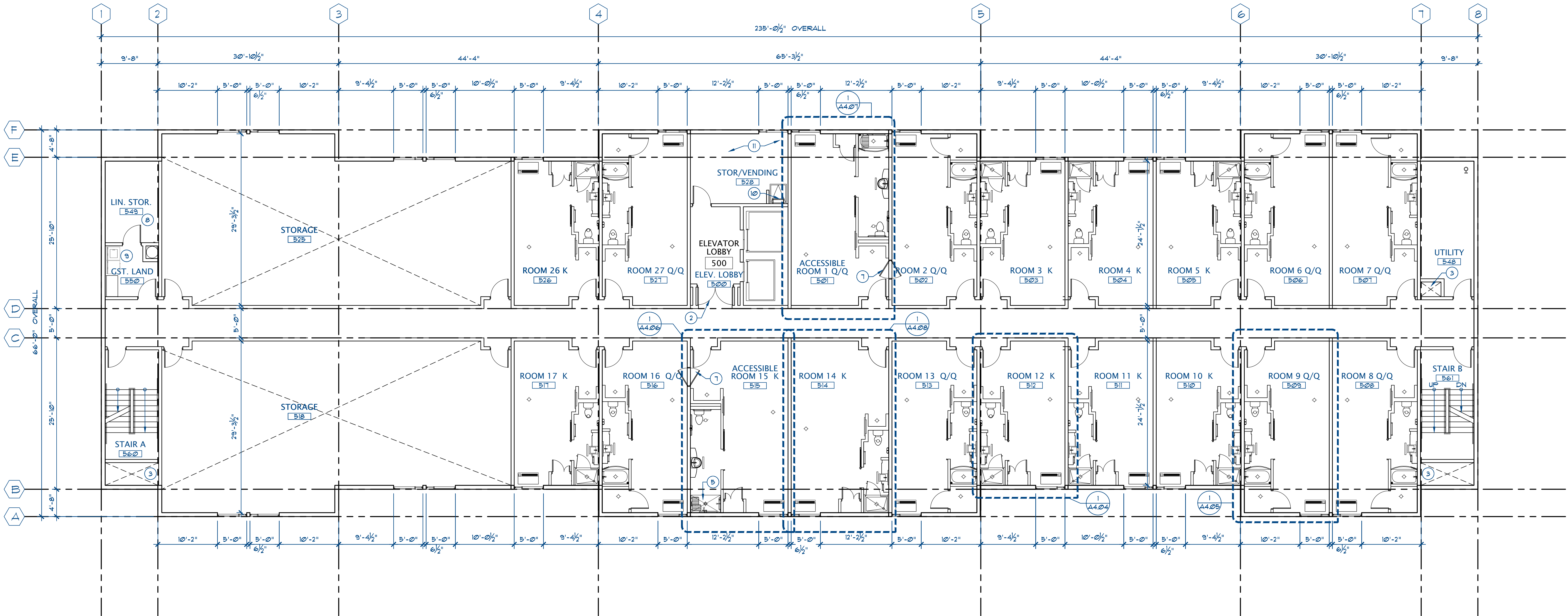
Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
**FIFTH
FLOOR PLAN**

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No. JCSR18-0223-00

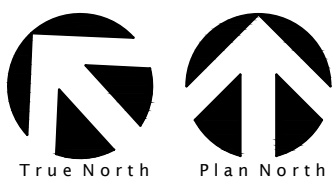
Drawing No. **A2.04**



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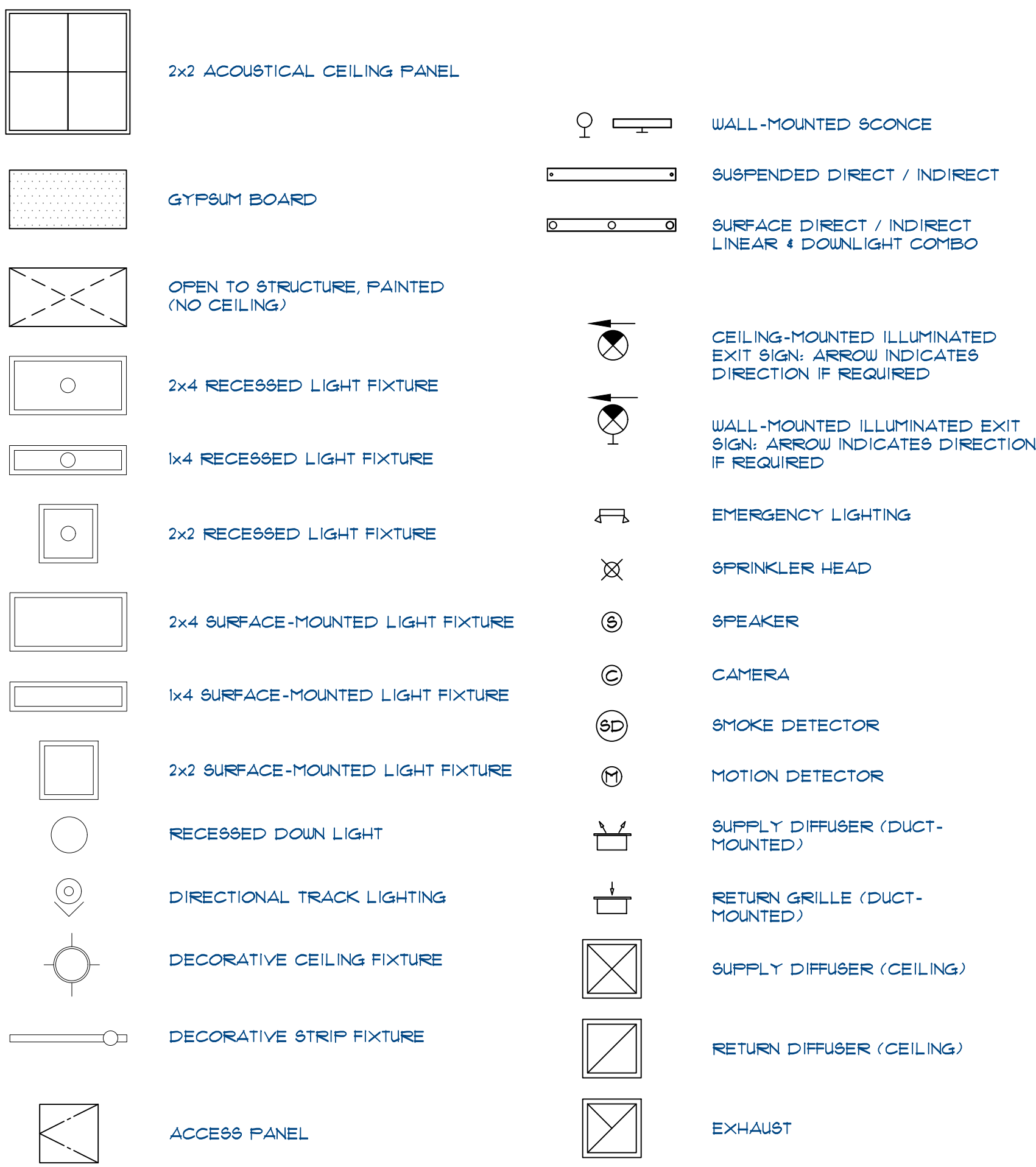
FIFTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



ARCH E1 - 30"x42" - 762mm x 1067mm (rounded)

CEILING LEGEND

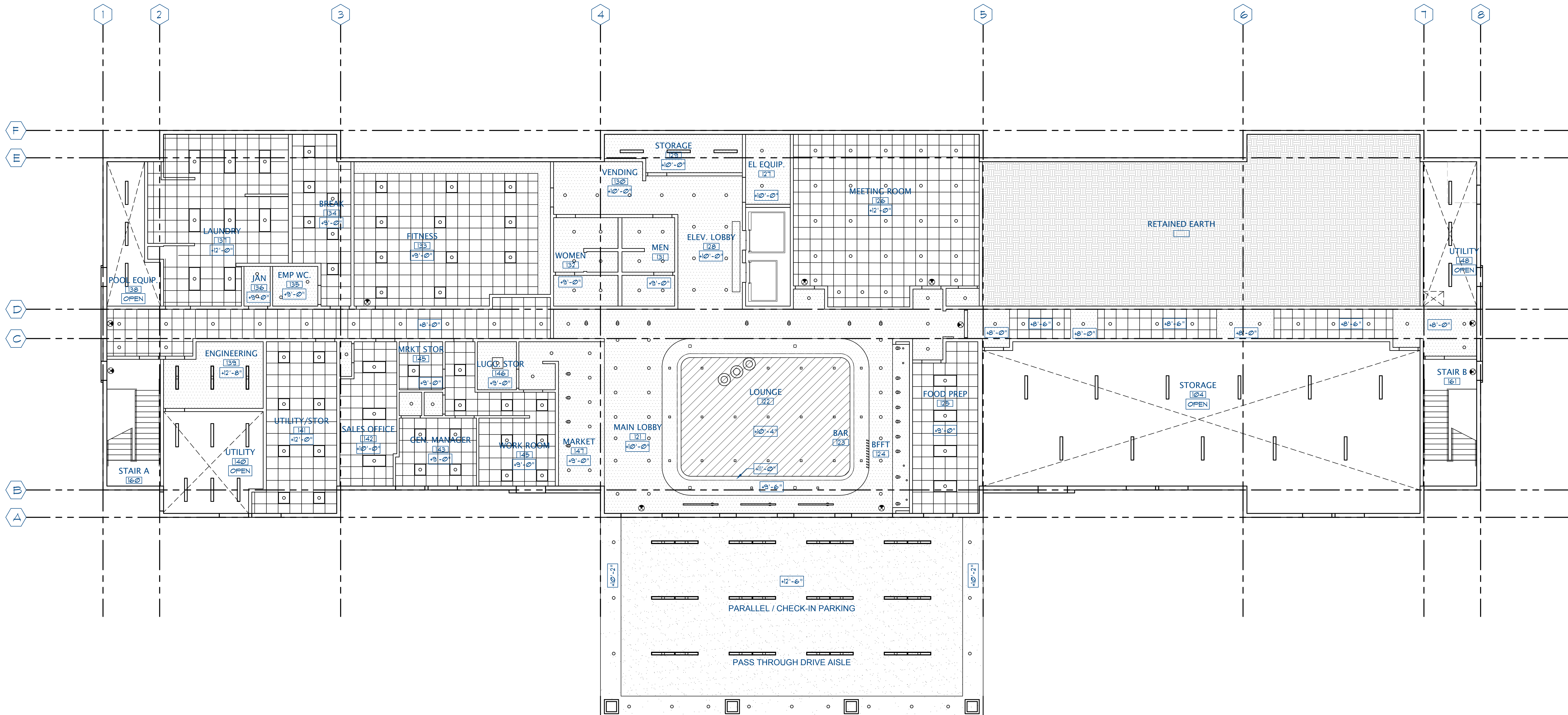


GENERAL CEILING NOTES

- CONTRACTORS TO COORDINATE ALL HVAC SUPPLY / RETURN REGISTERS AS REQUIRED TO ACCOMMODATE FOR LIGHTING LAYOUT.
- CONTRACTOR TO PERFORM OVER HEAD COORDINATION TO AVOID COLLISION BETWEEN TRADES PRIOR TO THE INSTALLATION OF LIGHTS, DUCTWORK, T-BAR CEILINGS ETC AND PROVIDE ALL NECESSARY BLOCKING AND SUPPORT.
- SUSPENDED ACOUSTICAL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C639 AND ASTM C636 PER CBC 803.11. CENTER CEILINGS WITHIN ROOMS AS SHOWN.
- THE T-BAR CEILING GRID SYSTEM SHALL BE RATED AS "HEAVY DUTY".
- INSTALLATION:
 - VERTICAL HANGERS: SUSPENSION WIRES SHALL NOT BE SMALLER THAN 12 GA SPACED AT 4 FEET ON CENTER ALONG EACH MAIN RUNNER UNLESS CALCULATIONS JUSTIFYING THE INCREASED SPACING ARE PROVIDED. EACH VERTICAL WIRE SHALL BE ATTACHED TO THE CEILING SUSPENSION MEMBER AND TO THE SUPPORT ABOVE WITH A MINIMUM OF 3 TURNS. ANY CONNECTION DEVICE AT THE SUPPORTING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN 100 POUNDS. SUSPENSION WIRES SHALL NOT HANG MORE THAN 1 IN 6 OUT OF PLUMB UNLESS COUNTERSLOPING WIRES ARE PROVIDED. WIRES SHALL NOT ATTACH TO OR BEND AROUND INTERFERING MATERIALS OR EQUIPMENT. A TRAPEZOID OR EQUIVALENT DEVICE SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT SUSPENSION. TRAPEZOID SUSPENSION SHALL BE A MINIMUM OF BACK TO BACK 1-1/4" COLD ROLLED CHANNELS FOR SPANS EXCEEDING 48".
 - LATERAL FORCE BRACING: WHERE SUBSTANTIATING CALCULATIONS ARE NOT PROVIDED, HORIZONTAL RESTRAINTS SHALL BE AFFECTED BY 4 NO 12 GAGE WIRE SECURED TO THE MAIN RUNNER WITHIN 2 INCHES OF THE CROSS RUNNER INTERSECTION AND SPACED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FEET ON CENTER IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 4 FEET FROM EACH WALL. RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE ATTACHMENT OF THE FOR THE LOAD IMPOSED.
 - PERIMETER MEMBERS: UNLESS PERIMETER MEMBERS ARE A STRUCTURAL PART OF THE APPROVED SYSTEM WALL ANGLES OR CHANNELS SHALL BE CONSIDERED AS AESTHETIC CLOSURES AND WILL HAVE NO STRUCTURAL VALUE ASSIGNED TO THEMSELVES OR THEIR METHOD OF ATTACHMENT TO THE WALLS. FOR CEILING TILES, ENDS OF THE MAIN RUNNERS AND CROSS MEMBERS SHALL BE TIED TOGETHER TO PREVENT THEIR SPREADING.
 - PERIMETER HANGERS: THE TERMINAL ENDS OF EACH CROSS RUNNER AND MAIN RUNNER CEILING SHALL BE SUPPORTED INDEPENDENTLY A MAXIMUM OF 8 INCHES FROM EACH WALL OR DISCONTINUITY WITH NO 12 GAGE WIRE OR APPROVED WALL SUPPORT.
 - ATTACHMENT OF MEMBERS TO THE PERIMETER: TO FACILITATE INSTALLATION MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED TO THE PERIMETER MEMBERS AT 2 ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE OTHER 2 WALLS OR AS OTHERWISE SHOWN OR DESCRIBED FOR THE APPROVED SYSTEM.
- EXIT SIGNS SHALL BE PROVIDED WHERE REQUIRED BY CBC SECTION 103.

GENERAL CEILING NOTES (CONTINUED)

- PROVIDE CEILING EXPANSION JOINT WHERE T-BAR CEILINGS EXCEED AN AREA OF 2500 SF. PROVIDE MANUFACTURE'S DETAIL FOR APPROVAL BY ARCHITECT. CONTRACTOR TO PROVIDE LOCATIONS FOR APPROVAL BY ARCHITECT.
- PROVIDE MEANS OF EGRESS ILLUMINATION AS REQUIRED PER CBC SECTION 1008 AN EMERGENCY POWER SYSTEM FOR MEANS OF EGRESS ILLUMINATION SHALL BE PER CBC SECTION 1008. SEE ELECTRICAL.
- LABEL CEILING TILES BELOW ANY VAV BOX, DAMPER, CONTROL VALVE OR SIMILAR COMPONENT INDICATING THEIR LOCATION. PROVIDE SAMPLE OF LABEL TO ARCHITECT FOR APPROVAL.
- PROVIDE SWITCHING AS PER TITLE-24 ENERGY REQUIREMENTS. LOCATIONS SUBJECT TO ARCHITECT'S PRIOR APPROVALS.
- PROVIDE MIN. ONE SUPPLY AND ONE RETURN REGISTER PER ROOM. GRILL STYLE SUBJECT TO ARCHITECT'S PRIOR APPROVAL. UNDERCUTTING OF DOORS OR USE OF GRILLS IN DOOR IS NOT ACCEPTABLE FOR RETURN AIR. SEE MECHANICAL.
- PROVIDE SMOKE / FIRE DAMPERS AS REQUIRED INCLUDING ALL ELECTRICAL WIRING AND SENSORS TO MAINTAIN RATED CONSTRUCTION WHERE REQUIRED.
- FIRE SPRINKLER CONTRACTOR TO SUBMIT PLANS, SPECIFICATIONS AND CALCULATIONS TO LOCAL FIRE PROTECTION AGENCIES FOR APPROVALS AT TIME OF BUILDING PLAN CHECK SUBMISSION WITH COPIES TO THE ARCHITECT FOR APPROVAL. SPRINKLER CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AS REQUIRED.
- SPRINKLER HEAD LAYOUT SHALL BE IN A STRAIGHT LINE / GRID CONFIGURATION. MODIFY EXISTING HEAD LOCATIONS TO ACCOMMODATE NEW TENANT IMPROVEMENT.
- PER THE 2016 CALIFORNIA BUILDING CODE, CEILING IN DESIGN CATEGORIES "D", "E", "F", "G" SHALL BE DESIGNED AND INSTALLED PER CODE SECTION CBC 803.13.21, CBC 808, AS WELL AS THE REQUIREMENTS OF ASTM C639, C636, CIBCA GUIDELINES FOR SEISMIC ZONES 3-4, AND BY REFERENCE ASTM E580 AND ASCE 1-05 SECTION 13.6.2.2 (A).
- CEILING COMPONENTS SHALL BE PER THE MANUFACTURING REQUIREMENTS OF ASTM C639 PER THE BASIC INSTALLATION REQUIREMENTS CALLED FOR IN CIBCA GUIDELINES FOR SEISMIC ZONES 3-4, AND BY REFERENCE ASTM E580 AND ASCE 1-05 SECTION 13.6.2.2 (A).
- FLAT CEILINGS CONSTRUCTED OF LATH, PLASTER OR GYPSUM BOARD, SCREW OR NAIL ATTACHED TO SUSPENSION MEMBERS THAT SUPPORT A CEILING ON ONE LEVEL EXTENDING FROM WALL TO WALL ARE EXEMPT FROM SEISMIC CONSTRUCTION REQUIREMENTS.
- PROVIDE CONTROL JOINTS SO CEILING AREAS DO NOT EXCEED 300 SF. IF A CONTROL JOINT IS PROVIDED AROUND THE PERIMETER OF THE ROOM THEN PROVIDE CONTROL JOINTS SO THAT CEILING AREAS DO NOT EXCEED 2500 SF.
- AT LONG RUNNING SPANS PROVIDE CONTROL JOINTS @ 30' MAXIMUM.
- PROVIDE CONTROL JOINTS AT THE WINGS OF "L", "U", AND "T" SHAPED CEILINGS.



1

FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

PATH AND FILENAME: G:\BUSINESS DEVELOPMENT\PERKINS COMMERCIAL GROUP\SPRINGHILL SUITES\SHEETS\A2.11_RCP.DWG PLOTSYLE TABLE: NORR Sacramento.ctb PLOT DATE: July 10, 2019 TIME: 10:03 AM

DATE	ISSUED FOR	REV
12-31-18	OWNER REVIEW	
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113 KEY / 5 STORY MODIFIED PROTOTYPE

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Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
**FIRST FLOOR
REFLECTED CEILING PLAN**

Check Scale (may be photo reduced)
0 1 inch 0 10mm

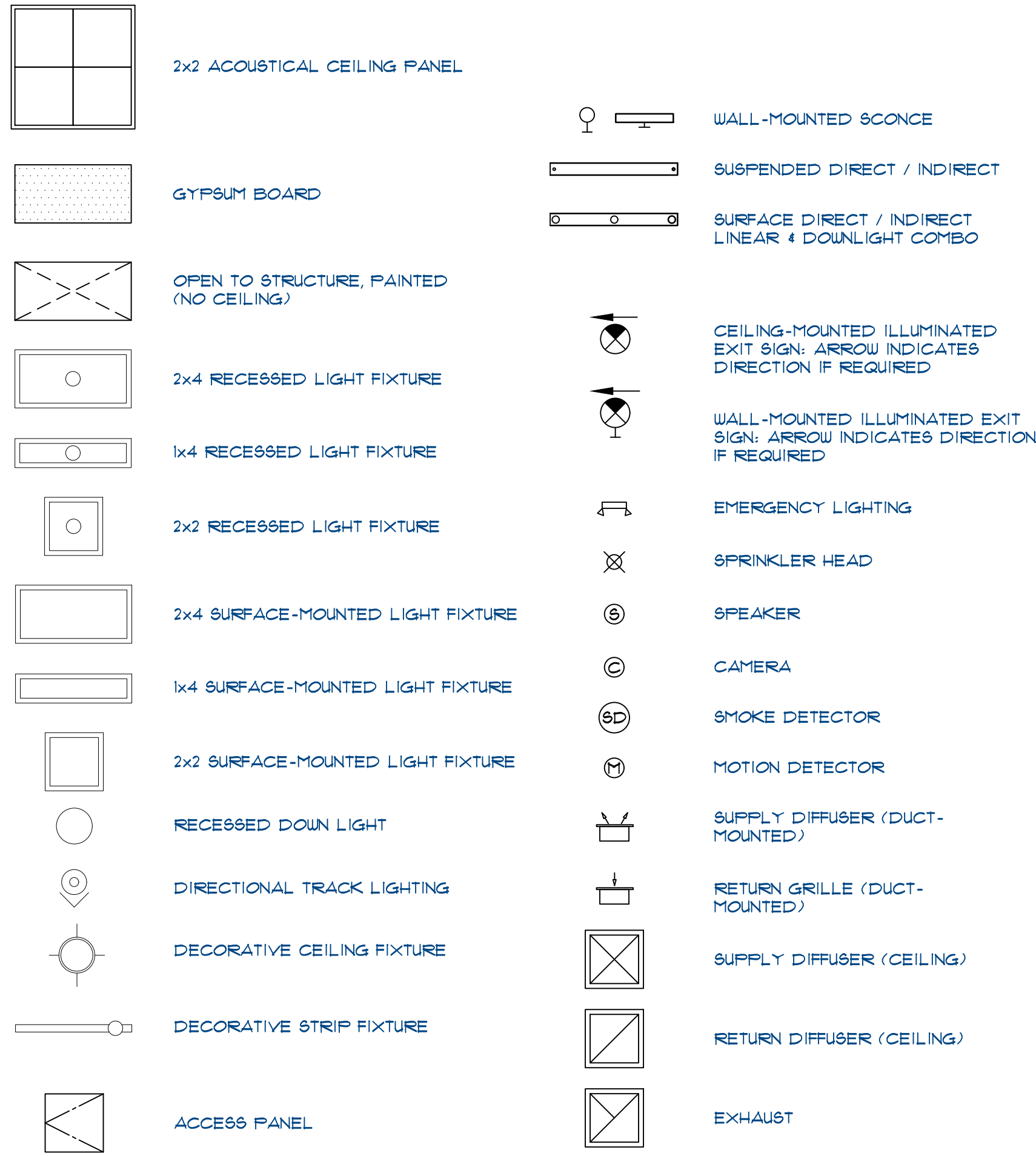
Project No.
JCSR18-0223-00

Drawing No.
A2.11



ARCH E1 - 30"x42" - 762mmx1067mm (rounded)

CEILING LEGEND



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GENERAL CEILING NOTES (CONTINUED)

- PROVIDE CEILING EXPANSION JOINT WHERE T-BAR CEILINGS EXCEED AN AREA OF 2500 SF. PROVIDE MANUFACTURE'S DETAIL FOR APPROVAL BY ARCHITECT. CONTRACTOR TO PROVIDE LOCATIONS FOR APPROVAL BY ARCHITECT.
- PROVIDE MEANS OF EGRESS ILLUMINATION AS REQUIRED PER CBC SECTION 1008 AN EMERGENCY POWER SYSTEM FOR MEANS OF EGRESS ILLUMINATION SHALL BE PER CBC SECTION 1008. SEE ELECTRICAL.
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- PROVIDE MIN. ONE SUPPLY AND ONE RETURN REGISTER PER ROOM. GRILL STYLE SUBJECT TO ARCHITECT'S PRIOR APPROVAL. UNDERCUTTING OF DOORS OR USE OF GRILLS IN DOOR IS NOT ACCEPTABLE FOR RETURN AIR. SEE MECHANICAL.
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- CEILING COMPONENTS SHALL BE PER THE MANUFACTURING REQUIREMENTS OF ASTM C639, PER THE BASIC INSTALLATION REQUIREMENTS OF ASTM C636, AND THE ADDITIONAL SEISMIC REQUIREMENTS CALLED FOR IN CIBCA GUIDELINES FOR SEISMIC ZONES 3-4, AND BY REFERENCE ASTM E880 SECTION 13.6.2.2 (A).
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Project

SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

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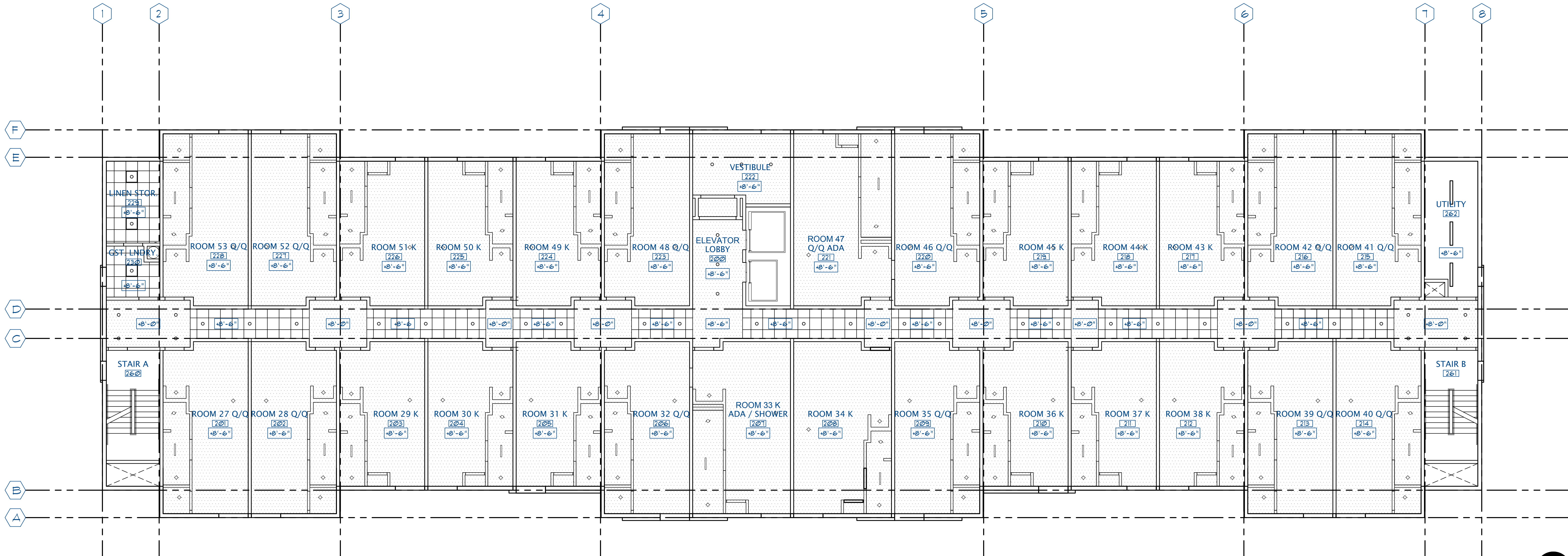
Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
**REFLECTED CEILING PLANS
SECOND FLOOR**

Check Scale (may be photo reduced)
0 1 inch 0 10mm

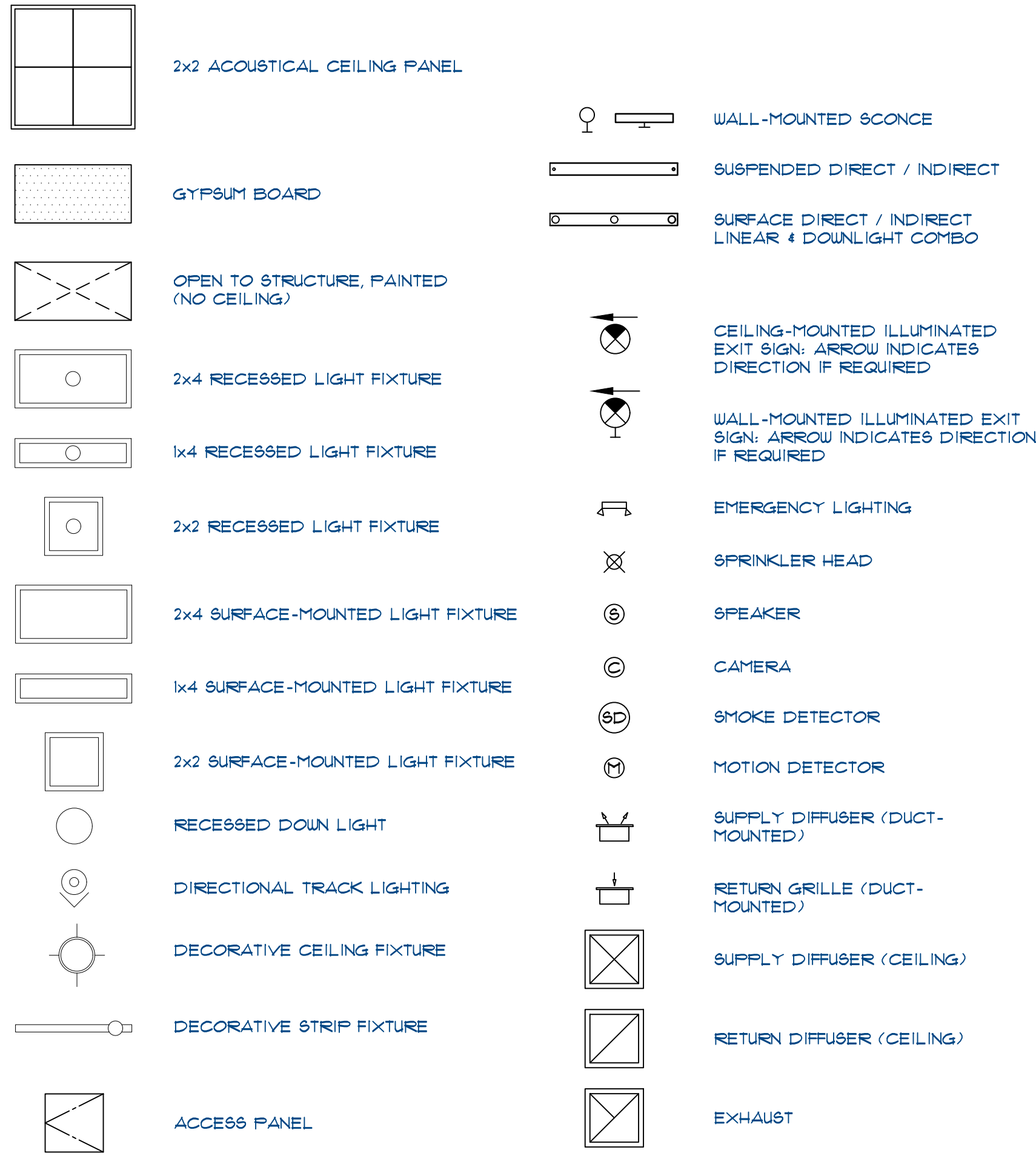
Project No.
JCSR18-0223-00

Drawing No.
A2.12



ARCH E1 - 30"x42" - 762mm x 1067mm (rounded)

CEILING LEGEND



GENERAL CEILING NOTES

- CONTRACTORS TO COORDINATE ALL HVAC SUPPLY / RETURN REGISTERS AS REQUIRED TO ACCOMMODATE FOR LIGHTING LAYOUT.
- CONTRACTOR TO PERFORM OVER HEAD COORDINATION TO AVOID COLLISION BETWEEN TRADES PRIOR TO THE INSTALLATION OF LIGHTS, DUCTWORK, T-BAR CEILINGS ETC AND PROVIDE ALL NECESSARY BLOCKING AND SUPPORT.
- SUSPENDED ACOUSTICAL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C639 AND ASTM C636 PER CBC 803.11.1. CENTER CEILINGS WITHIN ROOMS AS SHOWN.
- THE T-BAR CEILING GRID SYSTEM SHALL BE RATED AS "HEAVY DUTY".
- INSTALLATION:
 - VERTICAL HANGERS, SUSPENSION WIRES SHALL NOT BE SMALLER THAN 12 GA SPACED AT 4 FEET ON CENTER ALONG EACH MAIN RUNNER UNLESS CALCULATIONS JUSTIFYING THE INCREASED SPACING ARE PROVIDED. EACH VERTICAL WIRE SHALL BE ATTACHED TO THE CEILING SUSPENSION MEMBER AND TO THE SUPPORT ABOVE WITH A MINIMUM OF 3 TURNS. ANY CONNECTION DEVICE AT THE SUPPORTING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN 100 POUNDS. SUSPENSION WIRES SHALL NOT HANG MORE THAN 1 IN 6 OUT OF PLUMB UNLESS COUNTERSLOPING WIRES ARE PROVIDED. WIRES SHALL NOT ATTACH TO OR BEND AROUND INTERFERING MATERIALS OR EQUIPMENT. A TRAPEZE OR EQUIVALENT DEVICE SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT SUSPENSION. TRAPEZE SUSPENSION SHALL BE A MINIMUM OF BACK TO BACK 1-1/4" GOLD ROLLED CHANNELS FOR SPANS EXCEEDING 48".
 - LATERAL FORCE BRACING: WHERE SUBSTANTIATING CALCULATIONS ARE NOT PROVIDED, HORIZONTAL RESTRAINTS SHALL BE AFFECTED BY 4 NO 12 GAGE WIRE SECURED TO THE MAIN RUNNER WITHIN 2 INCHES OF THE CROSS RUNNER INTERSECTION AND SPACED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FEET ON CENTER IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 4 FEET FROM EACH WALL. RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE ATTACHMENT OF THE FOR THE LOAD IMPOSED.
 - PERIMETER MEMBERS: UNLESS PERIMETER MEMBERS ARE A STRUCTURAL PART OF THE APPROVED SYSTEM WALL ANGLES OR CHANNELS SHALL BE CONSIDERED AS AESTHETIC CLOSURES AND WILL HAVE NO STRUCTURAL VALUE ASSSESSED TO THEMSELVES OR THEIR METHOD OF ATTACHMENT TO THE WALLS. FOR CEILING TILES, ENDS OF THE MAIN RUNNERS AND CROSS MEMBERS SHALL BE TIED TOGETHER TO PREVENT THEIR SPREADING.
 - PERIMETER HANGERS: THE TERMINAL ENDS OF EACH CROSS RUNNER AND MAIN RUNNER CEILING SHALL BE SUPPORTED INDEPENDENTLY A MAXIMUM OF 8 INCHES FROM EACH WALL OR DISCONTINUITY WITH NO 12 GAGE WIRE OR APPROVED WALL SUPPORT.
 - ATTACHMENT OF MEMBERS TO THE PERIMETER: TO FACILITATE INSTALLATION MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED TO THE PERIMETER MEMBERS AT 2 ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE OTHER 2 WALLS OR AS OTHERWISE SHOWN OR DESCRIBED FOR THE APPROVED SYSTEM.
- EXIT SIGNS SHALL BE PROVIDED WHERE REQUIRED BY CBC SECTION 1003.

GENERAL CEILING NOTES (CONTINUED)

- PROVIDE CEILING EXPANSION JOINT WHERE T-BAR CEILINGS EXCEED AN AREA OF 2500 SF. PROVIDE MANUFACTURE'S DETAIL FOR APPROVAL BY ARCHITECT. CONTRACTOR TO PROVIDE LOCATIONS FOR APPROVAL BY ARCHITECT.
- PROVIDE MEANS OF EGRESS ILLUMINATION AS REQUIRED PER CBC SECTION 1008 AN EMERGENCY POWER SYSTEM FOR MEANS OF EGRESS ILLUMINATION SHALL BE PER CBC SECTION 1008. SEE ELECTRICAL.
- LABEL CEILING TILES BELOW ANY VAV BOX, DAMPER, CONTROL VALVES OR SIMILAR COMPONENT INDICATING THEIR LOCATION. PROVIDE SAMPLE OF LABEL TO ARCHITECT FOR APPROVAL.
- PROVIDE SWITCHING AS PER TITLE-24 ENERGY REQUIREMENTS. LOCATIONS SUBJECT TO ARCHITECT'S PRIOR APPROVALS.
- PROVIDE MIN. ONE SUPPLY AND ONE RETURN REGISTER PER ROOM. GRILL STYLE SUBJECT TO ARCHITECT'S PRIOR APPROVAL. UNDERCUTTING OF DOORS OR USE OF GRILLS IN DOOR IS NOT ACCEPTABLE FOR RETURN AIR. SEE MECHANICAL.
- PROVIDE SMOKE / FIRE DAMPERS AS REQUIRED INCLUDING ALL ELECTRICAL WIRING AND SENSORS TO MAINTAIN RATED CONSTRUCTION WHERE REQUIRED.
- FIRE SPRINKLER CONTRACTOR TO SUBMIT PLANS, SPECIFICATIONS AND CALCULATIONS TO LOCAL FIRE PROTECTION AGENCIES FOR APPROVALS AT TIME OF BUILDING PLAN CHECK SUBMISSION WITH COPIES TO THE ARCHITECT FOR APPROVAL. SPRINKLER CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AS REQUIRED.
- SPRINKLER HEAD LAYOUT SHALL BE IN A STRAIGHT LINE / GRID CONFIGURATION. MODIFY EXISTING HEAD LOCATIONS TO ACCOMMODATE NEW TENANT IMPROVEMENT.
- PER THE 2016 CALIFORNIA BUILDING CODE, CEILING IN DESIGN CATEGORIES "D", "E", "F", "G" SHALL BE DESIGNED AND INSTALLED PER CODE SECTION CBC 803.13.21, CBC 808, AS WELL AS THE REQUIREMENTS OF ASTM C639, C636, CIBC GUIDELINES FOR SEISMIC ZONES 3-4, AND BY REFERENCE ASTM E880 SECTION 13.6.2.2 (A).
- CEILING COMPONENTS SHALL BE PER THE MANUFACTURING REQUIREMENTS OF ASTM C639. PER THE BASIC INSTALLATION REQUIREMENTS CALLED FOR IN CIBC GUIDELINES FOR SEISMIC ZONES 3-4, AND BY REFERENCE ASTM E880 SECTION 13.6.2.2 (A).
- FLAT CEILINGS CONSTRUCTED OF LATH, PLASTER OR GYPSUM BOARD, SCREW OR NAIL ATTACHED TO SUSPENSION MEMBERS THAT SUPPORT A CEILING ON ONE LEVEL EXTENDING FROM WALL TO WALL ARE EXEMPT FROM SEISMIC CONSTRUCTION REQUIREMENTS.
- PROVIDE CONTROL JOINTS SO CEILING AREAS DO NOT EXCEED 300 SF. IF A CONTROL JOINT IS PROVIDED AROUND THE PERIMETER OF THE ROOM THEN PROVIDE CONTROL JOINTS SO THAT CEILING AREAS DO NOT EXCEED 2500 SF.
- AT LONG RUNNING SLOFFITS PROVIDE CONTROL JOINTS @ 30' MAXIMUM.
- PROVIDE CONTROL JOINTS AT THE WINGS OF "L", "U", AND "T" SHAPED CEILINGS.

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12-31-18	OWNER REVIEW	
7-01-19	KEY COUNT CHANGE	

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Project

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MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

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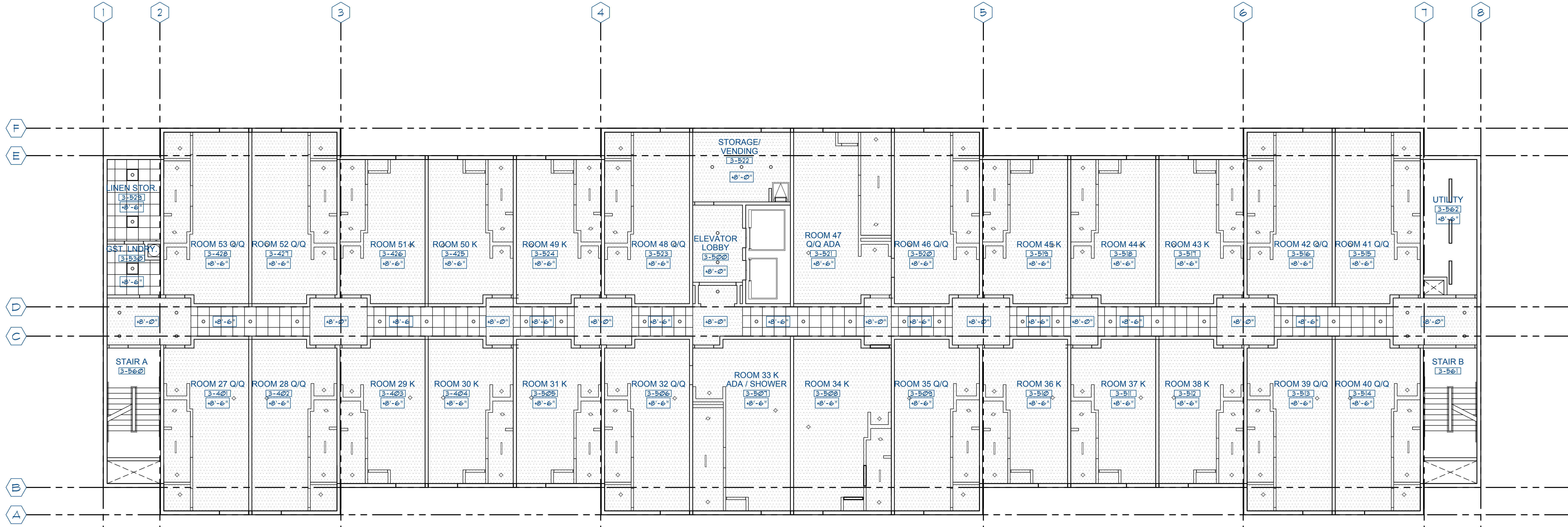
Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
**REFLECTED CEILING PLANS
THIRD, FOURTH FLOORS**

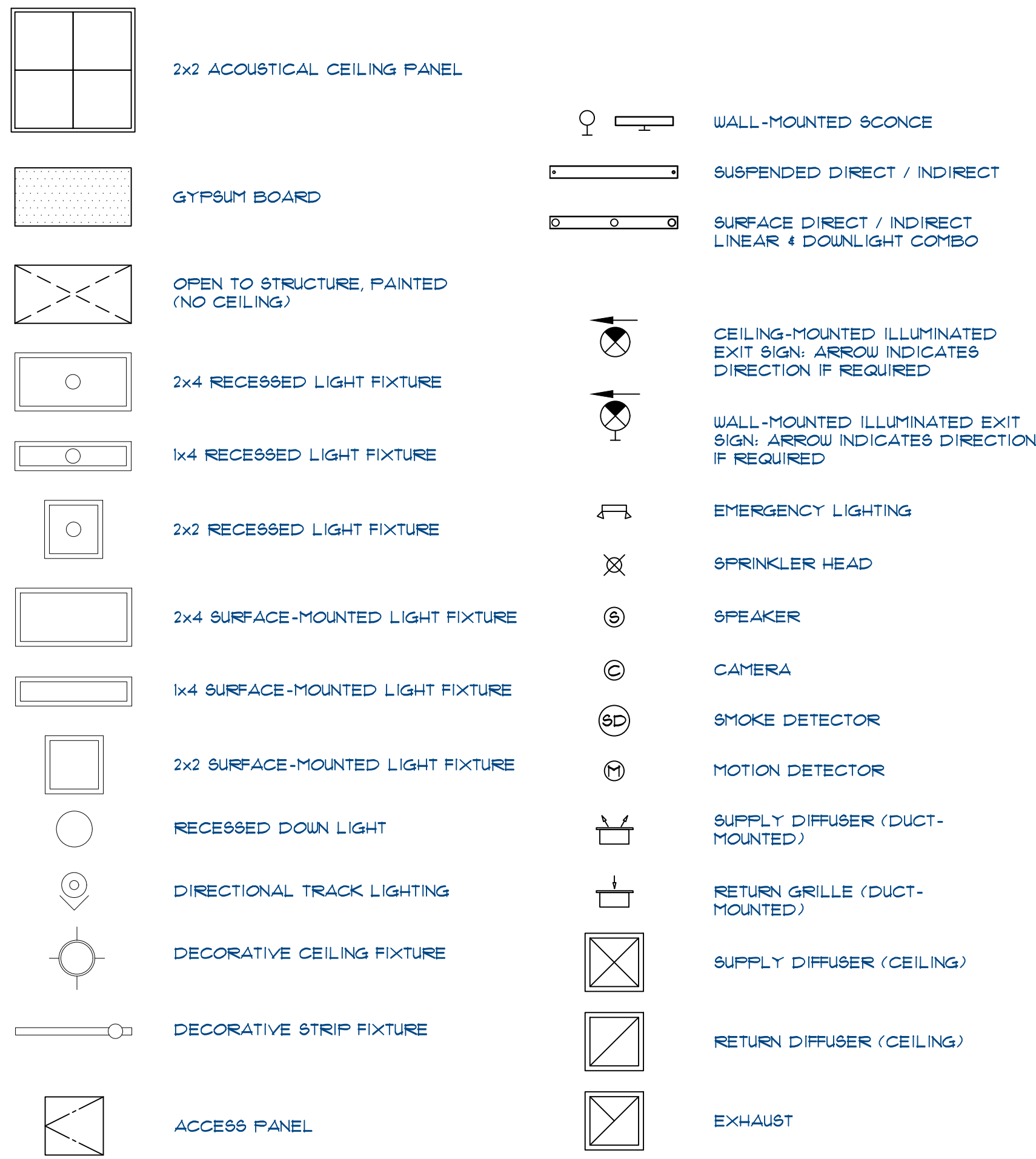
Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No.
JCSR18-0223-00

Drawing No.
A2.13



CEILING LEGEND



GENERAL CEILING NOTES

- CONTRACTORS TO COORDINATE ALL HVAC SUPPLY / RETURN REGISTERS AS REQUIRED TO ACCOMMODATE FOR LIGHTING LAYOUT.
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- EXIT SIGNS SHALL BE PROVIDED WHERE REQUIRED BY CBC SECTION 1003.

GENERAL CEILING NOTES (CONTINUED)

- PROVIDE CEILING EXPANSION JOINT WHERE T-BAR CEILING EXCEED AN AREA OF 2500 SF. PROVIDE MANUFACTURE'S DETAIL FOR APPROVAL BY ARCHITECT. CONTRACTOR TO PROVIDE LOCATIONS FOR APPROVAL BY ARCHITECT.
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- CEILING COMPONENTS SHALL BE PER THE MANUFACTURING REQUIREMENTS OF ASTM C639. PER THE BASIC INSTALLATION REQUIREMENTS CALLED FOR IN CISCA GUIDELINES FOR SEISMIC ZONES 3-4, AND BY REFERENCE ASTM E880 AND ASCE 1-05 SECTION 13.6.2.2 (A).
- FLAT CEILING CONSTRUCTION OF LATH, PLASTER OR GYPSUM BOARD, SCREW OR NAIL ATTACHED TO SUSPENSION MEMBERS THAT SUPPORT A CEILING ON ONE LEVEL EXTENDING FROM WALL TO WALL ARE EXEMPT FROM SEISMIC CONSTRUCTION REQUIREMENTS.
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- AT LONG RUNNING SPOFFS PROVIDE CONTROL JOINTS @ 30' MAXIMUM.
- PROVIDE CONTROL JOINTS AT THE WINGS OF "L", "U", AND "T" SHAPED CEILING.

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7-01-19	KEY COUNT CHANGE	

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Project

SPRINGHILL SUITES
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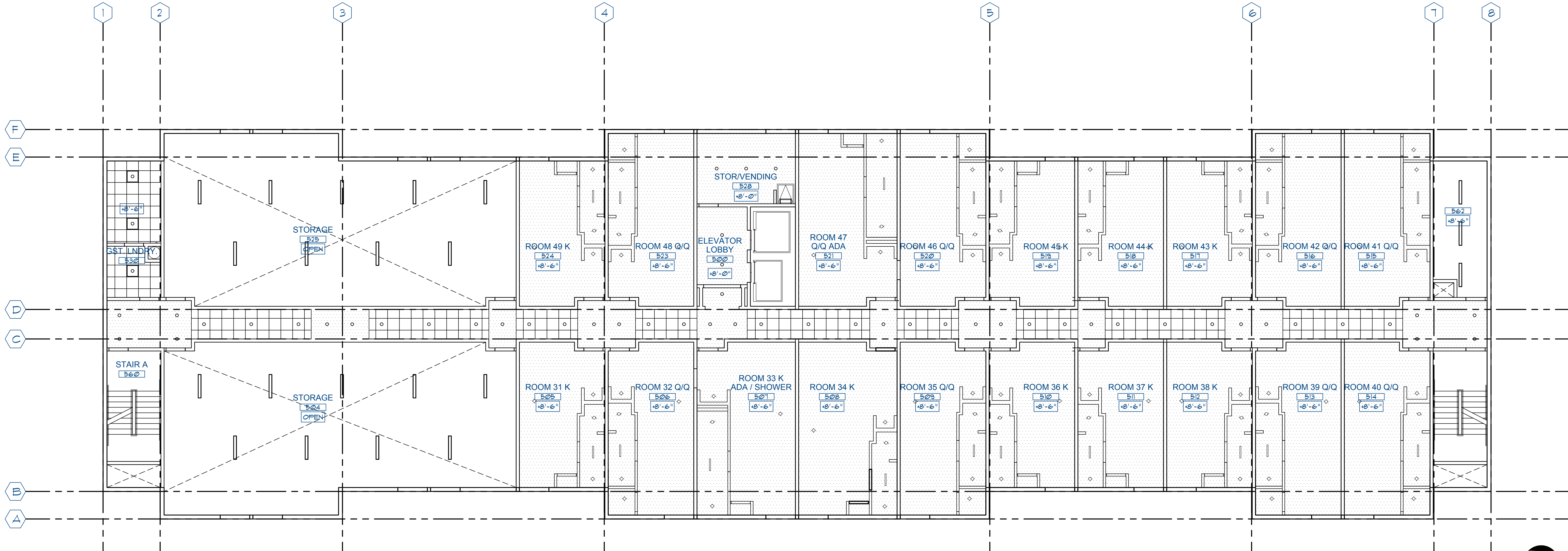
Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
**REFLECTED CEILING PLAN
FIFTH FLOOR**

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No.
JCSR18-0223-00

Drawing No.
A2.14



KEYNOTES

1. SINGLE PLY ROOFING OVER COVER BARRIER BOARD. INSTALL PER MANUFACTURER STANDARD DETAILS.
2. PROVIDE ROOF ACCESS HATCH WITH EXTENDABLE SAFETY POST. CRICKET AS REQUIRED. PER SECTION 101122 ROOF ACCESS HATCH SHALL BE NOT LESS THAN 16 SF. IN AREA AND HAVING A MIN. DIM. OF 2'-0".
3. ROOF DRAIN AND OVERFLOW ROUTE RAIN WATER LEADER IN WALL CAVITY AND CONNECT TO STORM DRAIN SYSTEM UNDER GROUND. TERMINATE OVERFLOW DRAIN AT EXTERIOR WALL ABOVE TENANT CEILING. FIELD COORDINATE. SEE PLUMBING.
4. CRICKET AS REQUIRED FOR POSITIVE DRAINAGE.
5. AREA RESERVED FOR ELEVATOR HOUSING EXTENSION. FINAL CONFIGURATION TO BE DETERMINED.
6. AREA RESERVED FOR ACCESS TO ROOF VIA STAIRWELL IF REQUIRED BY LOCAL JURISDICTION.
7. AREA RESERVED FOR SOLAR PANEL SYSTEM AS REQUIRED BY THE CALIFORNIA ENERGY CODE. MINIMUM AREA IS 1% OF THE ROOF AREA.
8. CLAY ROOFING TILE OVER 2 LAYERS ROOFING FELT OVER SHEATHING.
9. PROVIDE EIFS FINISH TO MATCH EXTERIOR SIDE TO A POINT MIN 6" LOWER THAN ADJACENT PARAPET.

GENERAL NOTES

1. PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.
2. PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS, AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
3. IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISIBLE TO THE GUEST AT GRADE LEVEL.

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Project

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EL DORADO HILLS CA
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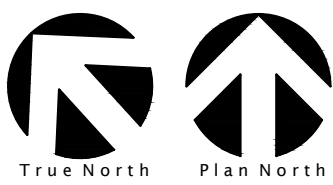
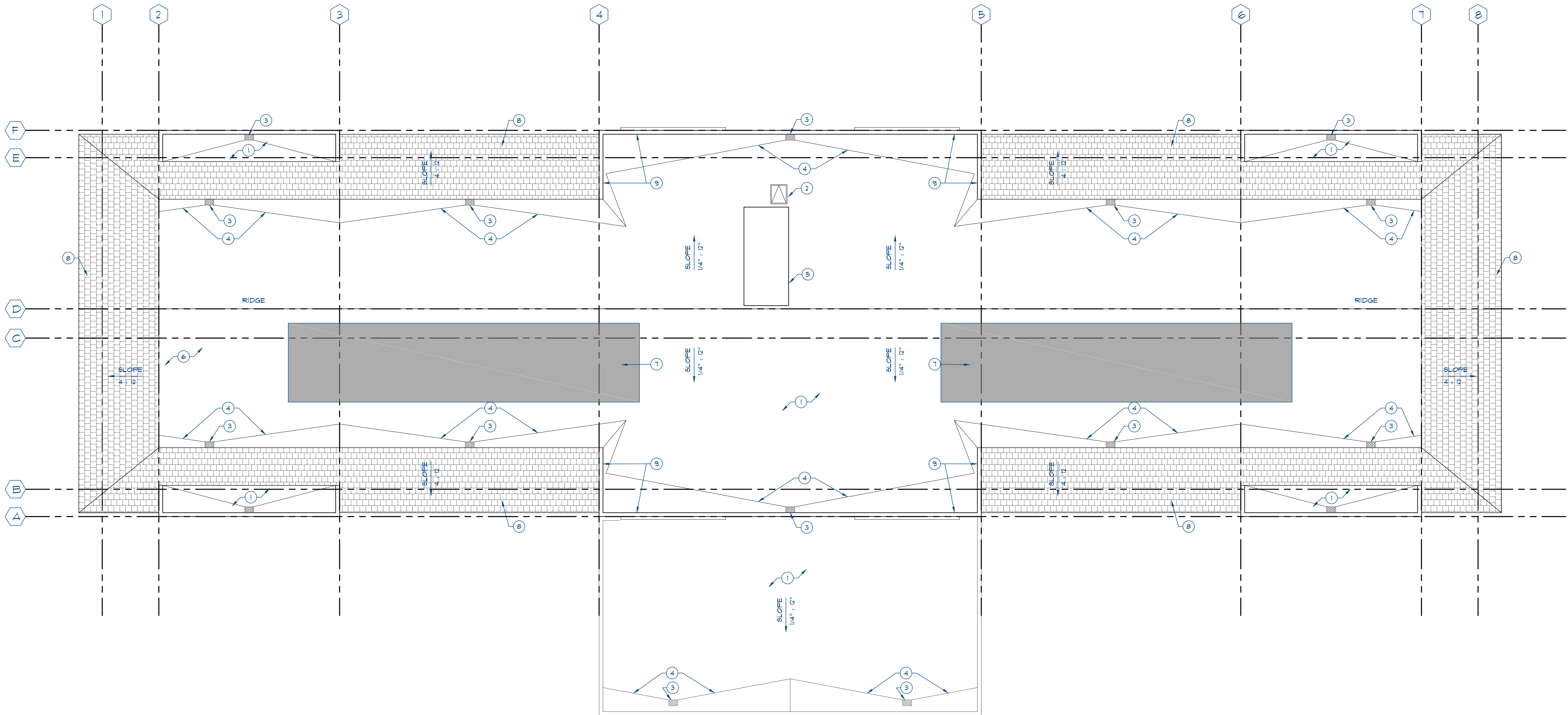
Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
ROOF PLAN

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No. JCSR18-0223-00

Drawing No. **A2.20**



ARCH E1 - 30"x42" - 762mm x 1067mm (rounded)

MATERIAL LEGEND

- S-1 STONE MASONRY VENEER
EL DORADO STONE
MONTECITO CLIFFSTONE
- R-1 ROOF TILE
REDLAND CLAY TILE CO.
BAJA MISSION TILE
- P-1 EIFS SYSTEM
COLOR MATCH SHERWIN WILLIAMS #1120
"ARCADE WHITE"
- P-2 EIFS SYSTEM
COLOR MATCH DUNN EDWARDS #6220
"POROUS STONE"
- P-3 EIFS SYSTEM
COLOR MATCH DUNN EDWARDS #5355
"CROSSROADS"
- P-4 EIFS SYSTEM
COLOR MATCH DUNN EDWARDS #5188
"RUDDY OAK"

KEYNOTES

- ① EIFS FINISH WITH INTEGRAL COLOR PER LEGEND.
- ② DECORATIVE LIGHT FIXTURE.
- ③ PROTOTYPICAL WINDOW WITH PTAC HVAC UNIT.
- ④ FOAM TRIM.
- ⑤ FOAM QUON.
- ⑥ STEEL EYEBROW CANOPY, PAINTED.
- ⑦ HOLLOW METAL DOOR, PAINTED.
- ⑧ ANODIZED ALUMINUM STOREFRONT WITH DUAL GLAZING.
- ⑨ EXPANSION / CONTROL JOINTS.
- ⑩ HOTEL SIGNAGE, BASIS OF DESIGN PROTOTYPE STANDARD, FINAL DESIGN SUBJECT TO DEVELOPMENT MASTER SIGNAGE GUIDELINES.

GENERAL NOTES

BUILDING ELEVATIONS ARE BASED UPON A PREVIOUSLY ENTITLED SET OF DOCUMENTS.

BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.

REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.

EIFS COLORS SHALL BE INTEGRAL IN THE FINISH AND SHALL NOT BE A PAINTED FINISH. FINISH COLOR SHALL BE COLORED MATCHED TO LEGEND.

PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.

PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS, AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.

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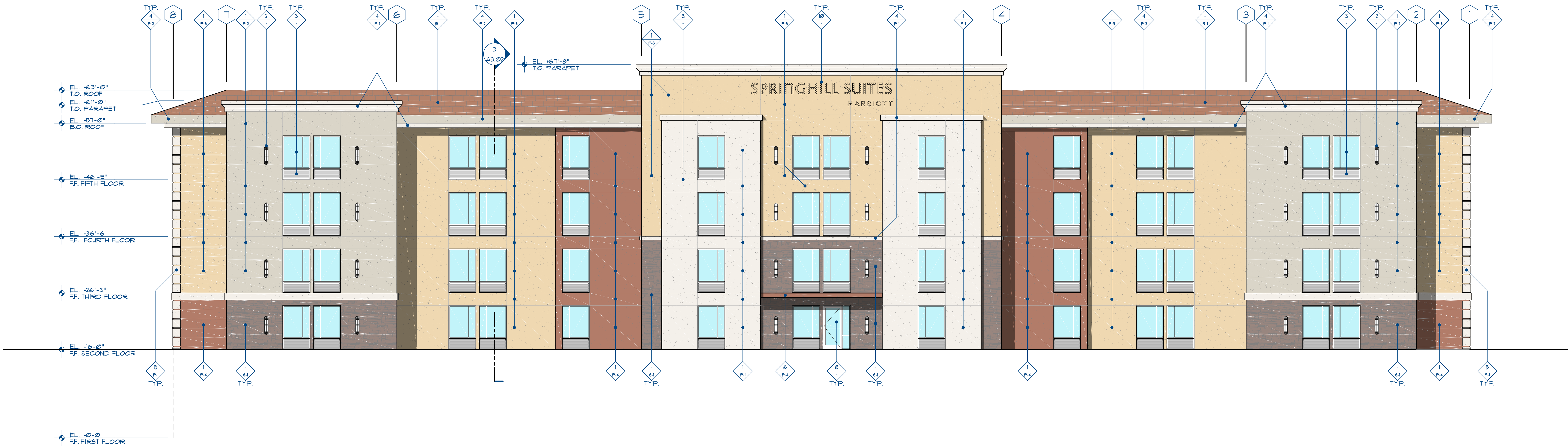
Project Manager D. ALBRIGHT	Drawn
Project Leader J.CHAPIN	Checked J.CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
EXTERIOR ELEVATIONS

Check Scale (may be photo reduced)
0 1 inch 0 10mm

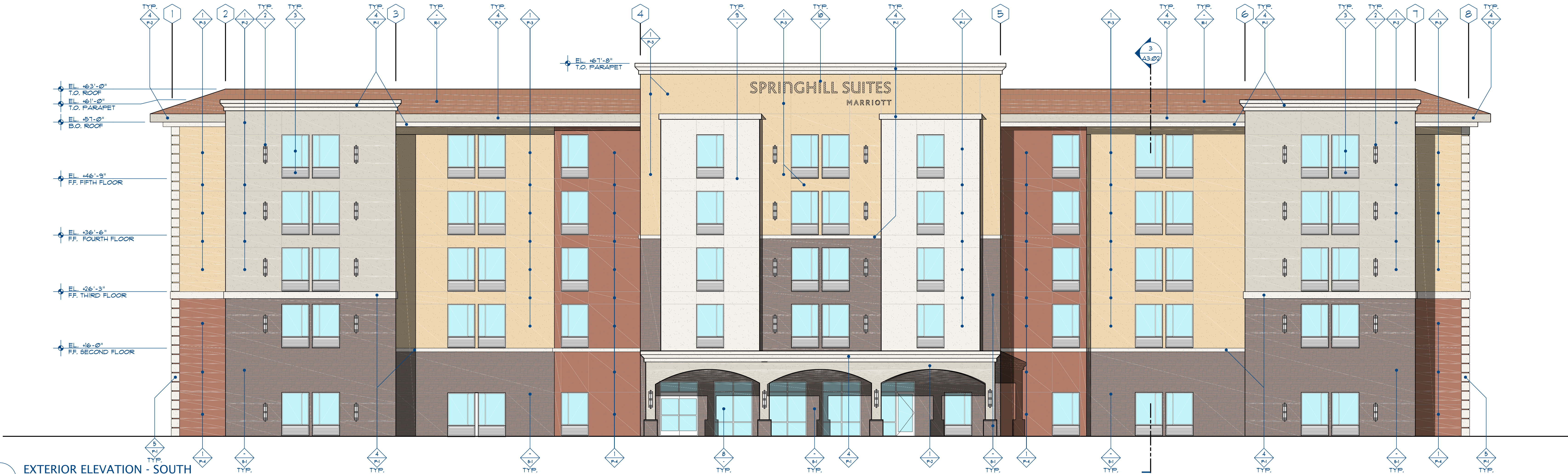
Project No.
JCSR18-0223-00

Drawing No.
A3.01



2 EXTERIOR ELEVATION - NORTH

SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

- S-1 STONE MASONRY VENEER
EL DORADO STONE
MONTECITO CLIFFSTONE
- R-1 ROOF TILE
REDLAND CLAY TILE CO.
BAJA MISSION TILE
- P-1 EIFS SYSTEM
COLOR MATCH SHERWIN WILLIAMS #1120
"ARCADE WHITE"
- P-2 EIFS SYSTEM
COLOR MATCH DUNN EDWARDS #6220
"POROUS STONE"
- P-3 EIFS SYSTEM
COLOR MATCH DUNN EDWARDS #5355
"CROSSROADS"
- P-4 EIFS SYSTEM
COLOR MATCH DUNN EDWARDS #5188
"RUDDY OAK"

KEYNOTES

- ① EIFS FINISH WITH INTEGRAL COLOR PER LEGEND.
- ② DECORATIVE LIGHT FIXTURE.
- ③ PROTOTYPICAL WINDOW WITH PTAC HVAC UNIT.
- ④ FOAM TRIM.
- ⑤ FOAM QUON.
- ⑥ STEEL EYEBROW CANOPY, PAINTED.
- ⑦ HOLLOW METAL DOOR, PAINTED.
- ⑧ ANODIZED ALUMINUM STOREFRONT WITH DUAL GLAZING.
- ⑨ EXPANSION/CONTROL JOINTS.
- ⑩ HOTEL SIGNAGE, BASIS OF DESIGN PROTOTYPE STANDARD, FINAL DESIGN SUBJECT TO DEVELOPMENT MASTER SIGNAGE GUIDELINES.

GENERAL NOTES

BUILDING ELEVATIONS ARE BASED UPON A PREVIOUSLY ENTITLED SET OF DOCUMENTS. .

BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.

REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.

EIFS COLORS SHALL BE INTEGRAL IN THE FINISH AND SHALL NOT BE A PAINTED FINISH. FINISH COLOR SHALL BE COLORED MATCHED TO LEGEND.

PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.

PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS, AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.

IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISIBLE TO THE GUEST AT GRADE LEVEL.

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12-31-18	OWNER REVIEW	
7-01-19	KEY COUNT CHANGE	

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Project

SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

Consultants

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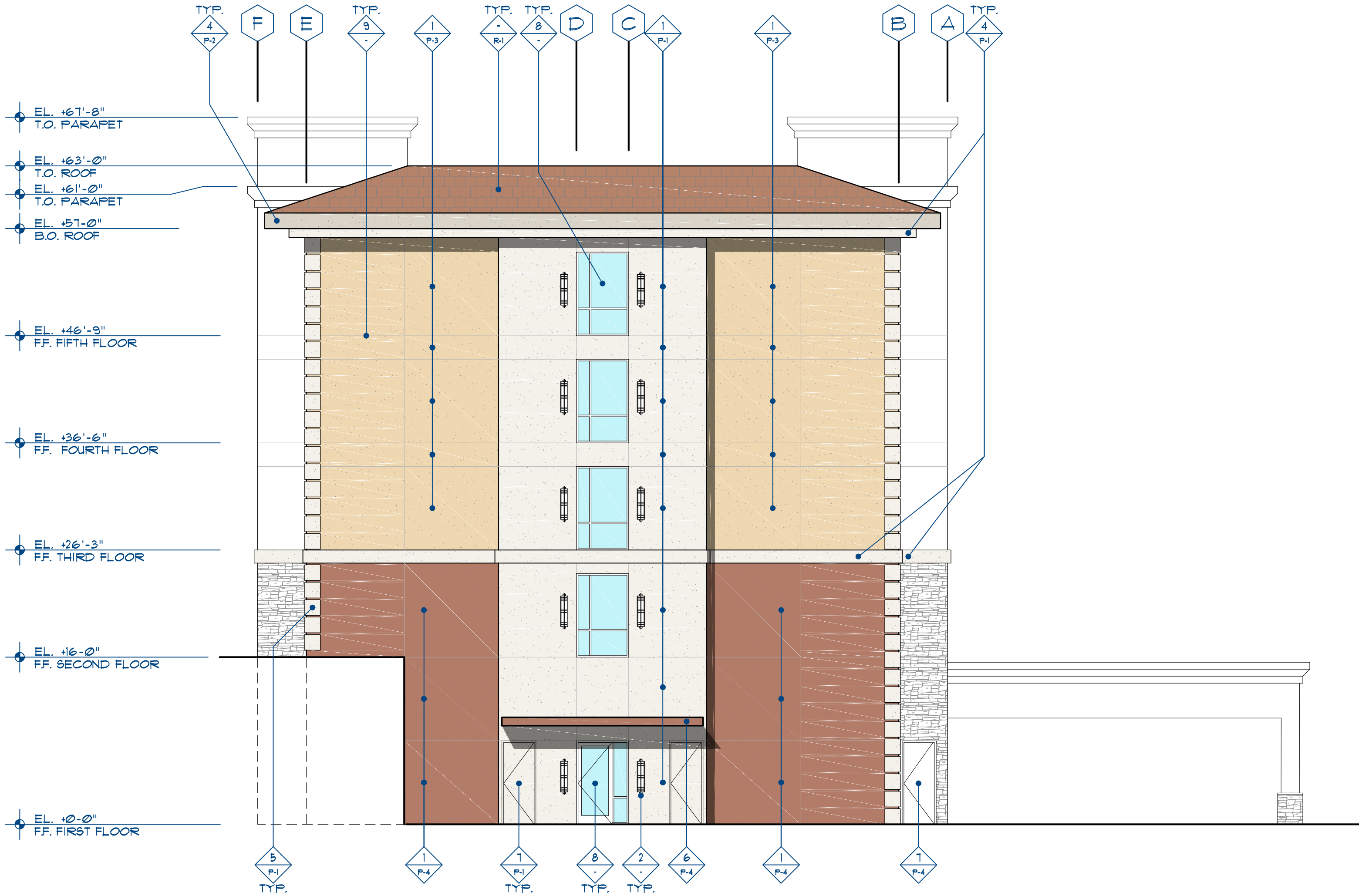
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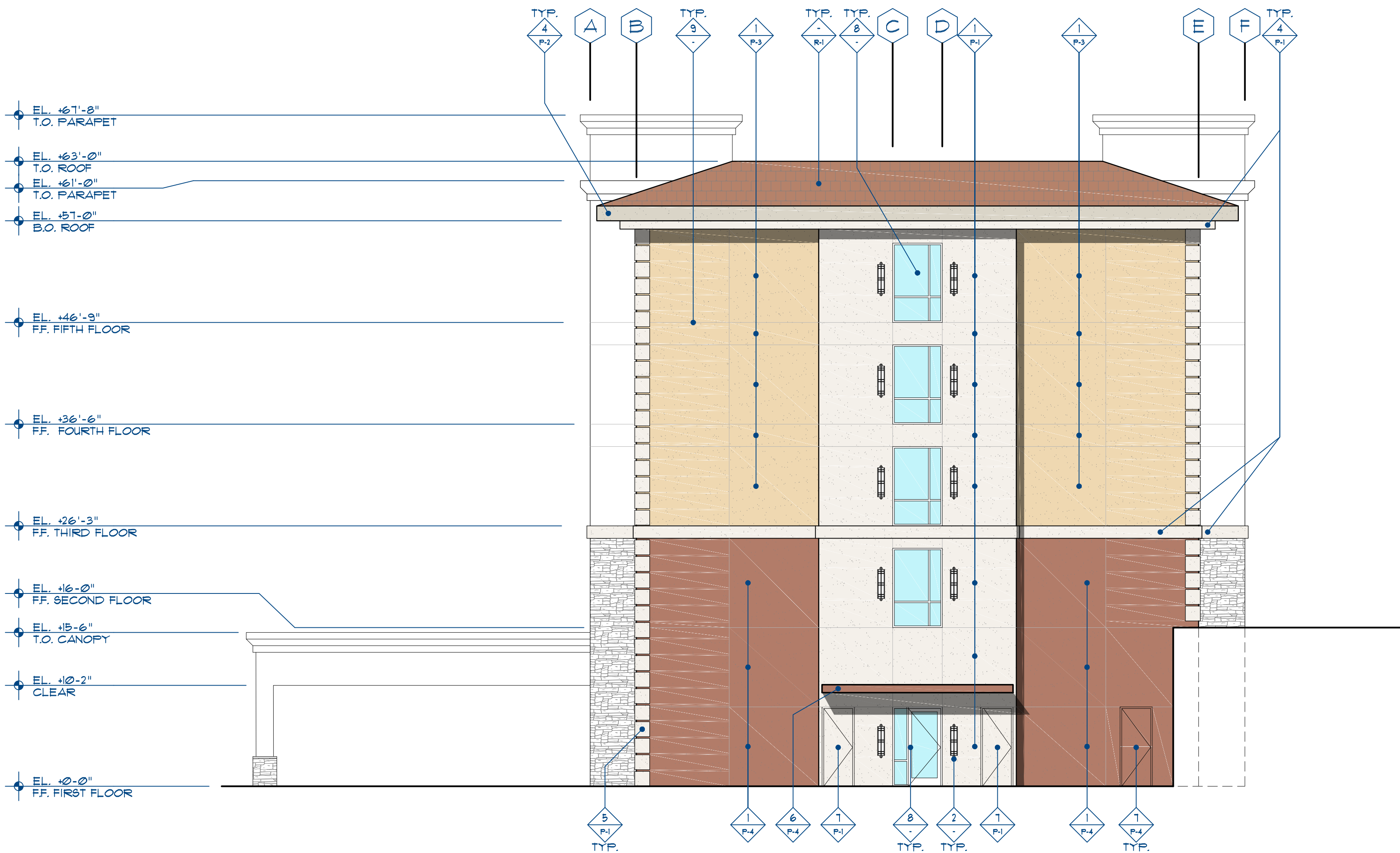
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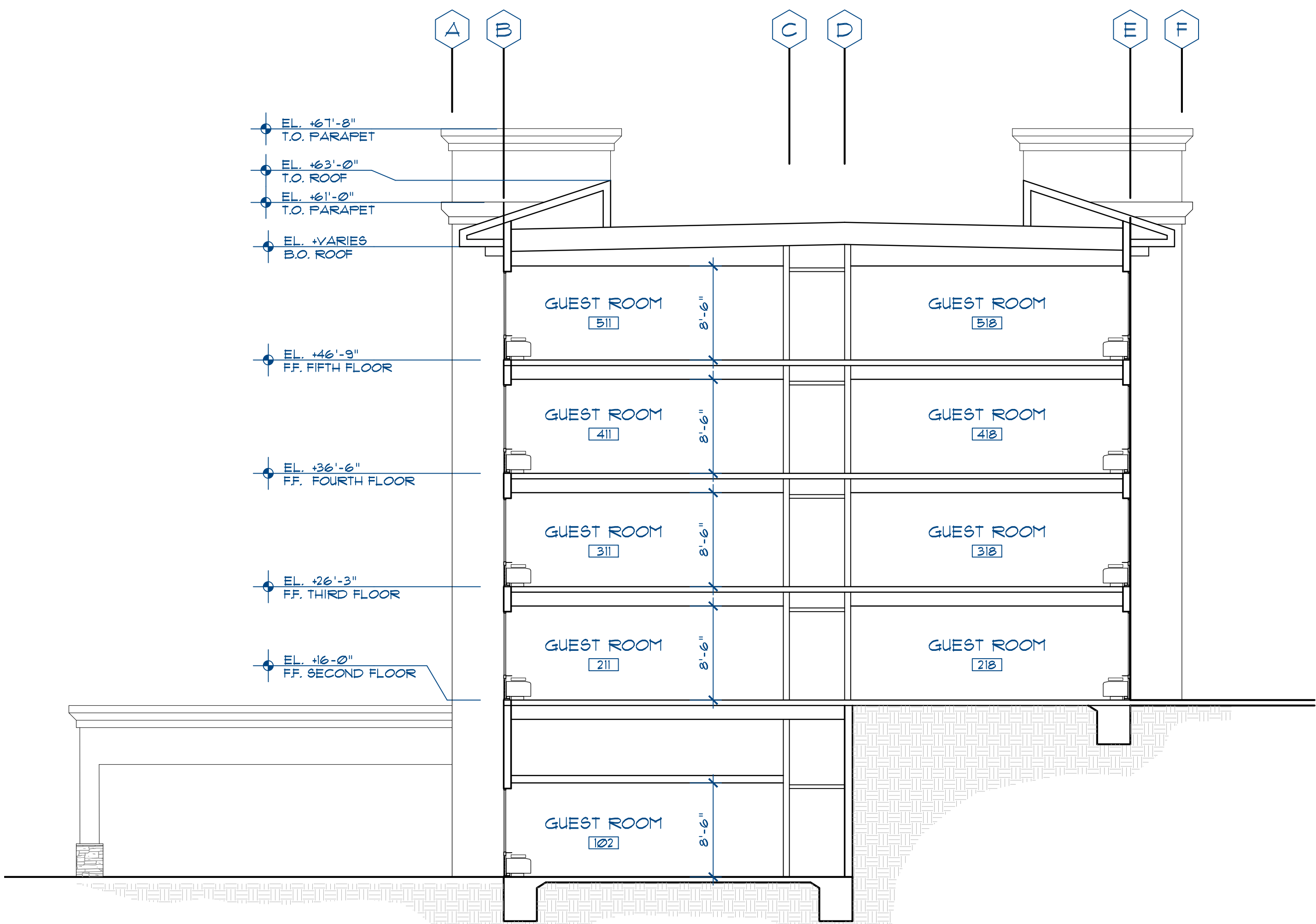
Project Manager D. ALBRIGHT	Drawn
Project Leader J.CHAPIN	Checked J.CHAPIN
Client PERKINS COMMERCIAL GROUP	
Drawing Title EXTERIOR ELEVATIONS	
Check Scale (may be photo reduced) 0 1 inch 0 10mm	
Project No. JCSR18-0223-00	
Drawing No. A3.02	



2 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



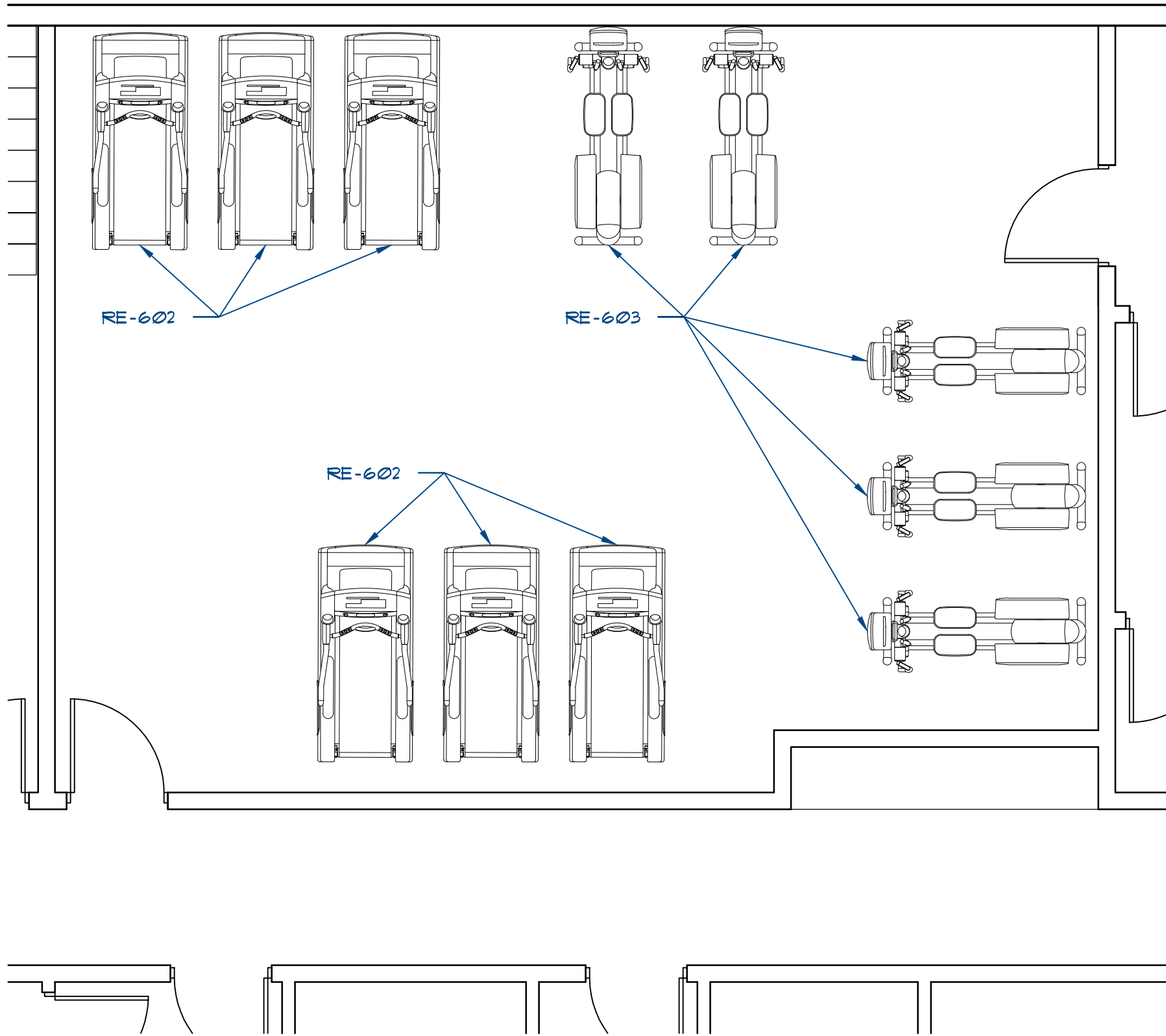
3 FLOOR LAYOUT - SECTION
SCALE: 1/8" = 1'-0"

DECOR PACKAGE

PALETTES

ACOUSTIC REQUIREMENTS - CONSTRUCTION CRITERIA				
TYPE	PARTITION LOCATION	STC	IIC	BASIS OF DESIGN
1	FLOOR / CEILING ASSEMBLY	55	50+	GA FILE NO FC 1800 2 HOUR RATED, 60-64 STC
2	GUESTROOM PARTY WALL (INCLUDING SHIRT / CHASE WALL BETWEEN GUEST BATHS)	55		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
3	GUESTROOM ADJACENT TO PUBLIC AND MEETING SPACES, SERVICE AREAS, ELEVATORS, EQUIPMENT ROOMS, LAUNDRY AND SIMILAR SPACES	55+		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
4	CORRIDOR WALLS	50		GA FILE NO UP 1522 2 HOUR RATED, 55-59 STC
5	OTHER WALLS			GA FILE NO UP 1083 1 HOUR RATED, 45-49 STC

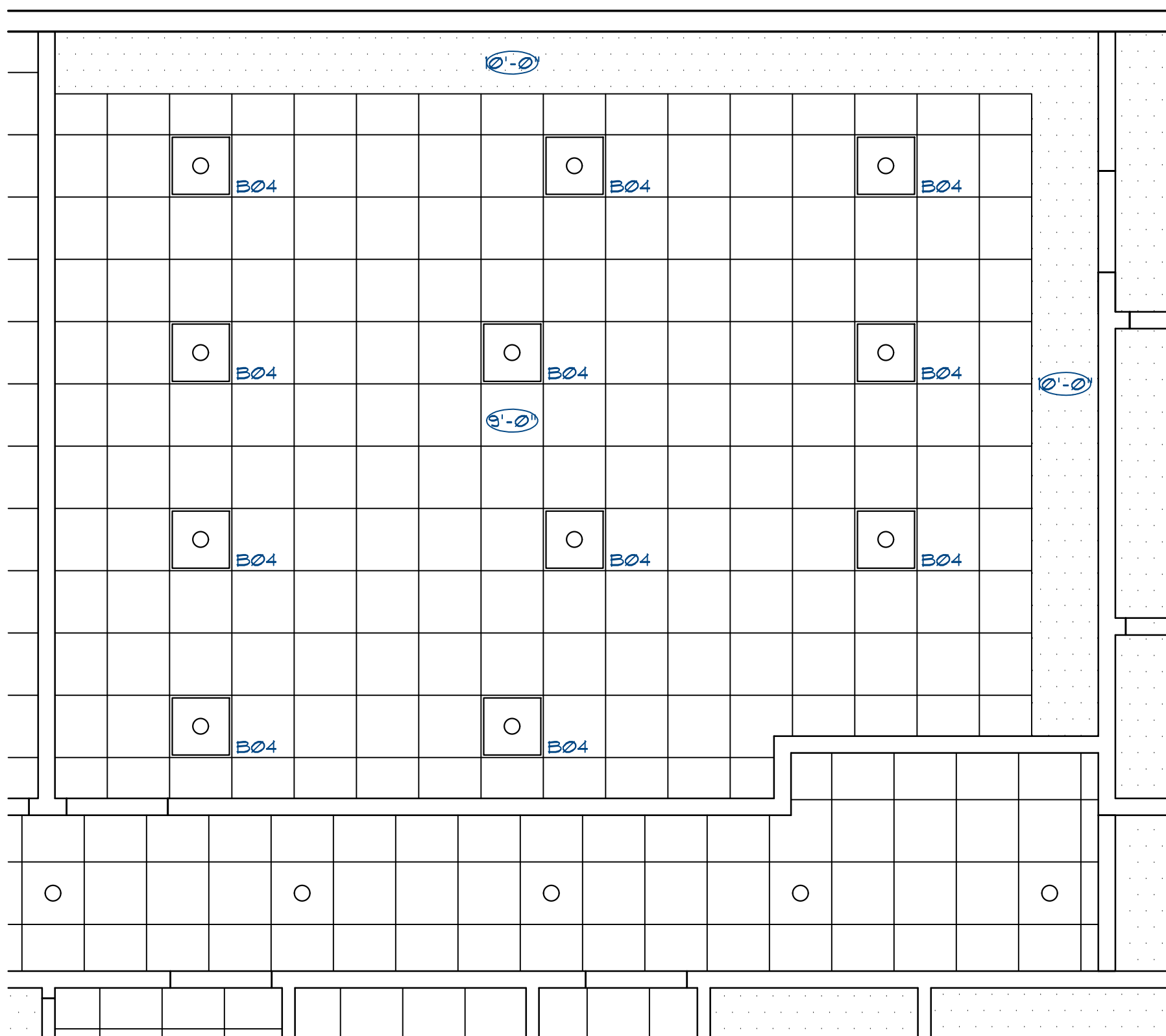
NOTE: FLOOR AND WALL ASSEMBLIES SUBJECT TO CHANGE WITH FURTHER ENGINEERING



2

ENLARGED FITNESS AREA FURNITURE AND FINISH PLAN

SCALE: 1/4" = 1'-0"



3

ENLARGED FITNESS AREA REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



GENERAL NOTES

- OBTAIN BUILDING OWNERS (AND TENANT'S UPON REQUEST) APPROVAL OF WALL CHALK LINES PRIOR TO INSTALLATION OF BASE TRACKS.
- OBTAIN BUILDING OWNERS (AND TENANT'S UPON REQUEST) APPROVAL OF ELECTRICAL AND DATA OUTLET LOCATION CHALK LINES PRIOR TO INSTALLATION. SEE ELECTRICAL DRAWINGS.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- PROVIDE METAL STUDS TO MATCH SPECIFIED WALL GAGE AT ALL NEW DOOR JAMBS AND HEAD CONDITIONS.
- STUD GAGE AND SIZE INDICATED ARE MINIMUM STANDARDS. CONTRACTOR TO SELECT STUD SIZE AND GAGE PER STRUCTURAL OR OTHER TRADE REQUIREMENTS IN NO EVENT SHALL STUD SIZE, GAGE, AND SPACING FALL BELOW MINIMUM REQUIREMENTS UNLESS OTHERWISE INDICATED.
- ALL WALLS TO BE FINISHED WITH 5/8" TYPE X GYP BOARD UNLESS OTHERWISE SPECIFIED.
- ALL FLOORS SHALL BE LEVEL AND CLEAN PRIOR TO START OF WALL ERECTION. PATCH, REPAIR AND/OR REPLACE AS REQUIRED.
- WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO HEAD ON BOTH SIDES OF THE WALL WHERE WALL IS EXPOSED FULL HEIGHT. AT WALLS WHERE CEILINGS OCCUR WALLS SHALL BE FINISHED AND PAINTED FROM SLAB TO A POINT 6" ABOVE T-BAR.
- PROVIDE 5/8" WATER RESISTANT TYPE X GYP BOARD AT ALL WET LOCATION WALLS. AT LOCATIONS WHERE WALL FINISH IS SPECIFIED TO BE TILE USE 5/8" TYPE X CEMENT BACKER BOARD.
- CONTRACTOR TO COORDINATE STUD SIZE AT PLUMBING WALLS TO ACCOMMODATE LATERAL RUNS.
- PROVIDE ALL REQUIRED FIRE SPREAD PREVENTION METHODS INCLUDING BUT NOT LIMITED TO FIRE CAULKING, FIRE SAFING, FIRE TAPING, FIRE DAMPERS, ETC. AT ALL PENETRATIONS OF RATED CONDITIONS SO AS TO MAINTAIN RATED CONSTRUCTION.
- ENTRY AND EXIT DOORS ON THE EXTERIOR OF THE BUILDING, AND INTERIOR DOORS INCLUDED WITH THIS SCOPE OF WORK, SHALL CONFORM TO TITLE 24 REQUIREMENTS.
 - HARDWARE: MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. MAXIMUM EFFORT TO OPERATE FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
 - EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - CONSTRUCTION: THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- ALL SELF CLOSING DOORS WITH A LATCH SHALL HAVE REQUIRED DOOR CLEARANCES: PROVIDE MIN 12" STRIKE SIDE CLEARANCE ON PUSH SIDE OF DOORS. PROVIDE MIN 18" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF DOORS. PROVIDE MIN 24" STRIKE SIDE CLEARANCE ON THE PULL SIDE OF EXTERIOR DOORS. PROVIDE MIN 48" DEEP CLEAR SPACE IN FRONT OF THE DOOR ON THE PUSH SIDE AND 60" DEEP CLEAR SPACE IN FRONT THE DOOR ON THE PULL SIDE.

GENERAL NOTES (CONTINUED)

- CONFIRM ROOM NUMBERING CONVENTIONS WITH TENANT PRIOR TO ORDERING, MANUFACTURING AND/OR INSTALLING IDENTIFICATION SIGNAGE. ROOM NUMBERS IDENTIFIED ON PLAN ARE FOR CONSTRUCTION COORDINATION ONLY.
- INTERIOR FINISHES SHALL CONFORM TO THE SPRINGHILL SUITES BY MARRIOTT GEN 4.5 DESIGN GUIDELINES DRAWINGS UNLESS OTHERWISE NOTED.
- ROOM CAPACITY SIGNAGE SHALL BE PROVIDED AND POSTED IN ROOMS OR SPACES THAT SERVE AS ASSEMBLY AREAS. LOCATION OF SIGNAGE TO BE LOCATED NEAR OF ABOVE THE EXIT. FINAL LOCATIONS TO BE APPROVED BY THE LOCAL FIRE DEPARTMENT HAVING JURISDICTION.
- CONTRACTOR SHALL COORDINATE THE SIZE, LOCATION, AND CAPACITY OF WALL MOUNTED EQUIPMENT AND FURNISHINGS SUCH AS TVs, DRESSERS, HEADBOARDS, SHELVING, GRAB BARS, ETC WITH TENANT. COORDINATE THE LOCATION OF ELECTRICAL AND DATA OUTLETS WITH BACKING AS REQUIRED FOR FULLY SUPPORTED AND OPERATIONAL EQUIPMENT. WALL MOUNTED EQUIPMENT PROJECTING MORE THAN 4" ABOVE THE FINISH FLOOR SHALL BE MOUNTED IN A MANNER TO ALLOW MIN 80" CLEAR HEADROOM UNDERNEATH THE BOTTOM EDGE.
- PROVIDE EGRESS MAPS ON THE INTERIOR SIDE OF THE DOOR ON ALL GUEST ROOMS.
- WALL TYPES SHALL CONFORM TO THE MINIMUM STC RATING NOTED. REFER TO THE ROOM MATRIX SHEET.

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Project

SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

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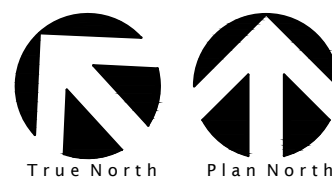
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**ENLARGED
FITNESS
AREA PLANS**

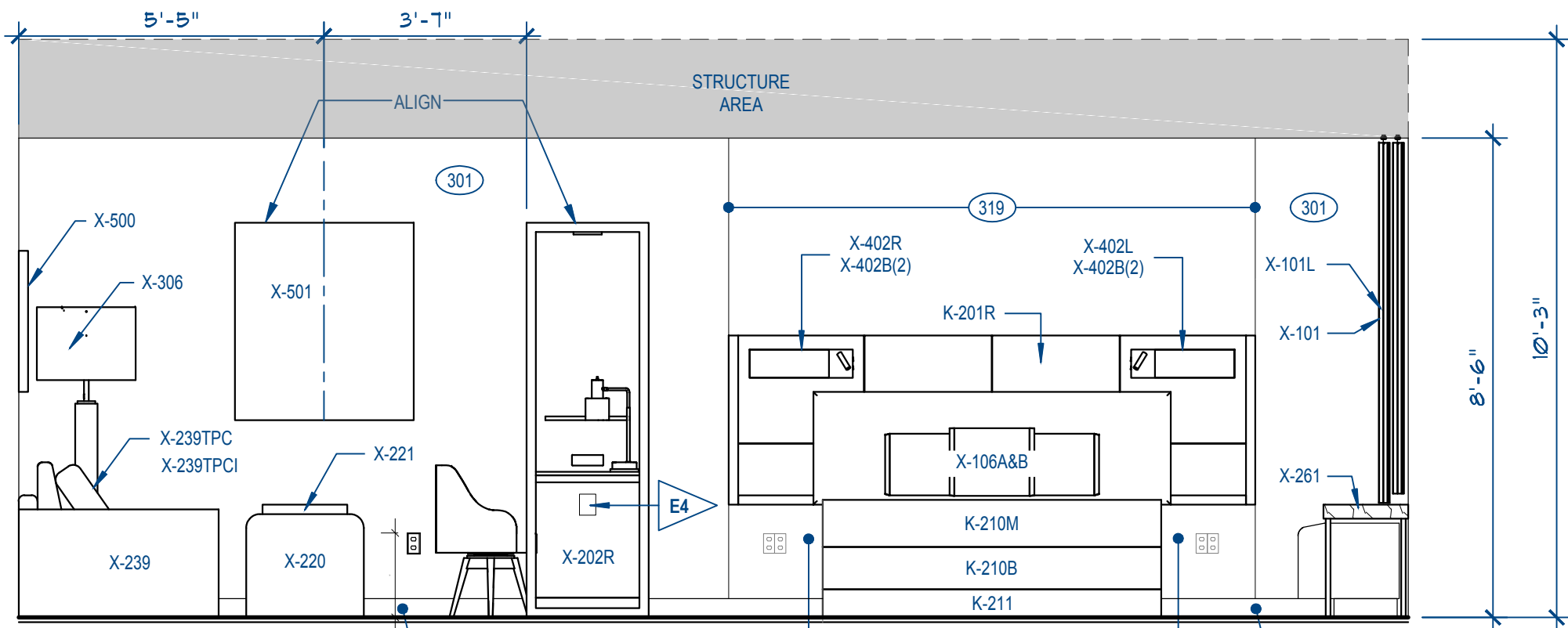
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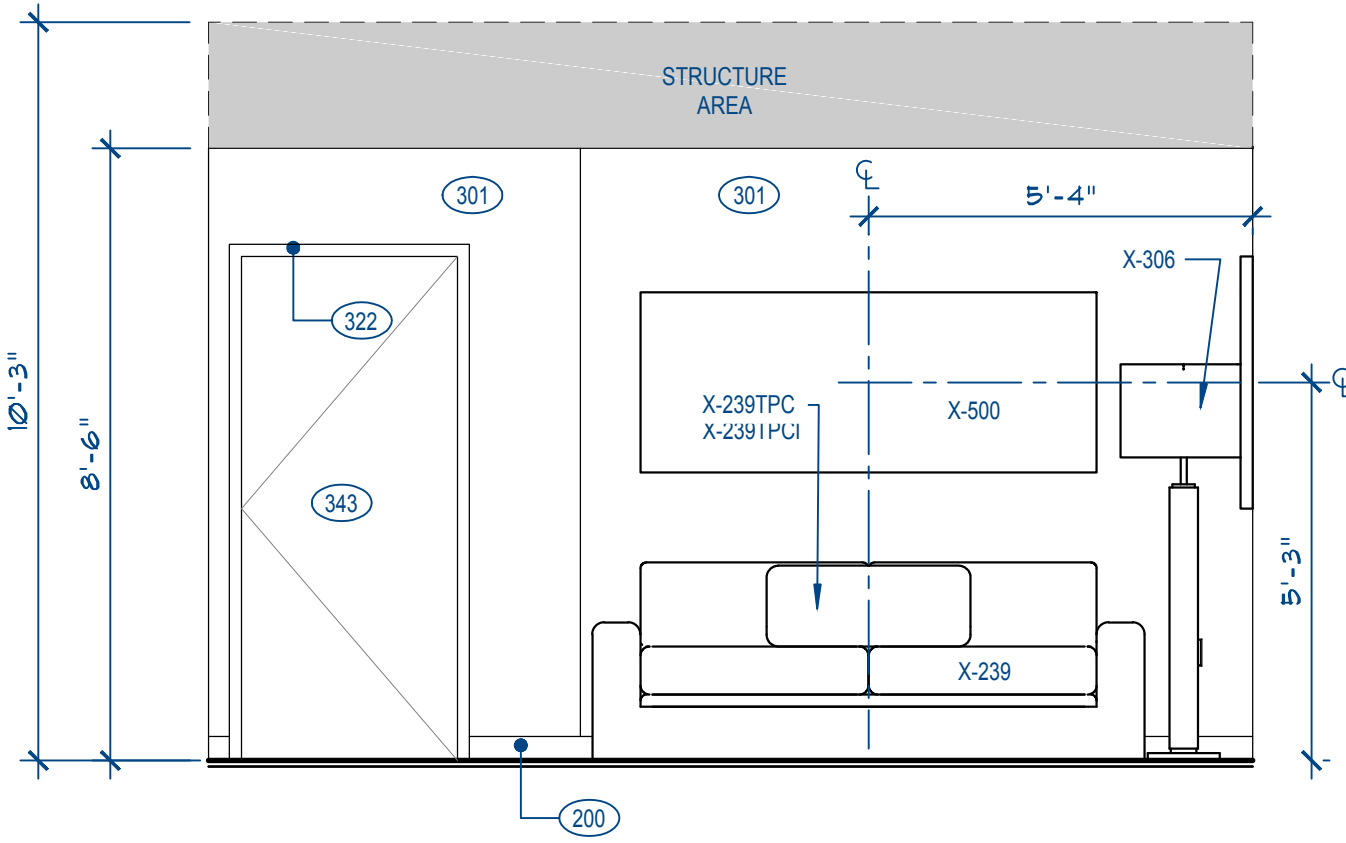
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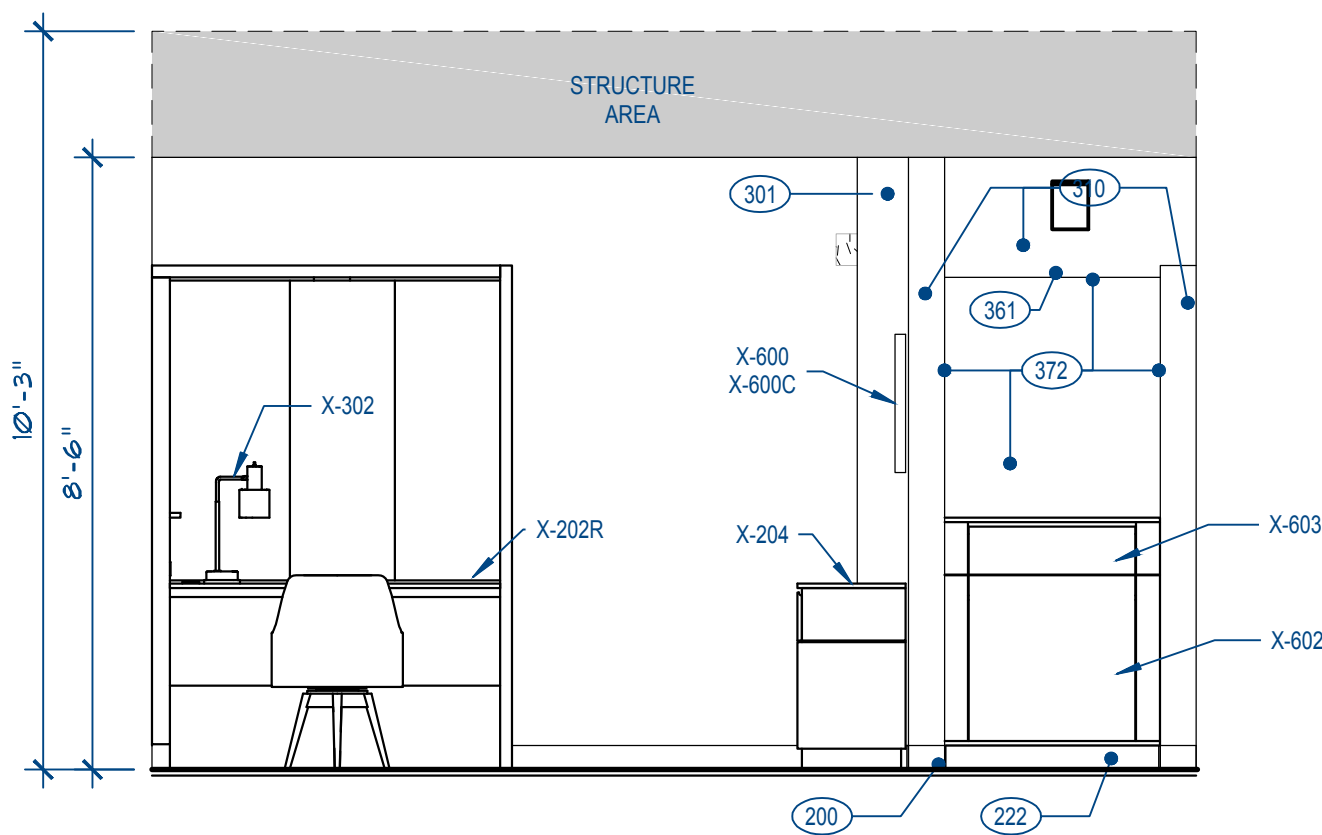




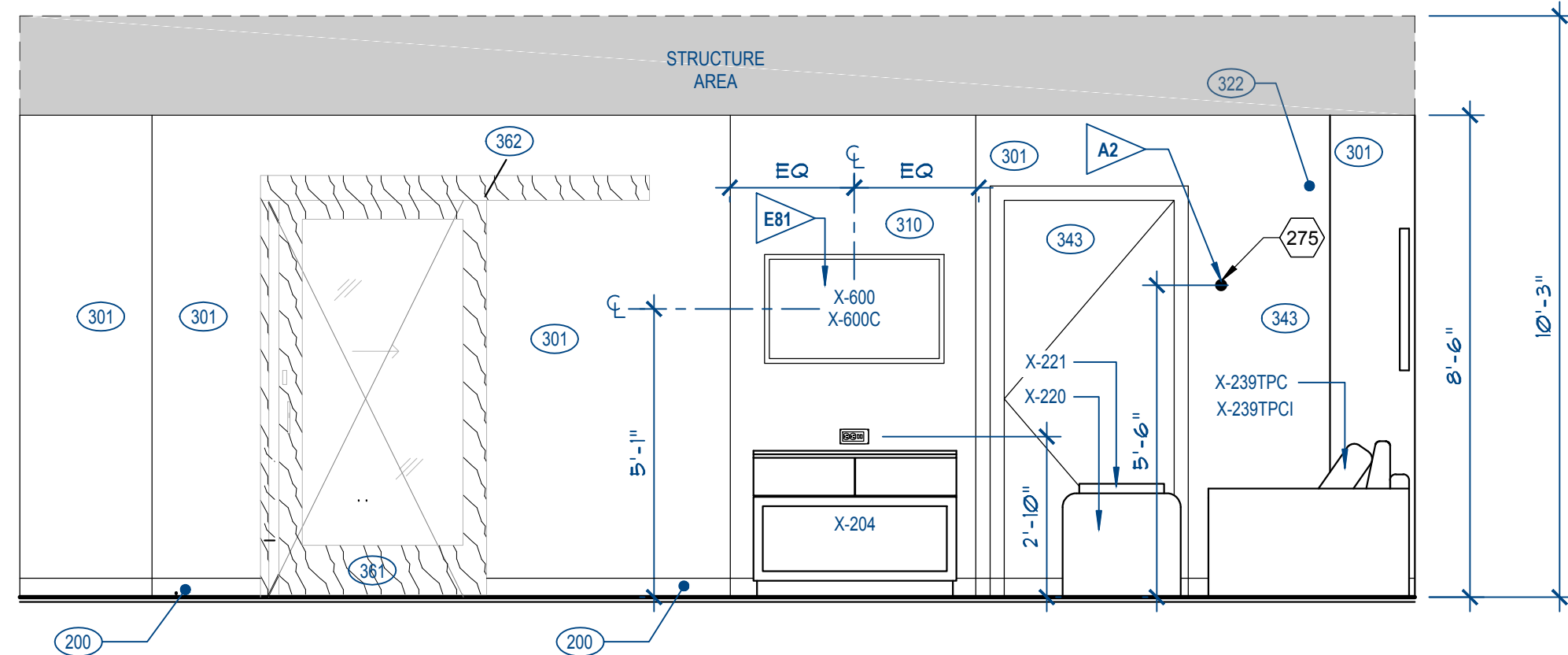
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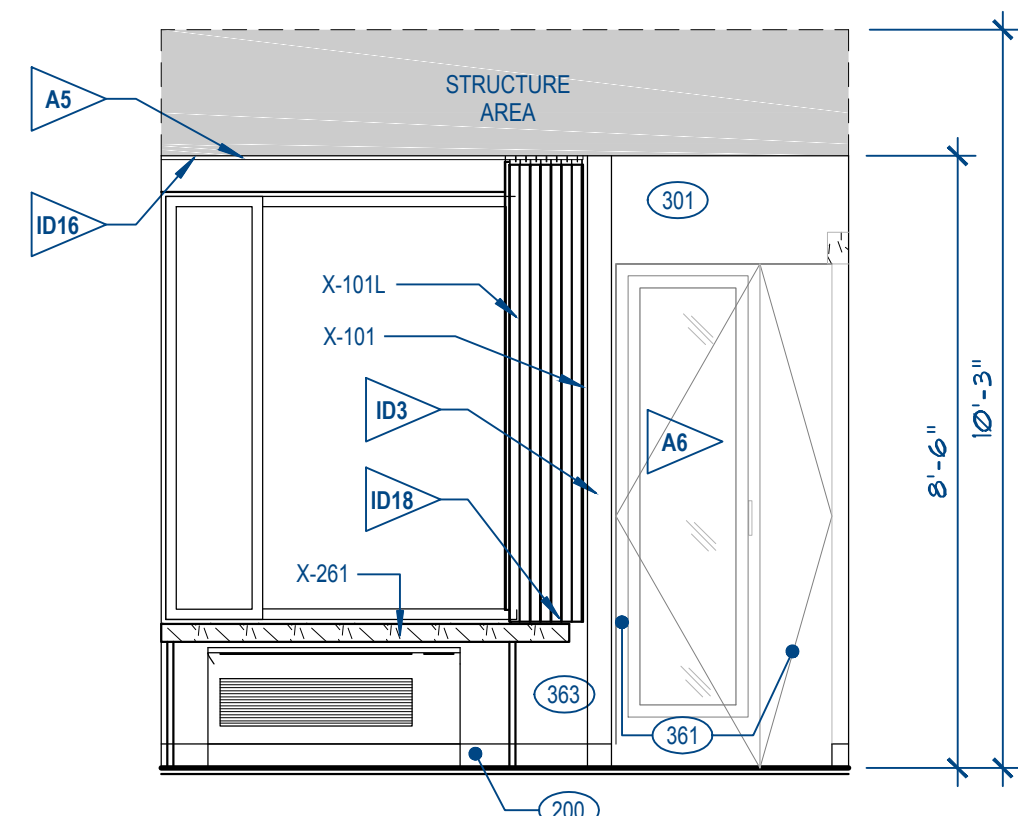
C ROOM ELEVATION
SCALE: 3/8" = 1'-0"



E ROOM ELEVATION
SCALE: 3/8" = 1'-0"



B ROOM ELEVATION
SCALE: 3/8" = 1'-0"



A ROOM ELEVATION
SCALE: 3/8" = 1'-0"

KEYNOTES

- A1 REFER TO MARRIOTT DESIGN AND CONSTRUCTION STANDARDS FOR REQUIRED LOCATIONS OF ALL CONNECTING DOORS
- A2 LOCATE ROBE HOOK 2'-0" FROM DRY BAR IN ROOMS WITHOUT CONNECTOR DOOR
- A4 IRONING BOARD MOUNTED INSIDE CLOSET. PROVIDE BLOCKING AS REQUIRED
- A5 WHERE DRAPERY RODS ARE USED AT WINDOWS OR SLIDING DOORS PROVIDE CONTINUOUS SOLID WOOD BLOCKING IN CEILING FOR ATTACHMENT
- A6 PROVIDE SURFACE MOUNTED MIRROR TO DOOR AND PROVIDE WOOD TRIM AS SPECIFIED. MANUFACTURER: PICTUREFRAMES.COM/ MODEL *UUS UNFINISHED FRAME 2'W X 1/4 RABBIT, 9/16" FINISH/ STAIN, WOOD STAINED TO MATCH DOOR FINISH. ATTACHMENT METHOD: MIRROR APPLIED TO DOOR WITH MASTIC. WOOD TRIM APPLIED TO DOOR WITH COUNTERSUNK SCREWS. FILL COUNTERSUNK SCREWS WITH PUTTY AND STAIN TO MATCH TRIM FINISH.
- ID3 TEXTURED FINISH AND PAINT REQUIRED ON GUESTROOM WINDOW WALL TO ELIMINATE MOLD AND MILDEW ISSUES.
- ID16 ROLLER SHADE - REFER TO WINDOW TREATMENT ELEVATION.
- ID18 CURTAIN TO CLEAR TOP OF BENCH BY 1/2" AND BE LOWER THAN WINDOW SILL
- ID22 CLOSET AND DRYBAR CAN BE PURCHASED THROUGH MARRIOTT PROCUREMENT AS CASEGOOD MANUFACTURED ITEMS (FFAE ALT). SEE SHEET 540-ALT AND 541-ALT FOR MORE INFORMATION.
- E4 QUAD RECEPTACLE * 24" AFF. 1/2 OF OUTLET TO BE SWITCHED TO ENTRY DOOR SWITCH. CASEGOOD LED RECESSED LIGHT TO BE FLUGGED INTO SWITCHED SIDE OF OUTLET. (2) USB CHARGING PORT POWER STRIP PROVIDED BY CASEWORK SUPPLIER PLUGGED IN NON-SWITCHED SIDE OF QUAD RECEPTACLE.
- E13 WHEN CONTINUOUS VENTING IS USED USE LIGHTING FIXTURE T04, X-413ALT IN LIEU OF FAN/LIGHT COMBINATION.
- E23 WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS, TYPICAL
- E24 VERIFY THAT SLEEVE EXTENDS 8'-10" INTO ROOM FROM INSIDE FACE OF EXTERIOR WALL, OUTLET FOR FTAC TO BE BELOW FTAC.
- E25 GANGED: 2 (ILLUMINATED) SWITCHES * HEIGHT SHOWN (CNTR). SEE FPM SEC 26 27 26 FOR SPECIFIC ILLUMINATED SWITCH INFORMATION.
- E26 DUPLEX OUTLET W/ (2) USB PORTS *HEIGHT SHOWN.
- E27 DUPLEX FOR REFRIGERATOR * HEIGHT SHOWN
- E28 DUPLEX BEHIND MICROWAVE * HEIGHT SHOWN
- E29 DUPLEX FOR COFFEE MAKER *HEIGHT SHOWN
- E30 ALIGN SWITCHES WITH THERMOSTAT TYP.
- E35 QUAD RECEPTACLE AND PHONE - GANG OUTLETS * HEIGHT SHOWN
- E81 PROVIDE DATA TV CABLE AND DUPLEX OUTLET DEDICATED TO TV IN RECESSED WALL POCKET

DECOR PACKAGE

PALETTE8

2 FURNITURE AND FINISH PLAN
SCALE: 1/8" = 1'-0"

1 DIMENSION PLAN
SCALE: 1/8" = 1'-0"

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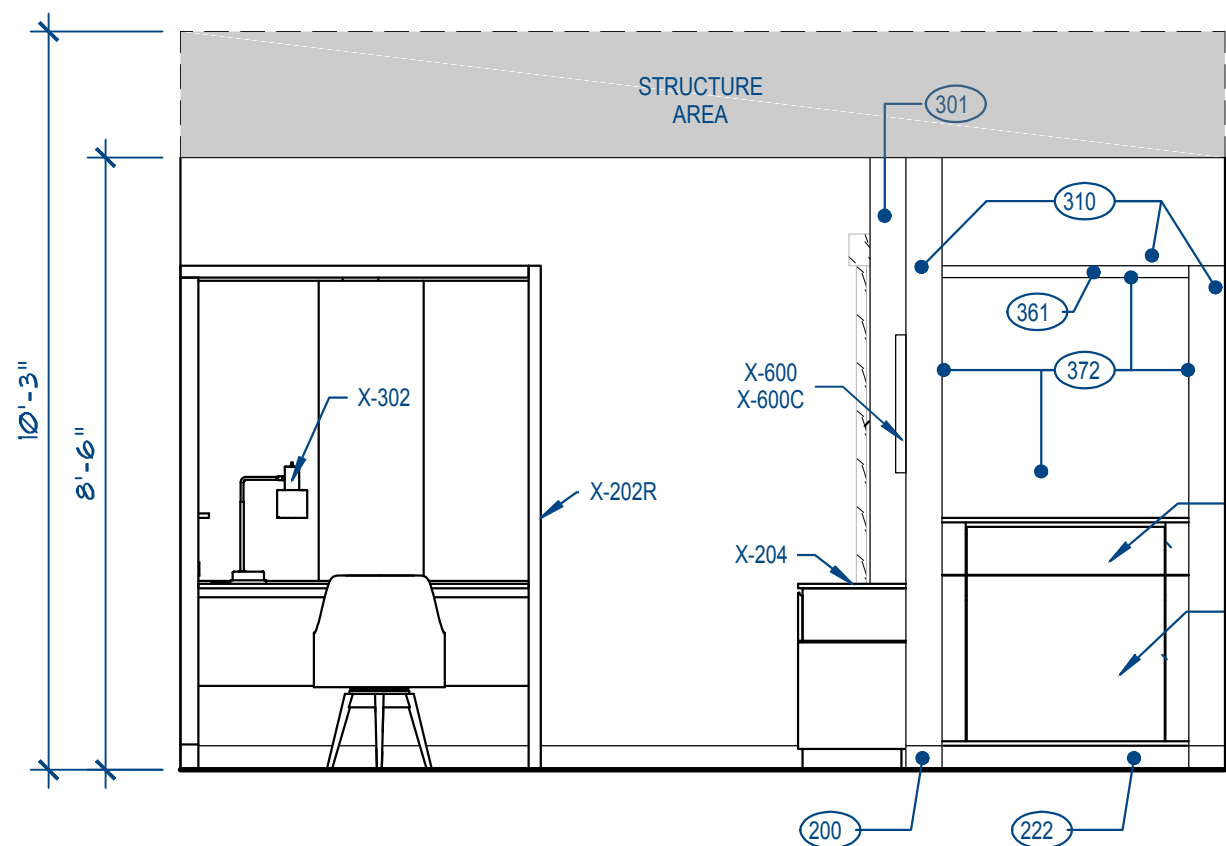
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Client PERKINS COMMERCIAL GROUP	

Drawing Title
STANDARD KING ROOM

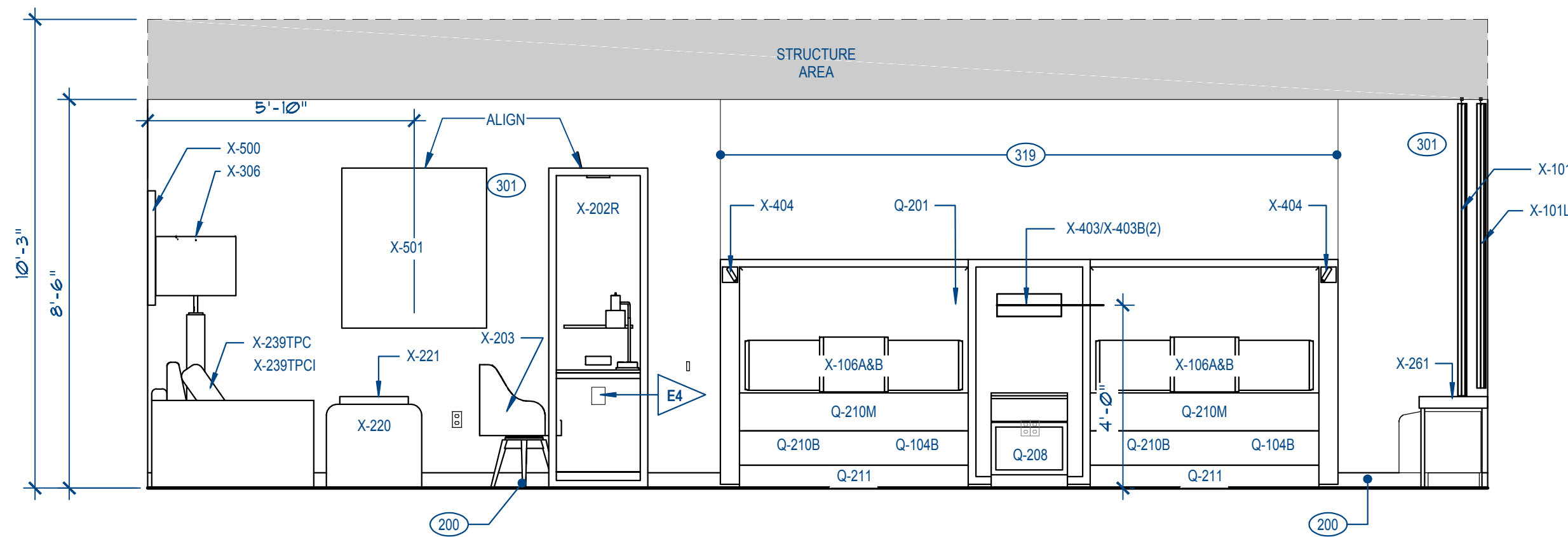
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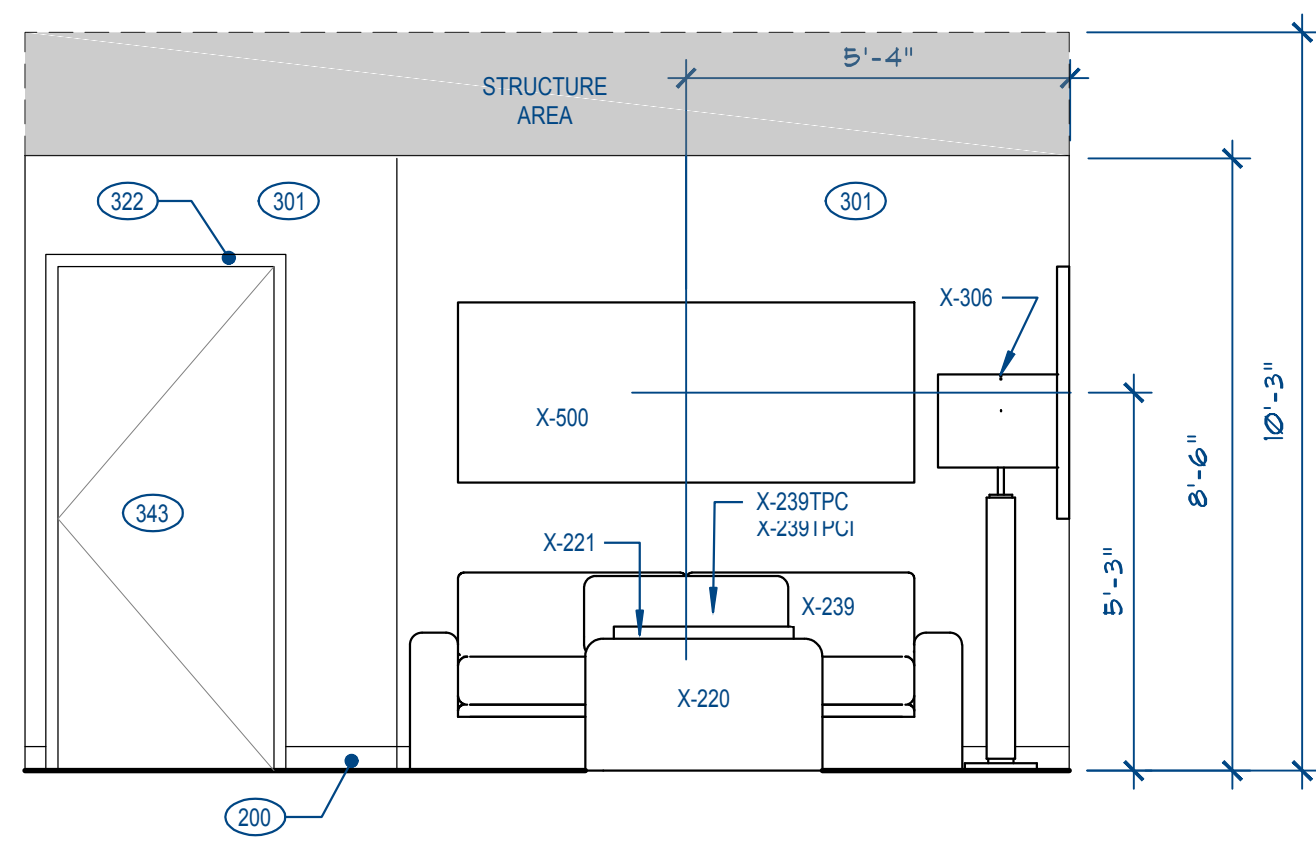
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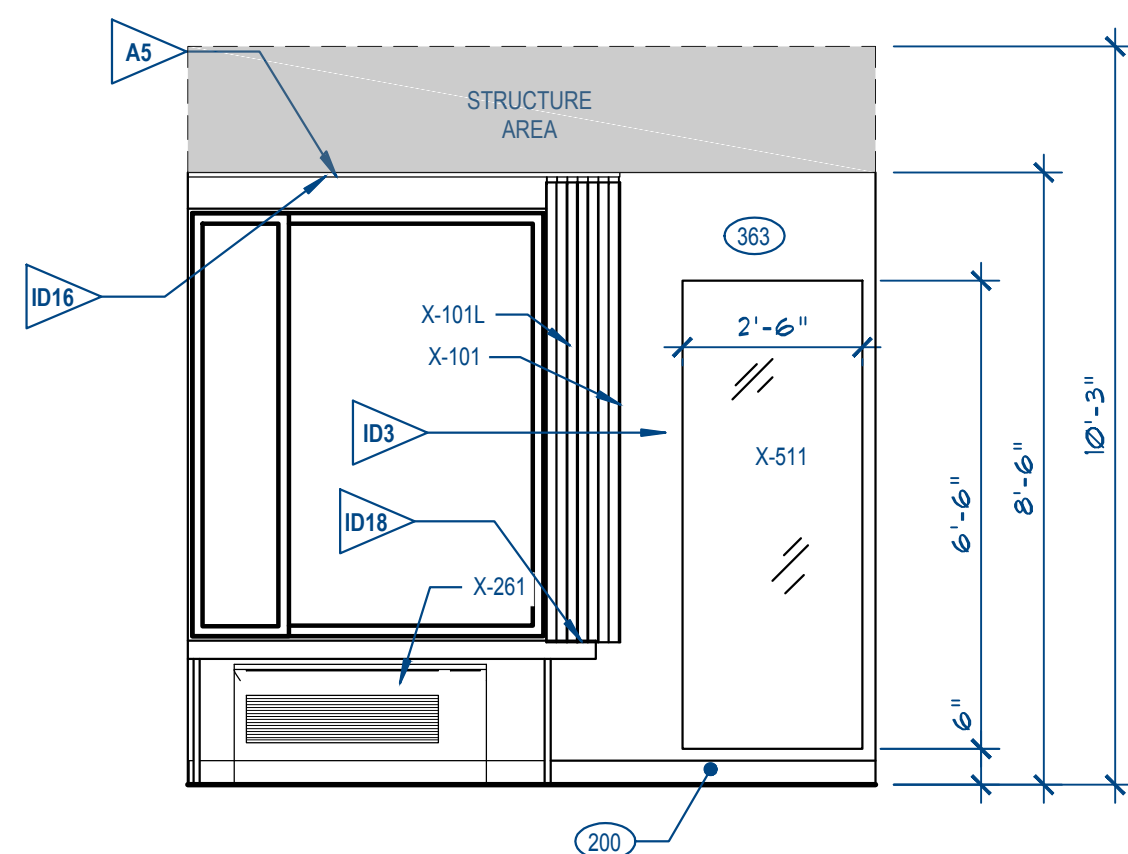
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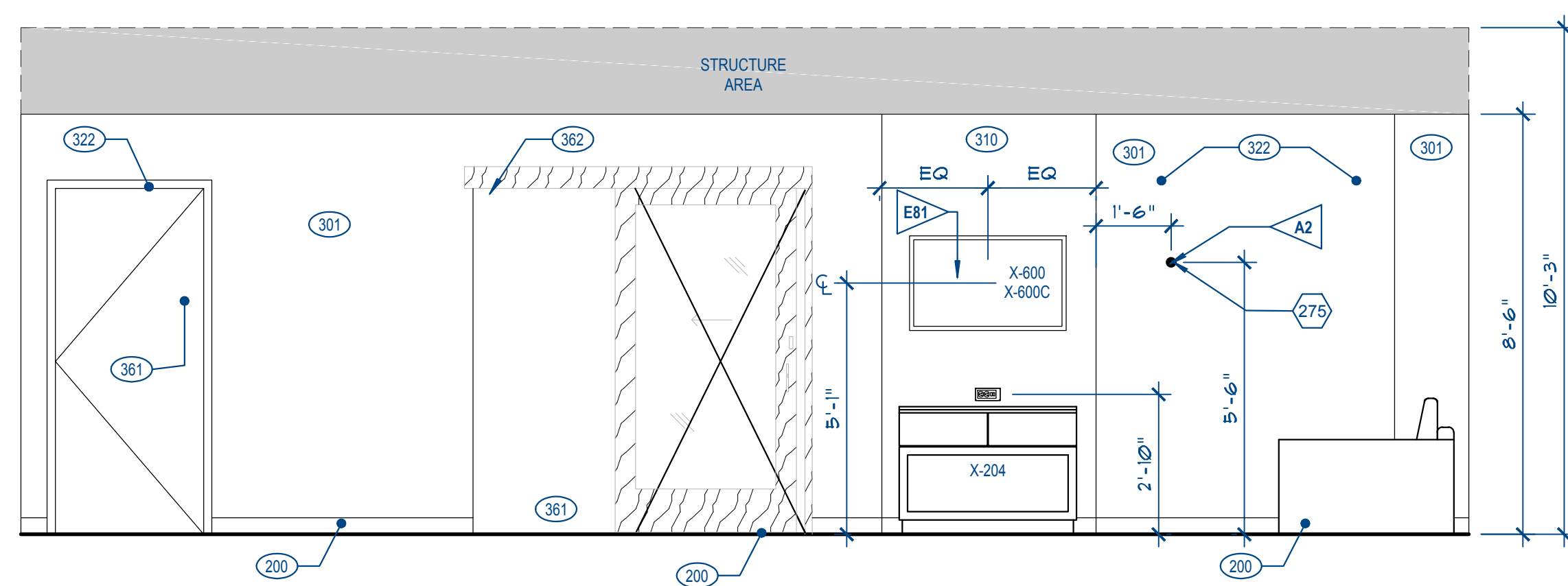
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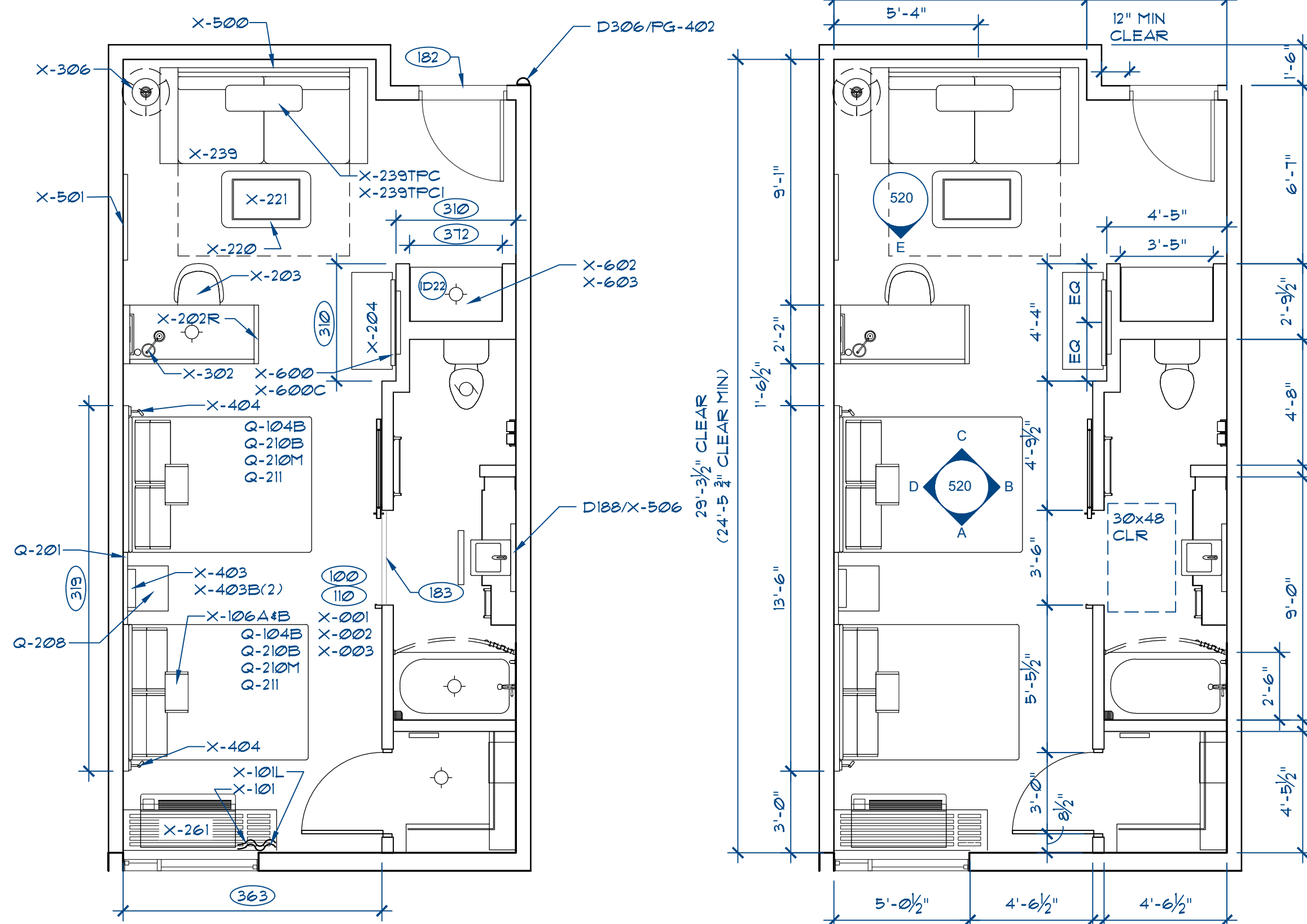
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SCALE: 3/8" = 1'-0"



A ROOM ELEVATION
SCALE: 3/8" = 1'-0"



B ROOM ELEVATION



2 FURNITURE AND FINISH PLAN

SCALE: 1/8" = 1'-0"

1 DIMENSION PLAN
SCALE: 1/8" = 1'-0"

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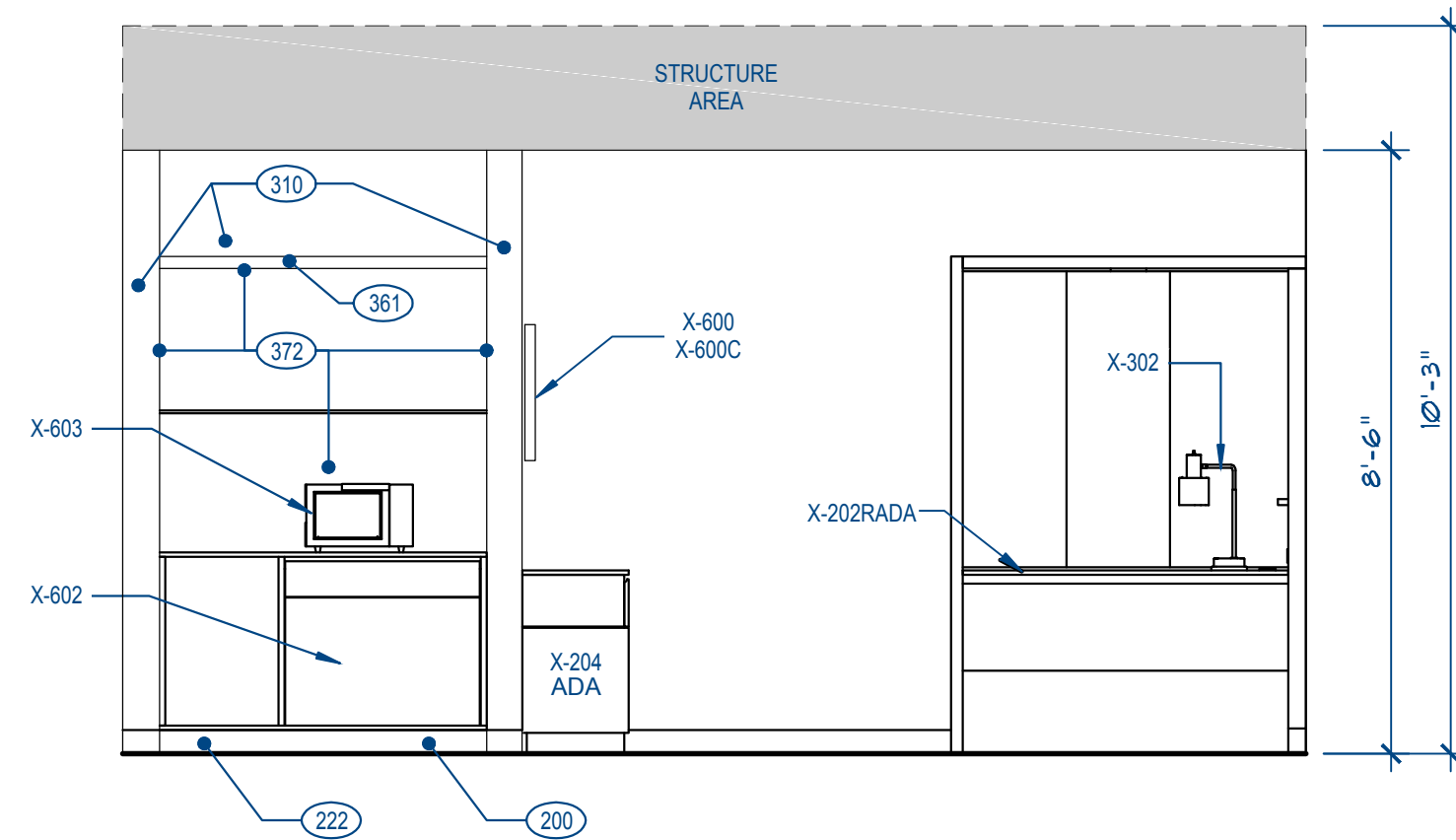
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Client PERKINS COMMERCIAL GROUP	

Drawing Title
STANDARD QUEEN ROOM

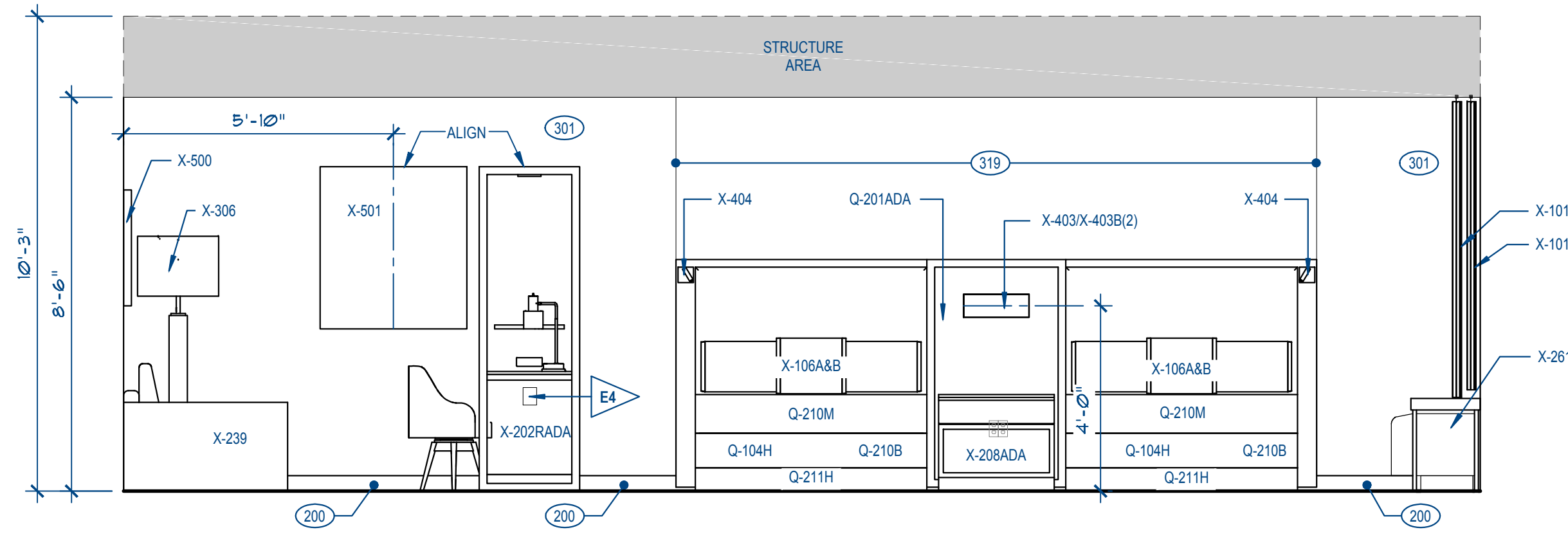
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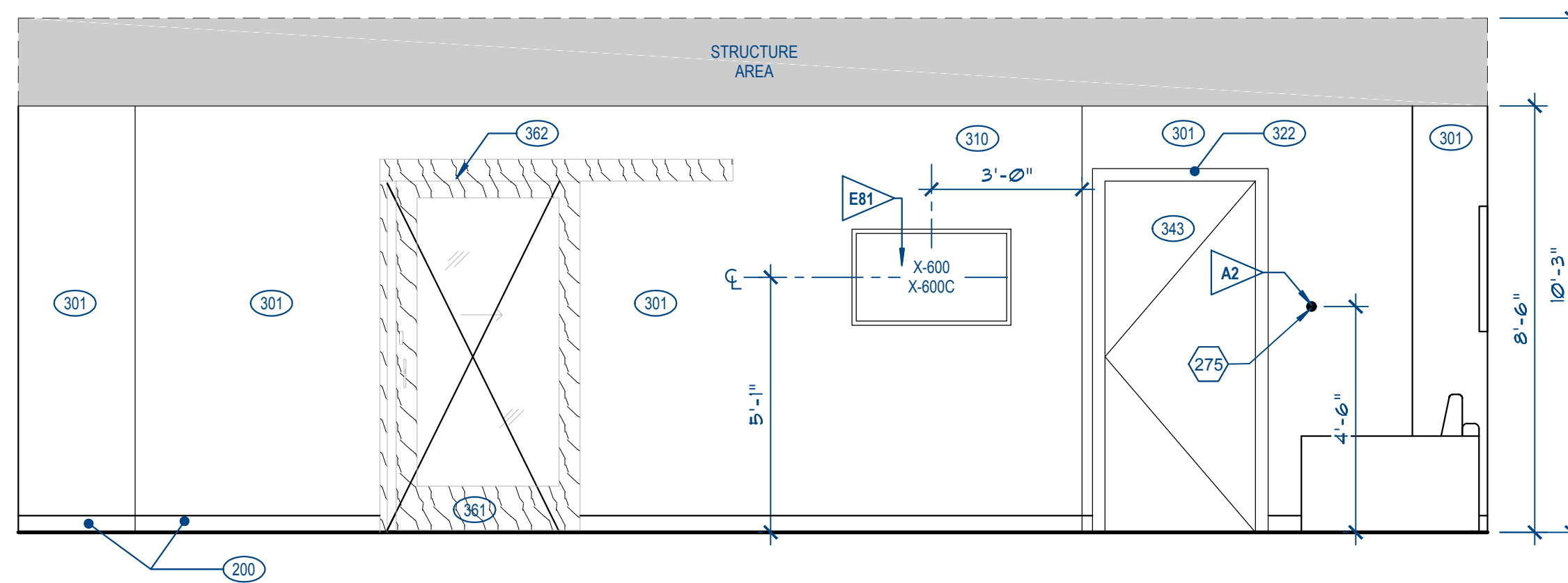
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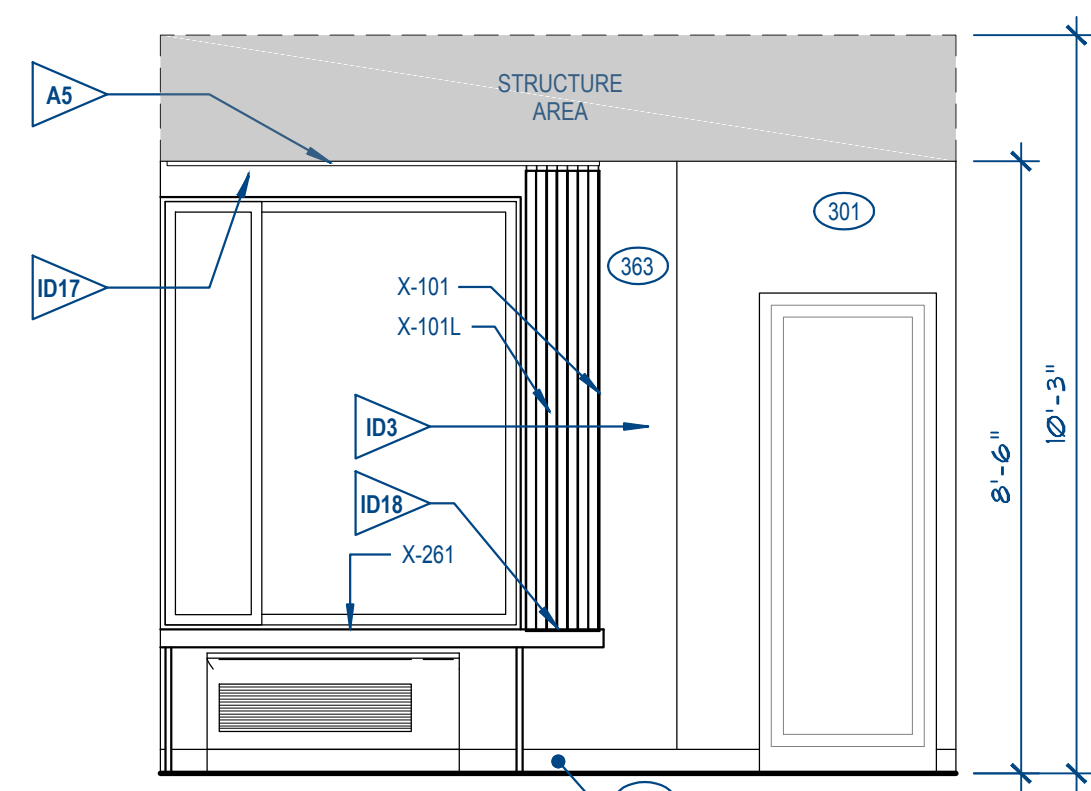
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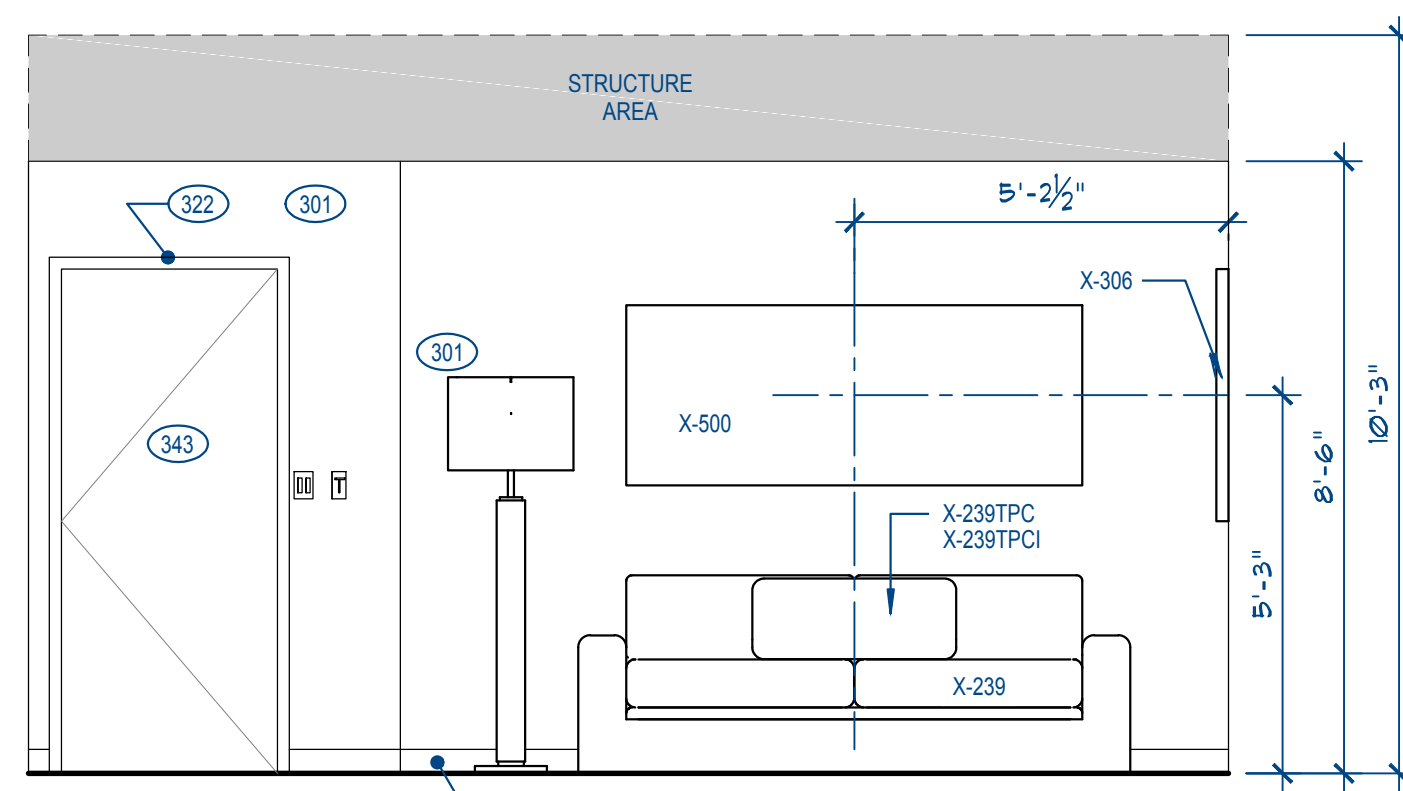
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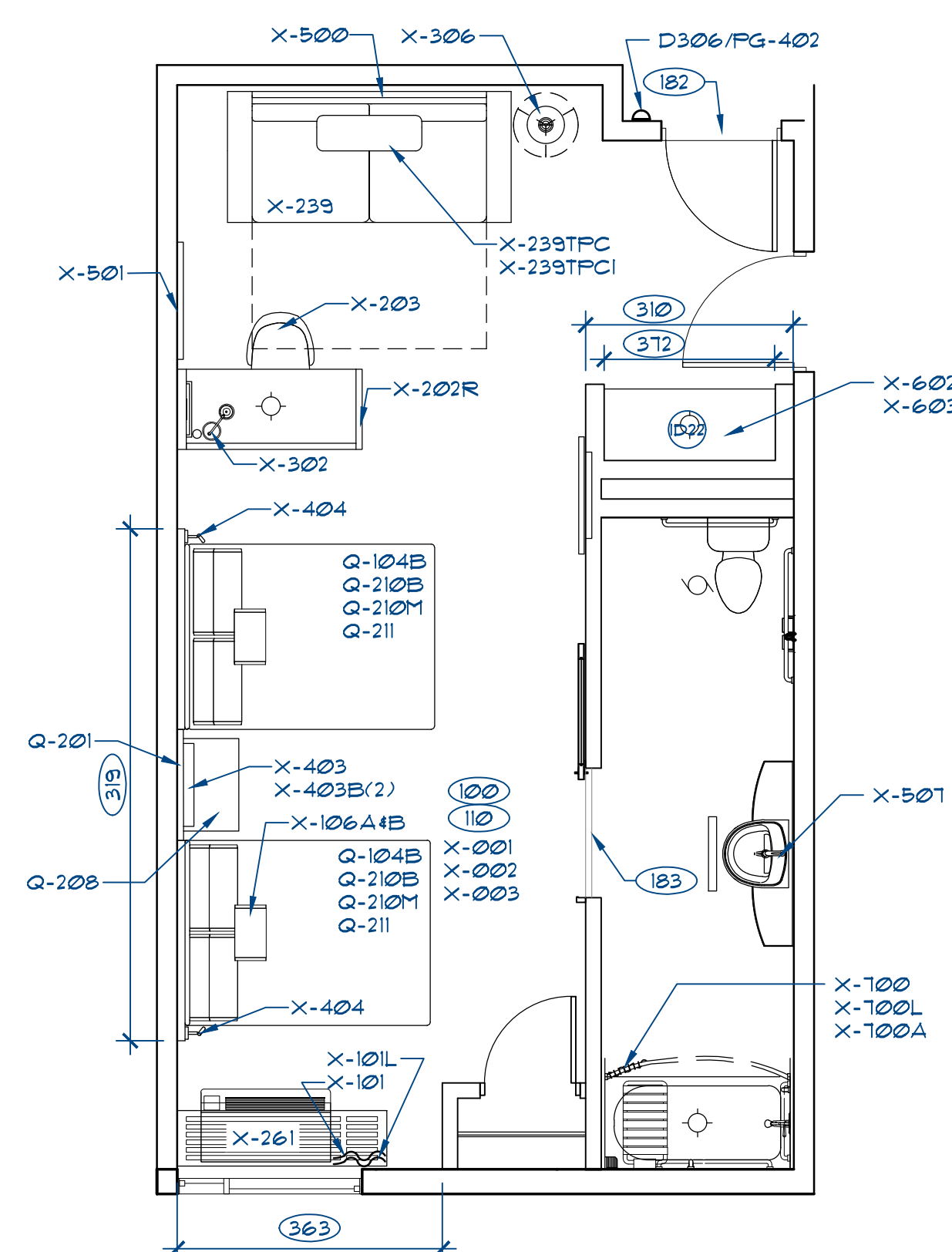
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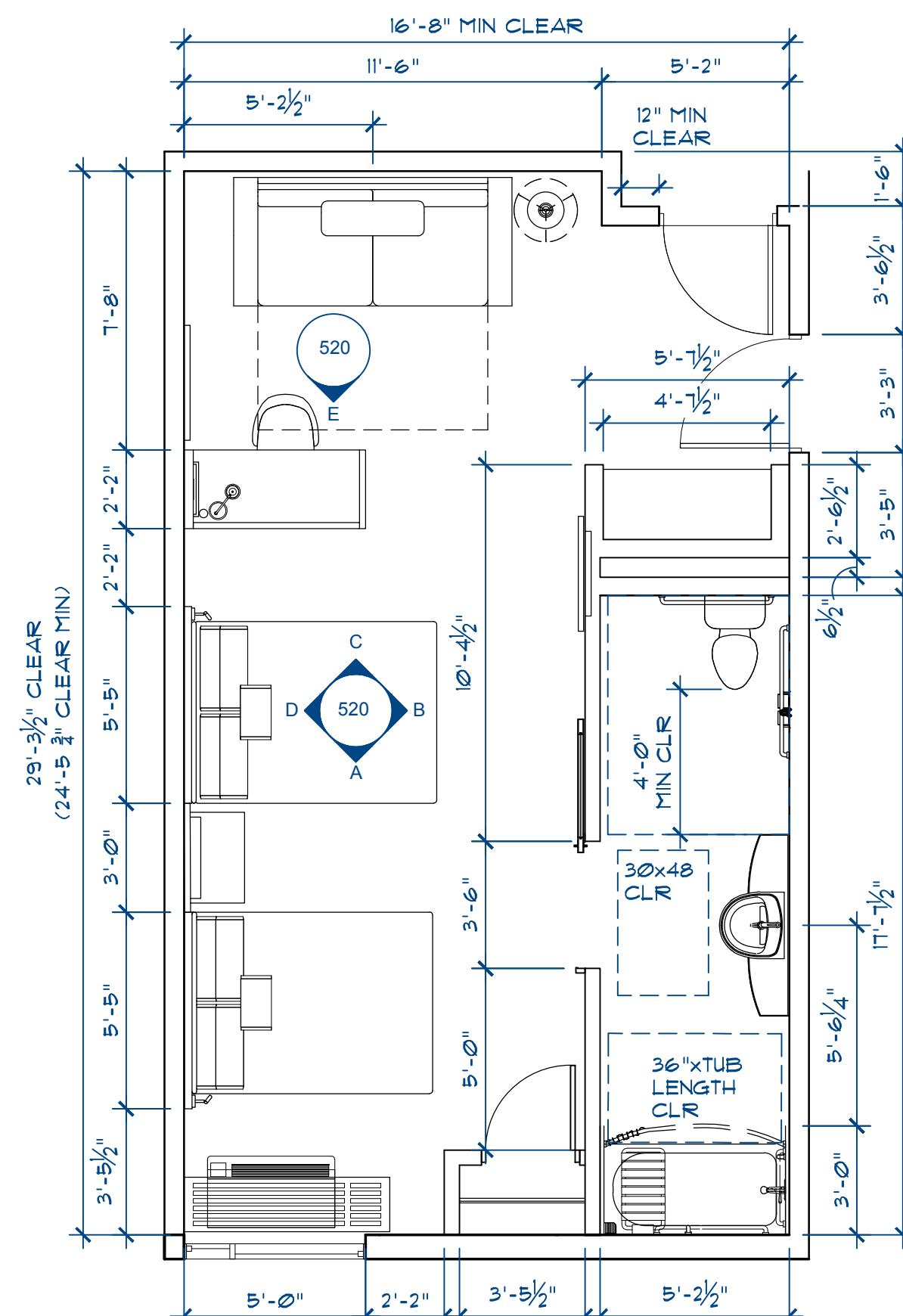


B ROOM ELEVATION
SCALE: 3/8" = 1'-0"



2 FURNITURE AND FINISH PLAN

SCALE: 1/8" = 1'-0"



1 DIMENSION PLAN

SCALE: 1/8" = 1'-0"

KEYNOTES

- A1 REFER TO HARRIOTT DESIGN AND CONSTRUCTION STANDARDS FOR REQUIRED LOCATIONS OF ALL CONNECTING DOORS
- A2 LOCATE ROBE HOOK 2'-0" FROM DRY BAR IN ROOMS WITHOUT CONNECTOR DOOR
- A4 IRONING BOARD MOUNTED INSIDE CLOSET. PROVIDE BLOCKING AS REQUIRED.
- A5 WHERE DRAPEY RODS ARE USED AT WINDOWS OR SLIDING DOORS PROVIDE CONTINUOUS SOLID WOOD BLOCKING IN CEILING FOR ATTACHMENT
- A6 PROVIDE SURFACE MOUNTED MINOR TO DOOR AND PROVIDE WOOD TRIM AS SPECIFIED. MANUFACTURER: PICTUREFRAMEBOOK // MODEL *WUB UNFINISHED FRAME 2 1/8" X RABBIT; 9/16" FINISH STAIN OGD STAINED TO MATCH DOOR WITH PLASTIC WETWOOD MINOR APPLIED TO DOOR WITH PLASTIC WOOD TRIM APPLIED TO TOP WITH CONTRASTING. PORT FINGER KERNASKRUBS WITH PUTTY AND STAIN TO MATCH TRIM FINISH.
- ID3 TEXTURED FINISH AND PAINT REQUIRED ON GUESTROOM WINDOW WALL TO ELIMINATE MOLD AND MILDEW ISSUES.
- ID16 ROLLER SHADE - REFER TO WINDOW TREATMENT ELEVATION.
- ID18 CURTAIN TO CLEAR TOP OF BENCH BY 1/2" AND BE LOWER THAN WINDOW SILL
- ID22 CLOSET AND DRYBAR CAN BE PURCHASED THROUGH HARRIOTT PROCUREMENT AS CASEGOOD MANUFACTURED ITEMS (FHS ALT.). SEE SHEET 340-ALT AND 341-ALT FOR INFORMATION.
- E4 QUAD RECEPTACLE @ 24" AFF. 1/2 OF OUTLET TO BE SWITCHED TO ENTRY DOOR SWITCH. CASEGOOD LED RECESSED LIGHT TO BE PLUGGED INTO SWITCHED SIDE OF QUAD. USE CHARGE STRIP POWER STRIP PROVIDED BY CASEGOOD SUPPLIER PLUGGED IN NON-SWITCHED SIDE OF QUAD RECEPTACLE.
- E13 WHEN CONTINUOUS VENTILATING IS USED USE LIGHTING FIXTURES T04-X-43AL IN LIEU OF FAUVILT COMBINATION.
- E73 WALL OUTLETS SHALL NOT OCCUR IN 8'x10' WALL CAVITY OF ADJACENT GUESTROOM, TYPICAL
- E24 VERIFY THAT SLEEVE EXTENDS 8" ABOVE TO ROOF FROM INSIDE FACE OF EXTERIOR WALL. OUTLET FOR PTAC TO BE BELOW PTAC.
- E25 GANGED, 2 (ILLUMINATED) SWITCHES @ HEIGHT SHOWN (NOT SEEN FIRST SEC 26 2126 FOR SPECIFIC ILLUMINATED SWITCH INFORMATION)
- E26 DUPLEX OUTLET W/ (2) USB PORTS @HEIGHT SHOWN.
- E27 DUPLEX FOR REFRIGERATOR @ HEIGHT SHOWN
- E28 DUPLEX BEHIND MICROWAVE @ HEIGHT SHOWN
- E29 DUPLEX FOR COFFEE MAKER @HEIGHT SHOWN
- E30 ALIGN SWITCHES WITH THERMOSTAT TYPE
- E35 QUAD RECEPTACLE AND PHONE - GANG OUTLETS @ HEIGHT SHOWN
- E81 PROVIDE DATA TV CABLE AND DUPLEX OUTLET DEDICATED TO TV IN RECESSA WALL POCKET

DECOR PACKAGE

PALETTES

[illegible]

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Project

SPRINGHILL SUITES
MONTANO DE ORO
EL DORADO HILLS CA
SHS-USA-CA-EL DORADO HILLS
113 KEY / 5 STORY MODIFIED PROTOTYPE

Consultants

Seal

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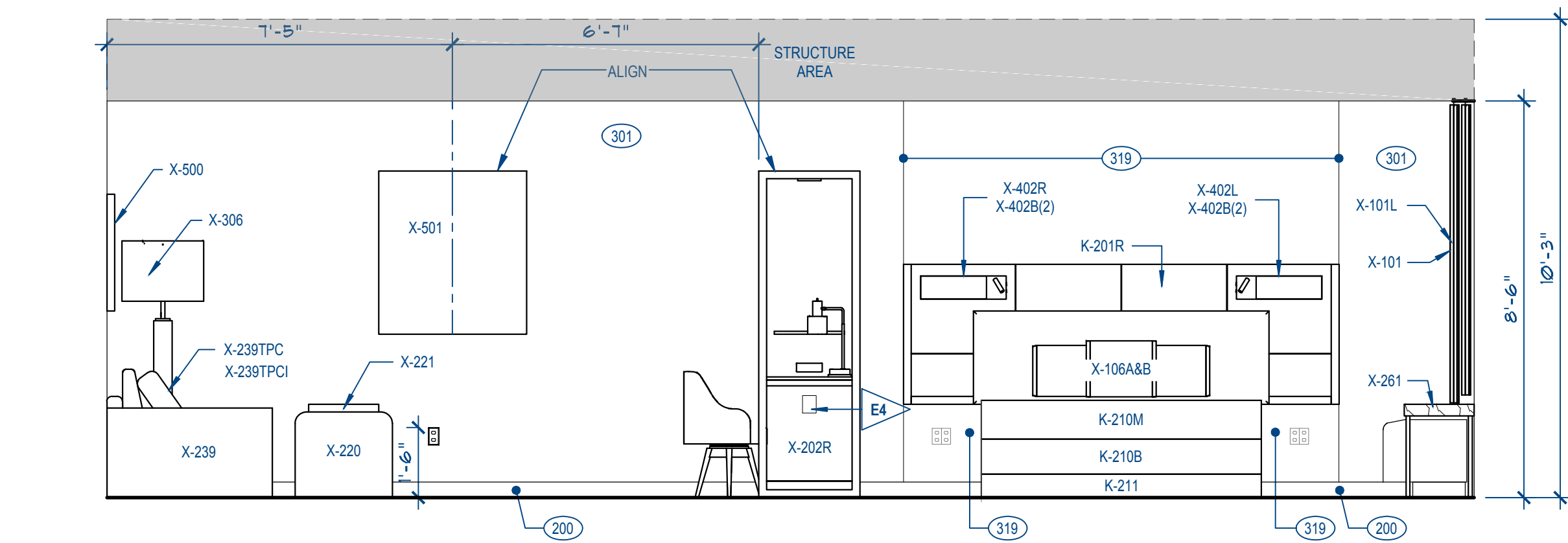
Project Manager D. ALBRIGHT	Drawn
Project Leader J.CHAPIN	Checked J.CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
ACCESSIBLE QUEEN ROOM

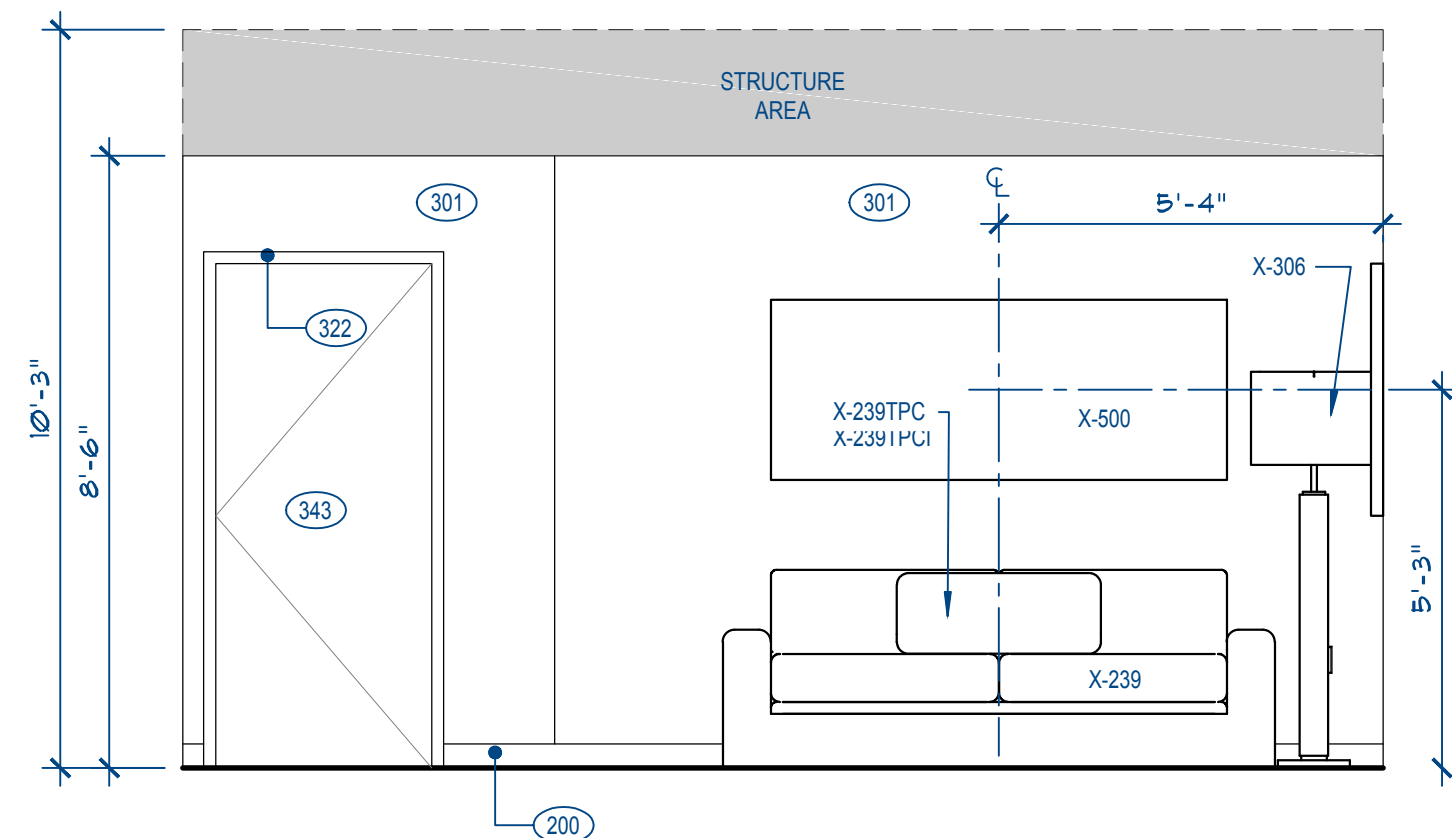
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Project No.	JCSR18-0223-00
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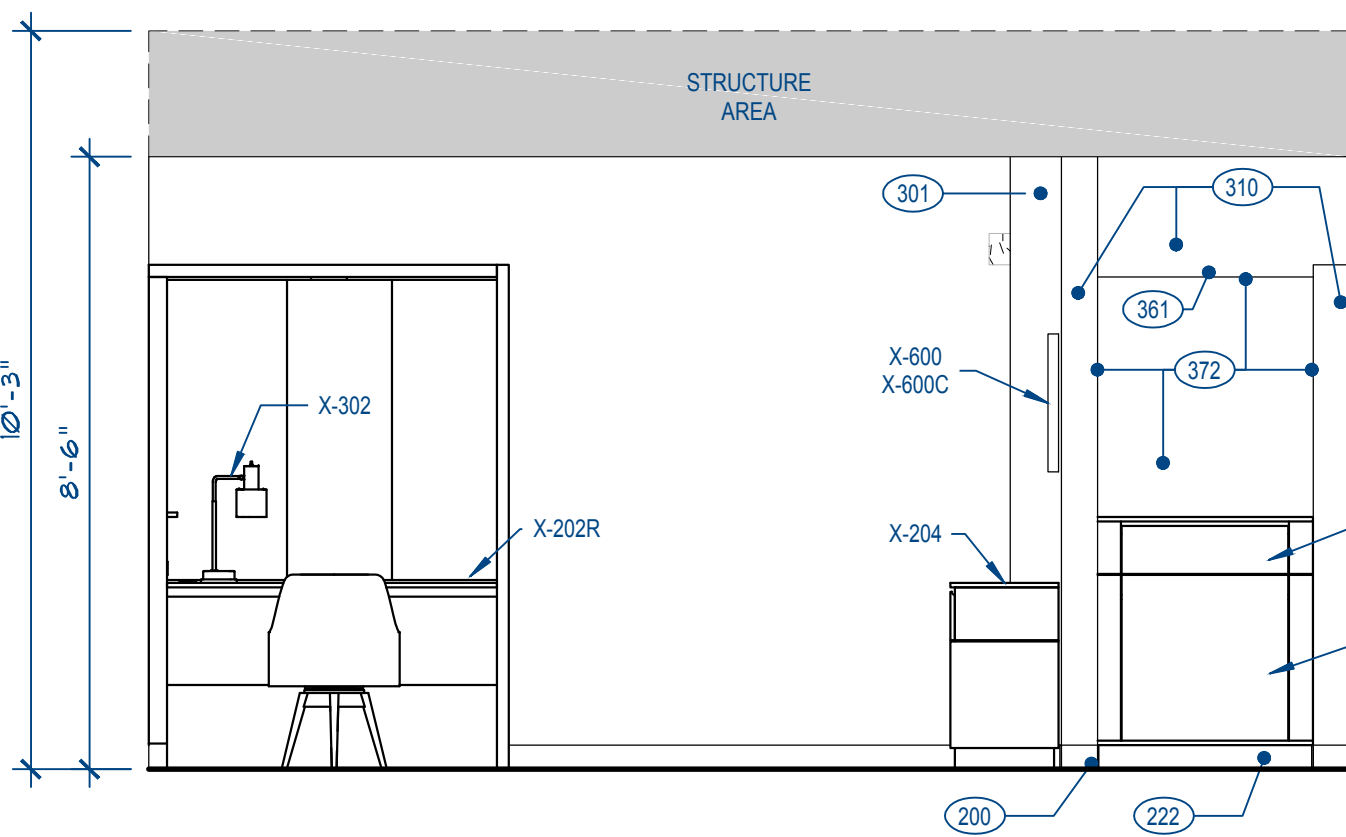
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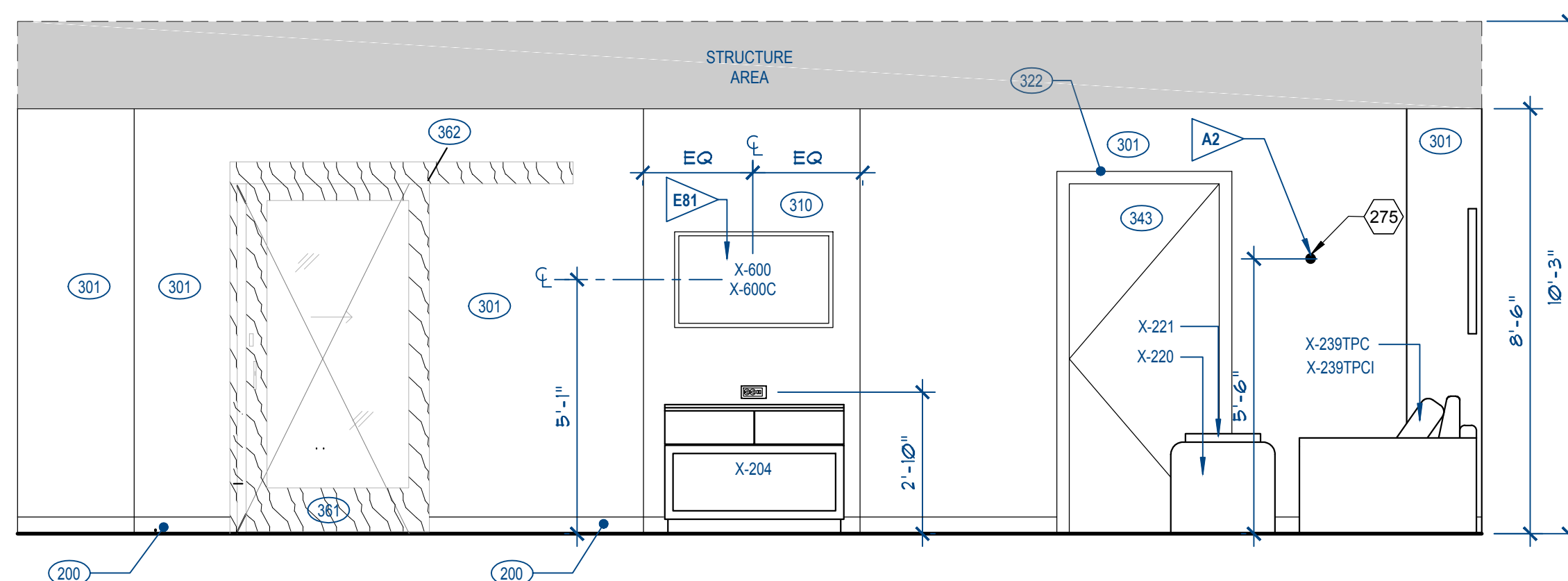
D ROOM ELEVATION
SCALE: 3/8" = 1'-0"



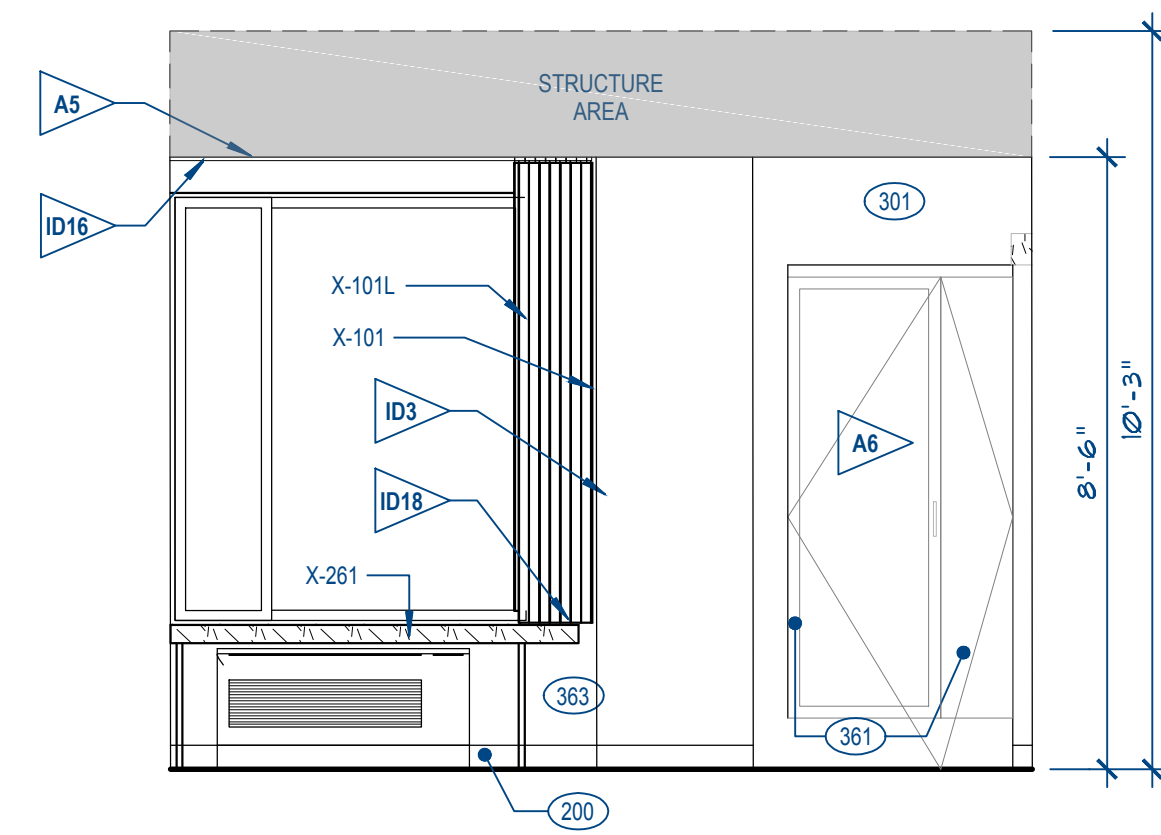
C ROOM ELEVATION
SCALE: 3/8" = 1'-0"



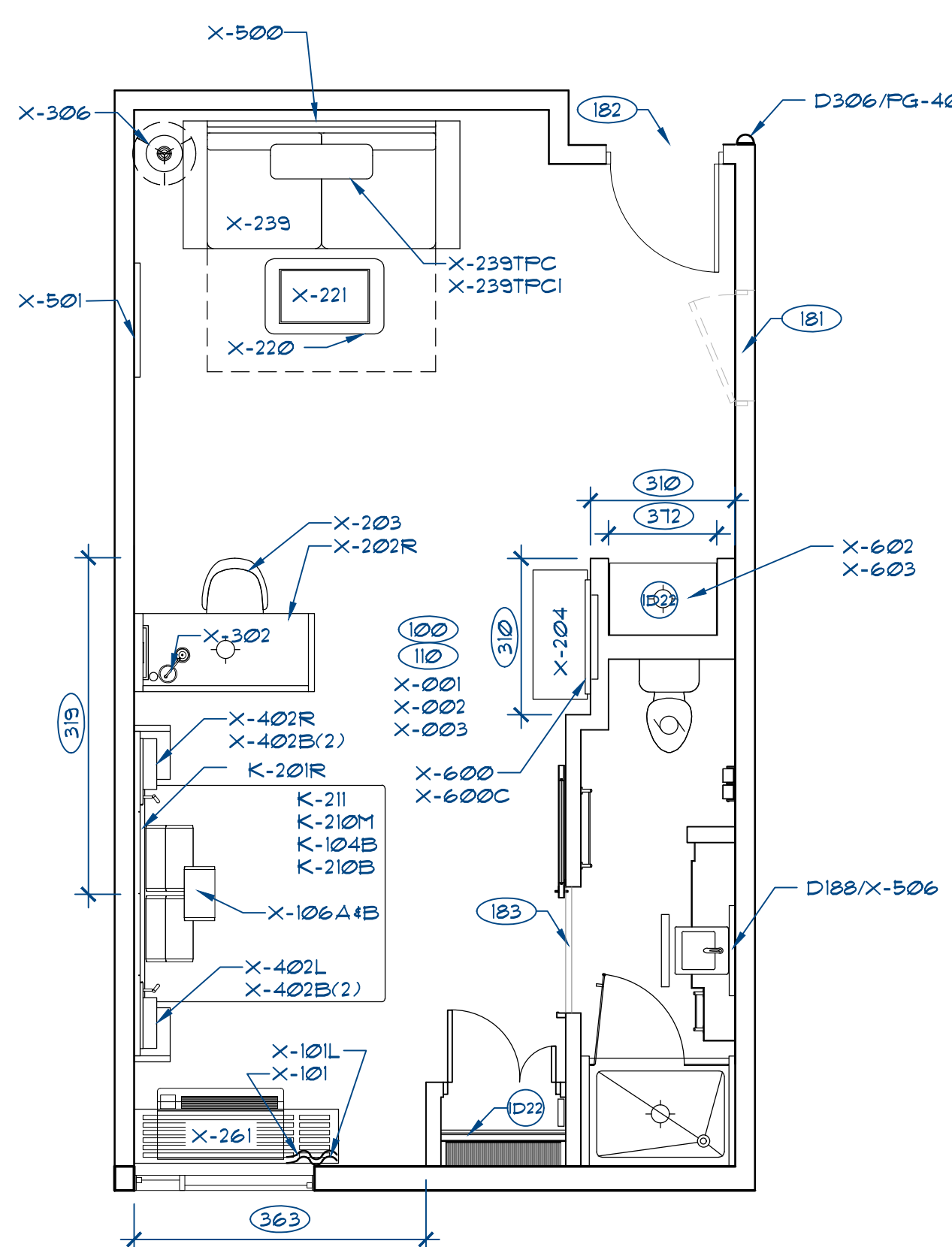
E ROOM ELEVATION
SCALE: 3/8" = 1'-0"



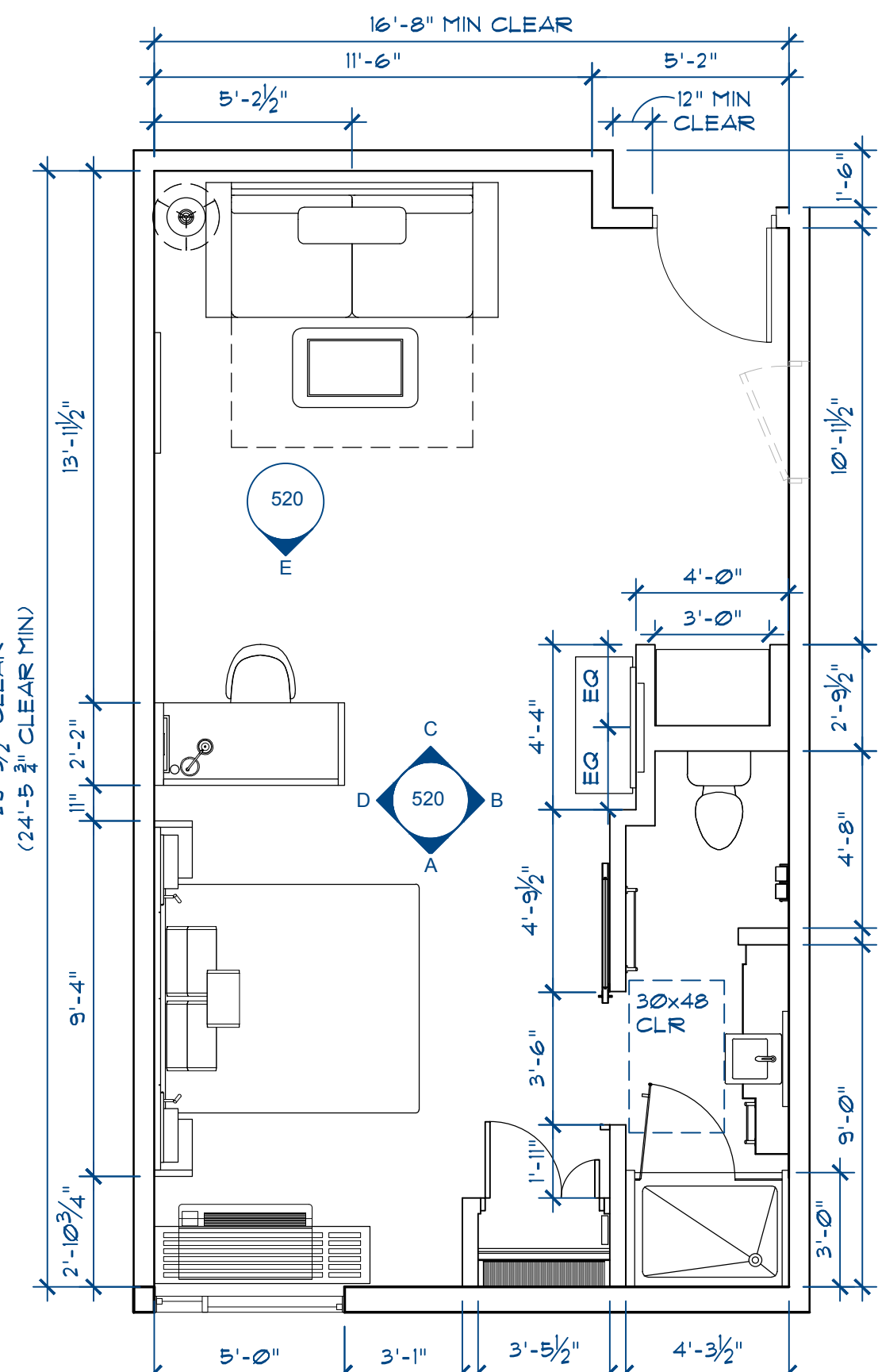
B ROOM ELEVATION
SCALE: 3/8" = 1'-0"



A ROOM ELEVATION
SCALE: 3/8" = 1'-0"



2 FURNITURE AND FINISH PLAN
SCALE: 1/8" = 1'-0"



1 DIMENSION PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES

- A1 REFER TO MARRIOTT DESIGN AND CONSTRUCTION STANDARDS FOR REQUIRED LOCATIONS OF ALL CONNECTING DOORS
- A2 LOCATE ROBE HOOK 2'-0" FROM DRY BAR IN ROOMS WITHOUT CONNECTOR DOOR
- A4 IRONING BOARD MOUNTED INSIDE CLOSET. PROVIDE BLOCKING AS REQUIRED
- A5 WHERE DRAPERY RODS ARE USED AT WINDOWS OR SLIDING DOORS PROVIDE CONTINUOUS SOLID WOOD BLOCKING IN CEILING FOR ATTACHMENT
- A6 PROVIDE SURFACE MOUNTED MIRROR TO DOOR AND PROVIDE WOOD TRIM AS SPECIFIED. MANUFACTURER: PICTUREFRAMES.COM/ MODEL *UUB UNFINISHED FRAME 21" X 1/4" RABBIT, 9/16" FINISH/ STAIN, WOOD STAINED TO MATCH DOOR FINISH. ATTACHMENT METHOD: MIRROR APPLIED TO DOOR WITH MASTIC. WOOD TRIM APPLIED TO DOOR WITH COUNTERSINK SCREWS. FILL COUNTERSINK SCREWS WITH PUTTY AND STAIN TO MATCH TRIM FINISH.
- ID3 TEXTURED FINISH AND PAINT REQUIRED ON GUESTROOM WINDOW WALL TO ELIMINATE MOLD AND MILDEW ISSUES.
- ID6 ROLLER SHADE - REFER TO WINDOW TREATMENT ELEVATION.
- ID8 CURTAIN TO CLEAR TOP OF BENCH BY 1/2" AND BE LOWER THAN WINDOW SILL
- ID22 CLOSET AND DRYBAR CAN BE PURCHASED THROUGH MARRIOTT PROCUREMENT AS CASEGOOD MANUFACTURED ITEMS (FFAE ALT). SEE SHEET 540-ALT AND 541-ALT FOR MORE INFORMATION.
- E4 QUAD RECEPTACLE * 24" AFF. 1/2 OF OUTLET TO BE SWITCHED TO ENTRY DOOR SWITCH. CASEGOOD LED RECESSED LIGHT TO BE FLUGGED INTO SWITCHED SIDE OF OUTLET. (2) USB CHARGING PORT POWER STRIP PROVIDED BY CASEWORK SUPPLIER PLUGGED IN NON-SWITCHED SIDE OF QUAD RECEPTACLE.
- E13 WHEN CONTINUOUS VENTING IS USED USE LIGHTING FIXTURE T84, X-413ALT IN LIEU OF FAN/LIGHT COMBINATION.
- E23 WALL OUTLETS SHALL NOT OCCUR IN SAME WALL CAVITY OF ADJACENT GUESTROOMS, TYPICAL
- E24 VERIFY THAT SLEEVE EXTENDS 8'-10" INTO ROOM FROM INSIDE FACE OF EXTERIOR WALL, OUTLET FOR FTAC TO BE BELOW FTAC.
- E25 GANGED: 2 (ILLUMINATED) SWITCHES * HEIGHT SHOWN (CNTR). SEE FPM SEC 26 21 26 FOR SPECIFIC ILLUMINATED SWITCH INFORMATION.
- E26 DUPLEX OUTLET W/ (2) USB PORTS *HEIGHT SHOWN.
- E27 DUPLEX FOR REFRIGERATOR * HEIGHT SHOWN
- E28 DUPLEX BEHIND MICROWAVE * HEIGHT SHOWN
- E29 DUPLEX FOR COFFEE MAKER *HEIGHT SHOWN
- E30 ALIGN SWITCHES WITH THERMOSTAT TYP.
- E35 QUAD RECEPTACLE AND PHONE - GANG OUTLETS * HEIGHT SHOWN
- E81 PROVIDE DATA TV CABLE AND DUPLEX OUTLET DEDICATED TO TV IN RECESSED WALL POCKET

DECOR PACKAGE

PALETTE8

DATE	ISSUED FOR	REV
12-31-18	OWNER REVIEW	
7-01-19	KEY COUNT CHANGE	

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Project Manager D. ALBRIGHT	Drawn
Project Leader J. CHAPIN	Checked J. CHAPIN
Client PERKINS COMMERCIAL GROUP	

Drawing Title
LARGE KING ROOM

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No.
JCSR18-0223-00

Drawing No.
A4.08